

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7917-0320-00

Planning Report Date: April 26, 2021

**PROPOSAL:**

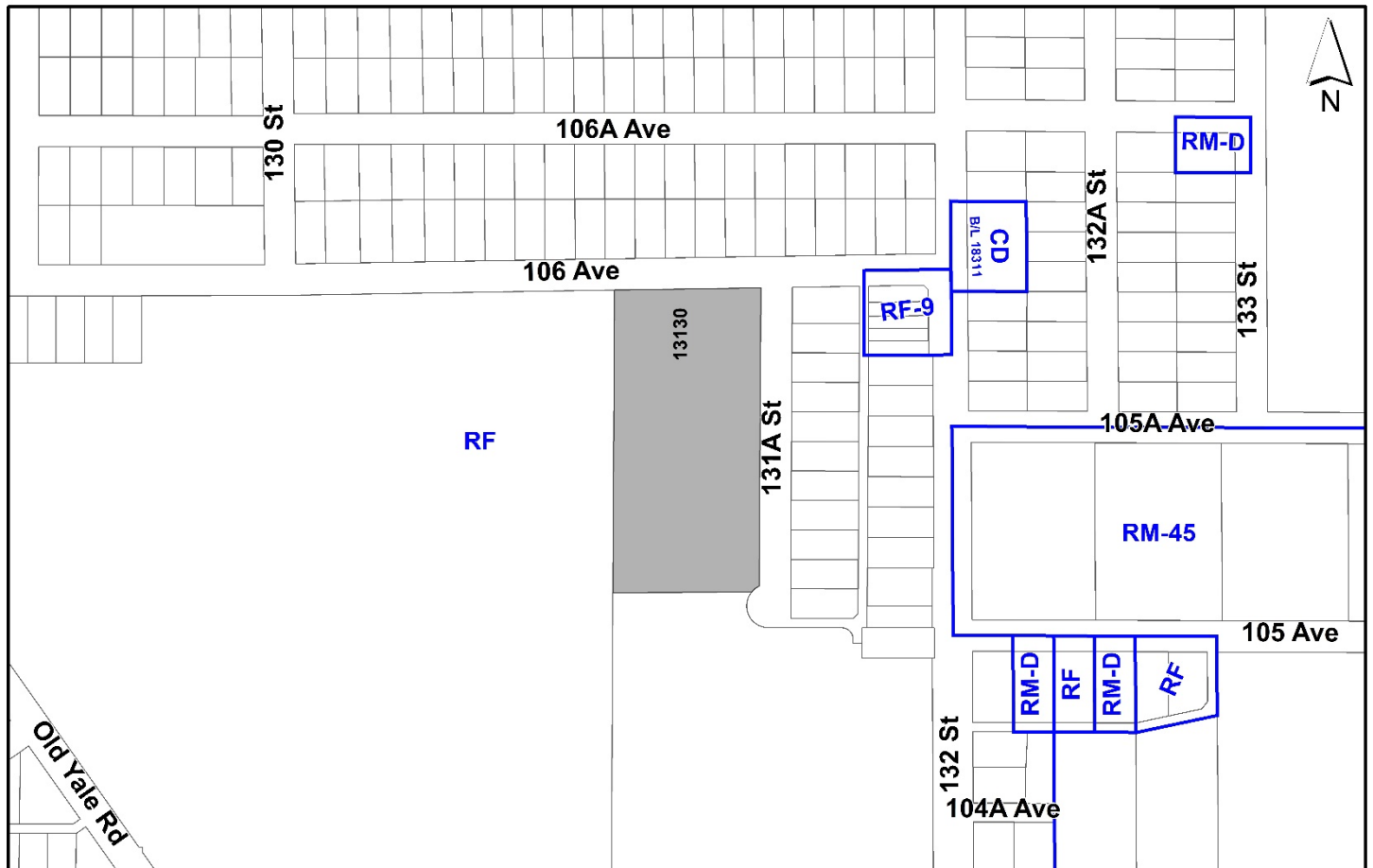
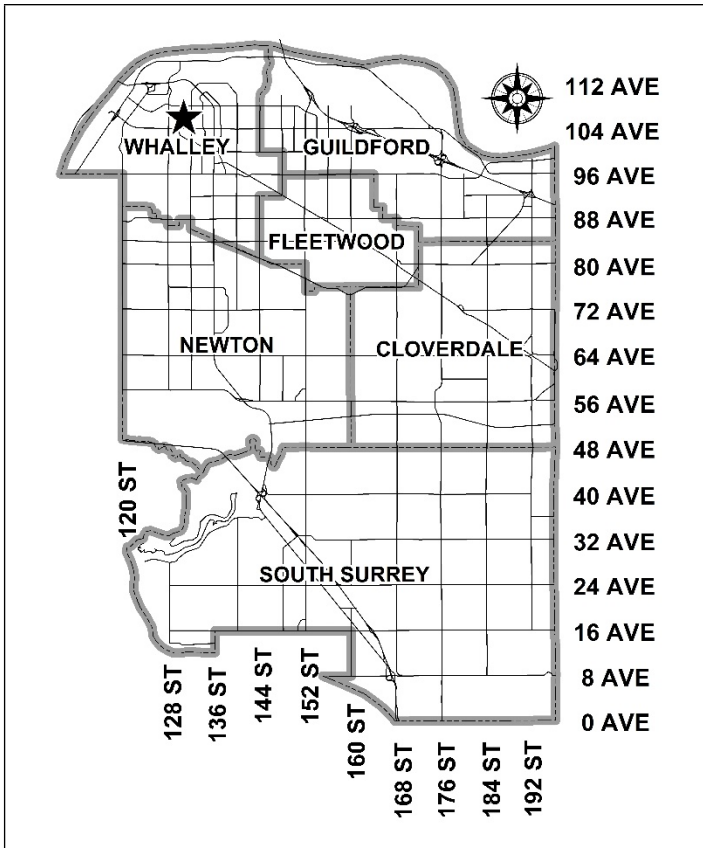
- **Development Variance Permit**

to reduce setbacks, off-street vehicular parking, and bicycle parking requirements associated with a school addition and existing portable classrooms for K.B. Woodward Elementary School.

**LOCATION:** 13130 - 106 Avenue

**ZONING:** RF

**OCP DESIGNATION:** Urban



## RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking the following variances:
  - to reduce the minimum side (east) yard on flanking street setback for Public School buildings from 15 metres to 8.5 metres;
  - to reduce the minimum front (north) yard setback for Public School buildings from 15 metres to 11.6 metres;
  - to reduce the minimum rear (south) yard setback for Public School buildings from 15 metres to 6.9 metres;
  - to reduce the minimum number of required on-site parking spaces from 65 spaces to 56 spaces; and
  - to reduce the rate at which required bicycle parking for a Public Elementary School is calculated from 4 spaces per classroom to 0.93 spaces per classroom.

## RATIONALE OF RECOMMENDATION

- Reducing the front (north) and side (east) yard on flanking street setbacks for the KB Woodward Elementary School will formalize the siting of the existing non-conforming school building while also facilitating construction of an eight-classroom addition. The addition will add additional capacity within the school building and reduce the number of portable classrooms on site.
- The reduced side yard (east) on flanking street setback will also allow for the retention of 2 existing portable classrooms facing 131A Street. The reduced rear (south) yard setback will facilitate the retention of 6 existing portable classrooms in the interim until the addition is completed.
- Under Part 5 Off-Street Parking and Loading/Unloading of the Zoning By-law, a public elementary school requires 1.75 parking spaces per classroom and 9 parking spaces for drop-off. The applicant is providing the required number of parking spaces per classroom (56 spaces) but is unable to provide the total 9 drop-off spaces on-site.
- The applicant is proposing to provide the shortfall of 9 off-street drop-off parking spaces as on-street drop-off parking spaces, dedicated for school use, along 106 Avenue and 131A Street. There are 6 existing on-street drop-off parking spaces along 106 Avenue and an additional section of drop-off parking spaces will be formalized along 131A Street. The Engineering Department is supportive of this arrangement.

- A reduction to bicycle parking requirements will help facilitate an addition to the KB Woodward Elementary School building with 8 additional classrooms.
- The School District advises that existing bike racks are currently underutilized but has committed to provide additional bicycle parking spaces in the future if demand warrants it.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7917-0320-00 (Appendix II) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum side (east) yard on flanking street setback for Public School buildings from 15 metres to 8.5 metres;
  - (b) to reduce the minimum front (north) yard setback for Public School buildings from 15 metres to 11.6 metres;
  - (c) to reduce the minimum rear (south) yard setback for Public School buildings from 15 metres to 6.9 metres;
  - (d) to reduce the minimum number of required on-site parking spaces from 65 spaces to 56 spaces; and
  - (e) to reduce the rate at which required bicycle parking for a Public Elementary School is calculated from 4 spaces per classroom to 0.93 space per classroom.
2. Council instruct staff to resolve the following issues prior to approval:
  - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department;
  - (b) submission of securities for tree retention; and
  - (c) submission of a finalized landscaping plan and cost estimate to the specifications and satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	KB Woodward Elementary School	Urban	RF
North (Across 106 Avenue):	Single family dwellings	Urban	RF
East:	Single family dwellings	Urban	RF
South:	Kwantlen Park Secondary School	Urban	RF
West:	Royal Kwantlen Park	Urban	RF

## Context & Background

- The subject site is approximately 1.82 hectares in size and is located at 13130 – 106 Avenue in Whalley. The site is zoned "Single Family Residential Zone (RF)" and is designated "Urban" in the Official Community Plan.
- The site is occupied by KB Woodward Elementary School. Presently, the school site contains 22 classrooms, 16 portable classrooms, 56 off-street parking spaces, 16 on-street drop off spaces and 30 bicycle parking spaces. It is noted that 6 of the existing portable classrooms at the south end of the site are currently being used by the neighbouring Kwantlen Park Secondary School so there are currently 32 elementary school classrooms on the site (22 in the school building and 10 portables).
- A parking agreement with the City Parks, Recreation and Culture Department over a small portion of Royal Kwantlen Park immediately west of the subject site has been secured and permits 24 parking spaces for use by KB Woodward Elementary School.
- The School District is proposing a 1,109 square metre addition to the existing school building, which will accommodate 8 additional classrooms and reduce the number of portable classrooms from 16 to 2. This will result in a total of 32 classrooms (30 within the school building/addition and 2 portables), which is the same elementary school capacity as currently exists, but with fewer portables.
- The siting of the existing school building does not comply with the minimum 15-metre front yard or side yard on flanking street setback requirement for Public school buildings as measured from the north (106 Avenue) and east lot line (131A Street). The proposed addition also does not comply with the side (east) yard on flanking street setback. A variance is requested to address these setbacks (see Variances section).
- The off-street parking requirements for Elementary Schools are 9 drop-off/pick-up stalls and 1.75 stalls per classroom. This equates to a total parking requirement of 65 off-street parking spaces on the subject property (based on 32 total classrooms). The available on-site parking equates to 56 parking stalls. There are also 16 drop-off/pickup stalls, but these are located on-street and therefore do not constitute off-street parking. As such, a variance is requested to address the off-street parking shortfall (see Variances section).
- The applicant is not proposing to provide any additional bicycle parking spaces on the site at this time but has committed to provide additional spaces if demand increases in the future. A variance is requested to address the Zoning By-law deficiency in bicycle parking (see Variances section).

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing to reduce the minimum front (north) and side (east) yard on flanking street setbacks for Public School buildings under the General Provisions of Zoning Bylaw No. 12000 to formalize the siting of the existing school building and to accommodate the proposed addition.

- Six (6) of the sixteen (16) previously installed portables will be relocated to neighboring Kwantlen Park Secondary, leaving a total of ten (10) portables on site as part of this proposal.
- Eight (8) of the ten (10) remaining portables do not meet the minimum setback requirements of the Zoning By-law No. 12000 and as such, variances have been requested to facilitate retention of these portables in their current location.
- Under Part 5 Off-Street Parking and Loading/Unloading of the Zoning Bylaw, a public elementary school requires 4 bicycle parking spaces per classroom. As such, 32 classrooms would therefore require a total of 128 bicycle parking spaces for the expanded elementary school. There are currently 30 bicycle parking space on the site.
- The applicant is not proposing to provide any additional bicycle parking spaces on the site at this time but has committed to provide additional spaces if demand increases in the future.

### Referrals

Engineering: The Engineering Department has no objection to the project.

### POLICY & BY-LAW CONSIDERATIONS

#### Regional Growth Strategy

- The subject property is designated General Urban in the Regional Growth Strategy (RGS). The existing school use complies with the General Urban Designation.

#### Official Community Plan

##### Land Use Designation

- The subject property is designated Urban in the Official Community Plan (OCP). The existing school use complies with the Urban designation.

#### Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning Bylaw, including parking requirements.

Setbacks	Required	Proposed
Front / North	15 metres	11.6 metres
Rear / South	15 metres	6.9 metres
Side / West	6 metres	6 metres
Side (Flanking) / East	15 metres	8.5 metres
Parking (Part 5)	Required	Proposed
Number of Parking Spaces	65	56
Number of Bicycle Spaces	128	30

### VariANCES

- Reducing the front (north) yard and side yard (east) on flanking street setback for the KB Woodward Elementary School, will formalize the siting of the existing non-conforming school building while also facilitating construction of an eight-classroom addition. The addition will add additional capacity within the school building and reduce the number of portable classrooms.
- The reduced side yard (east) on flanking street setback will also allow for the retention of 2 existing portable classrooms facing 131A Street.
- Reducing the rear (south) yard setback will facilitate the retention of 6 existing portable classrooms in the interim until the addition is completed (at which time they, along with 2 other portables, will be removed, leaving 2 portables on site fronting 131A Street).
- Under Part 5 Off-Street Parking and Loading/Unloading of the Zoning By-law, a public elementary school requires 1.75 parking spaces per classroom and 9 parking spaces for drop-off. The applicant is providing the required number of parking spaces per classroom (56 spaces) but is unable to provide the total 9 drop-off spaces on-site.
- The applicant is proposing to provide the shortfall of 9 off-street drop-off parking spaces as on-street drop-off parking spaces, dedicated for school use, along 106 Avenue and 131A Street. There are 6 existing on-street drop-off parking spaces along 106 Avenue and an additional section of drop-off parking spaces will be formalized along 131A Street. The Engineering Department is supportive of this arrangement.
- A reduction to bicycle parking requirements will help facilitate an addition to KB Woodward Elementary School which includes 8 new classrooms.
- The School District advises that existing bike racks are currently underutilized.
- The School District has committed to provide additional bicycle parking spaces in the future if demand warrants it.
- The KB Woodward Elementary School Parent Advisory Committee (P.A.C.) submitted a letter in support of the proposal to reduce the required number of bicycle parking spaces.
- Staff support the requested variances to proceed to Public Notification.

### **TREES**

- Jeff Ross & Rhythm Batra, ISA Certified Arborist of Mike Fadum and Associates Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Cherry	1	0	1
Hawthorn, Lavallee	8	3	5
Maple, Red	2	0	2
Oak, Pin	1	0	1
Willow	1	0	1
Willow, Corkscrew	1	1	0
<b>Coniferous Trees</b>			
Cedar, Yellow	8	0	8
Pine	2	0	2
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>24</b>	<b>4</b>	<b>20</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>7</b>	
<b>Total Retained and Replacement Trees</b>		<b>27</b>	
<b>Contribution to the Green City Program</b>		<b>\$400.00</b>	

- The Arborist Assessment states that there are a total of 24 mature trees on the site. It was determined that 20 trees can be retained as part of this development proposal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all other trees. This will require a total of 8 replacement trees on the site. Since only 7 replacement trees can be accommodated on the site the deficit of 1 replacement trees will require a cash-in-lieu payment of \$400, representing \$400 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law.
- In summary, a total of 27 trees are proposed to be retained or replaced on the site with a contribution of \$400.00 to the Green City Program.



**INFORMATION ATTACHED TO THIS REPORT**

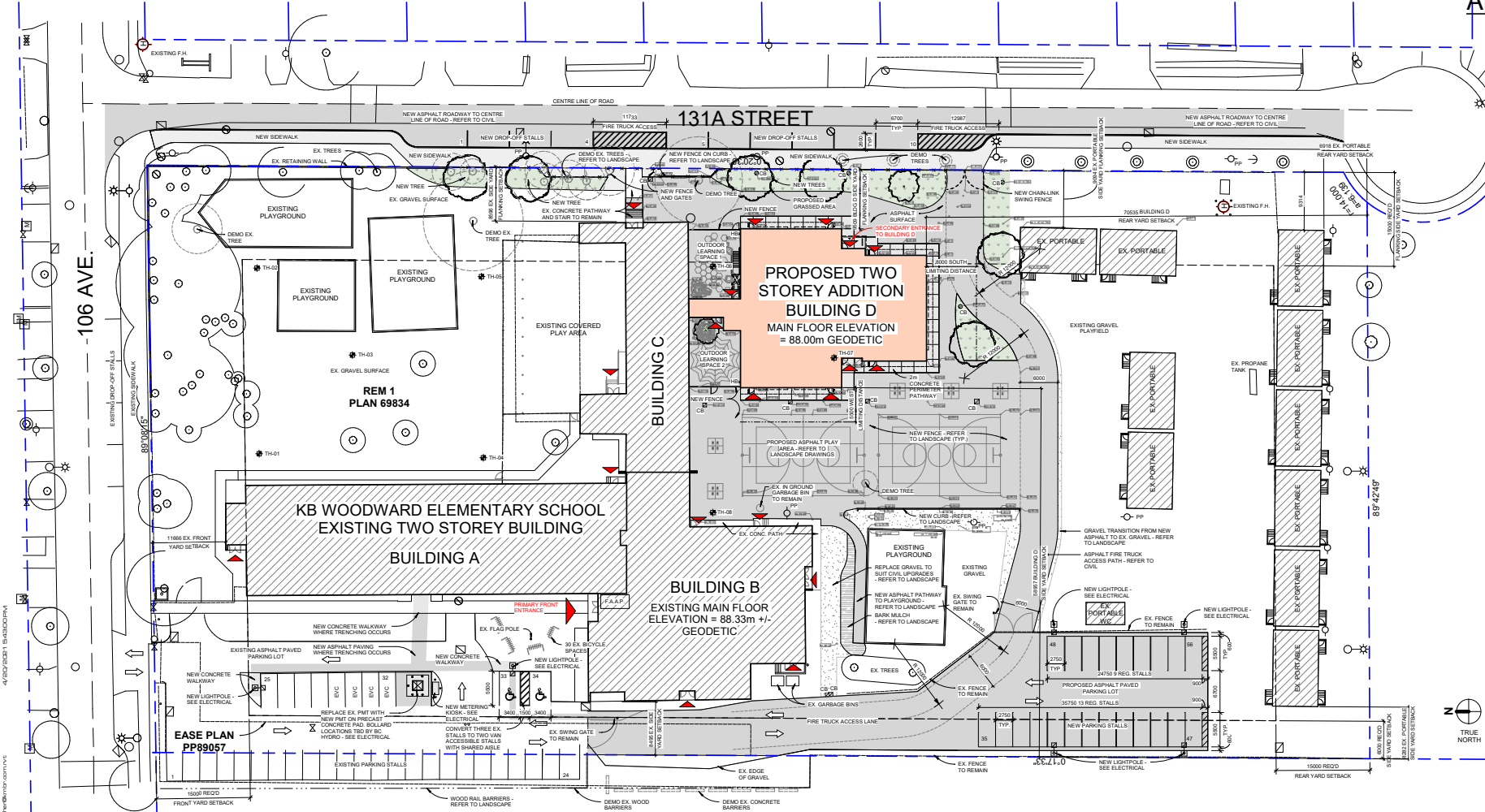
The following information is attached to this Report:

- Appendix I. Site Plan
- Appendix II. Development Variance Permit No. 7917-0320-00
- Appendix III. Summary of Tree Survey and Tree Preservation

*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

ELM/cm



No.	REVISION - RECORD	DATE	DESCRIPTION
1	2020-11-27	ISSUED FOR CD LOTTING PERMIT	
2	2021-01-21	ISSUED FOR BUILDING PERMIT	
3	2021-02-12	ISSUED FOR 50% LOTTING	
4	2021-03-19	ISSUED FOR 80% DPC REVIEW	
5	2021-04-07	ISSUED FOR BP RESUBMISSION	

**ISSUED FOR BP RESUBMISSION**

PROJECT TITLE: **KB WOODWARD ELEMENTARY ADDITION**

CLIENT: **SD36 SURREY**

DRAWING TITLE: **SITE PLAN**

PROJECT NUMBER: **20360**

DRAWN BY: **SCALE AS indicated**

DATE: **2021-04-07**

DRAWING NUMBER: **A1.0.0**

**1 SITE PLAN**  
 04.1.1 1:300

- GENERAL SITE NOTES**
- ARCHITECTURAL SITE PLAN IS TO BE READ IN CONJUNCTION WITH ALL CIVIL, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS.
  - READ, CHECK AND COMPARE ALL DRAWINGS. NOTIFY ARCHITECT OF ANY ALL DISCREPANCIES.
  - CHECK AND VERIFY EXISTING CONDITIONS AS SHOWN. NOTIFY ARCHITECT OF ANY ALL DISCREPANCIES.
  - VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE FABRICATION / CONSTRUCTION OF ANY COMPONENT.
  - FOR SERVING, PARKING AND DRIVEWAY GRADING, PARKING AND DRIVEWAY DRAINAGE, LANDSCAPING, SIDEWALKS AND OFF-SITE SIDEWALKS REFER TO CIVIL AND MECHANICAL DRAWINGS.
  - FOR CONTRACTOR RESPONSIBILITIES, SITE ACCESS, AND HOUSING REFER TO CONTEXT SITE PLAN AND CIVIL DRAWINGS.
  - FOR LANDSCAPING INCLUDING HARD AND SOFT SURFACES, SITE FURNISHINGS, FENCES, GATES, AND TREE REMOVAL/RETENTION, REFER TO ARCHITECTURAL DRAWINGS, HARD SURFACE GRADING AND OFF-SITE SIDEWALKS TO SLOPE AWAY FROM BUILDING AT A SLOPE OF 2%.
  - FOR RAINWATER INFILTRATION, SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
  - ALL FRAMES AND WALLS ARE TO BE SMOOTH AND TRUE PROVIDING POSITIVE DRAINAGE AND PREVENT FLOWING OF WATER.
  - SCAPE AND REMOVE ALL EXISTING MATERIALS AND DEBRIS DUMPED ON SITE.
  - FOR TOPOGRAPHIC SITE INFORMATION, SEE LEGAL AND SURVEY PLANS BY DANIEL LANE SURVEYING FILE NUMBER 2018-11-11.
  - FOR GEOTECHNICAL INFORMATION, SEE REPORT PREPARED BY TERRANE GEOTECHNICAL GROUP, FILE NUMBER 104-1-ED (DATED 2019-08-28).

**SITE LEGEND**

	PROPERTY LINE - REFER TO SURVEY		PROPOSED ADDITION BUILDING OUTLINE
	PROPERTY SETBACKS - REFER TO SURVEY		EXISTING BUILDING STRUCTURES TO REMAIN
	FIRE TRUCK ACCESS ROAD		FIRE TRUCK ACCESS ROAD
	CONCRETE HOARDING LINE		CONCRETE HOARDING LINE
	CHAIN LINK FENCE - REFER TO LANDSCAPE		ASPHALT PAVING - REFER TO CIVIL AND LANDSCAPE
	WOOD RAIL BARRIER - REFER TO LANDSCAPE		SHRUB AREA - REFER TO LANDSCAPE
	BUILDING FACE LIMITING DISTANCE		SEEDED LAWN AREA - REFER TO LANDSCAPE
	HOSE BIB - REFER TO MECHANICAL		GRAVEL SURFACE - REFER TO LANDSCAPE AND CIVIL
	EXTERIOR DOOR LOCATION		FIRE ALARM ANNUNCIATOR PANEL - REFER TO ELECTRICAL
	PAINTED DIRECTIONAL ARROW - REFER TO CIVIL		CATCH BASIN - REFER TO CIVIL AND LANDSCAPE
	PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY - REFER TO CIVIL		FIRE HYDRANT - EXISTING
	EXISTING TREE TO BE DEMOLISHED - REFER TO LANDSCAPE AND ARBORIST REPORT		POLE LOCATION - REFER TO ELECTRICAL DRAWINGS
	PROPOSED TREE - REFER TO LANDSCAPE		APPROXIMATE GEOTECHNICAL TEST HOLE LOCATION - REFER TO GEOTECHNICAL REPORT
			GEOTECHNICAL TEST HOLE ELEVATION - REFER TO LANDSCAPE AND CIVIL

**ROYAL KWANTLEN PARK**  
**REM PCL 1**  
**REF. PLAN 71928**

**PROJECT DATA**

**SITE DESCRIPTION:**  
 LOT 1 EXCEPT PART SUBDIVIDED BY PLAN LMP4829, SECTION 21 BLOCK 4 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 6984

**CIVIC ADDRESS:**  
 13130 106 AVENUE, SURREY, BC V3T 2C3

**ZONING:** R5  
**PARCEL AREA:** 18,278m<sup>2</sup>

**BC BUILDING CODE COMPLIANCE INFORMATION:**  
 REFER TO CODE REPORT PREPARED BY ENRIKBERG ENGINEERING.

**GOVERNING CODE:** BCCRC 2018  
**BUILDING DESIGNATED UNDER:** PART 2  
**MAJOR OCCUPANCY:** GROUP A, DIVISION 2  
**APPLICABLE CODE SECTION:** 3.2.2.25

**EXISTING GROSS BUILDING AREA (A, B, & C):** 4,291m<sup>2</sup>  
**EXISTING GROSS BUILDING AREA (B):** 909m<sup>2</sup>  
**EXISTING BUILDING AREA (C):** 642m<sup>2</sup>  
**PROPOSED BUILDING AREA (D):** 1,490m<sup>2</sup>  
**TOTAL BUILDING AREA (A+B+C+D):** 5,432m<sup>2</sup>

**EXISTING GROSS BUILDING AREA (A):** 1,079m<sup>2</sup>  
**EXISTING BUILDING AREA (A):** 909m<sup>2</sup>  
**EXISTING BUILDING AREA (B):** 642m<sup>2</sup>  
**PROPOSED BUILDING AREA (D):** 1,490m<sup>2</sup>  
**TOTAL BUILDING AREA (A+B+C+D):** 3,209m<sup>2</sup>

**PROPOSED BUILDING:**

**BUILDING D**  
 2,225 GROUP A, DIVISION 2, TWO STOREYS, UNFURNISHED.  
 2,225 GROUP A, DIVISION 2, TWO STOREYS, UNFURNISHED.  
 NOT MORE THAN 800mm IN BUILDING AREA.  
 FACTORY AT 1500mm AND 18 STOREYS IN HEIGHT FACING 3 STREETS.  
 COMBUSTIBLE CONSTRUCTION IS PERMITTED.  
 FLOOR ASSEMBLIES SHALL BE CONSTRUCTED AS FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MINUTES.  
 MEZANINES (IF PROVIDED) SHALL BE CONSTRUCTED WITH A FIRE RESISTANCE RATING NOT LESS THAN 45 MINUTES IF COMBUSTIBLE.  
 ROOF ASSEMBLIES SHALL HAVE, IF COMBUSTIBLE, A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. EXCEPT FOR ROOF ASSEMBLIES 3.2.2.25 (2).  
 LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN FLOOR SHALL BE CONSTRUCTED WITH A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. OR, IF COMBUSTIBLE, SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. OR, IF COMBUSTIBLE, SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. OR, IF COMBUSTIBLE, SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN.

**EXISTING BUILDINGS:**

**EXISTING BUILDING A**  
 2,225 GROUP A, DIVISION 2, TWO STOREYS, UNFURNISHED.  
 BUILDING IS 1500mm AND 18 STOREYS IN HEIGHT FACING 3 STREETS.

**EXISTING BUILDING B**  
 2,225 GROUP A, DIVISION 2, TWO STOREYS, UNFURNISHED.  
 BUILDING IS 1500mm AND 18 STOREYS IN HEIGHT FACING 3 STREETS.

**EXISTING BUILDING C**  
 APPROXIMATE CONSTRUCTION.  
 2,225 GROUP A, DIVISION 2, TWO STOREYS, UNFURNISHED.  
 BUILDING IS 1500mm AND 18 STOREYS IN HEIGHT FACING 3 STREETS.

**SITE REQUIREMENTS:**

REQUIRED	PROVIDED	REQUIRED	PROVIDED
# A & B LOT SIZE	NA	EXISTING BUILDING D	EXISTING PORTABLES
LOT COVERAGE	18.278m <sup>2</sup>		
HEIGHT	9.0m		
REAR YARD	15m	70.5m	6.9m
SIDE YARD	15m	59.8m	8.9m
FLANKING SIDE YARD	15m	9.5m	9.1m
CAR PARKING	REQUIRED	REQUIRED	REQUIRED
REGULAR STALLS	N/A	N/A	N/A
SMALL CAR STALLS	N/A	N/A	N/A
VARIABLE WIDTH HC STALLS	N/A	N/A	N/A
EVIC STALLS (FUTURE)	N/A	N/A	N/A
LOADING STALLS	N/A	N/A	N/A
DISASTE DROP OFF	6	6	6
OFF-SITE DROP OFF STALLS	6 EXISTING + 10 NEW	6 EXISTING + 10 NEW	6 EXISTING + 10 NEW
BICYCLE SPACES**	REQUIRED	PROVIDED	PROVIDED
	307(104)	307(104)	307(104)

\* PARKING BY-LAW CALCULATIONS:  
 32 CLASSROOMS (2 EXISTING CLASSROOMS + 8 NEW CLASSROOMS + 8 EXISTING PORTABLES) + 175 + 66 STALLS + 9 DROP OFF + 65 STALLS REQUIRED

\*\* BICYCLE SPACE CALCULATION:  
 32 CLASSROOMS + 4 + 108 BICYCLE STALLS REQUIRED

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0320-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-097-249

Lot 1 Except: Part Subdivided by Plan LMP49629; Section 21 Block 5 North Range 2 West  
New Westminster District Plan 69834

13130 - 106 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section A Uses Permitted in All Zones of Part 4 General Provisions, the minimum side (east) yard on flanking street setback for Public schools and School District Administration Buildings is reduced from 15 metres to 8.5 metres;
  - (b) In Section A Uses Permitted in All Zones of Part 4 General Provisions, the minimum front (north) yard setback for Public schools and School District Administration Buildings is reduced from 15 metres to 11.6 metres;
  - (c) In Section A Uses Permitted in All Zones of Part 4 General Provisions, the minimum rear (south) yard setback for Public schools and School District Administration Buildings is reduced from 15 metres to 6.9 metres;

- (d) In Table C.1 of Part 5 Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces for a Public Elementary School with 32 classrooms is reduced from 65 to 56 spaces.
  - (e) In Section D Bicycle Spaces and Bicycle Parking Areas of Part 5 Off-Street Parking and Loading/Unloading, the minimum number of bicycle spaces per classroom for a Public Elementary school is reduced from 4 spaces per classroom to 0.93 space per classroom.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

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Mayor – Doug McCallum

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City Clerk – Jennifer Ficocelli

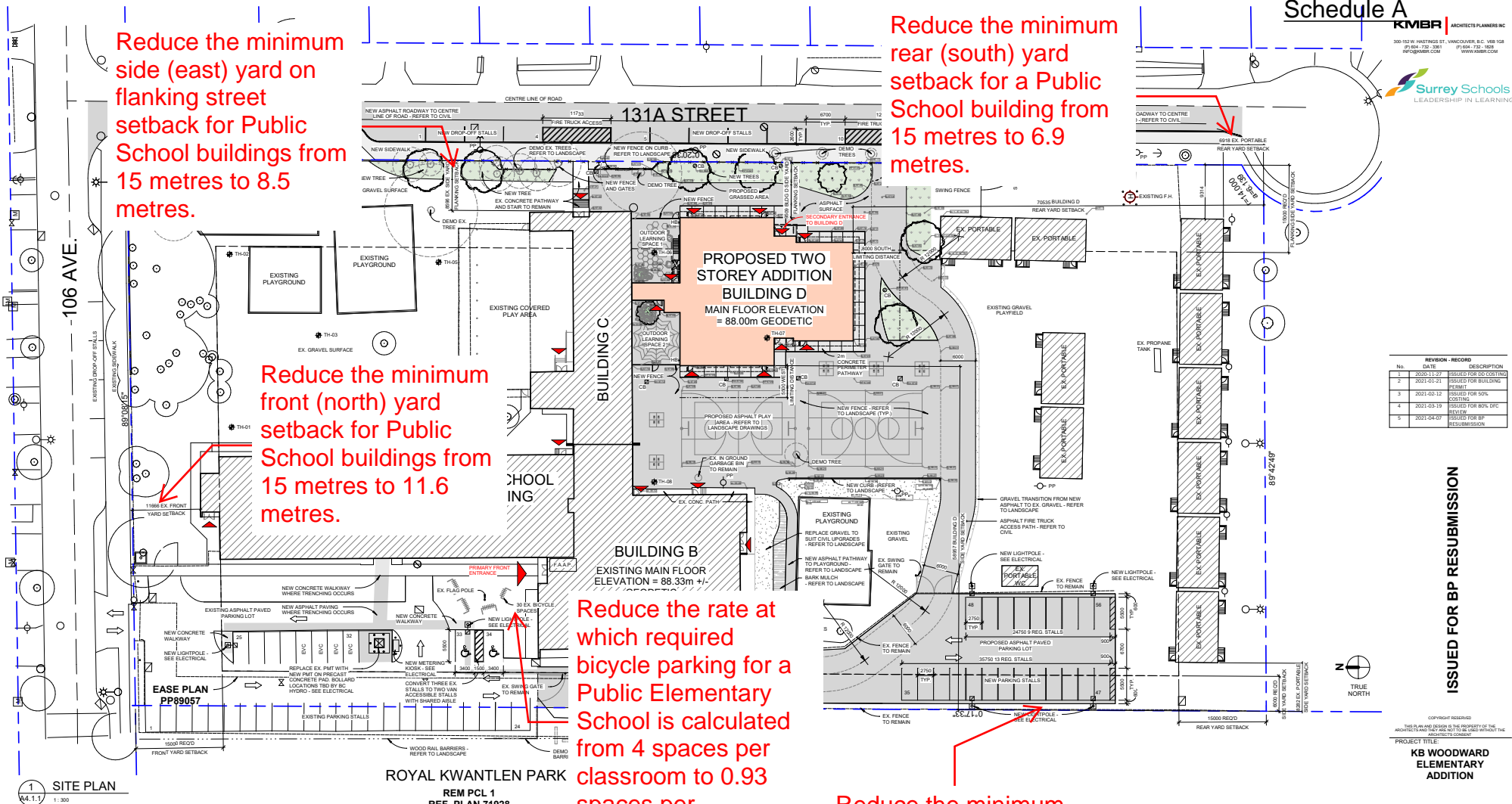
Reduce the minimum side (east) yard setback for Public School buildings from 15 metres to 8.5 metres.

Reduce the minimum rear (south) yard setback for a Public School building from 15 metres to 6.9 metres.

Reduce the minimum front (north) yard setback for Public School buildings from 15 metres to 11.6 metres.

Reduce the rate at which required bicycle parking for a Public Elementary School is calculated from 4 spaces per classroom to 0.93 spaces per classroom.

Reduce the minimum number of required on-site parking spaces from 65 spaces to 56 spaces.



No.	REVISION - RECORD	DESCRIPTION
1	2021-11-27	ISSUED FOR DC COSTING PERMIT
2	2021-01-21	ISSUED FOR BUILDING PERMIT
3	2021-02-12	ISSUED FOR 50% COSTING
4	2021-03-19	ISSUED FOR 80% DPC REVIEW
5	2021-04-07	ISSUED FOR BP RESUBMISSION

ISSUED FOR BP RESUBMISSION

### GENERAL SITE NOTES

- ARCHITECTURAL SITE PLAN IS TO BE READ IN CONJUNCTION WITH ALL CIVIL, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS.
- READ, CHECK AND COMPARE ALL DRAWINGS. NOTIFY ARCHITECT OF ANY OF ALL DISCREPANCIES.
- CHECK AND VERIFY EXISTING CONDITIONS AS SHOWN. NOTIFY ARCHITECT OF ANY ALL DISCREPANCIES.
- VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE FABRICATION / CONSTRUCTION OF ANY ELEMENT.
- VERIFY ALL DIMENSIONS AND DRIVEWAY GRADING, PARKING AND DRIVEWAY GRADING, PARKING AND DRIVEWAY GRADING AND OFF-SITE SIDEWALKS REFER TO CIVIL AND MECHANICAL DRAWINGS.
- FOR CONTRACTORS: VERIFY ALL DIMENSIONS AND STRUCTURAL DETAILS TO CONTEXT SITE PLAN AND CIVIL DRAWINGS.
- FOR LANDSCAPERS: INCLUDE HARD AND SOFT SURFACES, SITE FURNISHINGS, FENCES, GATES, AND TREE REMOVAL/RETENTION, REFER TO ARCHITECTURAL DRAWINGS, HARD SURFACE GRADING AND STRUCTURAL DRAWINGS.
- ALL FINISHES AND MATERIALS ARE TO BE SMOOTH AND TRUE PROVIDING PROPER DRAINAGE AND PREVENT FLOODING OF WATER.
- SCAPE AND REMOVE ALL EXISTING MATERIALS AND DEBRIS DUMPED ON SITE.
- FOR TOPOGRAPHIC SITE INFORMATION, SEE LEGAL AND SURVEY PLANS BY DANIEL LANE SURVEYING, FILE NUMBER: 2018-11-11.
- FOR GEOTECHNICAL INFORMATION, SEE REPORT PREPARED BY TERRANE GEOTECHNICAL GROUP, FILE NUMBER: 18-014, TEG (DATED 2018-08-28).

### SITE LEGEND

	PROPERTY LINE - REFER TO SURVEY		EXISTING ADDITION BUILDING OUTLINE
	PROPERTY SETBACKS - REFER TO SURVEY		FIRE TRUCK ACCESS ROAD
	FIRE TRUCK ACCESS ROAD		CONCRETE HOARDING LINE
	CONTRACTOR HOARDING LINE		CHAIN LINK FENCE - REFER TO LANDSCAPE
	CHAIN LINK FENCE - REFER TO LANDSCAPE		WOOD RAIL BARRIER - REFER TO LANDSCAPE
	WOOD RAIL BARRIER - REFER TO LANDSCAPE		BUILDING FACE LIMITING DISTANCE
	HOSE BIB - REFER TO MECHANICAL		EXTERIOR DOOR LOCATION
	EXTERIOR DOOR LOCATION		PAINTED DIRECTIONAL ARROW - REFER TO CIVIL
	PAINTED DIRECTIONAL ARROW - REFER TO CIVIL		PROPOSED TREE - REFER TO LANDSCAPE
	PROPOSED TREE - REFER TO LANDSCAPE		CATCH BASIN - REFER TO CIVIL AND LANDSCAPING
	FIRE HYDRANT - EXISTING		POLE MOUNT - REFER TO ELECTRICAL AND LANDSCAPING
	POLE MOUNT - REFER TO ELECTRICAL AND LANDSCAPING		APPROXIMATE GEOTECHNICAL TEST HOLE LOCATION - REFER TO GEOTECHNICAL REPORT
	APPROXIMATE GEOTECHNICAL TEST HOLE LOCATION - REFER TO GEOTECHNICAL REPORT		GEOTECHNICAL GROUP - REFER TO GEOTECHNICAL REPORT
	GEOTECHNICAL GROUP - REFER TO GEOTECHNICAL REPORT		PROPOSED TREE - REFER TO LANDSCAPE AND CIVIL

<b>LOT 1 EXCEPT PART SUBDIVIDED BY PLAN LMP#620, SECTION 21 BLOCK 1 NORTH-RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 9834</b>	
<b>CIVIC ADDRESS:</b> 13130 106 AVENUE, SURREY, BC V3T 2C3	
<b>ZONING:</b> R-187B(C)	<b>PARCEL AREA:</b> 18,278M <sup>2</sup>
<b>BC BUILDING CODE COMPLIANCE INFORMATION:</b>	
REFER TO CODE REPORT PREPARED BY ENRIKSRUBEN ENGINEERING.	
<b>GOVERNING CODE:</b> BCCRC 2018 PART 2	<b>GROUP A DIVISION 2:</b> 3,2,2.2.5
<b>MAJOR OCCUPANCY:</b> 8000	
<b>APPLICABLE CODE SECTION:</b> 3,2,2.2.5	
<b>EXISTING BUILDING AREA (A, B &amp; C):</b> 1,077m <sup>2</sup>	
<b>EXISTING BUILDING AREA (B):</b> 909m <sup>2</sup>	
<b>EXISTING BUILDING AREA (C):</b> 648m <sup>2</sup>	
<b>PROPOSED BUILDING AREA (D):</b> 1,899m <sup>2</sup>	
<b>TOTAL BUILDING AREA (A+B+C+D):</b> 5,483m <sup>2</sup>	
<b>EXISTING BUILDING AREA (A):</b> 1,077m <sup>2</sup>	
<b>EXISTING BUILDING AREA (B):</b> 909m <sup>2</sup>	
<b>EXISTING BUILDING AREA (C):</b> 648m <sup>2</sup>	
<b>PROPOSED BUILDING AREA (D):</b> 1,899m <sup>2</sup>	
<b>TOTAL BUILDING AREA (A+B+C+D):</b> 5,483m <sup>2</sup>	

RESISTANCE RATING NOT LESS THAN 45 MIN. EXCEPT AS RESTRICTED BY CLAUSE 3, 2, 2.2.5 (2)(C). LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN OVERHEAD SYSTEM SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. OR BE OF NON-COMBUSTIBLE CONSTRUCTION AND AUTOMATIC SPRINKLER PROTECTION IS NOT REQUIRED.

BUILDING C IS 8491' AND IS 2 STOREYS IN HEIGHT FACING 1 STREET

SITE REQUIREMENTS	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	NO. MAXIMUM	NO. MAXIMUM	NO. MAXIMUM	NO. MAXIMUM
<b># OF # 4's</b>	25	18,278m <sup>2</sup>	25	18,278m <sup>2</sup>
<b>LOT SIZE</b>	18,278m <sup>2</sup>	18,278m <sup>2</sup>	18,278m <sup>2</sup>	18,278m <sup>2</sup>
<b>LOT COVERAGE</b>	9.0m	8.6m	9.0m	8.6m
<b>HEIGHT</b>	9.0m	8.6m	9.0m	8.6m
<b>SITING OF BUILDINGS</b>	REQUIRED	PROVIDED	REQUIRED	PROVIDED
<b>FRONT YARD</b>	15m	6.9m	15m	6.9m
<b>REAR YARD</b>	15m	6.9m	15m	6.9m
<b>SIDE YARD</b>	15m	8.5m	15m	8.5m
<b>FLANKING SIDE YARD</b>	15m	9.5m	15m	9.5m
<b>CAR PARKING*</b>	REQUIRED	PROVIDED	REQUIRED	PROVIDED
<b>RESIDUAL STALLS</b>	N/A	N/A	N/A	N/A
<b>SMALL CAR STALLS</b>	N/A	N/A	N/A	N/A
<b>VAN/ACCESSIBLE HC STALLS</b>	N/A	N/A	N/A	N/A
<b>EVIC STALLS (FUTURE)</b>	N/A	N/A	N/A	N/A
<b>LOADING STALLS</b>	N/A	N/A	N/A	N/A
<b>LOADING STALLS (SWARANANCE)</b>	N/A	N/A	N/A	N/A
<b>OFF-SITE DROP OFF STALLS</b>	6 EXISTING + 10 NEW	PROVIDED 16	6 EXISTING + 10 NEW	PROVIDED 16
<b>BICYCLE SPACES**</b>	REQUIRED 65	PROVIDED 56	REQUIRED 65	PROVIDED 56

13130 106 AVE., SURREY, BC V3T 2C3  
 CLIENT: **SD36 SURREY**

DRAWING TITLE: **SITE PLAN**

PROJECT NUMBER: **20360**

DRAWN: **SCALE AS INDICATED**

DATE: **2021-04-07**

DRAWING NUMBER: **A1.0.0**

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

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## Tree Preservation Summary

Surrey Project No: 7820-0276-00

Address: 13130 106 Avenue (K.B. Woodward Elementary School), Surrey, BC

Registered Arborist: Jeff Ross & Rhythm Batra – PN-8932A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	24
<b>Protected Trees to be Removed</b>	4
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	20
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 4 X two (2) = 8</li> </ul>	8
<b>Replacement Trees Proposed</b>	7
<b>Replacement Trees in Deficit</b>	1
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: April 6, 2021



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE

**TREE PRESERVATION AND PROTECTION PLAN**

SCHOOL DISTRICT #36  
 K.B. WOODWARD  
 ELEMENTARY SCHOOL  
 13130 - 106 AVENUE  
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	NOV26/20	MK	UPDATED SURVEY
2	JAN18/21	MK	SITE & CIVIL PLAN
3	JAN19/21	MK	REVISED PROP. SIDEWALK
4	MAR24/21	MK	CIVIL PLAN
5	APR05/21	MK	KEY PLAN

SHEET TITLE

**T1 - TREE PRESERVATION AND REMOVAL PLAN**

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DRAWN

MK

SCALE

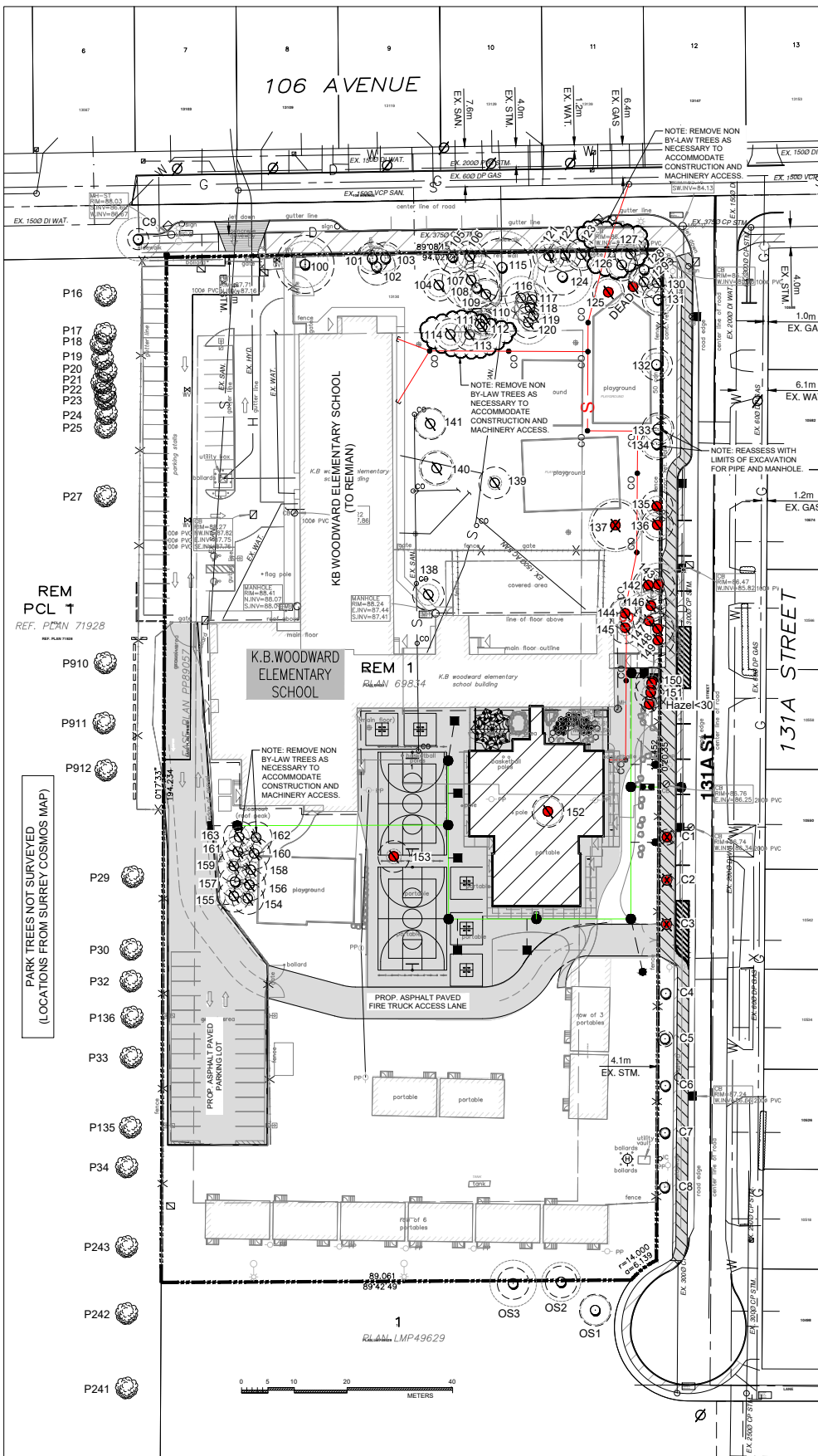
AS SHOWN

DATE

AUGUST 26, 2019

**T - 1**

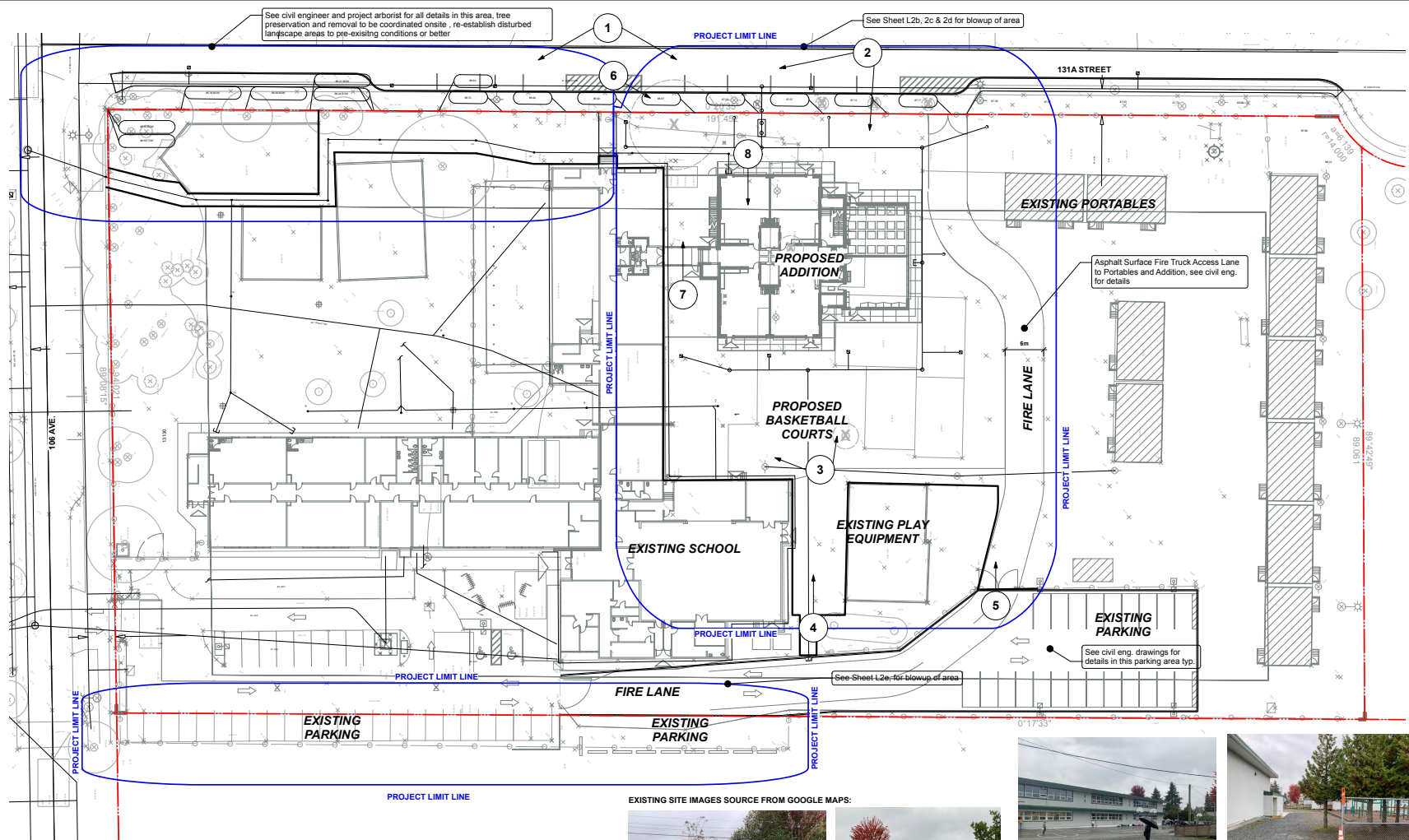
SHEET 1 OF 1



**LEGEND**

- TREE TO BE RETAINED
- NON BY-LAW TREE (RETAIN OR REMOVE AT OWNER'S DISCRETION)
- TREE TO BE REMOVED
- NON BY-LAW TREE TO BE REMOVED
- PARK TREE - NOT ASSESSED (MUST BE PROTECTED FROM CONSTRUCTION IMPACTS)
- MINIMUM NO DISTURBANCE ZONE
- TREE DRIFLINE/CANOPY
- TREE NOT ASSESSED (>4m FROM PL)





- LANDSCAPE NOTES**
- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Landscape Contractor to be a member of the Landscape & Nursery Association. Plant material to be in accordance with the Landscape Standards for nursery stock. Elected seeds for plant material to Washington & BC.
  - Sizes on the planting plan shall be considered minimum sizes.
  - Root balls to be free of pernicious weeds.
  - Top soil mixtures for the project shall be tested for particle size, PH, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime incorporation and soil mixes. The installation of fertilizer and lime shall be to a minimum soil depths are 1' (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Tests 2' (600mm) of compacted organic mulch on all shrub beds after planting and site smooth.
  - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and final grading. Scarify compacted subgrade to a minimum depth of 4" (100mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn areas and catch basins. Slope away from building a minimum of 2%. Slope towards lawn basins and minimum 4%. Slope toward the grass areas a minimum 2% and maximum 3% slope. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
  - Landscape Contractor is to ensure turf maintenance work and materials shall conform to current edition of the C.S. unless otherwise noted. Turf maintenance shall conform to level 4 "open space" and maintenance procedures set out in Establishment and maintenance of the current edition of the BC Landscape Standards which shall be followed. See S22.28 Specifications for further details. Contractor to provide a written guarantee for all plant material. Plants installed prior to June (Between Jan. 1 and June 1 shall be under extended warranty until the June 1 of the following year.
  - Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at dip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
  - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.

SCALE: 1/8" = 1'-0"

0	1	2	3	4	5	6	7	8	9	10
---	---	---	---	---	---	---	---	---	---	----

Date	Issue Notes
N 2021-04-07	Issued for BP-Resubmission
M 2021-03-19	Issue for 80% SD38 Facilities Review
L 2021-03-09	For consultant coordination
I 2021-02-12	Issue for 50% Costing
H 2021-01-22	Issue for BP
F 2020-12-16	Issue for 50% SD38 Facilities Review
E 2020-12-02	For Arbores Coordination
D 2020-11-27	Issue for Pricing



EXISTING SITE IMAGES SOURCE FROM GOOGLE MAPS:



**Prospect & Refuge**

LANDSCAPE ARCHITECTS  
 #102-6611 18 2nd Ave New Westminster, BC V6L 1Y3  
 604-699-1000 info@prospectandrefuge.ca  
 Building on over 25 years of history in South West BC.

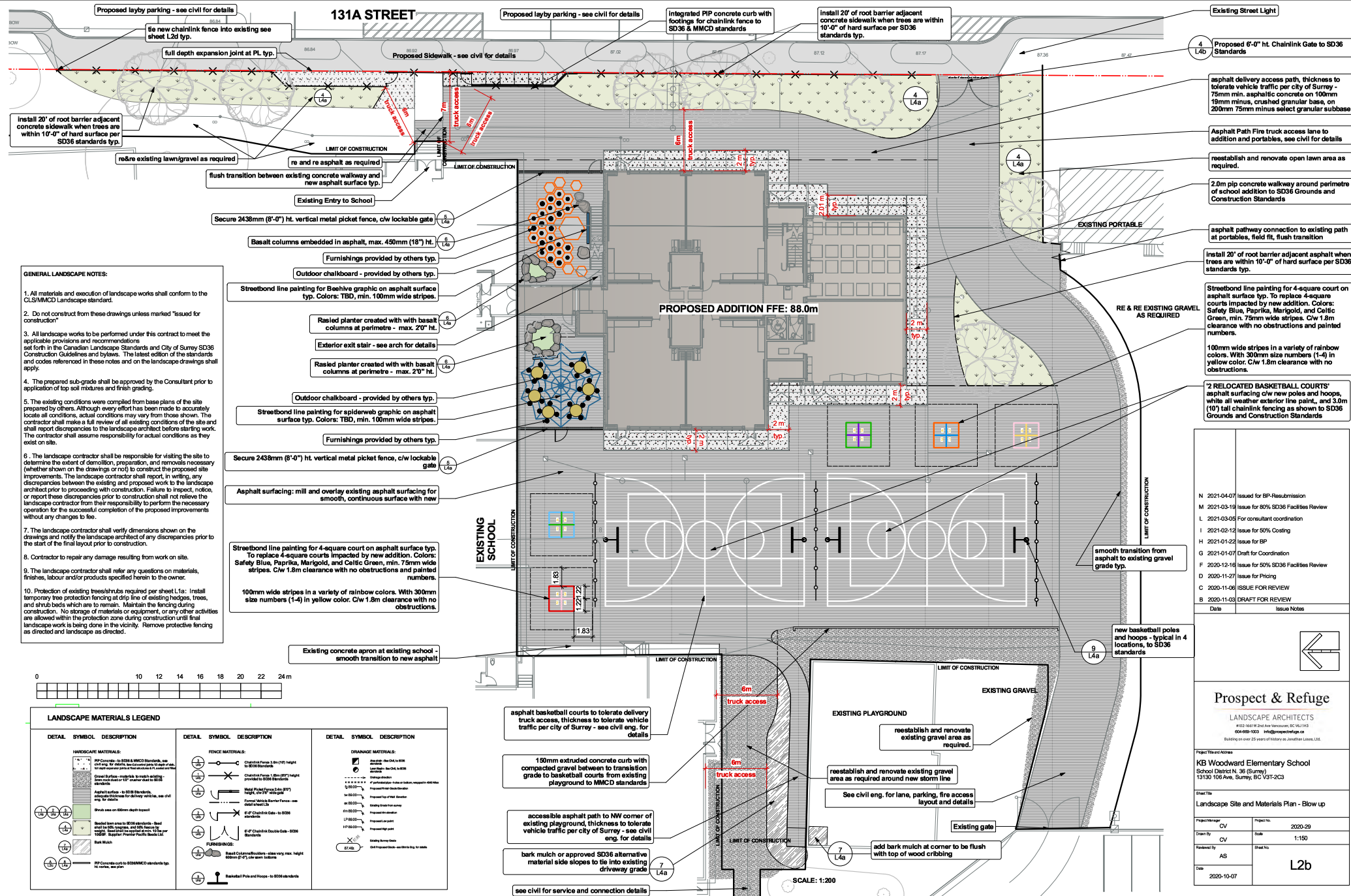
Project Title and Address  
**KB Woodward Elementary School**  
 School District N. 36 (Surrey)  
 13130 Ave. Surrey, BC V3T-2C3

Sheet Title  
**Landscape Materials - Overall Site Plan**

Project Manager	CV	Project No.	2020-29
Drawn By	CV	Date	1:300
Reviewed By	AS	Sheet No.	
Date	2020-10-07		

**L2a**





- GENERAL LANDSCAPE NOTES:**
- All materials and execution of landscape works shall conform to the CLS/MMCD Landscape Standard.
  - Do not construct from these drawings unless marked "issued for construction".
  - All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Canadian Landscape Standards and City of Surrey SD36 Construction Guidelines and bylaws. The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
  - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading.
  - The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
  - The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, notice, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
  - The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
  - Contractor to repair any damage resulting from work on site.
  - The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the owner.
  - Protection of existing trees/shrubs required per sheet L1a: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.

**LANDSCAPE MATERIALS LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PIP Concrete curb to SD36 & MMCD standards, see civil eng. for details		Chainlink Fence - 3.0m (10') height to SD36 Standards		Drainage materials: Aggregate, No. 57, to SD36 Standards; Landscape fabric, to SD36 Standards
	Install 20" of root barrier adjacent concrete sidewalk when trees are within 10'-0" of hard surface per SD36 standards typ.		Chainlink Fence with Gate to SD36 Standards		Paved materials: Paved materials: Paved materials, to SD36 Standards
	Basalt columns embedded in asphalt, max. 450mm (18") ht.		Furnishings: Furnishings provided by others typ.		Bark Mulch
	Streetbond line painting for Beehive graphic on asphalt surface typ. Colors: TBD, min. 100mm wide stripes.		Outdoor chalkboard - provided by others typ.		Root barrier: 20" high, to SD36 Standards
	Raised planter created with with basalt columns at perimeter - max. 20" ht.		Exterior exit stair - see arch for details		Root barrier: 20" high, to SD36 Standards
	Streetbond line painting for spiderweb graphic on asphalt surface typ. Colors: TBD, min. 100mm wide stripes.		Furnishings provided by others typ.		Root barrier: 20" high, to SD36 Standards
	Streetbond line painting for 4-square court on asphalt surface typ. To replace 4-square courts impacted by new addition. Colors: Safety Blue, Paprika, Marigold, and Celtic Green, min. 75mm wide stripes. C/w 1.8m clearance with no obstructions and painted numbers.		Root barrier: 20" high, to SD36 Standards		Root barrier: 20" high, to SD36 Standards
	Streetbond line painting for 4-square court on asphalt surface typ. To replace 4-square courts impacted by new addition. Colors: Safety Blue, Paprika, Marigold, and Celtic Green, min. 75mm wide stripes. C/w 1.8m clearance with no obstructions and painted numbers.		Root barrier: 20" high, to SD36 Standards		Root barrier: 20" high, to SD36 Standards
	Streetbond line painting for 4-square court on asphalt surface typ. To replace 4-square courts impacted by new addition. Colors: Safety Blue, Paprika, Marigold, and Celtic Green, min. 75mm wide stripes. C/w 1.8m clearance with no obstructions and painted numbers.		Root barrier: 20" high, to SD36 Standards		Root barrier: 20" high, to SD36 Standards

- Proposed 6'-0" ht. Chainlink Gate to SD36 Standards
- asphalt delivery access path, thickness to tolerate vehicle traffic per city of Surrey - 75mm min. asphaltic concrete on 100mm 19mm minus, crushed granular base, on 200mm 75mm minus select granular subbase
- Asphalt Path Fire truck access lane to addition and portables, see civil for details
- reestablish and renovate open lawn area as required.
- 2.0m pile concrete walkway around perimeter of school addition to SD36 Grounds and Construction Standards
- asphalt pathway connection to existing path at portables, field ft, flush transition
- install 20" of root barrier adjacent asphalt when trees are within 10'-0" of hard surface per SD36 standards typ.
- Streetbond line painting for 4-square court on asphalt surface typ. To replace 4-square courts impacted by new addition. Colors: Safety Blue, Paprika, Marigold, and Celtic Green, min. 75mm wide stripes. C/w 1.8m clearance with no obstructions and painted numbers.
- 100mm wide stripes in a variety of rainbow colors. With 300mm size numbers (1-4) in yellow color. C/w 1.8m clearance with no obstructions.
- 2 RELOCATED BASKETBALL COURTS' asphalt surfacing c/w new poles and hoops, while all weather exterior line paint, and 3.0m (10') tall chainlink fencing as shown to SD36 Grounds and Construction Standards
- smooth transition from asphalt to existing gravel grade typ.
- new basketball poles and hoops - typical in 4 locations, to SD36 standards

Date	Issue Notes
N 2021-04-07	Issued for BP-Resubmission
M 2021-03-19	Issue for 90% SD36 Facilities Review
L 2021-03-05	For consultant coordination
I 2021-02-12	Issue for 50% Costing
H 2021-01-22	Issue for BP
G 2021-01-07	Draft for Coordination
F 2020-12-16	Issue for 50% SD36 Facilities Review
D 2020-11-27	Issue for Pricing
C 2020-11-06	ISSUE FOR REVIEW
B 2020-11-03	DRAFT FOR REVIEW

**Prospect & Refuge**

LANDSCAPE ARCHITECTS

402-804-2nd Ave Vancouver, BC V6C 1K3  
604-690-0022 info@prospectandrefuge.ca  
Building for over 25 years of history on South Main Street

**Project File #** 2020-29

**Project Name** KB Woodward Elementary School

**Project Address** School District N, 36 (Surrey)  
13130 106 Ave, Surrey, BC V3T-2C3

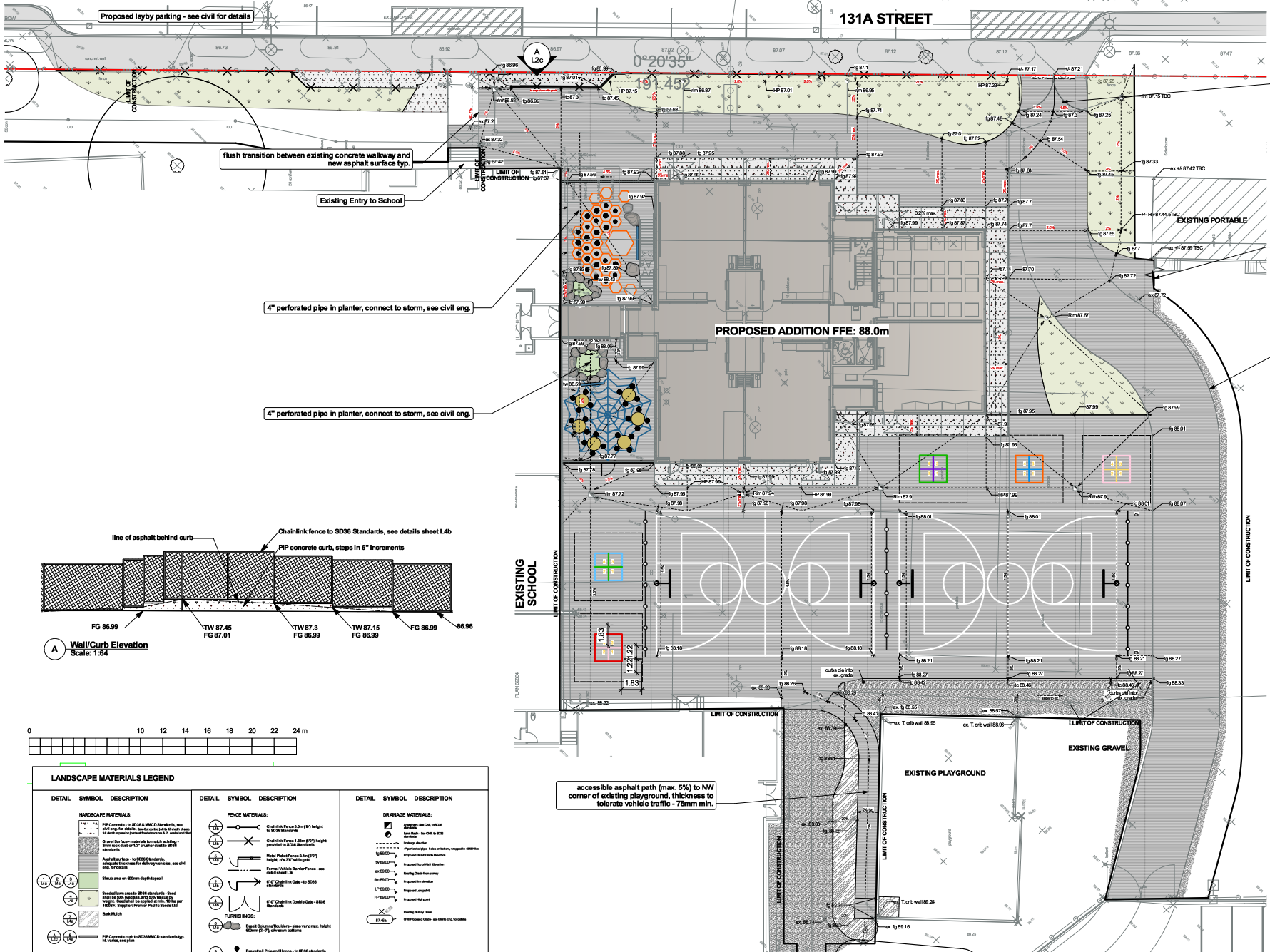
**Project Manager** CV **Project No.** 2020-29

**Drawn by** CV **Date** 1:150

**Reviewed by** AS **Sheet No.**

**Date** 2020-10-07

**L2b**



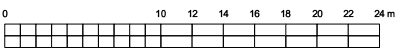
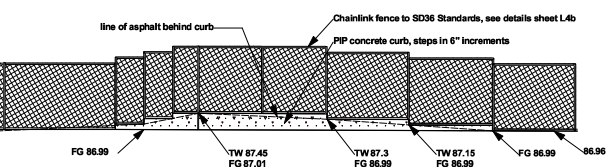
coordinate clearance for bottom of gates with slope

asphalt pathway connection to existing path at portables, field ft, flush transition

smooth transition from fire lane to existing grade, see civil eng. for fire lane grading, yp.

4" perforated pipe in planter, connect to storm, see civil eng.

4" perforated pipe in planter, connect to storm, see civil eng.

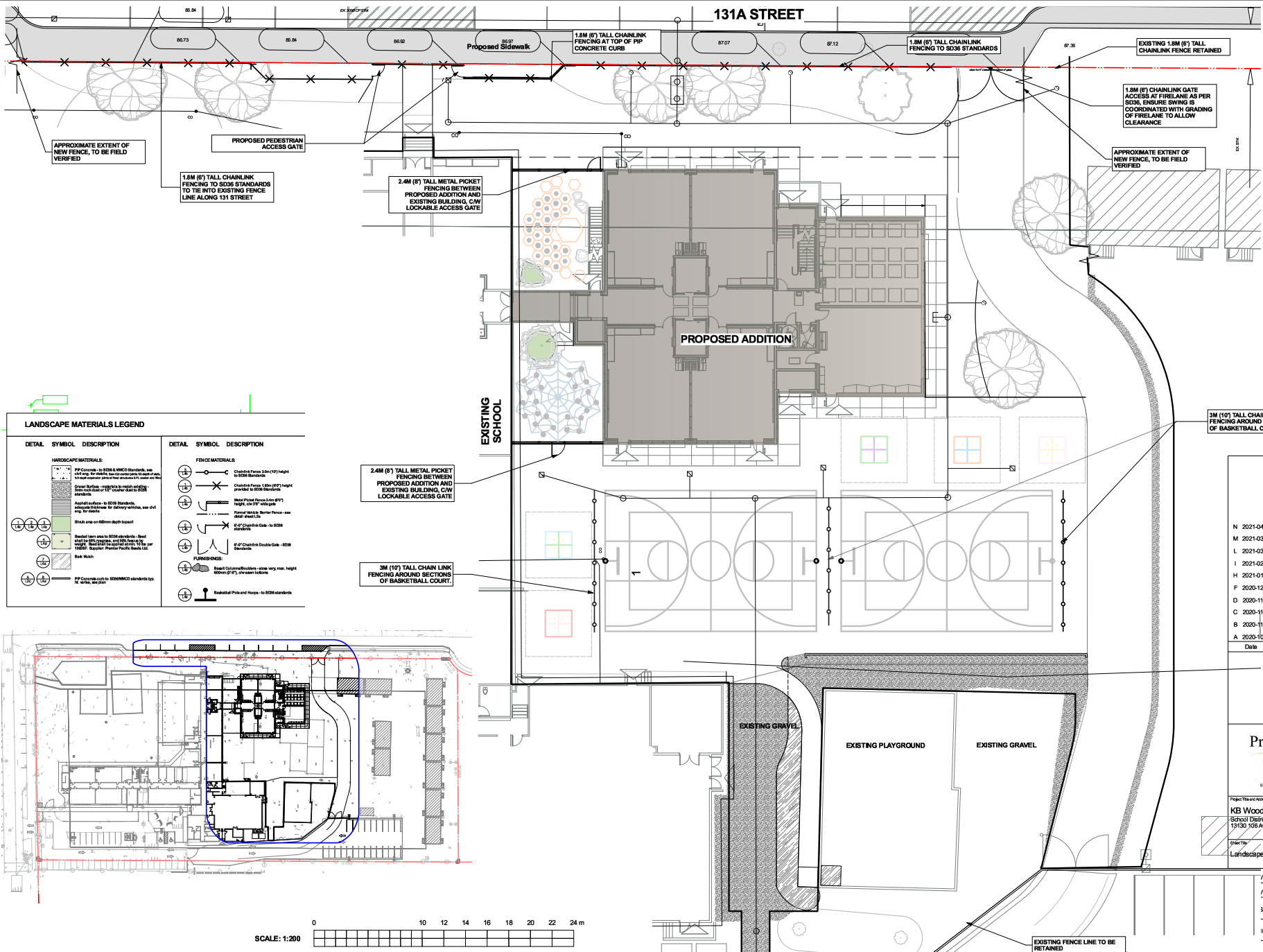


LANDSCAPE MATERIALS LEGEND		
DETAIL	SYMBOL	DESCRIPTION
<b>LANDSCAPE MATERIALS:</b>		
[Symbol]	PIP Concrete	to SD36 & WMC Standards, see civil eng. for details. See construction specification for all pipe materials and installation. 1" minimum depth. 4000 psi concrete with 1% steel reinforcement. 1" minimum depth. 4000 psi concrete with 1% steel reinforcement.
[Symbol]	Asphalt surface	to SD36 Standards. 40mm thickness for driveway vehicles, see civil eng. for details.
[Symbol]	Gravel	50mm max. 100mm depth base.
[Symbol]	Bedding	100mm max. 100mm depth base.
[Symbol]	Backfill	100mm max. 100mm depth base.
[Symbol]	PIP Concrete curb	to SD36/MCCO standards typ. 100mm max. depth.
<b>FENCE MATERIALS:</b>		
[Symbol]	Chainlink Fence	3.0m (10') height to SD36 Standards.
[Symbol]	Chainlink Fence	2.0m (6'7") height provided to SD36 Standards.
[Symbol]	Welded Mesh Fence	2.0m (6'7") height, 100mm x 100mm grid.
[Symbol]	Formed/Concrete Barrier Fence	see detail for details.
[Symbol]	6" Chainlink Gate	to SD36 Standards.
[Symbol]	6" Chainlink Double Gate	to SD36 Standards.
<b>FURNISHINGS:</b>		
[Symbol]	Reinforced Pole and Posts	to SD36 Standards.
<b>DRAINAGE MATERIALS:</b>		
[Symbol]	Asphalt	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.
[Symbol]	Gravel	see civil eng. for details.

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B 2020-11-03	DRAFT FOR REVIEW
A 2020-10-20	DRAFT FOR REVIEW

**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 #152 860 West Ave Vancouver, BC V6V 1Y3  
 604-690-1003 info@prospectandrefuge.ca  
 Working over 25 years of history in Jordan Lewis, Ltd.

Project Title and Address	
KB Woodward Elementary School School District N. 36 (Surrey) 13130 106 Ave, Surrey, BC V3T-2C3	
Project Manager	CV
Client	CV
Drawn by	AS
Checked by	AS
Date	2020-10-07
Project No.	2020-29
Date	1:150
Sheet No.	
<b>L2c</b>	



**LANDSCAPE MATERIALS LEGEND**

DETAIL SYMBOL	DESCRIPTION	DETAIL SYMBOL	DESCRIPTION
<b>HARDSCAPE MATERIALS:</b>			
	PIP Concrete - to SD36 & WMC Standards, see schedule for details, minor variations to schedule ok.		Chainlink Fence 3.0m (10') height to SD36 Standards
	Gravel Surface - subject to roughing and grading standards of BC Coastal Data to SD36 Standards		Chainlink Fence 1.8m (6') height to SD36 Standards
	Asphalt surface - to SD36 Standards, subject to roughing and grading standards of BC Coastal Data to SD36 Standards		Metal Picket Fence 2.4m (8') height, 100mm gaps
	Slab on grade - 150mm depth, 150mm		Metal Picket Fence 2.4m (8') height, 100mm gaps
	Asphalt surface - to SD36 Standards, subject to roughing and grading standards of BC Coastal Data to SD36 Standards		Chainlink Gate - to SD36 Standards
	H&M Mesh		Chainlink Double Gate - to SD36 Standards
	PIP Concrete path to WMC/SD36 standards typ. 150mm, 150mm		FURROWS: Road Gravel/Grass/Grass - deep, very fine, light brown (2-3), 150mm loose
			Residential Poles and Posts - to SD36 Standards

2.4M (8') TALL METAL PICKET FENCING BETWEEN PROPOSED ADDITION AND EXISTING BUILDING, C/W LOCKABLE ACCESS GATE

3M (10') TALL CHAIN LINK FENCING AROUND SECTIONS OF BASKETBALL COURT.

3M (10') TALL CHAIN LINK FENCING AROUND SECTIONS OF BASKETBALL COURT.

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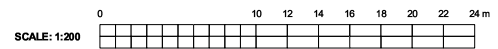
**Prospect & Refuge**

LANDSCAPE ARCHITECTS  
 #102-8411 18 2nd Ave Newmarket, BC V3L 1Y3  
 604-499-0023 info@prospectandrefuge.ca  
 Building on over 25 years of history in southern Lower Mainland.

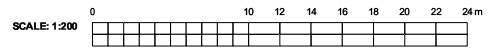
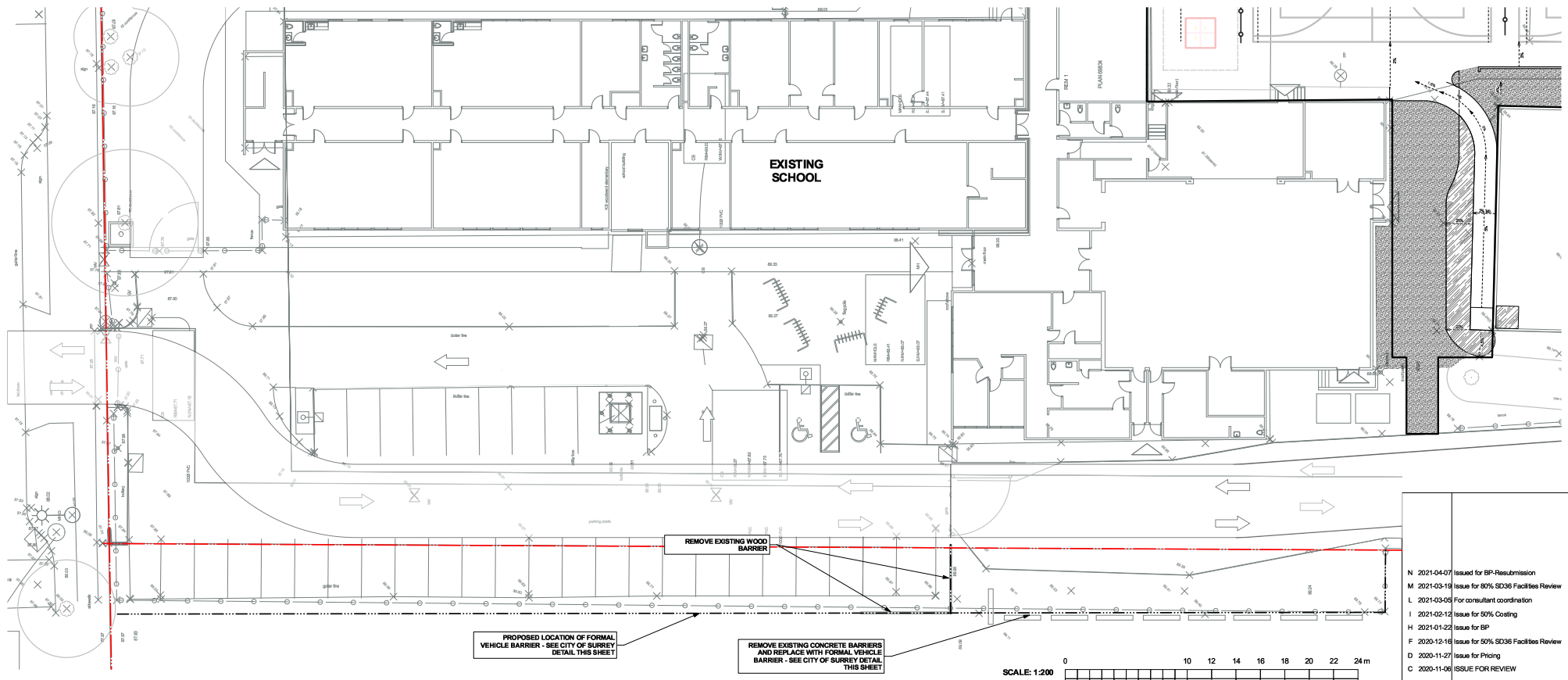
Project Title and Address  
**KB Woodward Elementary School**  
 School District N. 36 (Surrey)  
 13130 106 Ave, Surrey, BC V3T-2C3

Sheet Title  
**Landscape Fencing Plan**

Project No.	2020-29
Scale	1:150
Sheet No.	
	<b>L2d</b>
10-07	

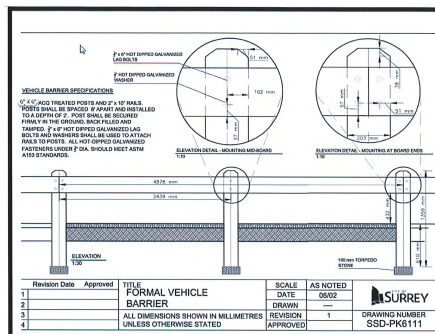


EXISTING FENCE LINE TO BE RETAINED



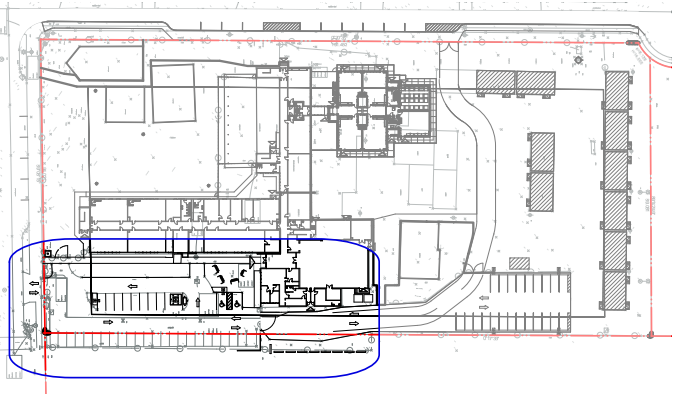
**SCHEDULE "B"**

**THE "FORMAL VEHICLE BARRIER PLANS"**



**LANDSCAPE MATERIALS LEGEND**

DETAIL SYMBOL DESCRIPTION		DETAIL SYMBOL DESCRIPTION	
	Handicap Access - 2200 Standard, 2.0m x 1.8m		Chain-link Fence - 3.0m (10') height to 8208 Standard
	Wood Post Fence - 3.0m x 20' height, 30% shadow		6\"/>
	6\"/>		6\"/>
	6\"/>		6\"/>
	6\"/>		6\"/>
	6\"/>		6\"/>



N 2021-04-07	Issued for BP-Resubmission
M 2021-03-19	Issue for 90% SD36 Facilities Review
L 2021-03-05	For consultant coordination
I 2021-02-12	Issue for 50% Costing
H 2021-01-22	Issue for BP
F 2020-12-16	Issue for 50% SD36 Facilities Review
D 2020-11-27	Issue for Pricing
C 2020-11-06	ISSUE FOR REVIEW
B 2020-11-03	DRAFT FOR REVIEW
A 2020-10-20	DRAFT FOR REVIEW

Date	Issue Notes

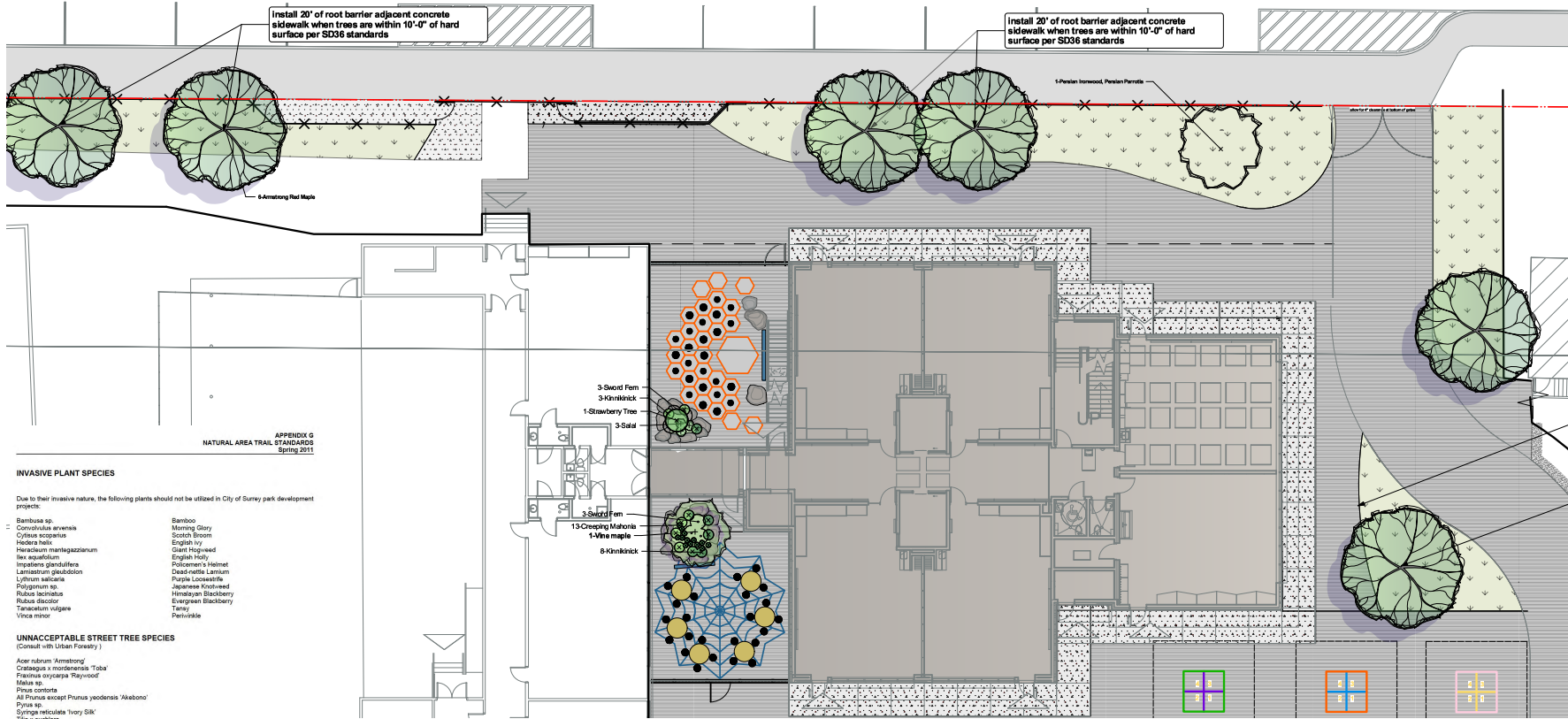
**Prospect & Refuge**

LANDSCAPE ARCHITECTS  
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 604-699-0023 www.prospectandrefuge.ca

Project File and Address:  
**KB Woodward Elementary School**  
 School District N. 36 (Surrey)  
 13130 108 Ave., Surrey, BC V3T 2C3

Sheet Title:  
**Landscape Fencing Plan**

Project Manager:	CV	Project No.:	2020-29
Drawn by:	CV	Scale:	1:150
Reviewed by:	AS	Sheet No.:	<b>L2e</b>
Date:	2020-10-07		



Vine Maple



Dwarf Strawberry Tree

Install 20' of root barrier adjacent concrete sidewalk when trees are within 10'-0" of hard surface per SD36 standards

note: tree planting requires growing medium 600mm (24") deep for a recommended area of 10m2 or greater as per the Canadian Landscape Standards, c/w 1.0m (3'-0") dia. mulched ring in lawn areas typ.

**APPENDIX G  
NATURAL AREA TRAIL STANDARDS  
Spring 2011**

**INVASIVE PLANT SPECIES**

- Due to their invasive nature, the following plants should not be utilized in City of Surrey park development projects:
- Bambusa sp.
  - Compositae arvensis
  - Cytisus scoparius
  - Hedera helix
  - Heracleum mantegazzianum
  - Illex aquifolium
  - Impatiens glandulifera
  - Lantana glandulifera
  - Lyrurus salicaria
  - Polypodium sp.
  - Rubus laciniatus
  - Rubus idaeus
  - Tanacetum vulgare
  - Vicia minor
  - Bamboo
  - Morning Glory
  - Scotch Broom
  - English Ivy
  - Giant Hogweed
  - English Holly
  - Polemon's Helmet
  - Dead-nettle Lamium
  - Purple Loosestrife
  - Jacquemine Knotweed
  - Himalayan Blackberry
  - European Blackberry
  - Tenney
  - Periwinkle

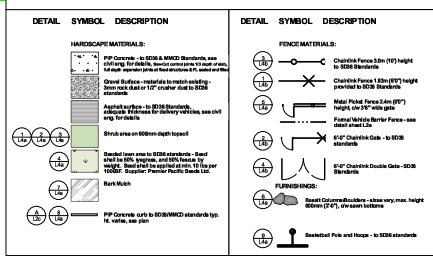
**UNACCEPTABLE STREET TREE SPECIES**  
(Consult with Urban Forestry)

- Acer rubrum 'Armstrong'
- Cornus x montanensis 'Toba'
- Fraxinus oxycarpa 'Raywood'
- Malus sp.
- Pinus contorta
- All Pinus except Pinus saccata/stricklandii 'Akadon'
- Pinus sp.
- Quercus reticulata 'Ivory Silk'
- Tilia x euclora
- Tilia cordata 'Greenland'
- Quercus pallustris
- Fraxinus excelsior 'Golden Dwarf'
- Fraxinus nigra 'Fall Gold'
- Rubus Prinosiderata 'Purple Rose'
- Magnolia salicoides
- Magnolia acuminata 'Yellow Bird'
- Magnolia butterfly
- Linderson tulipifera (Not to hang over any hardscape)

**Planting Notes**

- All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
- Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to the acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off site minimum soil depths are 6" (150mm) for lawn areas, 18" (450mm) for shrub beds and 30" (760 mm) for trees, unless noted differently on plans.
- Off site minimum planting media depths are:
  - 6" (150mm) for lawn areas
  - 18" (450mm) for shrub beds
  - 24" (600 mm) for trees for 10m2
- All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for container grown stock.
- Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plant shall supersede the list.
- All plant material to be supplied on the jobsite must be obtained from a nursery participating in the BC/NA PhytoPhythora ramorum Certification Program. Plant material provided by the contractor found to be carrying Pr will be removed, disposed of and replaced at the contractor's expense.
- Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions.
- Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.
- Root balls to be free of perennials weeds.
- Install 3" (70mm) of non-composted organic mulch on all shrub beds after planting and rake smooth.
- The prepared sub-grade shall be approved by the Landscape Consultant prior to application of top soil mixtures and finish grading.
- Landscape Contractor is to provide 360 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- The Landscape Consultant is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
- The Exact location of trees shall be determined on site and field fit subject to obstructions where applicable.
- Draw to show a check for trees, canopies, etc. also see notes for details on obstructions where applicable.

**LANDSCAPE MATERIALS LEGEND**



PLANT LIST	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Ac	Acer circinnatum	Vine maple	1	24" ht.	B & B
Am	Acer rubrum 'Armstrong'	Amur maple	6	7cm cal.	B & B
Pa	Parishia pectinata	Parish Inwood, Parish Peruvia	1	7cm	B & B
SHRUBS					
Str	Strawberry Tree	Strawberry Tree	1	#1 D pot	
Ar	Arctostaphylos uva-ursi	Kinrunkick	11	#1 pot	Cont.
Sal	Salix	Salal	3	#1 pot	Cont.
M	Magnolia	Magnolia	1	#1 pot	Cont.
Ma	Mahonia	Creeper Mahonia	13	#1 pot	Cont.
Em	Empetrum	Strawberry	1	#1 pot	Cont.

\*Note: all proposed shrub plant material is indigenous, evergreen (with the exception of Acer circinnatum) bird friendly and non-toxic. Chosen plant material can be incorporated into lesson plans by teachers through the fractal leaf patterns and indigenous uses. No substitutions unless approved by Landscape Architect.



Date	Issue Notes
N 2012-04-07	Issued for BP-Resubmission
M 2012-03-19	Issue for 80% SD36 Facilities Review
L 2012-03-05	For consultant coordination
I 2012-02-12	Issue for 50% Costing
H 2012-01-22	Issue for BP
D 2010-12-16	Issue for 50% SD36 Facilities Review
F 2010-11-27	Issue for Pricing

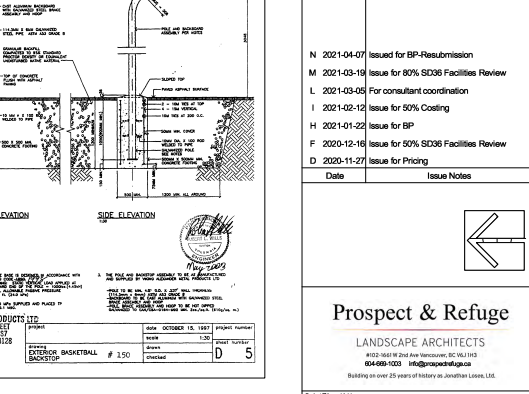
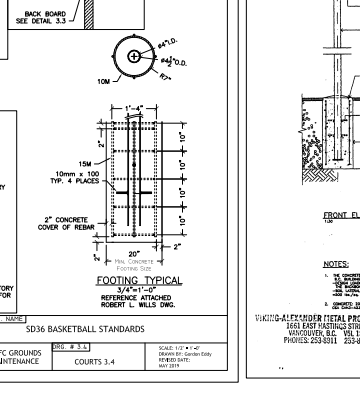
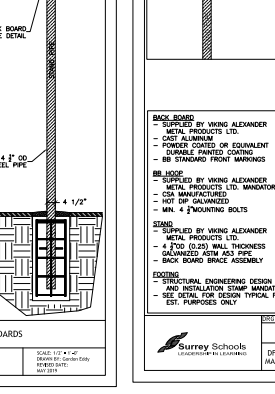
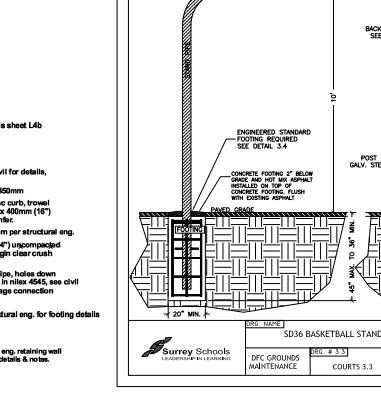
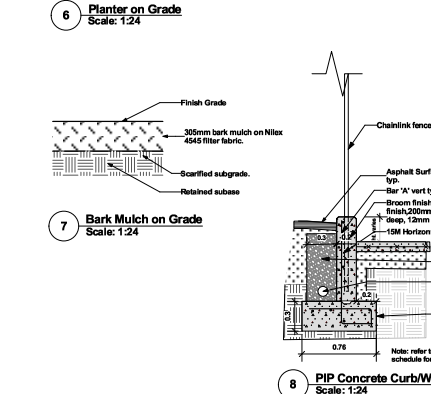
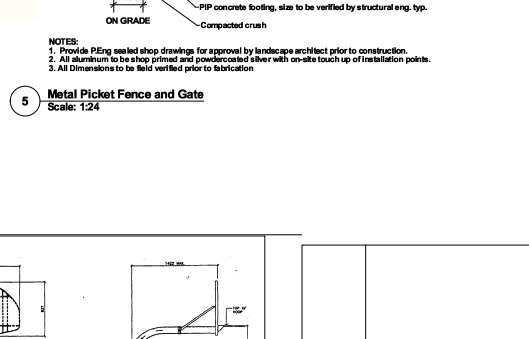
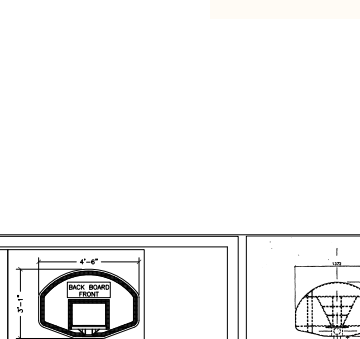
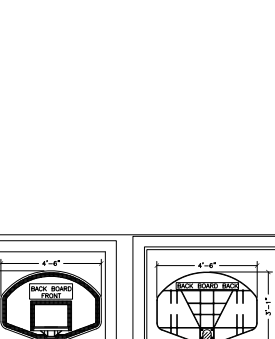
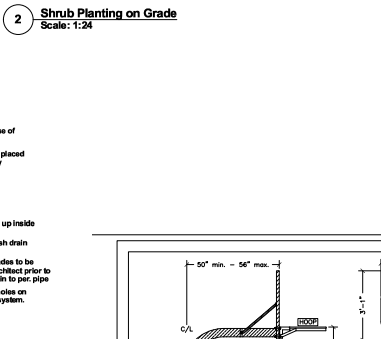
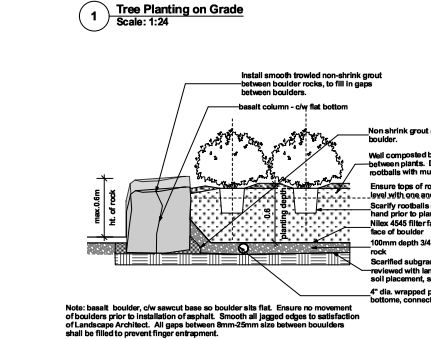
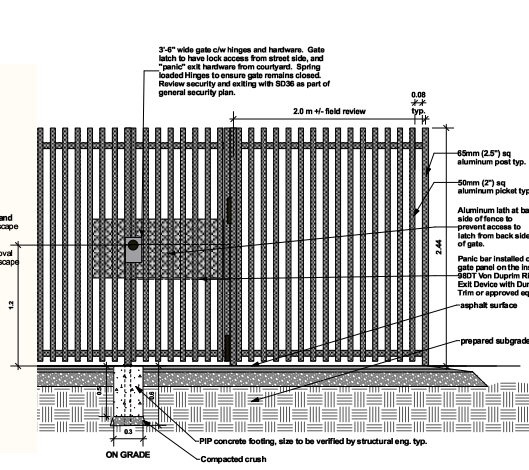
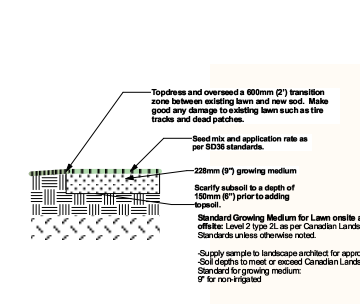
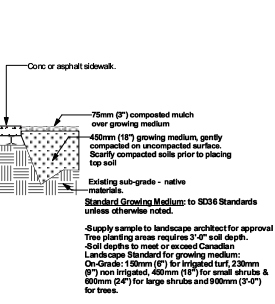
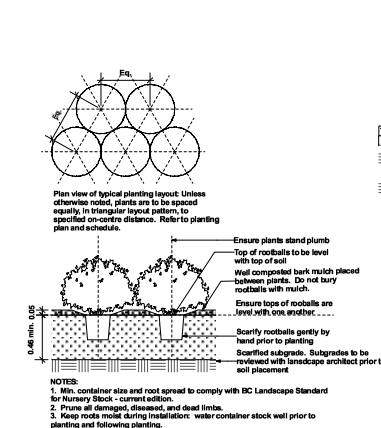
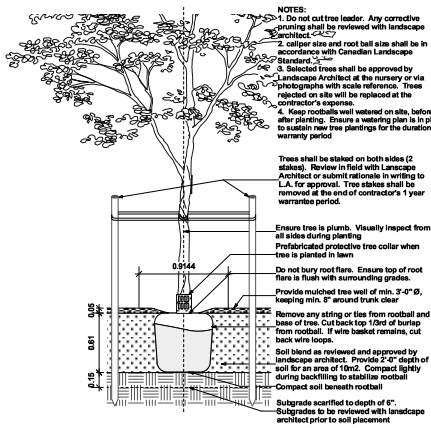
**Prospect & Refuge**

LANDSCAPE ARCHITECTS  
4020 West 24th Street, Vancouver, BC V6L 2Y1  
604-693-1033 info@prospectandrefuge.ca  
Established over 25 years of history in the Pacific Northwest, USA.

Project Title and Address  
**KB Woodward Elementary School**  
School District N, 36 (Surrey)  
13130 108 Ave, Surrey, BC V3T 2C3

Draw Title  
**Landscape Planting Plan**

Project Manager	CV	Project No.	2020-29
Drawn by		Date	1/50
Reviewed by		Sheet No.	
AS			



N 2021-04-07	Issued for BP-Remediation
M 2021-03-19	Issue for 80% SD36 Facilities Review
L 2021-03-05	For consultant coordination
I 2021-02-12	Issue for 50% Costing
H 2021-01-22	Issue for BP
F 2020-12-16	Issue for 50% SD36 Facilities Review
D 2020-11-27	Issue for Pricing

Date	Issue Notes
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Prospect & Refuge

LANDSCAPE ARCHITECTS

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Working on over 25 years of history in Southern Lower Mainland.

Project Title and Address

KB Woodward Elementary School  
School District N. 36 (Surrey)  
13130 108 Ave., Surrey, BC V3T 2C3

Scale: 1:24

Project Manager: CV  
Drawn by: AS  
Reviewed by: AS

Project No.: 2020-29  
Date: as noted  
Sheet No.: D 5

Project Title and Address

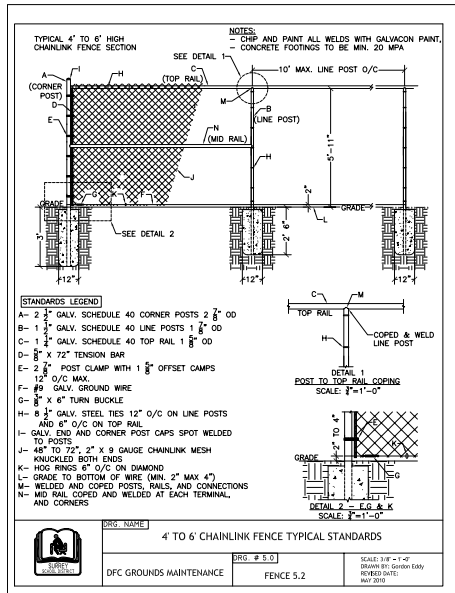
KB Woodward Elementary School  
School District N. 36 (Surrey)  
13130 108 Ave., Surrey, BC V3T 2C3

Scale: 1:24

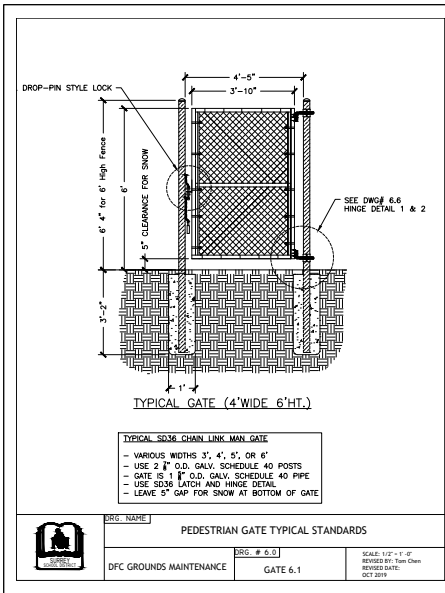
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Drawn by: AS  
Reviewed by: AS

Project No.: 2020-29  
Date: as noted  
Sheet No.: D 5

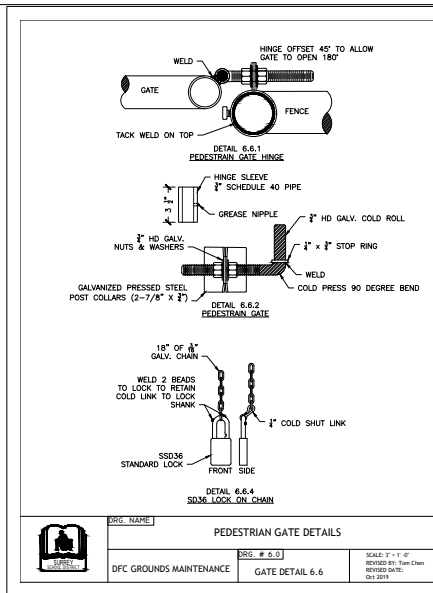
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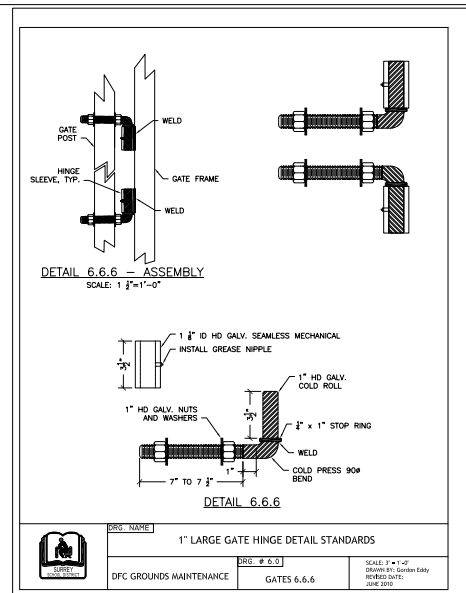
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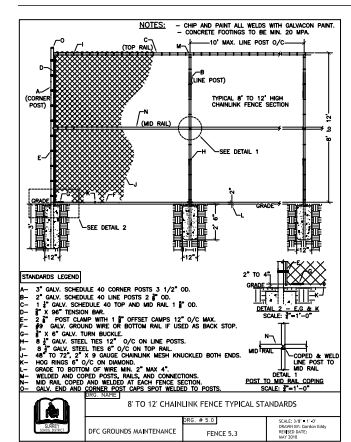
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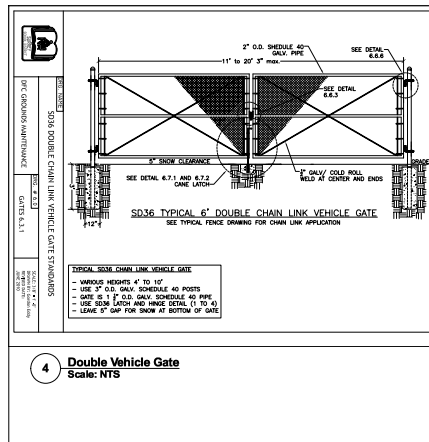
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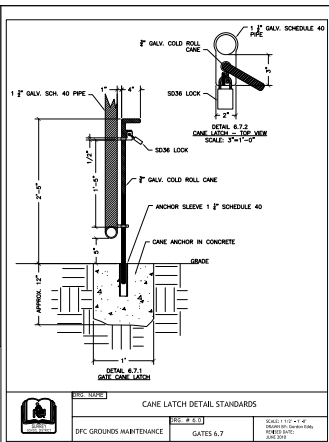
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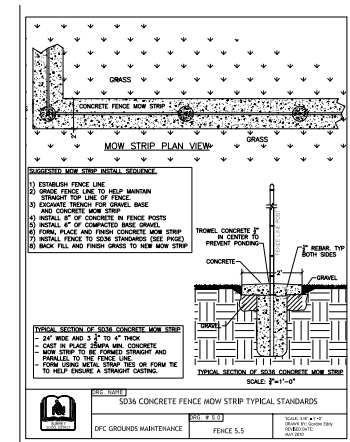
3 8' to 12' Chainlink Fence  
Scale: NTS



4 Double Vehicle Gate  
Scale: NTS




5 Gate Latch Detail Standards  
Scale: NTS



5 Concrete How Strip  
Scale: NTS

N	2021-04-07	Issued for BP-Resubmission
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D	2020-11-27	Issue for Pricing
Date		Issue Notes



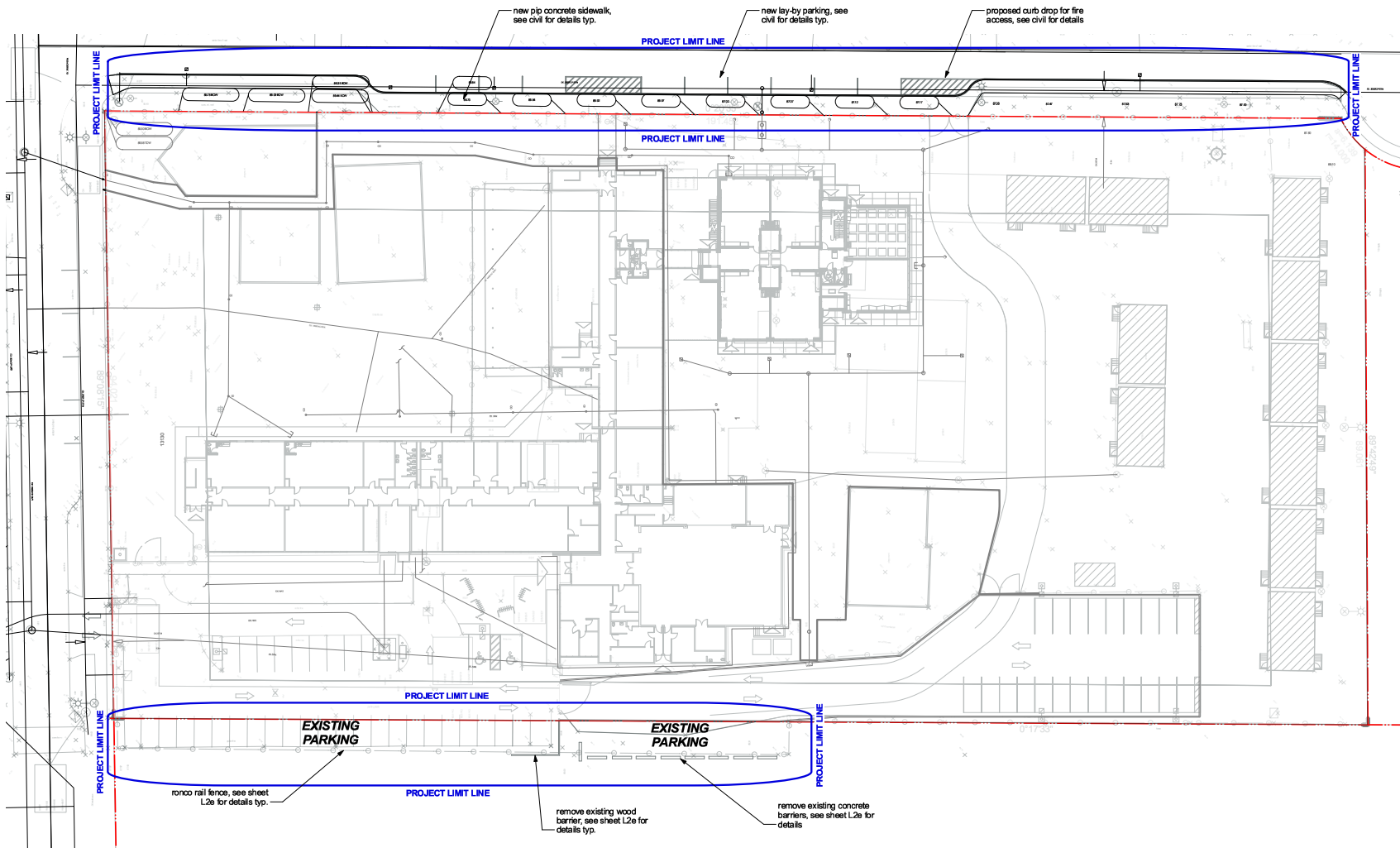
**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
402-944-2142 and Ave. Westwood, DC 161103  
604-680-0023 | info@prospectandrefuge.ca

Project File Name:  
**KB Woodward Elementary School**  
School District N. 36 (Surrey)  
13130 106 Ave., Surrey, BC V3T-2C3

Sheet No:  
**Landscaping Detail Cutsheets**

Project Manager	CV	Project No.	2020-29
Drawn by	Scale	Sheet No.	as noted
Reviewed by	AS	Sheet No.	
Date	2020-10-07		

**L4b**



SCALE 1:500

- N 2021-04-07 issued for BP-Resubmission
- M 2021-03-19 issue for 80% SD36 Facilities Review
- J 2021-02-12 issue for 50% Costing
- F 2020-12-16 issue for 50% SD36 Facilities Review
- D 2020-11-27 issue for Pricing

Date	Issue Notes



## Prospect & Refuge

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Building on over 25 years of history as Jonathon Loates Ltd.

Project File and Address  
**KB Woodward Elementary School**  
 School District N. 36 (Surrey)  
 13130 108 Ave, Surrey, BC V3T-2C3

Sheet Title	
<b>Offsite Landscape Plan</b>	
Project Manager	Project No.
CV	2020-29
Drawn by	Scale
AS	1:300
Reviewed by	Sheet No.
AS	
Date	<b>L5</b>
2020-10-07	