

City of Surrey  
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0552-00

Planning Report Date: May 4, 2020

PROPOSAL:

- Development Permit

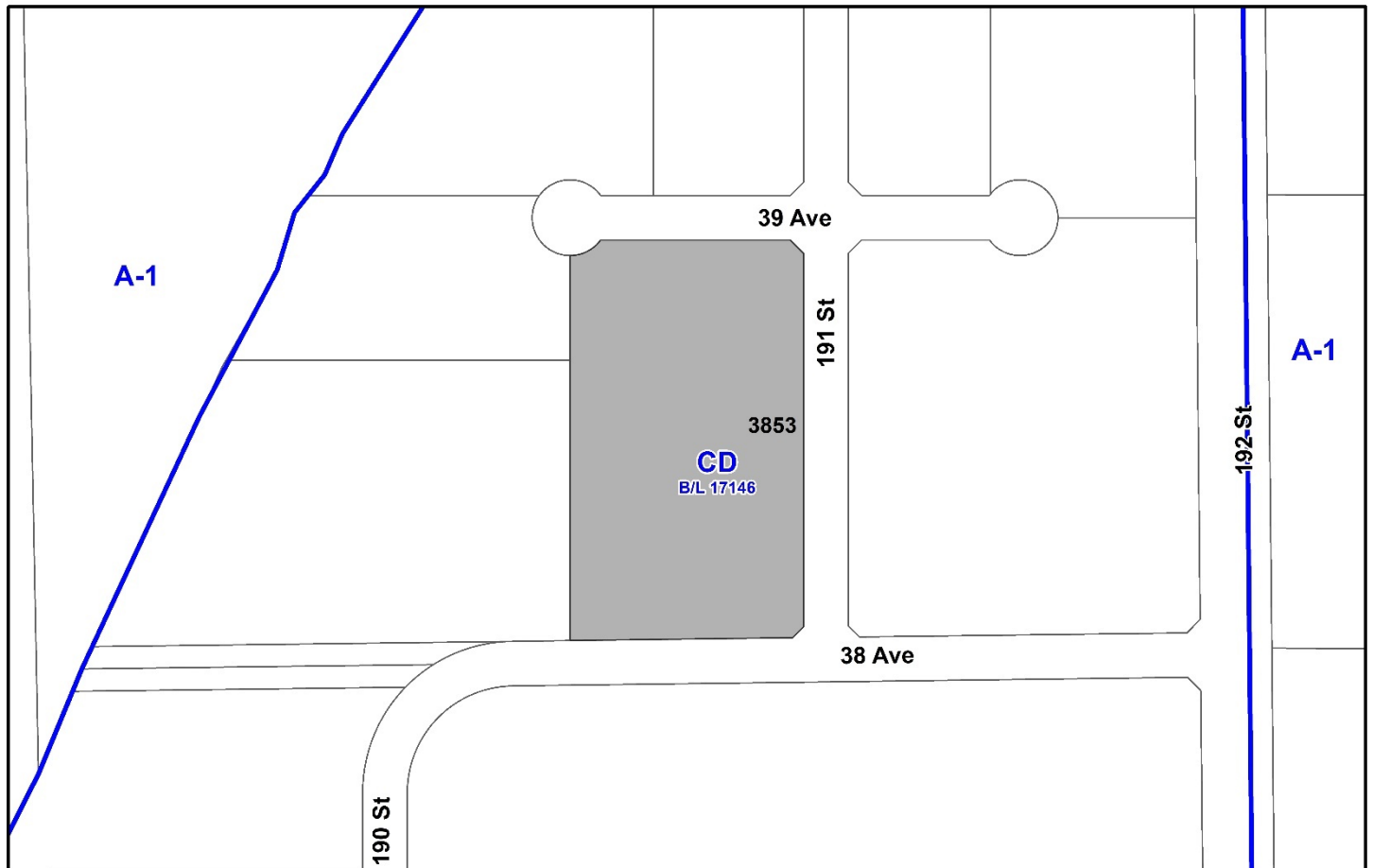
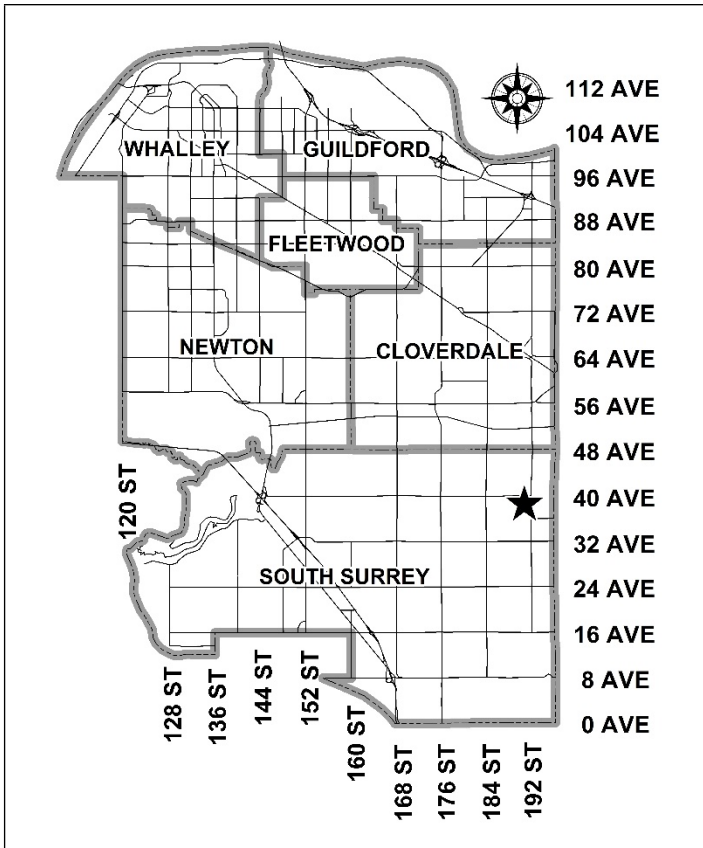
to permit the development of 8,359 square metre multi-tenant industrial building.

LOCATION: 3853 - 191 Street

ZONING: CD (By-law No. 17146, as amended by By-law No. 17934)

OCP DESIGNATION: Mixed Employment

NCP DESIGNATION: Business Park



**RECOMMENDATION SUMMARY**

- Approval and issuance of Development Permit.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- None.

**RATIONALE OF RECOMMENDATION**

- The subject application was considered by Council at the Regular Council-Land Use Meeting of October 1, 2018. At this meeting, Council granted approval for staff to draft Development Permit No. 7917-0552-00.
- The original design allowed for a single tenant to occupy the building. The applicant is proposing changes to the architectural plans prior to Final Approval of the Development Permit that can accommodate a multi-tenant industrial building.
- The form and character of the revised building are appropriate for this part of Campbell Heights and consistent with the guidelines in the site's General Development Permit (Development Permit No. 7910-0032-00) and design guidelines for Campbell Heights North.

## RECOMMENDATION

1. Council approve Development Permit No. 7917-0552-00 and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant industrial land	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
North (Across 39 Avenue):	Vacant industrial land (Approved Development Permit No. 7917-0267-00 for single tenant industrial buildings)	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
East (Across):	Vacant industrial land (Approved Development Permit No. 7918-0044-00 for a multi-tenant industrial building)	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
South (Across 38 Avenue):	Vacant industrial land (Approved Development Permit No. 7919-0203-00 for single-tenant industrial building)	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
West:	Vacant industrial land	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)

### Context & Background

- At the Regular Council – Land Use Meeting of October 1, 2018, Council approved staff to draft Development Permit No. 7917-0552-00.
- The application originally consisted of three properties, which has now been consolidated into one lot through Land Titles Office (LTO) with an application to cancel interior lot lines. A new property title has been obtained, and the new property address for the site is 3853 191 Street.

- In the time since Council considered the initial Planning Report for this application, the applicant has revised their proposal (site plan and building design) to accommodate a future multi-tenant building. The original plans were for a single-tenant industrial building, and the changes are proposed so the space can be more easily leased in the future. It is understood that the original tenant will occupy one of the smaller units in the building.
- Should Council support the proposed changes then an amended Development Permit would be issued reflecting the updated drawings.
- The building area, lot coverage and setbacks have also been revised. The table below outlines the changes made from the previous and current proposal.

CD Zone	Original Development Permit	Proposed Changes
<b>Floor Area:</b>	9,147 m <sup>2</sup>	Warehouse: 7,915 m <sup>2</sup> Mezzanine: 444 m <sup>2</sup> Future Mezzanine: 1,195 m <sup>2</sup> Total: 9,554 m <sup>2</sup>
<b>Lot Coverage:</b>	47%	42%
<b>Yards and Setbacks</b>		
North:	7.5m	7.5m
East:	20.2m	24.8m
South:	7.5m	7.5m
West:	18.2m	25.9m
<b>Height of Buildings</b>		
Principal building:	12.0m	12.0m
<b>Parking</b>		
Industrial:	Required: 103 stalls Provided: 103 stalls	Required: 91 stalls Provided: 123 stalls

## Design Revisions

### Site Layout

- The revised site plan is generally consistent with the original site plan. The proposed entrances to the site are generally in the same location, however, the two entrances along 191 Street have been reduced in width to 9.0 metres to be consistent with Transportation Division comments.
- The original development proposed a gross floor area of 9,147 square metres, with no additional mezzanine proposed at the time. The revised development proposes a gross floor area of 8,359 square metres, of which 444 square metres is mezzanine space. Additional future mezzanine space of 1,195 square metres is also being proposed. The site plan has been revised to accommodate these revisions by reducing the building size and provides additional parking spaces on the site to account for additional and future mezzanine office space.

- The original proposal provided 103 parking spaces on the site. The revised proposal includes a total of 123 spaces, which exceeds the minimum parking spaces required under the Zoning By-law of 121 spaces. A total of 80 spaces are required for the warehouse use, 11 spaces are required for mezzanine office space, and 30 spaces are required for future mezzanine space for total of 121 spaces.

### Building Design

- The proposed changes to the building design are consistent with the original proposal. The following provides an overview of the general architectural changes that are proposed.
- The original proposal utilized glazing, detailed reveal lines break up the building façade along the streets, and a canopy which is proposed along the main entrance, fronting 191 Street, which will provide weather protection for future users.
- The revised proposal has kept these features and provides additional glazing to all ground floor panels. The building corners have also been revised to remove the projection of the window glazing, additional glazing has been provided on the ground floor panel and the colour scheme has been revised to a darker accent grey to emphasize the corners for a visual appeal.
- The original proposal is a concrete tilt-up building with curtain wall glass and had a modern linear appearance. The revised proposal has added further delineation of the long expanse by accentuating five areas of the east elevation to add more visual interest.
- The revised proposal has added darker colour massing and contrasting colour banding between windows. The colour scheme for the building is used to differentiate the building units, and will be finished in shades of grey, and white accent colours.
- Additional loading bay areas have also been added along the west elevation. The original proposal identified 16 loading bays for a single tenant, however, the new proposal has identified 29 loading bays between three units.
- Screen walls have been added to the South Elevation (38 Street) and North Elevation (39 Street). The screen walls are approximately 7.6 metres wide and 5.6 metres high to obscure loading areas from the street. The screen walls are finished in the same material and accent colours as the proposed building.

### Landscaping

- An updated arborist report was not required as there are currently no trees and little vegetation on the property and adjacent properties.
- The proposed landscaping is consistent with the previous proposal. The applicants are proposing a 7.5-metre wide landscape strip along 38 Avenue and 39 Avenue, a 5.0-metre wide landscape strip along 191 Street, and a 1.5- metre wide landscape strip along the west property line.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix A. Site Plan, Building Elevations and Landscape Plans
- Appendix B. Original Planning Report dated October 1, 2018

*approved by Shawn Low*

Jean Lamontagne  
General Manager  
Planning and Development

HS/cm

PROPOSED BUILDING for:  
**LEGACY HOLDINGS**

**Appendix A**

ADDRESS: 3853 - 191st STREET, SURREY, BC  
 LEGAL: LOTS 6, 7 & 8, SECTION 28, TOWNSHIP 7, NWD, PLAN EPP72139



**CHIP BARRETT ARCHITECT**  
 100-1000  
 1480-1530-1572  
 1480-1530-1572

**D.FORCE DESIGN INC.**  
 IN ASSOCIATION WITH  
 2655A ALLIANCE STREET, ABNEYFORD, B.C., V2E 3J9  
 TEL: (604) 807-8855 EMAIL: DARC@DFORCE.COM

The drawing is an electronic file and is not to be printed. It is the responsibility of the user to ensure that the drawing is printed correctly. The user is responsible for any errors or omissions in the drawing. The user is responsible for any errors or omissions in the drawing.

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13	MAR 24 20	ISSUED FOR P.P.
12	MAR 18 20	ISSUED FOR P.P.
11	MAR 04 20	FOR LET COORDINATION
10	MAR 02 20	ISSUED FOR P.P.
9	FEB 03 20	ISSUED FOR P.P.
8	MAR 20	ISSUED FOR CONSULTANT USE
7	DEC 12 19	ISSUED FOR PERMIT
6	DEC 06 19	FOR REVIEW
5	NOV 21 19	PLANNING REVIEW
4	OCT 30 19	PLANNING REVIEW
3	OCT 21 19	REVIEW
2	OCT 08 19	CONSULTANT USE
1	SEP 26 19	ISSUED FOR P.P.

**ARCHITECTURAL DRAWING LIST**

COVER SHEET	A-0
SITE PLAN	A-1
CONTENT PLAN & SITE PLAN DETAILS	A-1.1
SITE PLAN DETAILS	A-1.2
GRAND FLOOR PLAN	A-2
UPPER FLOOR PLAN	A-2.1
ROOF PLAN	A-2.2
OVERALL COLOURED ELEVATIONS	A-4

**ORION CONSTRUCTION**

ORION CONSTRUCTION  
 107 - 19052 26 AVENUE,  
 SURREY, BC, V2E 2V7  
 Phone: (778) 554-5086

PROJECT: PROPOSED MULTI-TENANT BUILDING for

**LEGACY HOLDINGS**

ADDRESS: 3853 - 191st ST SURREY, BC

DRAWING:

**COVER SHEET**

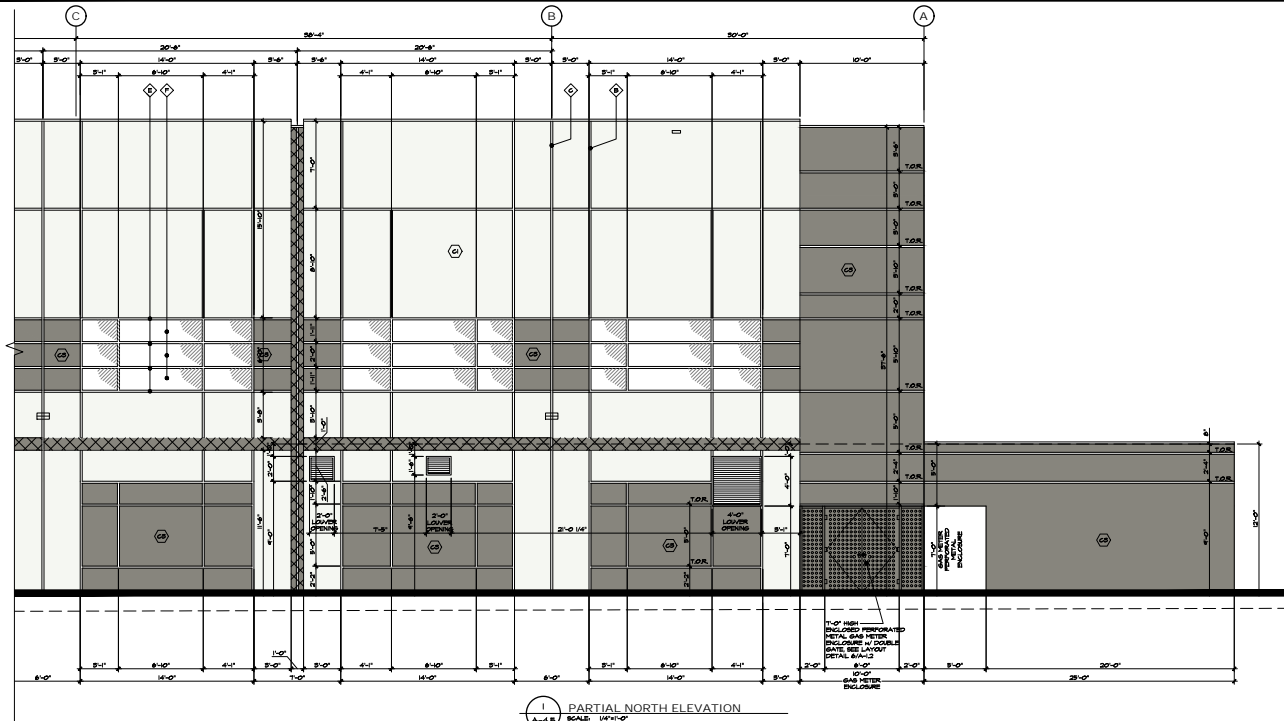
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	DESIGNED	
	CHECKED C.B.	
	PLOT DATE MAR 24 20	

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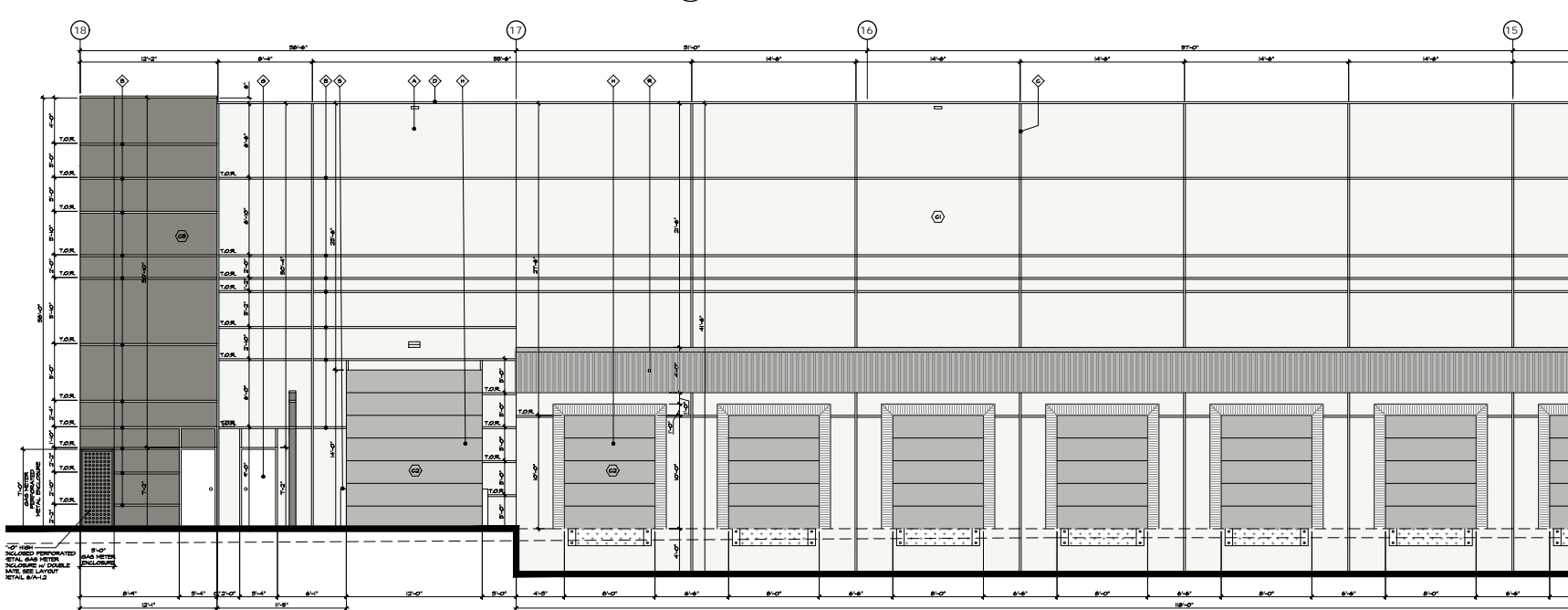








1 PARTIAL NORTH ELEVATION  
SCALE: 1/4"=1'-0"



2 PARTIAL WEST ELEVATION  
SCALE: 1/4"=1'-0"

This drawing is an instrument of service in the Province of British Columbia and shall be used only for the project and site identified herein. It shall not be used for any other project or site without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The architect shall not be responsible for any delays or interruptions in the progress of the project or for any consequences arising therefrom. The architect shall not be responsible for any costs or expenses of any kind incurred by the client.

NO.	DATE	DESCRIPTION
1	DEC 2018	ISSUED FOR PERMIT
2	DEC 2018	FOR REVIEW
3		
4		
5		
6		
7	APR 28 2020	UPDATED GAS METER ENCLOSURE
8	MAY 20 2020	RE-ISSUED FOR PERMIT
9	MAY 20 2020	FOR PERMIT COORDINATION
10	JAN 31 2021	ISSUED FOR CONSULTANT USE
11	MAY 10 2021	RE-ISSUED FOR PERMIT
12		
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14		
15		
16		
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19		
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22		
23		
24		

**ORION CONSTRUCTION**  
ORION CONSTRUCTION  
107 - 15000 26 AVENUE  
SURREY BC, V3Z 3V7  
PHONE: (778) 554-0066

PROJECT: PROPOSED MULTI-TENANT BUILDING BY  
**LEGACY HOLDINGS**  
ADDRESS: 3803 - 151st ST, SURREY, BC

DRAWING: DETAILED PARTIAL ELEVATIONS

REV	DATE	DESCRIPTION
7	APR 28 2020	

PROJECT - DRAWING NUMBER: A-4.5

**LEGEND**

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	STAMPED CONCRETE WALKWAY
	BENCH
	PICNIC TABLE
	BIKE RACK

10	2504/20	ISSUED FOR DP
9	1803/20	ISSUED FOR TENDER
8	1803/20	ISSUED FOR BP
7	06/12/19	ISSUED FOR BP
6	26/11/19	ISSUED FOR DP
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4	25/09/18	ISSUED FOR DP
3	13/06/18	ISSUED FOR REVIEW
2	24/05/18	ISSUED FOR DP
1	30/10/17	ISSUED FOR REVIEW

NO. DATE (YYYY) DESCRIPTION  
 ISSUES & REVISIONS

SCALE



PROJECT NAME  
**LEGACY HOLDINGS**

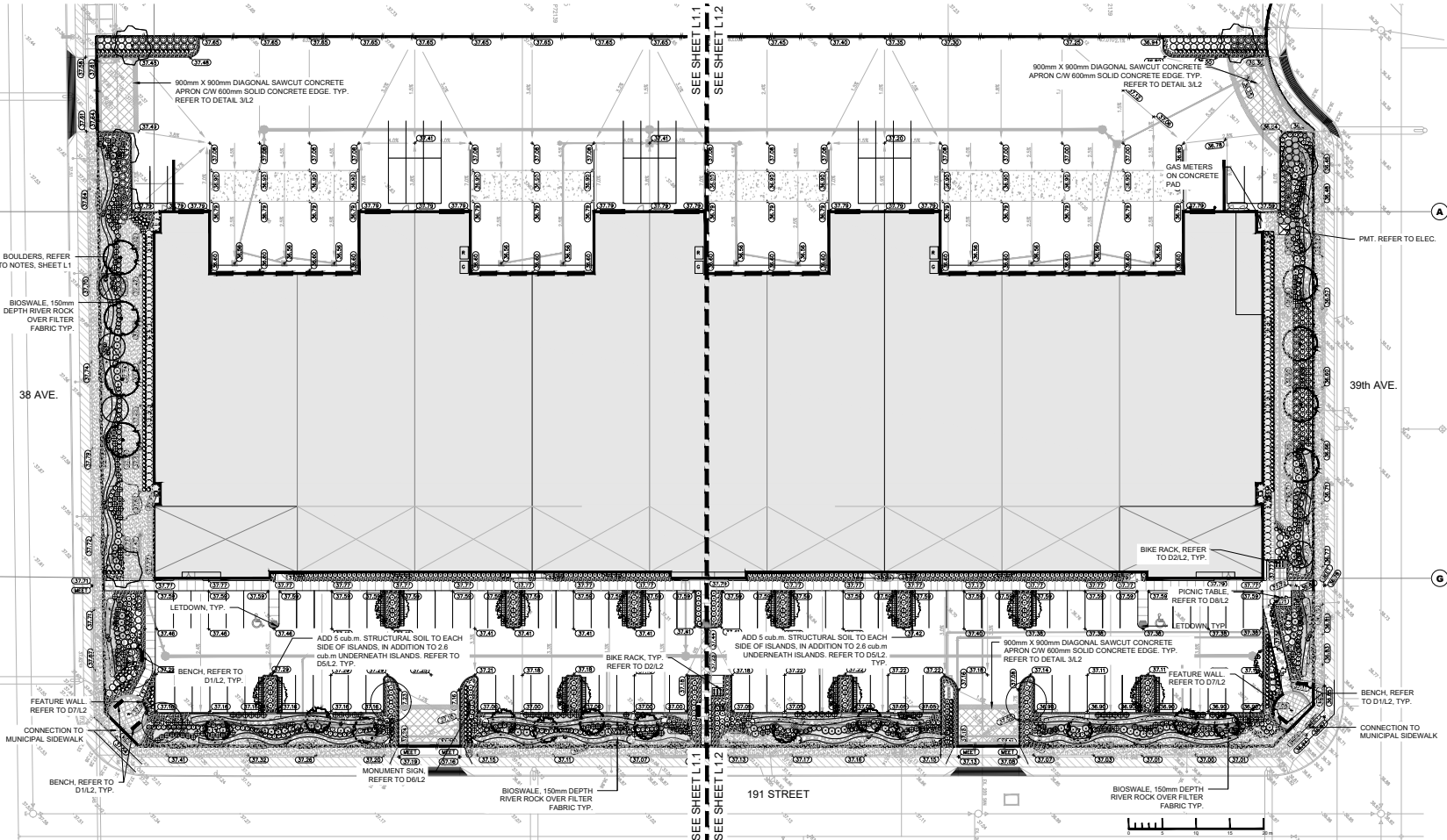
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**3853 - 191 STREET  
 SURREY, BC**

DRAWING TITLE  
**OVERALL LANDSCAPE  
 PLAN**

SCALE: 1:300  
 DRAWN: RM  
 CHECKED: ST  
 PROJECT NO: 170584-L

DRAWING NO. **L1**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHALL NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTORS OWN EXPENSE.
  - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORK. RESTRICTION, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

**BOULDERS**, bury average of 0.15-0.25m below surface, size at minimum:  
 44 S = SMALL AT 0.6m l. x 0.6m w. x 0.6m ht., 0.5m showing above surface, 6 tonne each  
 CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING



**PLANT LIST - ENTIRE SITE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
<b>DECIDUOUS TREES</b>					
Ac	7	<i>Acer circinatum</i>	Vine Maple	6cm cal.	MULTI-STEM W.B.
Fm	8	<i>Acer Freemanii</i>	Freeman Maple	6cm cal.	W.B.
Fp	7	<i>Fraxinus pennsylvanica 'Palmore'</i>	Palmore Ash	6cm cal.	W.B.
Ac	13	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	6cm cal.	MULTI-STEM W.B.
Gb	6	<i>Ginkgo Biloba</i>	Maidenhair Tree	6cm cal.	W.B.
Zs	11	<i>Zelkova serrata 'Green Vase'</i>	Japanese Zelkova	6cm cal.	W.B.
<b>SHRUBS</b>					
⊙	283	<i>Escallonia 'Newport Dwarf'</i>	Newport Dwarf Escallonia	30cm ht.	#3 Pot
⊙	80	<i>Eucynurus japonicus 'Green Spire'</i>	Green Spire Eucynurus	80cm ht.	#5 Pot
⊙	82	<i>Kalmia latifolia 'Carouse'</i>	Carouse Mountain Laurel	60cm ht.	#3 Pot
⊙	103	<i>Mahonia aquifolium</i>	Oregon Grape Holly	60cm ht.	#5 Pot
⊙	59	<i>Ilex glabra</i>	Inkberry Holly	60cm ht.	#5 Pot
⊙	12	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.5m ht.	B&B
⊙	366	<i>Lonicera nitida 'Ophelia'</i>	Ophelia Honey Suckle	40cm ht.	#3 Pot
⊙	280	<i>Viburnum davidii</i>	David's Viburnum	40cm ht.	#3 Pot
<b>PERENNIALS, GRASSES AND VINES</b>					
⊙	291	<i>Rudbeckia hirta</i>	Blackeyed Susan	1 Gallon	#1 Pot
⊙	864	<i>Nassella tenuissima</i>	Mexican Feather Grass	1 Gallon	#1 Pot
⊙	54	<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gallon	#1 Pot
⊙	190	<i>Euthrochium purpureum</i>	Joe Pye Weed	1 Gallon	#1 Pot
⊙	108	<i>Carex 'Ice Dance'</i>	Ice Dance Carex	1 Gallon	#1 Pot
⊙	38	<i>Calamagrostis actulifolia 'Overdam'</i>	Feather Reed Grass	1 Gallon	#1 Pot

**LEGEND**

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	STAMPED CONCRETE WALKWAY
	BENCH
	PICNIC TABLE
	BIKE RACK

10	23/04/20	ISSUED FOR DP
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1	30/10/17	ISSUED FOR REVIEW

NO. DATE (yyyy) DESCRIPTION  
 ISSUES & REVISIONS

SEAL



PROJECT NAME  
**LEGACY HOLDINGS**

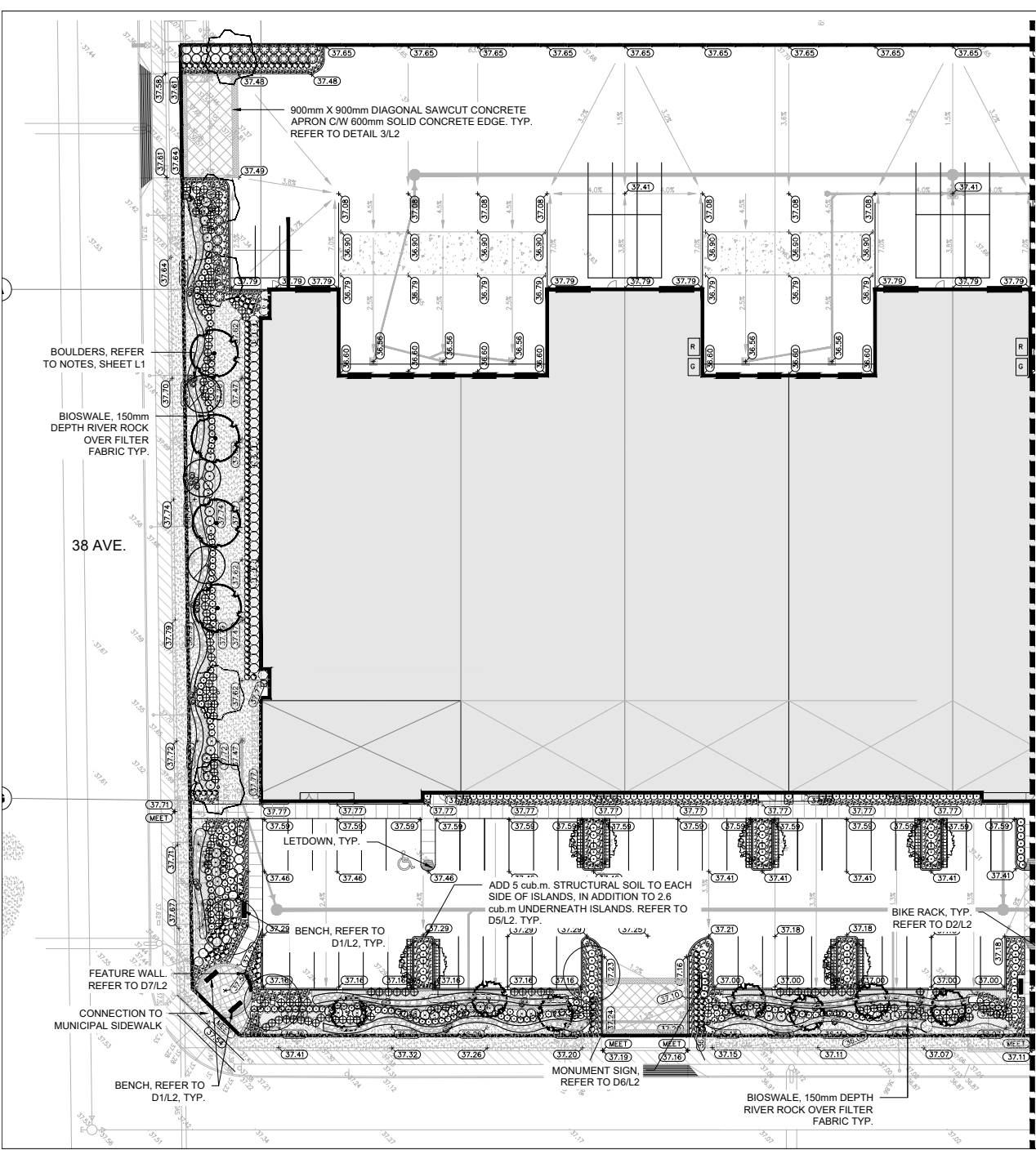
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**3853 - 101 STREET  
 SURREY, BC**

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**ENLARGEMENT PLAN**

SCALE: 1:200  
 DRAWN: RM  
 CHECKED: ST  
 PROJECT NO: T7098-04

DRAWING NO.  
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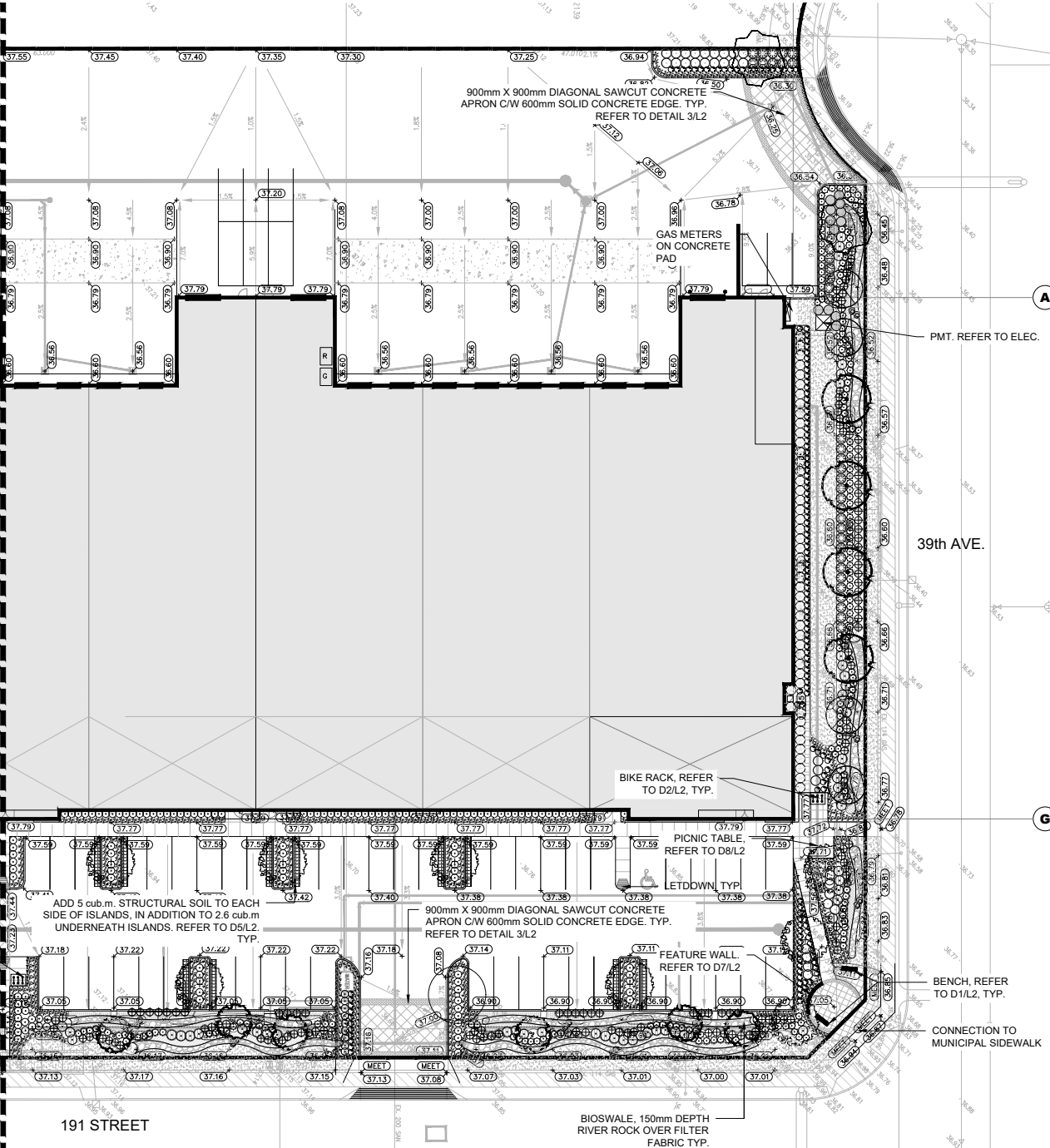


SEE SHEET L1.2

SEE SHEET L1.2

SEE SHEET L1.1

SEE SHEET L1.1



- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SHADDED AT THE TIME OF PLANTING.
  4. **TREE PROTECTION**, PER THE MUNICIPAL DETAIL IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  7. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARDS AND MUNICIPAL LANDSCAPE STANDARDS FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  8. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  9. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    - 9.1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of being watered by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
    - 9.2. Maintenance and additional installation of mulch.
    - 9.3. Weed removal.
    - 9.4. Disease control.

- SODDING NOTES**
1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOG, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF (D) VARIETIES OF KENTUCKY BLUEGRASS
    - 40% CREeping RED FESCUE
    - 20% PERENNIAL RYEGRASS
    - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
  2. AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
  3. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  4. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
    - 4.1. DELIVER SOG TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 48 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOG FROM DRYING, AND WATER SOG AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOG IN HANDLING. DRY SOG WILL BE REJECTED.
    - 4.2. LAY SOG DURING GROWING SEASON. LAY SOG IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
    - 4.3. WATER SOG IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.



- LEGEND**
- TURF GRASS
  - CONCRETE SIDEWALK FINISH
  - STAMPED CONCRETE WALKWAY
  - BENCH
  - PICNIC TABLE
  - BIKE RACK

NO.	DATE (YYYY)	DESCRIPTION
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ISSUES & REVISIONS

SCALE



PROJECT NAME  
**LEGACY HOLDINGS**

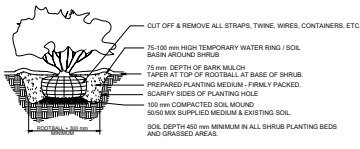
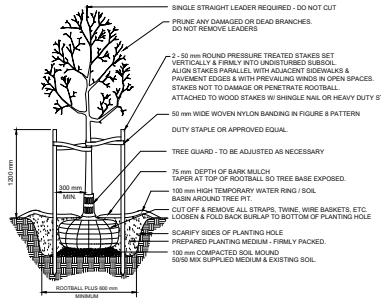
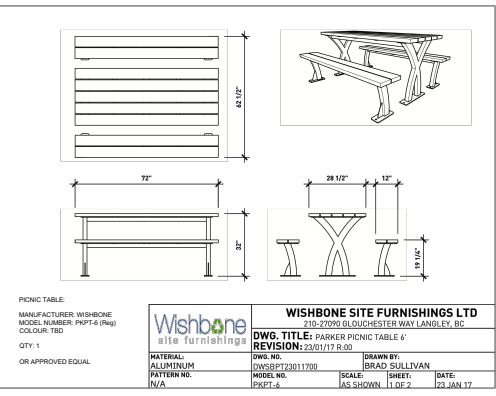
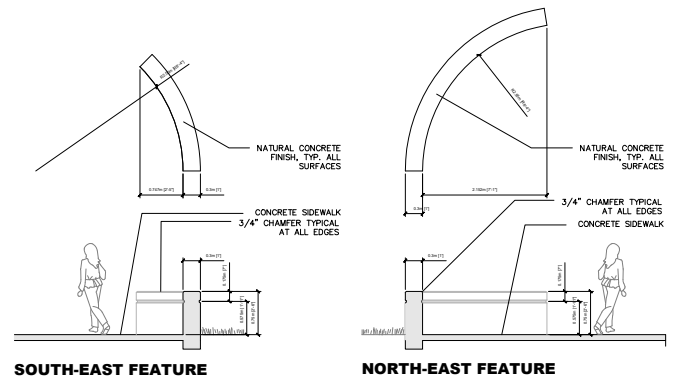
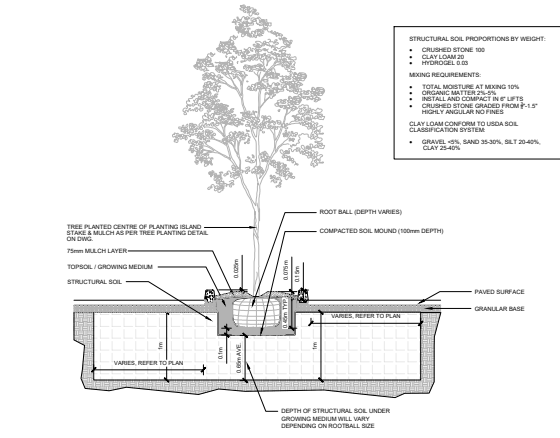
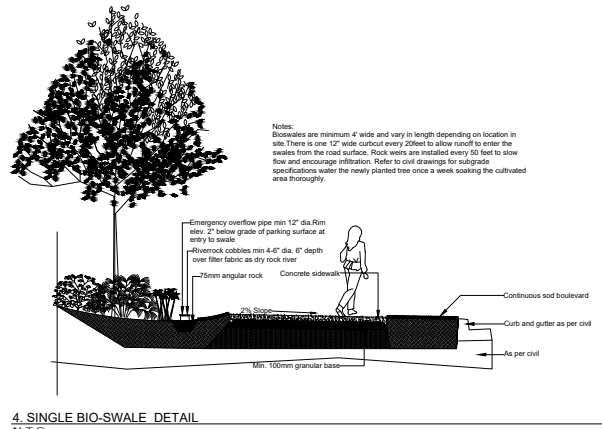
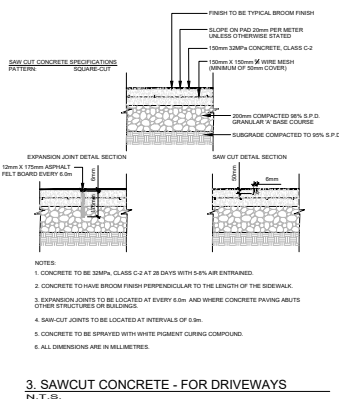
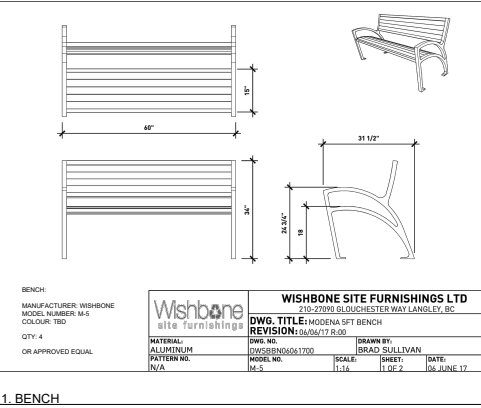
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3853 - 191 STREET  
SURREY, BC

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**ENLARGEMENT PLAN AND NOTES**

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PROJECT NO: 170584-L  
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4	260918	REISSUED FOR DP
3	130818	ISSUED FOR REVIEW
2	240518	ISSUED FOR DP
1	301017	ISSUED FOR REVIEW

NO. DATE (YYYY) DESCRIPTION  
ISSUES & REVISIONS

SCALE

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0552-00

Planning Report Date: October 01, 2018

**PROPOSAL:**

- **Development Permit**

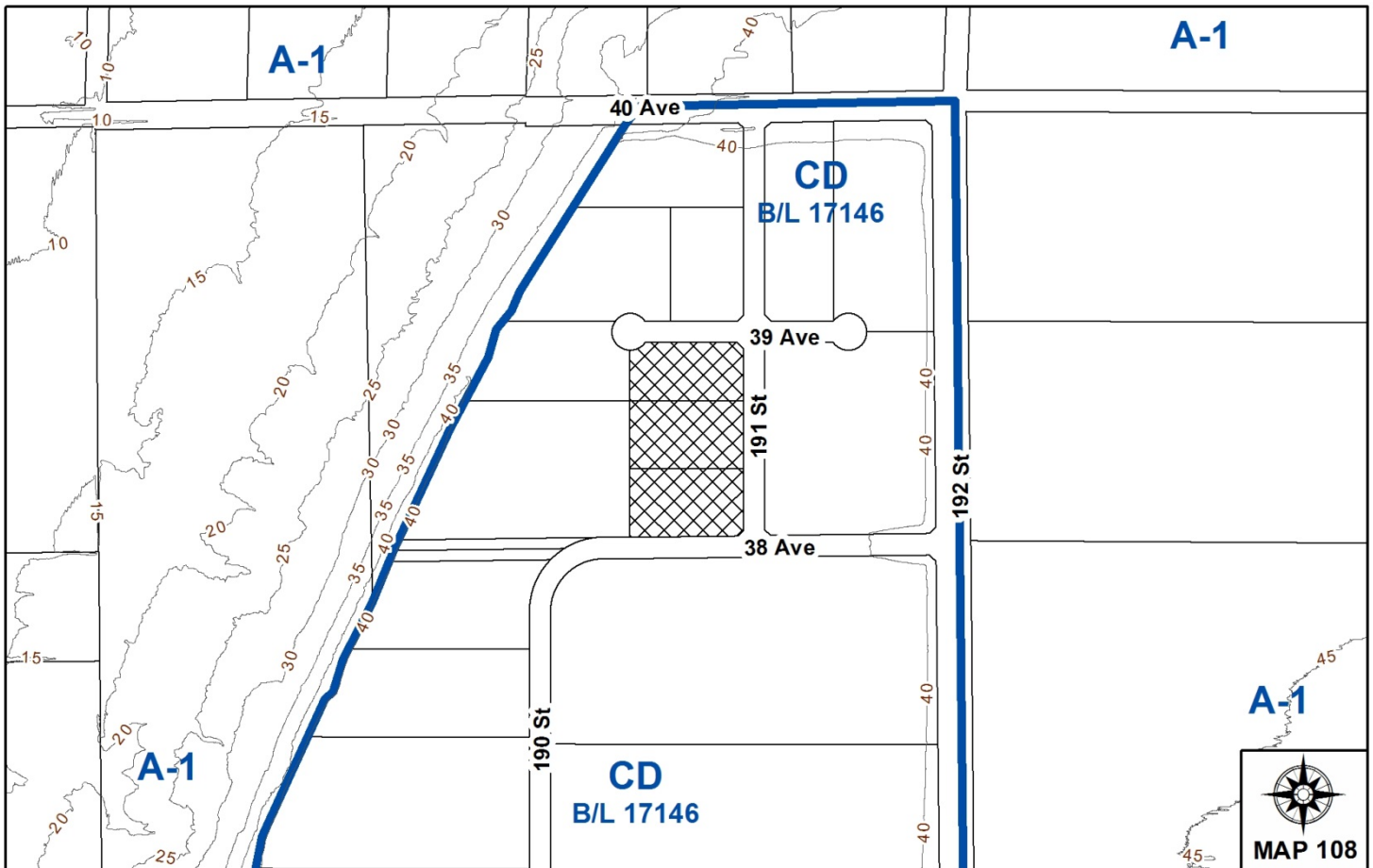
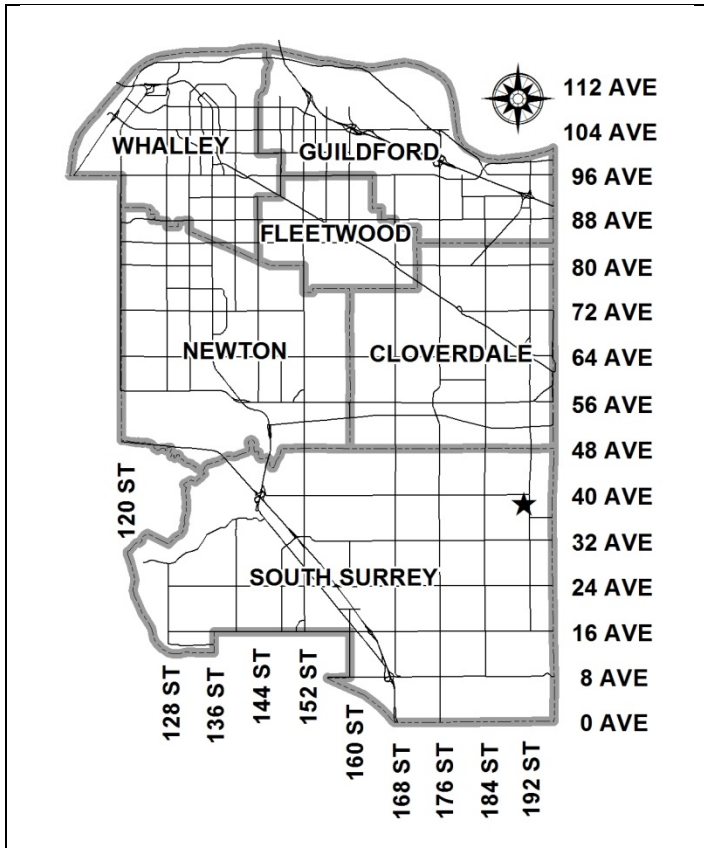
to permit the development of a 9,147 square-metre (98,464 sq. ft.) multi-tenant industrial building.

**LOCATION:** 3889 - 191 Street  
 3853 - 191 Street  
 3825 - 191 Street

**ZONING:** CD (By-law No. 17146, as amended by By-law No. 17934)

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The form and character of the proposed building are appropriate for this part of Campbell Heights and consistent with the guidelines outlined in the site's General Development Permit (Development Permit No. 7910-0032-00) and Design Guidelines for Campbell Heights North.



RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0552-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) consolidation of the properties to the satisfaction of the Planning and Development Department;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) registration of a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site; and
  - (e) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: The site is comprised of three vacant pre-serviced lots, devoid of trees and vegetation.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North (Across 39 Avenue):	Vacant industrial land (Approved Development Permits No. 7917-0267-00 and 7917-0266-00 for single tenant industrial buildings)	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)

Direction	Existing Use	LAP Designation	Existing Zone
East (Across 191 Street):	Vacant industrial land (Approved Development Permit No. 7918-0044-00 for a multi-tenant industrial building)	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
South (Across 38 Avenue):	Vacant industrial land	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
West:	Vacant industrial land	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)

## DEVELOPMENT CONSIDERATIONS

### Context

- The subject 1.87-hectare (4.63 acres) site is located on the west side of 191 Street, between 38 Avenue and 39 Avenue. The site is designated Mixed Employment in the Official Community Plan (OCP) and Business Park in the Campbell Heights Local Area Plan.
- The site is bounded by Mixed-Employment lands on all sides.
- The property was rezoned from "General Agriculture Zone (A-1) " to "Comprehensive Development Zone (CD)" (based on "Business Park 2 Zone [IB-2]" as part of Development Application No. 7910-0032-00, that also created the design guidelines through a General Development Permit. The three lots comprising the subject site were created through a subdivision under Development Application No. 7916-0289-00.
- CD By-law No. 17146, as amended by By-law No. 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The site was cleared and serviced for development under the original rezoning and subdivision applications. There are no trees or vegetation on the site.

### Proposal

- The applicant is proposing a Development Permit for a multi-tenant industrial building that will contain 3 units.
- The development proposes a gross floor area of 9,147 square-metre (98,464 sq. ft.), representing a net floor area ratio (FAR) of 0.49, which is less than the 1.0 FAR permitted in the site's CD Zone (By-law No. 17146 and 17934).
- The applicant is BH Wood, and they propose to occupy a larger part of the building, with two other units for lease.

### Air Emissions

- At the April 3, 2017 Regular Council –Land Use meeting, Council instructed staff to review the City’s business park zones and subsequently provide a report regarding the Metro Vancouver air emissions permitting process.
- Because the review of the business park zones has not been completed, staff are recommending that the applicant register a restrictive covenant to prohibit any business that requires a Metro Vancouver air quality permit from locating on the site.
- If any applicable amendments to the business park zones are completed before the subject application receives final approval, the requirement for the restrictive covenant may no longer apply.

### PRE-NOTIFICATION

A development proposal sign was posted on June 9, 2018 on the site. The project was also referred to the Little Campbell Watershed Society (LCWS) for review and comments on June 9, 2018. The LCWS has indicated no objection to the proposal. Staff have received no other comments for the proposal.

### DESIGN PROPOSAL AND REVIEW

#### Building Site and Design

- The proposed building is consistent with the design guidelines in the Campbell Heights Local Area Plan and the OCP, and is reflective of the existing design standards within the area, as well as guidelines identified in General Development Permit No. 7910-0032-00 which regulates development in this portion of Campbell Heights. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The building is proposed to have a modern linear appearance. The building is proposed as a concrete tilt-up with curtain wall glass. Colours for the concrete panels are different shades of grey.
- Glazing and detailed reveal lines break up the building façade along the streets. A canopy is proposed along the main entrance, fronting 191 Street, which will provide weather protection for future users.

#### Signage

- A free standing monument sign is proposed at the south portion of the site, west of the corner feature plaza, including space for 2 users. The sign is 2.13 metres (7 ft.) high and 1.83 m (6 ft.) wide. The sign is proposed in monolithic, in concrete, and architecturally coordinated with the building in materials and colour scheme. The sign complies with the minimum 2-metre (6.5 ft.) setback.

- The applicant proposes one fascia sign only for the main occupant of the building, BH Wood. The sign is proposed above the first storey, which is permitted for the tenant that occupies the largest percentage of the total floor area. The sign is proposed in individual channel letters, 4.5 metres (15 ft.) wide and 0.61 metres (2 ft.) high.

### Landscaping

- The proposed landscaping consists of a 7.5-metre (25 ft.) wide landscape strip along 38 Avenue and 39 Avenue, a 5.0-metre (16 ft.) wide landscape strip along 191 Street, and a 1.5-metre (5 ft.) wide landscape strip along the west property line.
- Landscaping has been designed with high quality drought resistant planting.
- Benches are provided at the principal entrance off of 191 Street and at the corner plaza.
- The landscaping plans have been reviewed by staff and found to be generally acceptable.

### Access and Parking

- Four accesses are proposed on the site: two for truck traffic along the western (rear) portion of the site, one from 38 Avenue and one from 39 Avenue; and two for employees and visitors, both on 191 Street.
- A 9.7 metre (31 ft.) wide two-way drive aisle is proposed along the western portion of the site to facilitate truck movement, and the driveways on 38 Avenue and 39 Avenue are proposed to be 11 metres (36 ft.) wide.
- The proposal includes a total of 103 parking stalls, which meets the minimum parking spaces required under the Zoning By-law of 103 parking spaces. This includes 3 disabled parking spaces. Most of the parking spaces (83%) are located on the eastern portion of the site, with a few employee parking spaces located on the western portion of the site, including 4 small car parking spaces.
- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The proposed development includes 390 square metres (4,200 sq. ft.) of mezzanine office space, which represents approximately 4.5% of the proposed ground floor area. The applicant has agreed to register a Section 219 Restrictive Covenant restricting the maximum mezzanine space to be constructed to avoid a situation where there may be insufficient parking for the future development of the site. The mezzanine space will be limited to a maximum of 4.5% of the ground floor area.

### TREES

- An arborist report was not required as there are currently no trees and little vegetation on the property and adjacent properties.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on December 01, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposed density and FAR meets the Zoning Bylaw requirement for the site.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The development incorporates rain water management design:               <ul style="list-style-type: none"> <li>○ Absorbent soils (minimum 300 mm in depth);</li> <li>○ On-lot infiltration trenches or sub-surface chambers;</li> <li>○ Bio-swales; and</li> <li>○ Sediment control devices.</li> </ul> </li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Bicycle parking will be provided on site.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• CPTED principles haven been incorporated on the site design.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• None.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• None.</li> </ul>

**ADVISORY DESIGN PANEL**

- The application was not subject to review by the Advisory Design Panel (ADP), but was reviewed by staff and found to be acceptable.
- The proposed development was evaluated based on compliance with the design guidelines approved under General Development Permit No. 7910-0032-00, the Campbell Heights Local Area Plan Design Guidelines and the OCP development permit guidelines.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Chip Barrett Architect and KD Planning & Design Ltd., respectively, dated September 20, 2018.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

LFM/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 and 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total / Net Total		18,737 m <sup>2</sup>
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	46.8%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
Front (north)	9 m or 7.5 m	7.5 m
Rear (south)	9 m or 7.5 m	7.5 m
Side #1 (E)	7.5 m or 16 m	20.2 m
Side #2 (W)	7.5 m	18.2 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	12.04 m
Accessory	6 m	-
FLOOR AREA: Industrial		
TOTAL BUILDING FLOOR AREA		9,147 m <sup>2</sup>
DENSITY		
FAR (net)	1.00	0.49
PARKING (number of stalls)		
Industrial		103
Total Number of Parking Spaces		103
Number of accessible stalls		3
Number of small cars	25	4

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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PROJECT MANAGERS / CONTRACTORS:



I C C Integrated Construction Concepts Ltd  
 12960 84 Ave, Surrey, BC V3W 1K7  
 Phone: (604) 599-0706



**2**  
**A-00** KEYPLAN  
 NOT TO SCALE

**CHIP BARRETT ARCHITECT**  
 1165 - 2578 FALCON STREET, SUITE 100, V3Z 6K4  
 TEL: (604) 599-0706  
 IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
 2625A ALLIANCE STREET, ABOTSFORD, B.C. V2S 8J9  
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4	FEED-18	PLANNING COMMENTS
3	REV-17	RE-DESIGNED FOR DEVELOPER
3	REV-17	REQUEST FOR DEVELOPMENT PERMIT
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NO.	DATE	DESCRIPTION

**Integrated**  
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 12960 84 Ave, Surrey, BC V3W 1K7  
 Phone: (604) 599-0706

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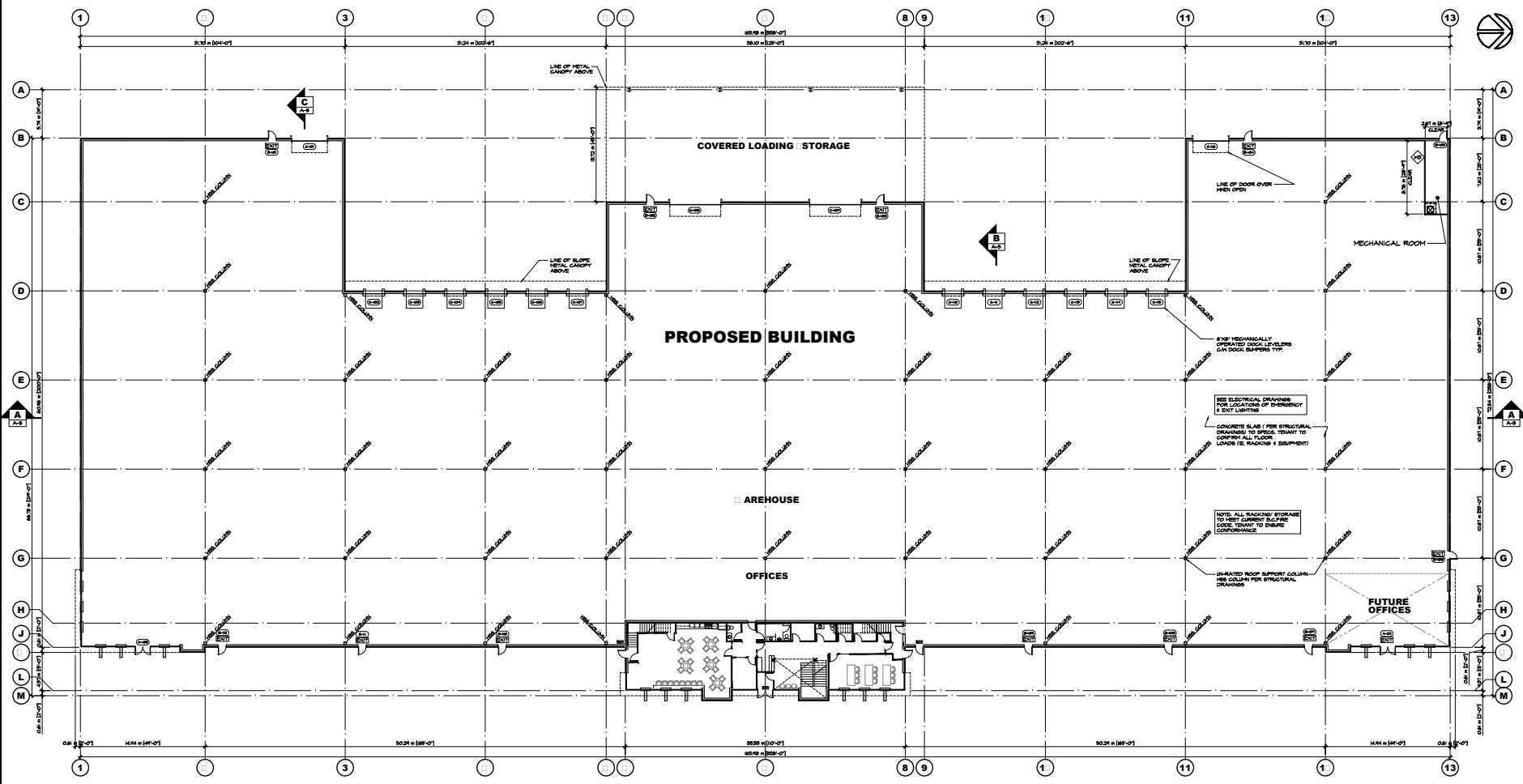
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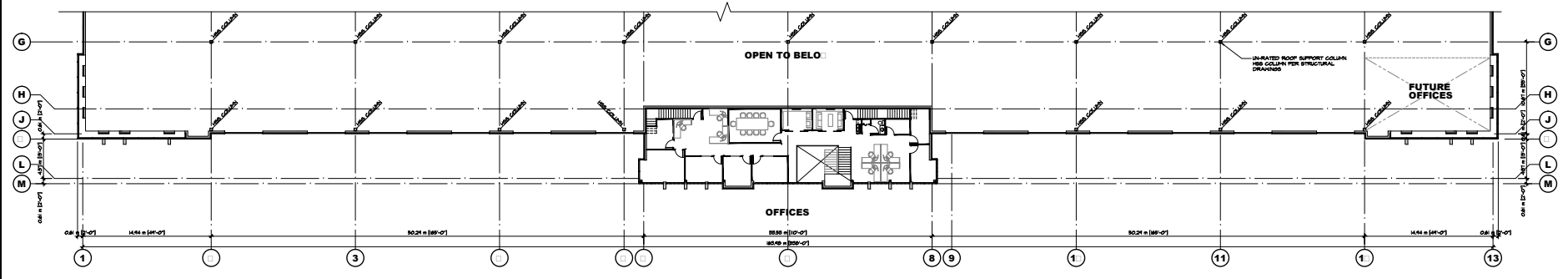
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GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"



1  
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UPPER LEVEL OPENING PLAN  
SCALE: 1/8"=1'-0"

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 IN ASSOCIATION WITH  
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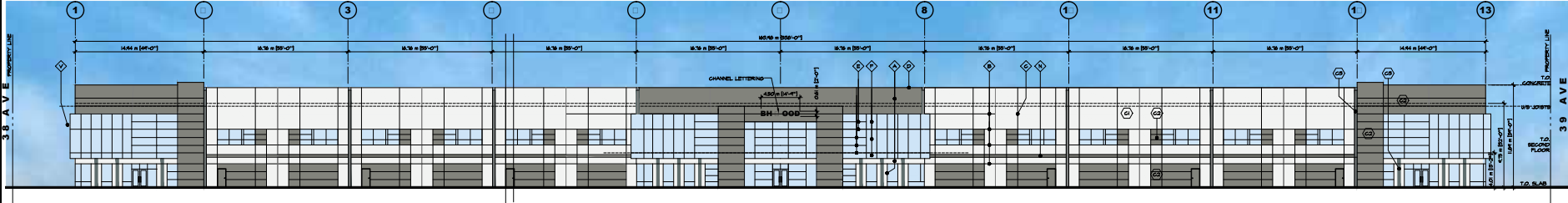
**BH WOOD**

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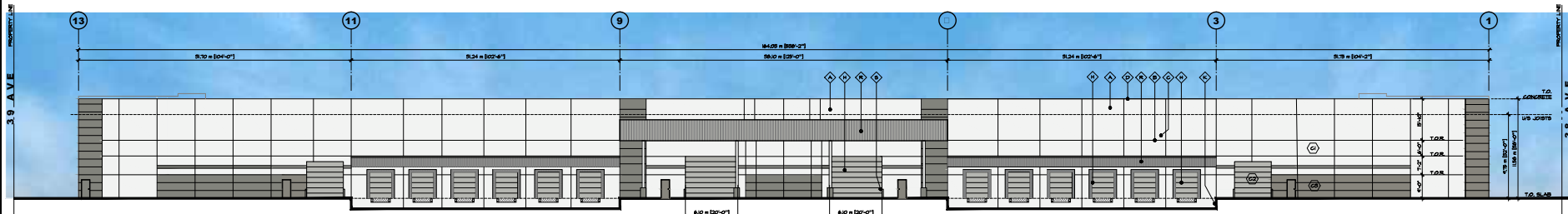
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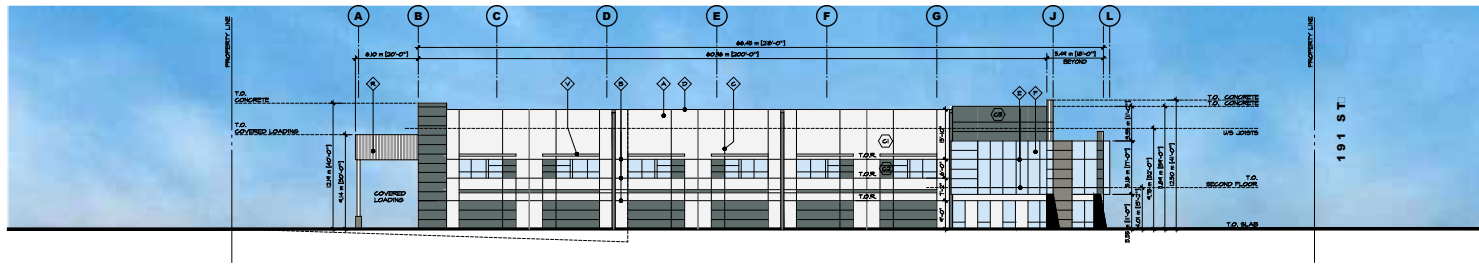
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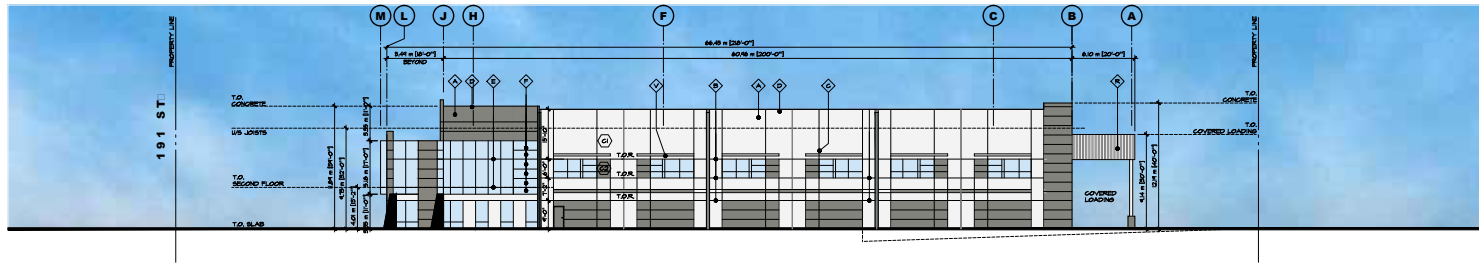
1 EAST ELEVATION - FRONTING 191 ST  
SCALE: 1/8"=1'-0"



2 EAST ELEVATION  
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION - FRONTING 38 ST  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION - FRONTING 39 ST  
SCALE: 1/8"=1'-0"

- MATERIAL LEGEND**
- ◆ CONCRETE SANDWICH TILT-UP PANEL TYP. - PAINTED
  - ◆ REVEAL IN CONCRETE - PAINTED
  - ◆ PANEL JOINT
  - ◆ PRE-FINISHED METAL GAP FLASHING
  - ◆ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
  - ◆ STOREFRONT OR CURTAIN WALL GLASS - CLEAR LOW-E
  - ◆ STEEL HANGERS - PAINTED
  - ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
  - ◆ STEEL GUNDRUMS - PAINTED
  - ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
  - ◆ LIGHT FIXTURE - SEE ELECTRICAL DWGS
  - ◆ CONCRETE STAIR w/ STEEL PIPE GUARDRAIL
  - ◆ STAIR RECESSES IN CONCRETE
  - ◆ SPANDREL GLAZING (CONCRETE LIGHT GREY)
  - ◆ SCUPPER
  - ◆ PRE-FINISHED METAL PANEL CANOPY
  - ◆ STEEL BOLLARDS - PAINTED
  - ◆ PAINT SURFACE
  - ◆ METAL SANDSCREEN

- NOTES**
- \*NOT ALL MATERIALS ARE APPLICABLE
  - \*ALL COLOURED SURFACES TO BE BURNHAM MOORE PAINT.
- PROJECT COLOURS**
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- EXTERIOR GUNDRUMS:** POWDER COAT BLACK VELVET  
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**TYPICAL GLAZING:** CLEAR LOW-E (SHANE 80) 3000 COMPLIANT  
**TYPICAL METAL GAP FLASHING:** # 02 POLAR WHITE 06300-8  
 # 03 RESIST GRAY 064510  
 # 04 CHARCOAL 063806  
 # 05 HAZEL GRAY 067010

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- PROJECT COLOURS**
- ① TINTED GLAZING TO BE GLIDECALC GLASS
  - ② TINTED GLAZING VANDERVA INTERLAYER COLOUR #2227
- \*NOTES: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING.
- NOTES:**
- \* ALL GRASSES APPROXIMATE CIVIL DRAWINGS TO SUPPLEMENT ARCH DRAWINGS

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**Integrated**  
 I.C.C. Integrated Construction Concepts Ltd  
 12860 84 Ave. Surrey, BC V3W 1K7  
 PHONE: (604) 589-0700

**BH WOOD**  
 CIVIC ADDRESS: 38th Avenue Sump, B.C.  
 DRAWING

**ELEVATIONS**

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**LEGEND**

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- BENCH
- PICNIC TABLE
- BIKE RACK
- PLANT KEY

1	2609/18	REVISED FOR DP
2	1306/18	ISSUED FOR REVIEW
3	2405/18	ISSUED FOR RE-DP
4	3010/17	ISSUED FOR REVIEW

NO. DATE (YYYY) DESCRIPTION  
ISSUES & REVISIONS

SCALE



PROJECT NAME  
**BH WOOD**

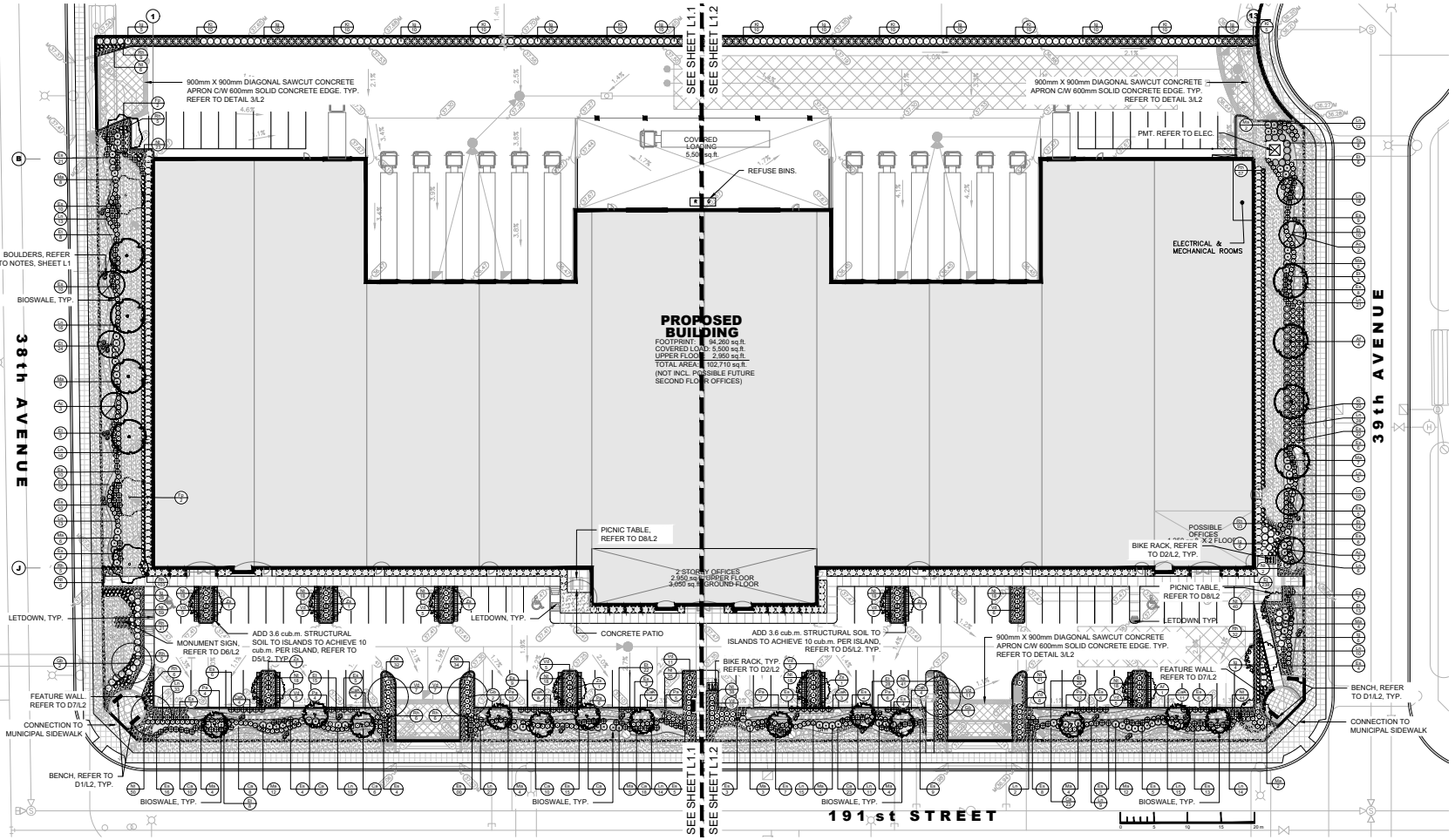
PROJECT ADDRESS  
**191ST STREET AND 37TH AVENUE  
SURREY, BC**

DRAWING TITLE  
**OVERALL LANDSCAPE  
PLAN**

SCALE:	1:300
DRAWN:	RM
CHECKED:	ST
PROJECT NO.:	170598-L

DRAWING NO. **L1**

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**PLANT LIST - ENTIRE SITE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
<b>DECIDUOUS TREES</b>					
Ac	7	<i>Acer circinatum</i>	Vine Maple	6cm cal.	MULTI-STEM W.B.
Af	8	<i>Acer fraxinifolium</i>	Freeman Maple	6cm cal.	W.B.
Fp	4	<i>Fraxinus pennsylvanica</i> 'Palmore'	Palmore Ash	6cm cal.	W.B.
Ac	13	<i>Amelanchier</i> x <i>grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6cm cal.	MULTI-STEM W.B.
Gb	5	<i>Ginkgo biloba</i>	Maidenhair Tree	6cm cal.	W.B.
Zs	11	<i>Zelkova serrata</i> 'Green Vase'	Japanese Zelkova	6cm cal.	W.B.
<b>SHRUBS</b>					
Es	278	<i>Escallonia</i> 'Newport Dwarf'	Newport Dwarf Escallonia	30cm ht.	#3 Pot
Ej	238	<i>Eucryphia japonica</i> 'Green Spire'	Green Spire Eucryphia	60cm ht.	#3 Pot
Kl	105	<i>Kalmia latifolia</i> 'Carousee'	Carousee Mountain Laurel	60cm ht.	#3 Pot
Ma	107	<i>Mahonia aquifolium</i>	Oregon Grape Holly	50cm ht.	#3 Pot
Ig	119	<i>Ilex glabra</i>	Inkberry Holly	50cm ht.	#3 Pot
To	8	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Cedar	1.5m ht.	B&B
Ln	327	<i>Lonicera nitida</i> 'Ophelia'	Ophelia Honey Suckle	40cm ht.	#2 Pot
Vd	105	<i>Viburnum davidii</i>	David's Viburnum	40cm ht.	#2 Pot
<b>PERENNIALS, GRASSES AND VINES</b>					
Rh	297	<i>Rudbeckia hirta</i>	Blackeyed Susan	1 Gallon	Potted
Nt	637	<i>Nassella tenuissima</i>	Mexican Feather Grass	1 Gallon	Potted
Pa	54	<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gallon	Potted
Et	190	<i>Euthrochium purpureum</i>	Joe Pye Weed	1 Gallon	Potted
Ca	108	<i>Carex 'Ice Dance'</i>	Ice Dance Carex	1 Gallon	Potted
CaK	38	<i>Calamagrostis actinifolia</i> 'Karl Foerster'	Feather Reed Grass	1 Gallon	Potted

**GENERAL NOTES**

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BUILDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTORS OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE, DURING THE PERIOD OF WORK. RESTRICTION, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

**BOULDERS**, bury average of 0.15-0.25m below surface, size at minimum:  
44 S = SMALL AT 0.6m l. x 0.6m w. x 0.6m ht., 0.5m showing above surface, 6 tonne each  
CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING

**LEGEND**

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	STAMPED CONCRETE WALKWAY
	BENCH
	PICNIC TABLE
	BIKE RACK
	PLANT KEY

1	26/01/18	ISSUED FOR DP
2	13/02/18	ISSUED FOR REVIEW
2	24/05/18	ISSUED FOR RE-OP
1	30/10/17	ISSUED FOR REVIEW

NO. DATE (dd/mm) DESCRIPTION  
ISSUES & REVISIONS:

SEAL



PROJECT NAME  
**BH WOOD**

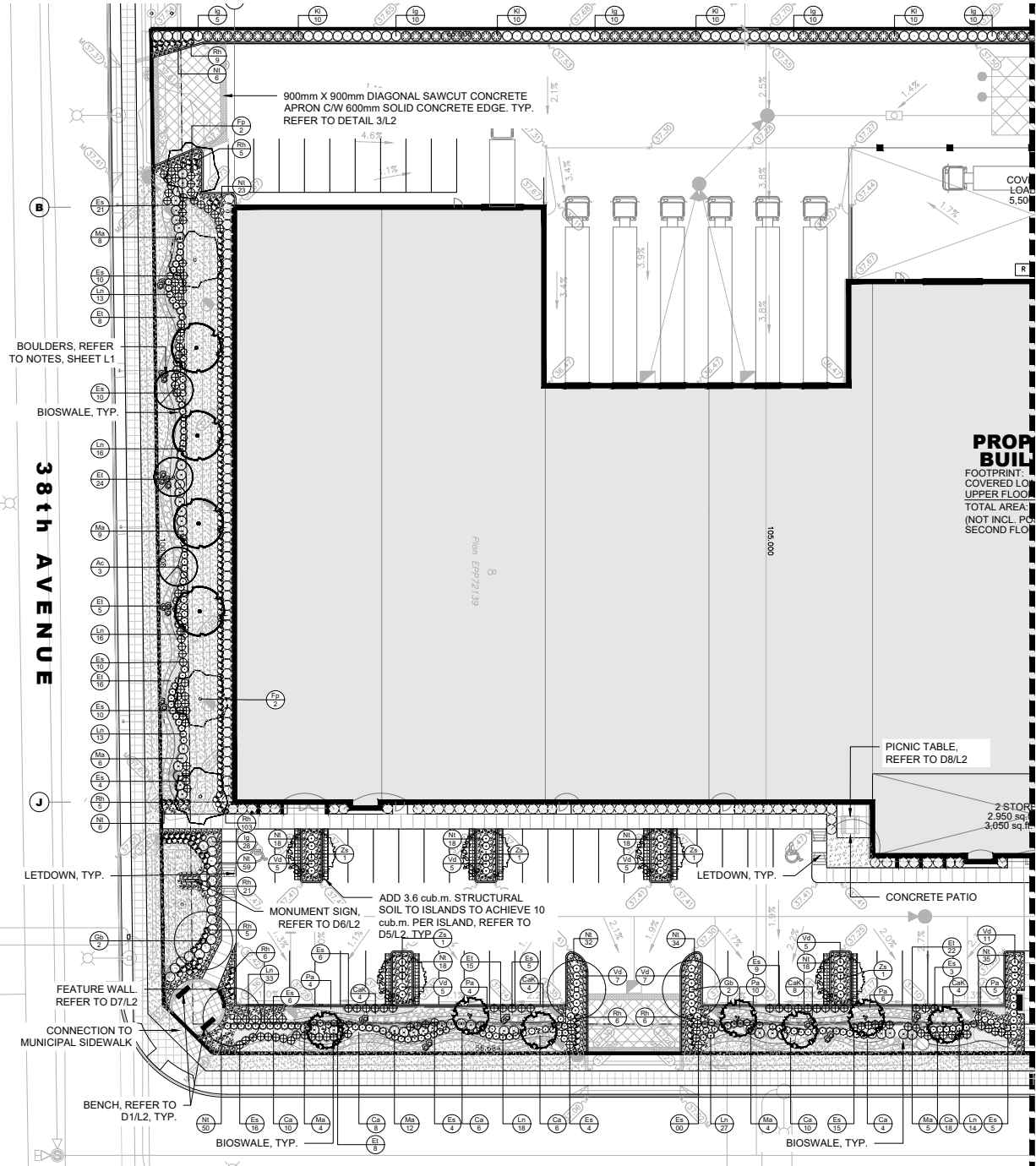
PROJECT ADDRESS  
**191ST STREET AND 37TH AVENUE  
SURREY, BC**

DRAWING TITLE  
**ENLARGEMENT PLAN**

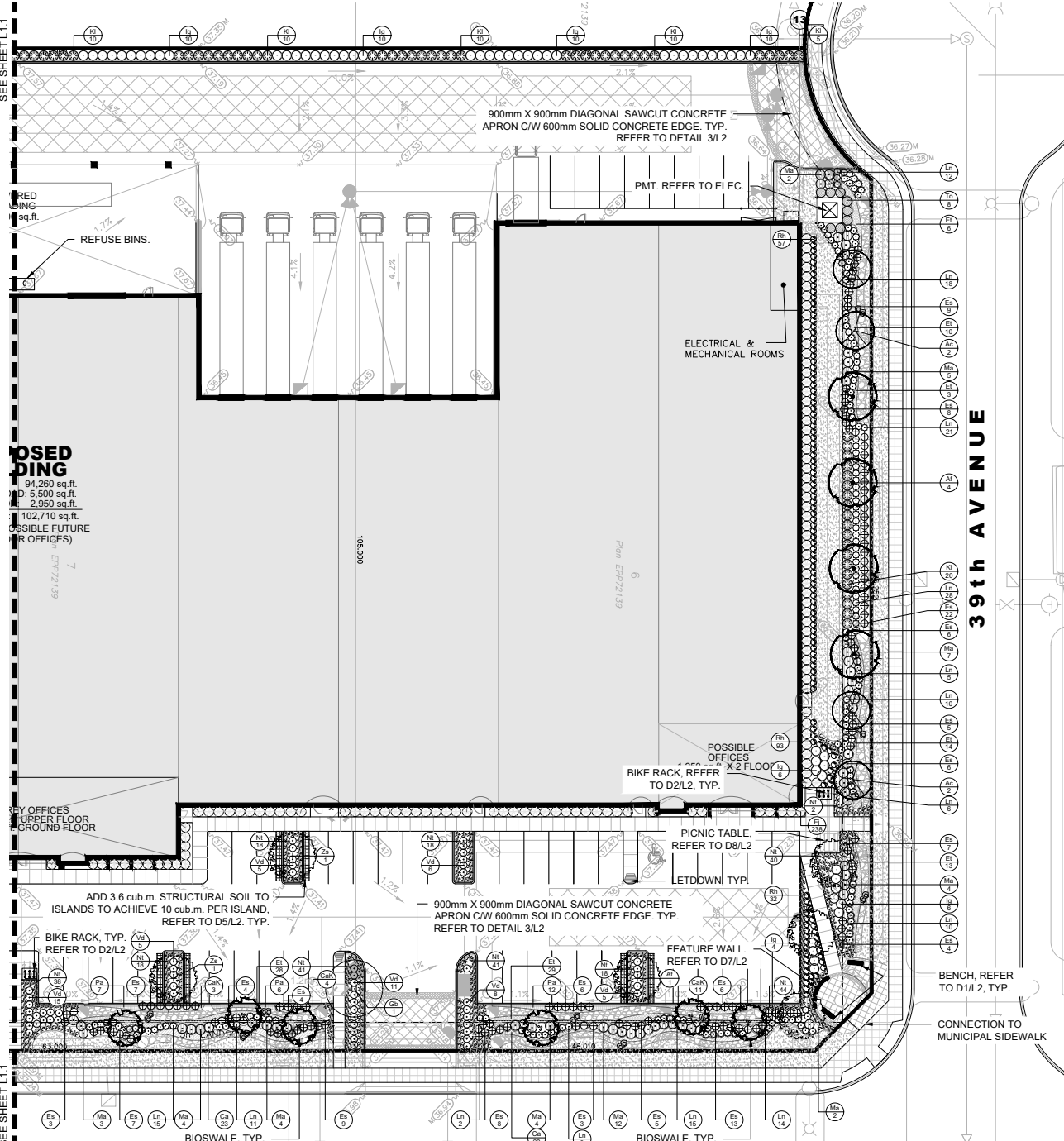
SCALE: 1:200  
DRAWN: RM  
CHECKED: ST  
PROJECT NO: 170598-L

DRAWING NO.  
**L1.1**

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SEE SHEET L1.1



**POSED WADING**  
 94,260 sq. ft.  
 5,500 sq. ft.  
 2,950 sq. ft.  
 102,710 sq. ft.  
 POSSIBLE FUTURE OFFICES

KEY OFFICES UPPER FLOOR GROUND FLOOR

SEE SHEET L1.1

- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND EDGED AT THE TIME OF PLANTING.
  4. **TREE PROTECTION**, PER THE MUNICIPAL DETAIL IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  7. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARDS AND MUNICIPAL LANDSCAPE STANDARDS FOR USE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  8. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORIST (U.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  9. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    - 9.1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or heldback and otherwise recovered from the Contractor.
    - 9.2. Maintenance and additional installation of mulch.
    - 9.3. Weed removal.
    - 9.4. Disease control.
- SODDING NOTES**
1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
    - 40% CREeping RED FESCUE
    - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE.
  2. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  3. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
    - 3.1. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHERS PROTECT SOO FROM DRYING, AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOO IN HANDLING. DRY SOO WILL BE REJECTED.
    - 3.2. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
    - 3.3. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- LEGEND**
- TURF GRASS
  - CONCRETE SIDEWALK PAVING
  - STAMPED CONCRETE WALKWAY
  - BENCH
  - PICNIC TABLE
  - BIKE RACK
  - PLANT KEY
- ISSUES & REVISIONS**
- | NO. | DATE (YYYY) | DESCRIPTION       |
|-----|-------------|-------------------|
| 1   | 26/09/18    | ISSUED FOR DP     |
| 2   | 13/08/18    | ISSUED FOR REVIEW |
| 3   | 24/05/18    | ISSUED FOR RE-OP  |
| 4   | 30/01/17    | ISSUED FOR REVIEW |
- ISSUES & REVISIONS:  
 (Issues & Revisions section)

39th AVENUE



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 T: 604-276-0000 F: 604-276-0000 www.krahn.com



**LEGEND**

- TURF GRASS
- CONCRETE SIDEWALK PAVING
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**ISSUES & REVISIONS**

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ISSUES & REVISIONS:  
 (Issues & Revisions section)



PROJECT NAME  
**BH WOOD**

PROJECT ADDRESS  
**191ST STREET AND 37TH AVENUE  
 SURREY, BC**

DRAWING TITLE  
**ENLARGEMENT PLAN  
 AND NOTES**

SCALE: 1:200  
 DRAWN: RM  
 CHECKED: ST  
 PROJECT NO: 170598-L  
 DRAWING NO: **L1.2**

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# INTER-OFFICE MEMO

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**TO: Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: March 5, 2018**                      **PROJECT FILE: 7817-0552-00**

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**RE: Engineering Requirements (Commercial/Industrial)  
Location: 3889 191 St**

## **DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.

## **BUILDING PERMIT**

The following are to be addressed prior to issuance of the Building Permit (BP):

- Completion and acceptance of Surrey Project 7816-0289-00;
- Evaluate services (e.g. driveway letdowns, water connection, sanitary sewer connections, storm water drainage) provided to the site by 7816-0289-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required; and
- Design/Construction of onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7816-0289-00 and Restrictive Covenants on title.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting the building permit application to ensure designs meets the prescribed targets.



Rémi Dubé, P.Eng.  
Development Services Manager  
AY