

INTER-OFFICE MEMO

Regular Council - Land Use

Item B.2: 7918-0373-00

Monday, June 29, 2020

Supplemental Information: Page Replacements

TO: City Clerk, Legislative Services Division

FROM: General Manager, Planning & Development Department

DATE: June 29, 2020

FILE: 7918-0373-00

RE: Development Application No. 7918-0373-00

An error was found in the Planning Report associated with Development Application No. 7918-0373-00 on Page 2 and Page 7, which states that a "no encroachment boundary will be established approximately 20 metres south of the north property line." This measurement is in fact 30 metres south of the newly proposed north property line rather than 20 metres. This distance has not changed, however, the point at which this measurement was established was updated based on the newly proposed north property line. It is requested that the following pages be replaced:

- Page 2
- Page 7


Jean Lamontagne
General Manager
Planning & Development Department

Attachment

CLERKS DEPT.
JUN 29, 2020
7918-0373-00
B.2 RCLU Jun 29, 20

RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Hazard Lands and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the minimum streamside setback from the Top of Bank of a "Natural Class B Stream," to increase the building height, and to reduce the side yard (east and west) setbacks.

RATIONALE OF RECOMMENDATION

- A Class B watercourse engages the southern boundary of the property. The subject property is located upslope of the watercourse and the top-of-bank is beyond the north property line.
- Adhering to the required streamside setbacks under the Zoning By-law would render the entire lot undevelopable. As this is a "lot of record" (i.e., existed prior to September 12, 2016), the amount of encroachment into the streamside setback is considered reasonable to allow for a single family dwelling to be constructed on the property.
- The applicant has provided a Geotechnical Report, an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP), and a *Riparian Areas Protection Regulation (RAPR)* Assessment Report in support of the proposed variance to the streamside setback. The proposed dwelling will comply with the Provincial *RAPR* setbacks and is a minimum of 31 metres as measured from the high-water mark.
- Fencing and signage will be installed along the boundary of the Streamside Protection Area to identify it as an environmentally sensitive area where no encroachment or disturbance is allowed. **The no encroachment or disturbance boundary will be established approximately 30 metres south of the north property line.** A Restrictive Covenant will be registered to delineate the no encroachment or disturbance boundary, which will protect approximately 940 square metres of the south portion of the property.
- The proposed variance to the building height allows for a reasonable sized dwelling to be constructed on the property. As viewed from the street, the building height is less than the maximum building height of 7.3 metres.
- The proposed variance to the side yard (east and west) setbacks are for retaining walls that will ensure that the dwelling is geotechnically safe. The retaining walls will be located at minimum 15 metres from the closest building on the adjacent properties while the proposed dwelling itself will comply with the minimum building side yard setback of 1.8 metres.

- Under the Zoning By-law, retaining walls are considered *structures* and therefore, must comply with the *fencing* provisions of Part 4. General Provisions of the Zoning By-law, which require such structures comply with the height and yard restrictions of that zone. In this case, the maximum height of the retaining wall is 9 metres and it must be setback 1.8 metres from side lot lines.
- The proposed variance to the side yard (east and west) setbacks are for retaining walls that will ensure that the dwelling is geotechnically safe. The retaining walls will be located at minimum 15 metres from the closest building on the adjacent properties while the proposed dwelling itself will comply with the minimum building side yard setback of 1.8 metres.
- Staff support the requested variances to proceed for consideration.

Streamside Variance

- The applicant is requesting the following streamside variance:
 - to reduce the minimum setback distance for a Class B (yellow-coded) stream from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
- Adhering to the required streamside setbacks under the Zoning By-law would render the entire lot undevelopable. As this is a “lot of record” (i.e., existed prior to September 12, 2016), the amount of encroachment into the streamside setback is considered reasonable to allow for a single family dwelling to be constructed on the property.
- The proposed variance to the streamside setback would allow the applicant to construct a new single family dwelling on the property.
- The applicant has provided a Geotechnical Report, an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP), and a *Riparian Areas Protection Regulation (RAPR)* Assessment Report in support of the proposed variance to the streamside setback. The proposed dwelling will comply with the Provincial *RAPR* setbacks and is a minimum of 31 metres as measured from the high-water mark.
- Fencing and signage will be installed along the boundary of the Streamside Protection Area to identify it as an environmentally sensitive area where no encroachment or disturbance is allowed. **The no encroachment or disturbance boundary will be established approximately 30 metres south of the north property line.** A Restrictive Covenant will be registered to delineate the no encroachment or disturbance boundary, which will protect approximately 940 square metres of the south portion of the property.
- Staff support the requested variances to proceed for consideration.

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7918-0373-00

Planning Report Date: June 29, 2020

PROPOSAL:

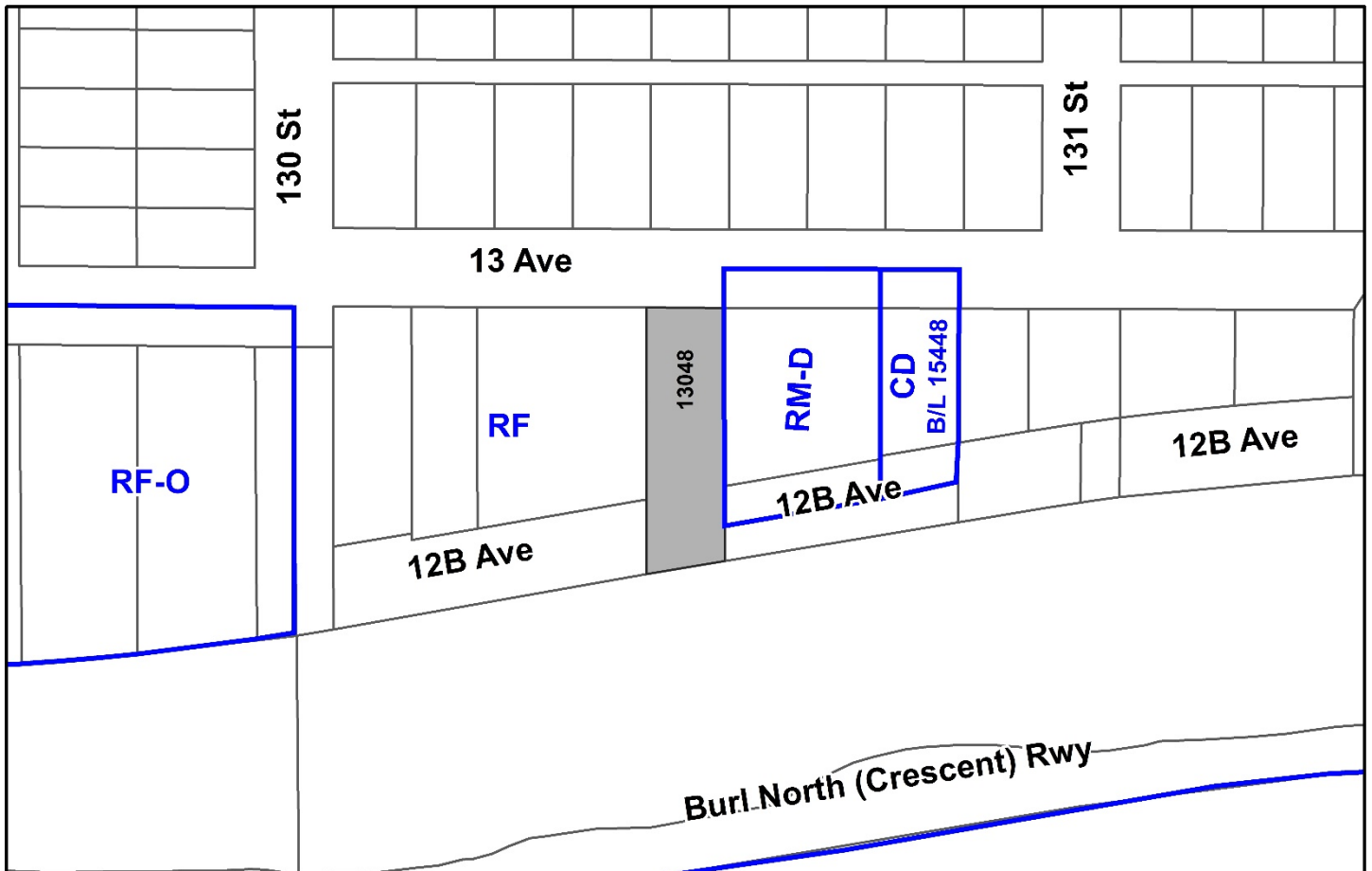
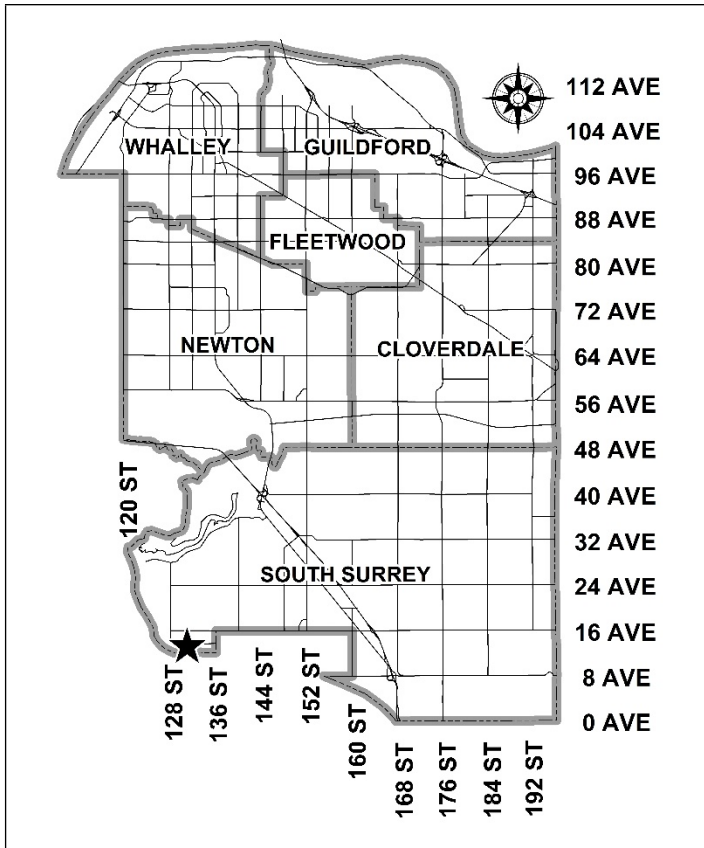
- Development Permit
- Development Variance Permit

to permit the development of a new single family dwelling on a lot of record.

LOCATION: 13048 - 13 Avenue

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Hazard Lands and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the minimum streamside setback from the Top of Bank of a "Natural Class B Stream," to increase the building height, and to reduce the side yard (east and west) setbacks.

RATIONALE OF RECOMMENDATION

- A Class B watercourse engages the southern boundary of the property. The subject property is located upslope of the watercourse and the top-of-bank is beyond the north property line.
- Adhering to the required streamside setbacks under the Zoning By-law would render the entire lot undevelopable. As this is a "lot of record" (i.e., existed prior to September 12, 2016), the amount of encroachment into the streamside setback is considered reasonable to allow for a single family dwelling to be constructed on the property.
- The applicant has provided a Geotechnical Report, an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP), and a *Riparian Areas Protection Regulation (RAPR)* Assessment Report in support of the proposed variance to the streamside setback. The proposed dwelling will comply with the Provincial *RAPR* setbacks and is a minimum of 31 metres as measured from the high-water mark.
- Fencing and signage will be installed along the boundary of the Streamside Protection Area to identify it as an environmentally sensitive area where no encroachment or disturbance is allowed. The no encroachment or disturbance boundary will be established approximately 20 metres south of the north property line. A Restrictive Covenant will be registered to delineate the no encroachment or disturbance boundary, which will protect approximately 940 square metres of the south portion of the property.
- The proposed variance to the building height allows for a reasonable sized dwelling to be constructed on the property. As viewed from the street, the building height is less than the maximum building height of 7.3 metres.
- The proposed variance to the side yard (east and west) setbacks are for retaining walls that will ensure that the dwelling is geotechnically safe. The retaining walls will be located at minimum 15 metres from the closest building on the adjacent properties while the proposed dwelling itself will comply with the minimum building side yard setback of 1.8 metres.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7918-0373-00 for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside Areas and Green Infrastructure Areas), generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan and Geotechnical Report.
2. Council approve Development Variance Permit No. 7918-0373-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to increase the maximum building height of the RF Zone allowed from 7.3 metres to 11.5 metres;
 - (b) to reduce the minimum east and west side yard setbacks of the RF Zone from 1.8 metres to 0 metres for the retaining walls on each side lot line; and
 - (c) to reduce the minimum streamside setback distance from top of bank for a Class B (yellow-coded) stream from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (f) completion of the road closure and acquisition of a portion of 13 Avenue;
 - (g) registration of a Section 219 Restrictive Covenant for Engineered foundation and slope stability, and to establish a "no build" and "no disturbance" area at the geotechnical setback line based on the geotechnical report prepared by GeoPacific Consultants Ltd., dated February 26, 2020; and
 - (h) registration of a Section 219 Restrictive Covenant to protect the environmental setback area.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP	Existing Zone
Subject Site	Vacant single family property	Urban	RF
North (Across 13 Avenue):	Single family property	Urban	RF
East:	Duplex	Urban	RM-D
South:	Burlington Northern Railway	Urban	RF
West:	Single family dwelling	Urban	RF

Context & Background

- The subject property is 1,340 square metres in size, designated Urban in the Official Community Plan and zoned "Single Family Residential Zone (RF).
- The property is currently vacant and is encumbered by a Class B (yellow-coded) watercourse on the south portion of the property.

DEVELOPMENT PROPOSAL**Planning Considerations**

- The applicant is proposing to construct a new single family dwelling, which is subject to a Development Permit for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside Areas and Green Infrastructure Areas).
- The streamside setback for the Class B (yellow-coded) watercourse is located within 13 Avenue and therefore, the proposal also requires a variance to reduce the streamside setback from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of 26 metres below top-of-bank). The applicant is also proposing to increase the allowable building height for a roof with slopes less than 3/12 from 7.3 metres to 11.5 metres, and to reduce the side yard (east and west) setbacks from 1.8 metres to 0 metres for retaining walls.

	Proposed
Lot Area	
Gross Site Area:	1,340 square metres
Road Purchase Area:	147 square metres
Undevelopable Area:	n/a
Net Site Area:	1,487 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project as outlined in Appendix II.
Parks, Recreation & Culture:	The applicant is required to provide compensation to the Green City Program for the removal of two (2) City trees.

Transportation Considerations

- The applicant proposes to drill soil anchors to support the new single family dwelling within what is currently 13 Avenue road right-of-way. In order to utilize 13 Avenue, the applicant is required to purchase approximately 147 square metres of road right-of-way from the City. The applicant is required to complete a road closure and acquisition application prior to issuance of the associated Development Permit and Development Variance Permit, to purchase that portion of 13 Avenue.
- The Engineering Department has no objections to the partial road closure and acquisition application.

Sustainability Considerations

- The applicant will meet all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated "General Urban" in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject property is designated "Urban" in the Official Community Plan.

Themes/Policies

- The proposal was prepared and reviewed by Qualified Professionals, and includes a Geotechnical Report, Ecosystem Development Plan, Riparian Areas Regulation (RAR) Assessment Report, and Arborist Report (*D2.2, 2.4, 2.6, 2.7*).
- The applicant is proposing to plant approximately 340 square metres of native species to preserve and enhance the riparian area (*D1.8, 1.9*).

Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Single Family Residential Zone (RF)", streamside setbacks and parking requirements.

RF Zone (Part 16)	Permitted and/or Required	Proposed
Yards and Setbacks		
Front Yard (north):	7.5 metres	7.5 metres (after partial road closure)
Side Yard (east):	1.8 metres	2.1 metres (to building) *0 metres (to retaining wall)
Side Yard (west):	1.8 metres	3.3 metres (to building) *0 metres (to retaining wall)
Rear (south):	7.5 metres	48.3 metres
Building Height		
Principal Building	7.3 metres	11.5 metres
Accessory Building	n/a	n/a
Streamside (Part 7A)		
Streamside Setbacks		
Class B (yellow-coded) Stream:	15 metres	31 metres from the high water mark

Setback and Heights Variances

- The applicant is requesting the following variances:
 - to increase the maximum building height of the RF Zone from 7.3 metres to 11.5 metres.
 - to reduce the minimum side yard (east and west) setbacks of the RF Zone from 1.8 metres to 0 metres for retaining walls.
- The proposed building has a primary roof that consists of flat sections and a mono-sloped roof at 2/12 slope. With slopes less than 3/12, the max building height is 7.3 metres to the peak of the roof.
- The proposed variance to the building height will allow for a reasonably sized dwelling to be constructed on the property. As viewed from the street, the building height is less than the maximum building height of 7.3 metres and is consistent with the neighbourhood streetscape.

- Under the Zoning By-law, retaining walls are considered *structures* and therefore, must comply with the *fencing* provisions of Part 4. General Provisions of the Zoning By-law, which require such structures comply with the height and yard restrictions of that zone. In this case, the maximum height of the retaining wall is 9 metres and it must be setback 1.8 metres from side lot lines.
- The proposed variance to the side yard (east and west) setbacks are for retaining walls that will ensure that the dwelling is geotechnically safe. The retaining walls will be located at minimum 15 metres from the closest building on the adjacent properties while the proposed dwelling itself will comply with the minimum building side yard setback of 1.8 metres.
- Staff support the requested variances to proceed for consideration.

Streamside Variance

- The applicant is requesting the following streamside variance:
 - to reduce the minimum setback distance for a Class B (yellow-coded) stream from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
- Adhering to the required streamside setbacks under the Zoning By-law would render the entire lot undevelopable. As this is a “lot of record” (i.e., existed prior to September 12, 2016), the amount of encroachment into the streamside setback is considered reasonable to allow for a single family dwelling to be constructed on the property.
- The proposed variance to the streamside setback would allow the applicant to construct a new single family dwelling on the property.
- The applicant has provided a Geotechnical Report, an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP), and a *Riparian Areas Protection Regulation (RAPR)* Assessment Report in support of the proposed variance to the streamside setback. The proposed dwelling will comply with the Provincial *RAPR* setbacks and is a minimum of 31 metres as measured from the high-water mark.
- Fencing and signage will be installed along the boundary of the Streamside Protection Area to identify it as an environmentally sensitive area where no encroachment or disturbance is allowed. The no encroachment or disturbance boundary will be established approximately 20 metres south of the north property line. A Restrictive Covenant will be registered to delineate the no encroachment or disturbance boundary, which will protect approximately 940 square metres of the south portion of the property.
- Staff support the requested variances to proceed for consideration.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which flows south towards Boundary Bay. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres for single family lots of record, as measured from the top of bank. The proposed setbacks do not comply with the requirements outlined in the Zoning By-law and therefore, a Development Variance Permit to reduce the streamside setback is required. See the Development Variance Permit section above for additional information.
- The riparian area will be protected through the registration of a Restrictive Covenant against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest and dated May 12, 2020 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located south of the subject site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor adjacent to the subject site, in the Sunnyside Acres BCS management area, with a High ecological value.
- The development proposal does not engage the GIN Corridor but does preserve and enhance approximately 342 square metres of riparian area outside of the GIN Corridor. This method of GIN enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest and dated May 12, 2020 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, as it contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The subject property slopes down to the south at approximately 41 degree slope, flattening out to approximately 14 degrees near the southern base of the property.
- A geotechnical report, prepared by Mohammad Deirszadeh, Ph.D., *P. Eng.*, of GeoPacific and dated February 26, 2020 was peer reviewed by Thomas Madden and Randy Williams, *P. Eng.*, of Golder Associates Ltd. and found to be generally acceptable by the peer reviewer. The report and peer review were reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development on the site and proposed recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development can be achieved provided that the recommendations in their report are incorporated into the overall design of the site. This includes not allowing the addition of trees on the steep slope, a perimeter drainage system that is pumped to 13 Avenue City facilities, and maintaining a "no-disturbance" and "maintenance access zone" measured 30 metres south from the north property line.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final development permit issuance.
- At Building Permit stage, further geotechnical calculations and analyses will be required and the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	3	0	3
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	2	1	1
Coniferous Trees			
Lawson Falsecypress	1	1	0
Western Red Cedar	1	1	0
Douglas Fir	3	0	3
Total (excluding Alder and Cottonwood Trees)	7	3	4
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		0	
Total Retained and Replacement Trees		4	
Contribution to the Green City Program		\$9,600	

- The Arborist Assessment states that there is a total of seven (7) mature trees on the site, excluding Alder and Cottonwood trees. Three (3) existing trees, approximately 30% of the total trees on the site, are Alder and Cottonwood trees. It was determined that seven (7) trees (including Alder and Cottonwood) can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of six (6) replacement trees on the site. As the Geotechnical Report recommends that no trees be planted on the steep slope, zero replacement trees are proposed. Of the three (3) trees proposed for removal, two (2) trees are City boulevard trees.
- Parks staff assessed these trees and will require \$4,400 per tree for their removal as contribution to the Green City Program. This contribution will satisfy the requirements for four (4) of the six required replacement trees. Therefore, the deficit of two (2) replacement trees will require a cash-in-lieu payment of \$800 representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.

- In summary, a total of four (4) trees are proposed to be retained on the site with a contribution of \$9,600 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7918-0373-00

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

KS/cm



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BUILDING DESIGNER
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13048 13TH AVE

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REV.	DATE	REMARKS
10/1/2017	10/1/2017	REVISED FOR PERMIT
09/15/2017	09/15/2017	REVISED FOR PERMIT
09/15/2017	09/15/2017	REVISED FOR PERMIT

CLIENT :	
PROJECT :	13048 13TH AVE, SURREY
CONTENT :	SITE PLAN

DATE :	SEPT 2017
SCALE :	1/16" = 1'-0"
PROJECT No. :	
SHEET No. :	A 1.1
REVISION :	

GENERAL NOTES

1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE B.C. BUILDING CODE 2012.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR SAME.
3. ALL WORK SHALL CONFORM TO THE B.C. BUILDING CODE (2012) AND ALL LOCAL MUNICIPAL CODES AND BY-LAWS.
4. CONTRACTOR OR OWNER TO VERIFY ROUGH OPENINGS OF ALL DOORS, WINDOWS, TOILETS, WARDROBES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION.
5. OWNER FINISHED GRADE SHALL FOLLOW THE BUILDING MINIMUM 1/4" TO PROVIDE ADEQUATE DRAINAGE.
6. OWNER TO FINISH BUILDING GRADE FROM THE B.C. BUILDING CODE 2012 TO CONFORM WITH STRUCTURAL ENGINEER.
7. ARCHITECTURAL CONCRETE TO BE WELL VENTILATED, CLEAR OF ANY POTENTIAL RISKS TO HAVE A SMOOTH EVEN TEXTURED FINISH.
8. CONCRETE SHALL BE TO BE CASTED IN ACCORDANCE WITH SUBSECTION 9.12.4.7 OF THE B.C. BUILDING CODE 2012.
9. ROOF TRUSS MANUFACTURER TO PROVIDE SHOP DRAWINGS TO ARCHITECT/REGISTERED PROFESSIONAL ENGINEER PRIOR TO INSTALLATION.
10. ROOF VENTILES SHALL BE 1:5000 OF INSULATED CEILING SPACE. SHALL BE CARPENTER DISTRICTED.
11. WALL PLATES SHALL BE #2 OR BETTER KD CORAL. ALL BAY BRACE SHALL BE #4 OR BETTER KD CORAL. SEE WALL CONNECTION TO EXISTENTIAL STRUCTURES OF THE CURRENT B.C.B.C. CONFORM WITH STRUCTURAL ENGINEER.
12. FRAMING TO BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS #40 C.D. MINIMUM FOR STRAP #40 C.D. BOLTS TO BE ANCHORED WITH METAL POST ANCHORS. CONFORM WITH STRUCTURAL ENGINEER.
13. DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL OR WINDOW.
14. INSIDE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS, TRAP CHASES TO MATCH PLUMBING, TYPICAL, ETC.
15. UNITS TO BE 2" x 2" x 1/2" WITH EXCISE PLATE ON TOP UNLESS NOTED OTHERWISE.
16. ALL WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROTECTED WITH 30# RUBBER FELT.
17. FASTEN ALL GYPSUM WALL BOARDS TO WUD IN CONFORMANCE WITH SUB SECTION 9.19.9 OF THE B.C. BUILDING CODE 2012 EDITION.
18. 9.19.9.11 (B.C.B.C. 2012) - FOR SINGLE LAYER GYPSUM BOARD APPLICATIONS SHALL BE AND NOT MORE THAN 800 mm O.C. CEILING SUPPORTS SHALL BE 200 mm APART ALONG VERTICAL WALL PANELS. CEILING TRAP CHASES SHALL BE SPACED SUCH WALL OR CEILING SUPPORTS 300 mm ALONG VERTICAL WALLS.
19. 9.19.9.12 (B.C.B.C. 2012) - WHERE SINGLE LAYER GYPSUM BOARD IS APPLIED TO WALLS SHALL BE 200 mm O.C. ALONG SUPPORTS. EXCEPT VERTICAL WALL PANELS. CEILING TRAP CHASES SHALL BE SPACED SUCH WALL OR CEILING SUPPORTS 300 mm ALONG VERTICAL WALLS.
20. PRE-FAB. GAS FIREPLACE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CANADIAN GAS ASSOCIATION. INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 9.25.2 OF THE B.C. BUILDING CODE 2012 EDITION. FRAMES HANDMADE BY OWNER'S CONTRACTOR.
21. PROVIDE ATIC ACCESS HATCHES ON PER ARTICLE 9.19.9.13 OF THE B.C. BUILDING CODE 2012 EDITION. ALL HATCHES TO BE MINIMUM 21" x 21" (535 mm x 535 mm).
22. ELECTRICAL PLUMBING AND VENTILATION MUST COMPLY WITH ALL RELEVANT CODES AND REGULATIONS IN ALL RESPECTS.
23. EVERY EFFORT HAS BEEN MADE TO CAREFULLY PREPARE THESE DRAWINGS AND TO CHECK THEM TO THE BEST OF THE DRAWING CONTRACTOR'S BEST EFFORTS AND VERIFY ALL DIMENSIONS, MATERIALS AND CONDITIONS AND REVIEW THE RESPONSIBILITY FOR ALL. BY USING THE PLANS HE AGREES THAT HE UNDERSTANDS.
24. THE OWNER IS TO BE AWARE THAT THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK UNLESS THE CONTRACTOR HAS BEEN ADVISED IN WRITING BY A REGISTERED PROFESSIONAL ENGINEER TO PROCEED UNDER THE ASSUMPTIONS OF THE CONTRACTOR'S DESIGN. THE OWNER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK UNLESS THE CONTRACTOR HAS BEEN ADVISED IN WRITING BY A REGISTERED PROFESSIONAL ENGINEER TO PROCEED UNDER THE ASSUMPTIONS OF THE CONTRACTOR'S DESIGN.

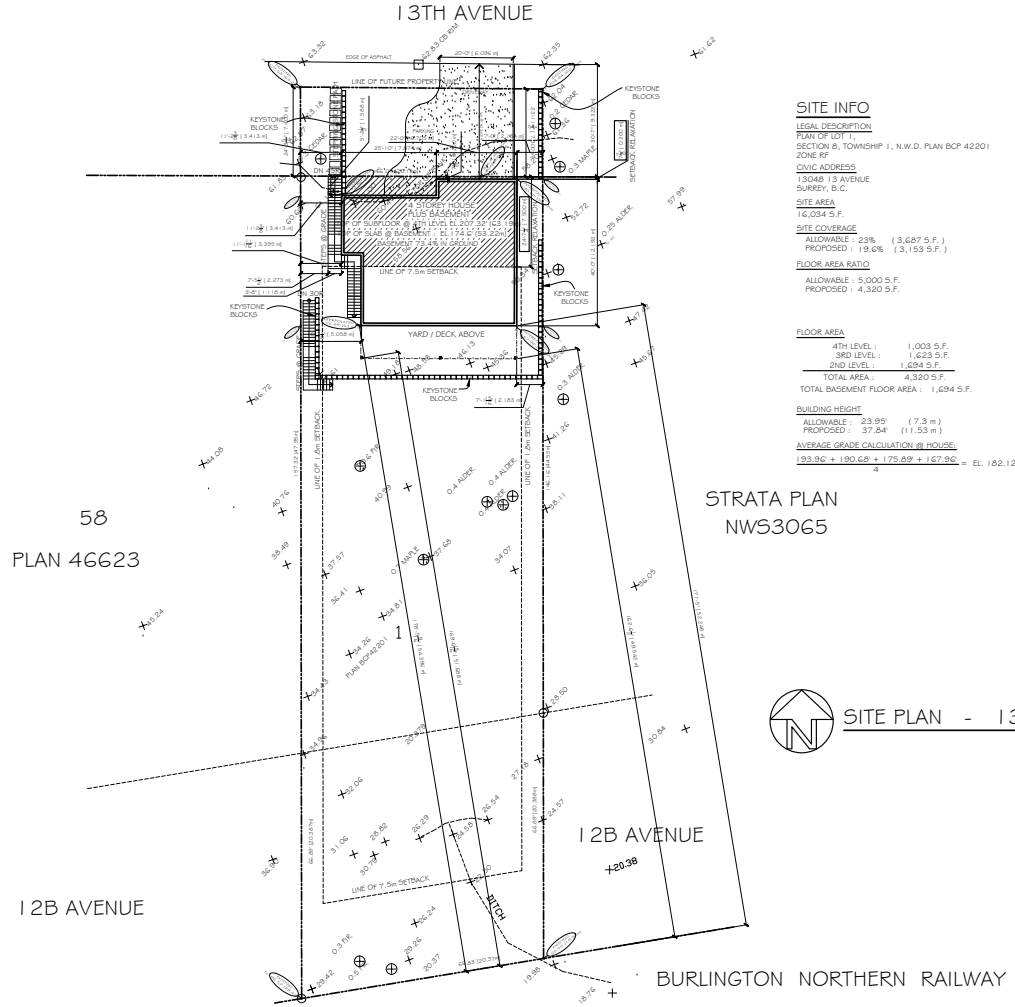
SITE INFO

LEGAL DESCRIPTION
PLAN OF LOT 1,
SECTION 9, TOWNSHIP 1, N.W.D. PLAN ECP 42201
ZONE R2
CIVIC ADDRESS
13048 13 AVENUE
SURREY, B.C.
SITE AREA
16,034 S.F.
SITE COVERAGE
ALLOWABLE : 23% (3,687 S.F.)
PROPOSED : 19.6% (3,153 S.F.)
FLOOR AREA RATIO
ALLOWABLE : 5,000 S.F.
PROPOSED : 4,320 S.F.
FLOOR AREA
4TH LEVEL : 1,003 S.F.
3RD LEVEL : 1,423 S.F.
2ND LEVEL : 1,694 S.F.
TOTAL AREA : 4,320 S.F.
TOTAL BASEMENT FLOOR AREA : 1,694 S.F.
BUILDING HEIGHT
ALLOWABLE : 23.99' (7.3 m)
PROPOSED : 37.04' (11.53 m)
AVERAGE GRADE CALCULATION @ SURFACE
193.96' + 190.68' + 175.89' + 167.86' = EL. 182.12' (55.51 m)

STRATA PLAN
NWS3065



SITE PLAN - 13048 13 AVE



58
PLAN 46623

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 21, 2020** PROJECT FILE: **7818-0373-00**
(Supersedes April 17, 2020 Memo)

RE: **Engineering Requirements
Location: 13048 13 Avenue**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the Development Permit for Hazard Land and Sensitive Ecosystem and a Development Variance Permit to allow for the construction of a single-family dwelling on a vacant lot:

- Register Restrictive Covenant for Engineered Foundation/ Slope Stability with Geotechnical Report attached to ensure the geotechnical recommendations are followed as described in the geotechnical assessment prepared by GeoPacific Consultants Ltd., dated February 26, 2020.

BUILDING PERMIT

The following issues are to be addressed prior to issuance of the Building Permit (BP):

- Evaluate adequacy of existing services (e.g. driveways and water connection) and relocate/modify or construct as required through the BP process. This will also include abandonment of redundant service connections as required.
- Construct sanitary service connection, complete with inspection chamber at 13 Avenue. Register Pumped RC for sanitary service connection, if required.
- Design and construct onsite storm drainage management works as recommended in the Geotechnical Report, including drainage works provisions for the retaining walls.
- Construct storm service connection, complete with inspection chamber at 13 Avenue. Register Pumped RC for storm service connection, if required.
- If an outfall to the Class B Creek will be proposed, then the proposal will require review as per the Water Sustainability Act Regulations.



Tommy Buchmann, P.Eng.
Development Services Manager

IK1

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 18-0373-00

Address: 13048 13 Avenue

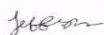
Registered Arborist: Jeff Ross #PN-7991A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	10
Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	7
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 3 X two (2) = 6 	6
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: June 15, 2020



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN
 13048 13 AVENUE
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JAN11/19	MK	REVISED RETAINING WALLS

SHEET TITLE
T1 - TREE PRESERVATION AND REMOVAL PLAN

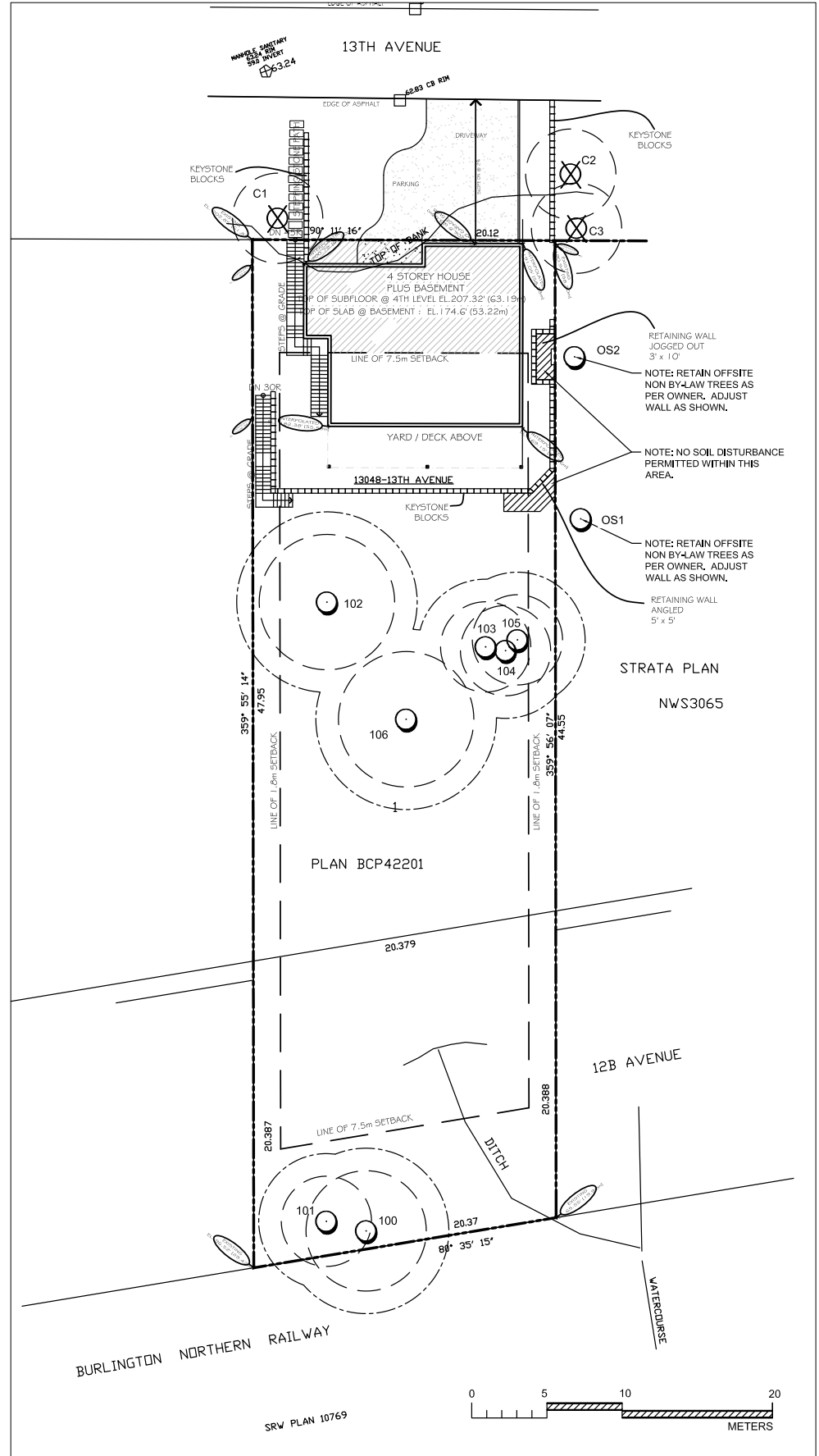
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DRAWN
 MK

SCALE
 AS SHOWN

DATE
 DECEMBER 18, 2017

T-1
 SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0373-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-024-109

LT 1 SC 8 T1 PLBCP42201

13048 13 Ave

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section G.1(b) Height of Buildings of Part 16 "Single Family Residential Zone (RF)", the maximum building height for of any portion of a principal building with a roof slope of less than 1:4 is increased from 7.3 metres to 11.5 metres;

(b) In Section F. Yards and Setbacks of Part 16 "Single Family Residential Zone (RF)", the minimum setback for buildings and structures is reduced from 1.8 metres to 0 metres for the retaining walls;

(c) In the table in Section B.2 of Part 7A "Streamside Protection", the minimum distance from top of bank for a "Natural Class B Stream" is reduced from 15.0 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).

4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A and Schedule B which are attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on

attached Schedule A or Schedule B which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



CHRISTOPHE VAISSADE
BUILDING DESIGNER
T: 604.614.6627
E: christophe@cvdesigns.ca
WWW.CVDESIGNS.CA

13048 | 13TH AVE

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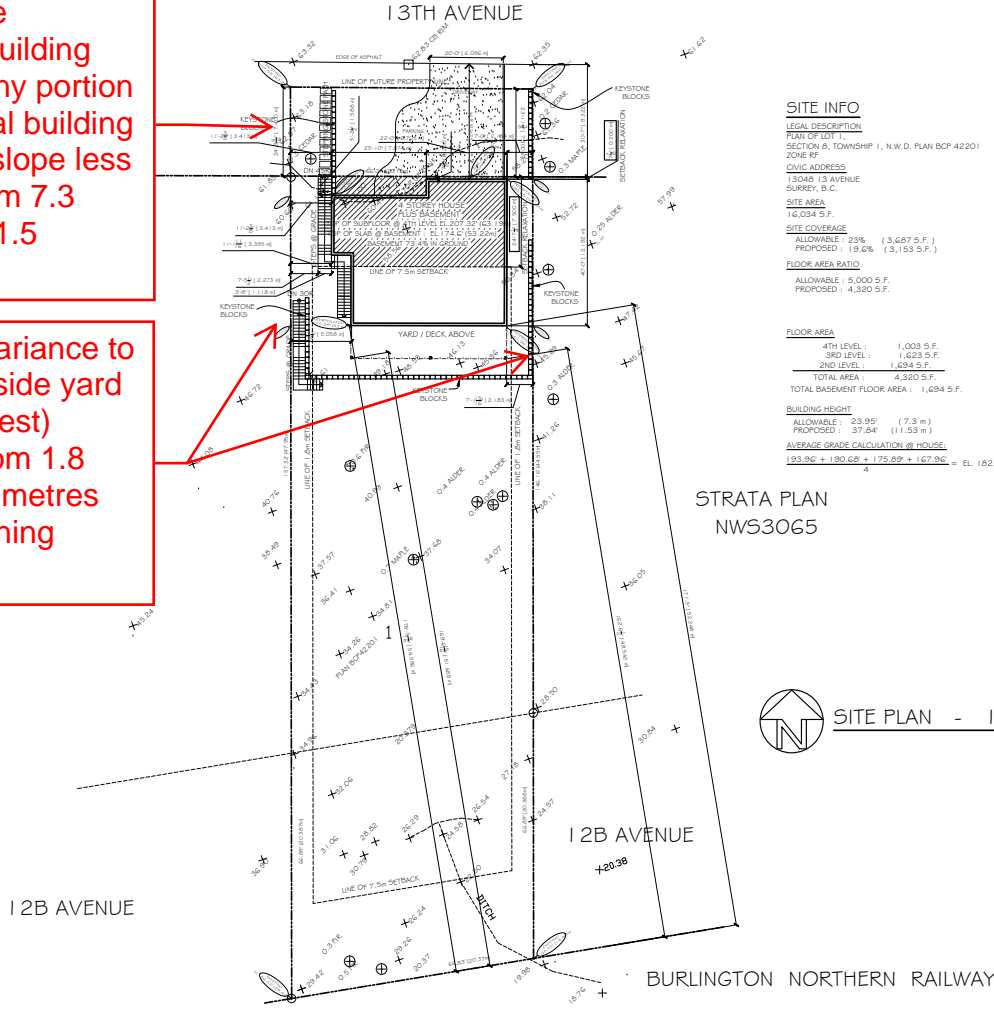
REV.	DATE	REMARKS
1007	09/20/17	REVISED FOR PERMIT
1008	09/20/17	REVISED FOR PERMIT
1009	09/20/17	REVISED FOR PERMIT
1010	09/20/17	REVISED FOR PERMIT

CLIENT :	
PROJECT :	13048 13TH AVE, SURREY
CONTENT :	SITE PLAN

DATE :	SEPT 2017
SCALE :	1/16" = 1'-0"
PROJECT No. :	
SHEET No. :	A 1.1
REVISION :	

Proposed variance to increase the maximum building height for any portion of a principal building with a roof slope less than 1:4 from 7.3 metres to 11.5 metres.

Proposed variance to reduce the side yard (east and west) setbacks from 1.8 metres to 0 metres for the retaining walls.



SITE INFO
LEGAL DESCRIPTION
PLAN OF LOT 1,
SECTION 9, TOWNSHIP 1, N.W. PLAN ECP 42201
13048 13 AVENUE
SURREY, B.C.
CIVIC ADDRESS
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STRATA PLAN
NWS3065



SITE PLAN - 13048 13 AVE

GENERAL NOTES

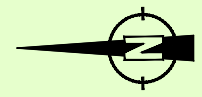
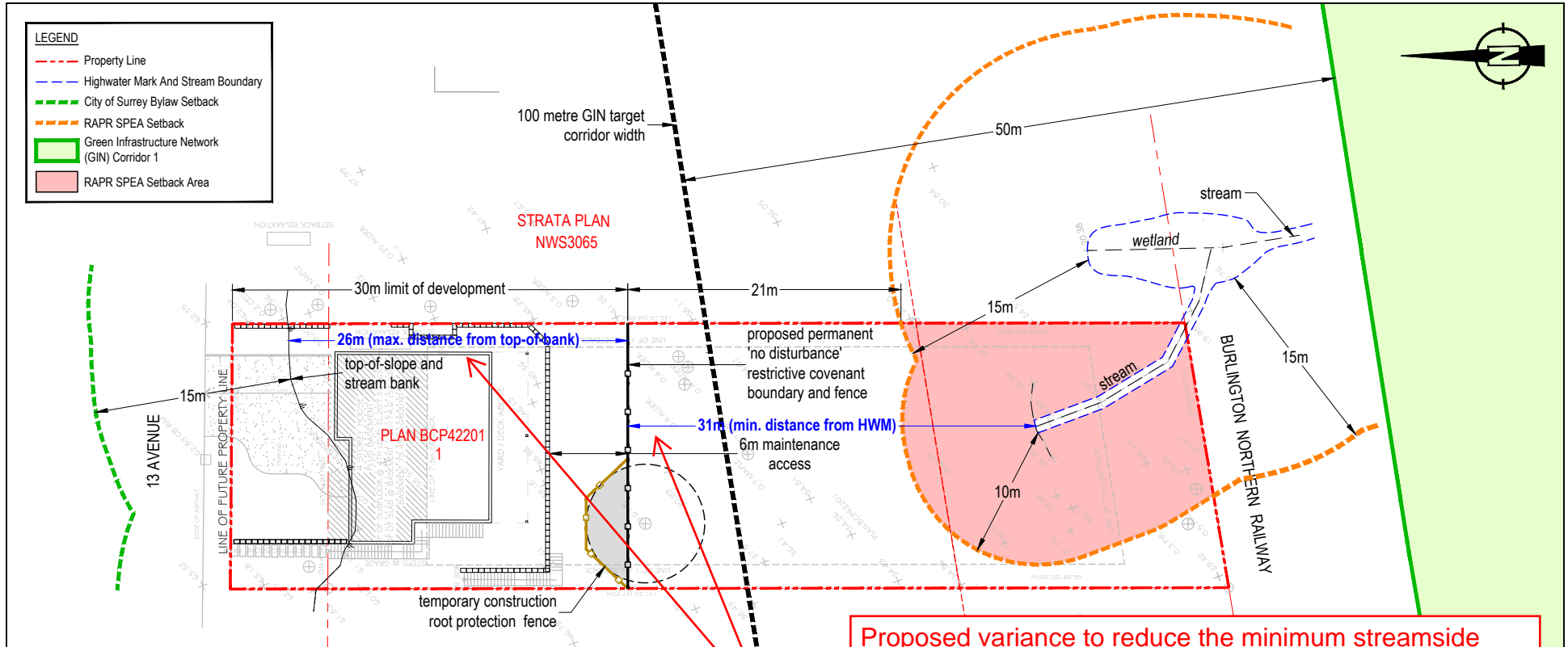
1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE B.C. BUILDING CODE 2012.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR SAME.
3. ALL WORK SHALL CONFORM TO THE B.C. BUILDING CODE (2012) AND ALL LOCAL MUNICIPAL CODES AND BY-LAWS.
4. CONTRACTOR OR OWNER TO VERIFY ROUGH OPENINGS OF ALL DOORS, WINDOWS, TOILETS, WARDROBES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION.
5. OWNER FINISHED GRADE SHALL BE FROM THE BUILDING MINIMUM 1/4" TO PROVIDE ADEQUATE DRAINAGE.
6. OWNER TO PROVIDE FINISHED GRADE FROM THE BUILDING CODE TO CONFORM WITH STRUCTURAL ENGINEER.
7. ARCHITECTURAL CONCRETE TO BE WELL VENTILATED, CLEAR OF ANY PROJECTING OBJECTS TO HAVE A SMOOTH EVEN TEXTURED FINISH.
8. CONCRETE SHALL BE TO BE READY TO ACCURATELY WITH SUBSECTION 9.12.4.7 OF THE B.C. BUILDING CODE (2012).
9. ROOF TRUSS MANUFACTURER TO PROVIDE SHOP DRAWINGS TO ARCHITECT/REGISTERED PROFESSIONAL ENGINEER PRIOR TO INSTALLATION.
10. ROOF VENTILES SHALL BE 1:8000 OF INSULATED CEILING SPACE. SHALL BE CARPENTRY SUBMITTED.
11. WALL PLATES SHALL BE #2 OR BETTER KD CORAL. ALL BAY BOLTS SHALL BE #4 OR BETTER OF STEEL. GROUND ANCHOR CONFORM TO REDUCED STRENGTH OF THE CURRENT B.C. BUILDING CODE WITH STRUCTURAL ENGINEER.
12. FRAMING TO BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS #4 OR #5. ANCHORS WITH METAL POST ANCHORS. CONFORM WITH STRUCTURAL ENGINEER.
13. DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL OR PARTITION.
14. DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS, TRAP CHASES TO BE FINISHED WITH PLASTER, ETC.
15. UNLESS NOTED TO BE 2" x 2" x 10' WITH DOUBLE PLATE ON TOP UNLESS NOTED OTHERWISE.
16. ALL WOOD IN CONTACT WITH CONCRETO TO BE DAMP PROTECTED WITH 30# BUILDING FELT.
17. FASTEN ALL GYPSUM WALL BOARD TO WOOD IN CONFORMANCE WITH SUB SECTION 9.19.9 OF THE B.C. BUILDING CODE (2012).
18. 9.19.9.11 (B.C. 2012) - FOR SINGLE LAYER GYPSUM BOARD APPLICATIONS SHALL BE AND NOT MORE THAN 800 mm O.C. ON CEILING SUPPORTS AND NOT MORE THAN 200 mm APART ALONG VERTICAL WALL JOISTS. CEILING TRAP BOARD MAY BE SPACED AT 1600 mm O.C. UNLESS OTHERWISE NOTED. SUCH WALL OR CEILING SUPPORTS 300 mm ALONG GYPSUM BOARD APPLICATIONS SHALL BE.
19. 9.19.9.12 (B.C. 2012) - WHERE SINGLE LAYER GYPSUM BOARD IS APPLIED TO CEILING AND MORE THAN 200 mm O.C. ALONG SUPPORTS, EXCEPT ON VERTICAL WALL JOISTS, THE JOIST SPACING SHALL BE MORE THAN 400 mm O.C. UNLESS OTHERWISE NOTED.
20. PRE-PAN GAS FIREPLACE INSTALLED TO CONFORM WITH THE REQUIREMENTS OF THE CANADIAN GAS CODE, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE REQUIREMENTS OF SUBSECTION 9.20.2 OF THE B.C. BUILDING CODE (2012). FINISH HANDLED AS PER OWNER'S SPECIFICATIONS.
21. PROVIDE ATIC ACCESS HATCHES AS PER ARTICLE 9.19.9.13 OF THE B.C. BUILDING CODE (2012) SECTION. ALL HATCHES TO BE MINIMUM 21" x 21" x 25.25" (540 mm x 540 mm).
22. ELECTRICAL, PLUMBING AND VENTILATION MUST COMPLY WITH ALL RELEVANT CODES AND REGULATIONS IN ALL RESPECTS.
23. EVERY EFFORT HAS BEEN MADE TO CAREFULLY PREPARE THESE DRAWINGS AND VERIFY DIMENSIONS. IT IS REQUESTED THAT THE BUILDING CONTRACTOR AND OWNER AND VERIFY ALL DIMENSIONS, MATERIALS AND FINISHES AND APPROVE THE RESPONSIBILITY FOR ALL. BY SIGNING THE PLANS HE AGREES THAT RESPONSIBILITY.
24. THE OWNER OR HIS AGENT SHALL BE RESPONSIBLE FOR ALLOWING ACCESS TO THE PROPERTY. IT IS REQUESTED THAT THE OWNER OR HIS AGENT SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE PROPERTY FOR THE PURPOSES OF THE STRUCTURE TO BE BUILT AND THE OWNER SHALL BE RESPONSIBLE FOR THE PROVISION OF ACCESS TO THE PROPERTY FOR THE PURPOSES OF THE STRUCTURE TO BE BUILT.

PLAN
SCALE 1:300

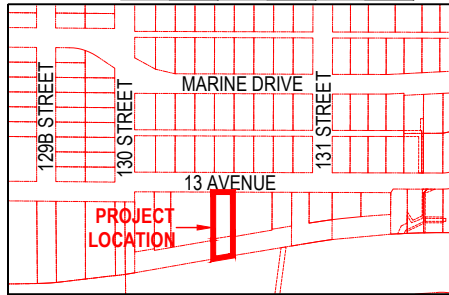
SCHEDULE B

LEGEND

- Property Line
- Highwater Mark And Stream Boundary
- City of Surrey Bylaw Setback
- RAPR SPEA Setback
- █ Green Infrastructure Network (GIN) Corridor 1
- █ RAPR SPEA Setback Area



LOCATION
SCALE 1:5000



Proposed variance to reduce the minimum streamside setback from a Natural Class B Stream on a lot of record from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to 26 metres below the top-of-bank).

REFERENCE DRAWINGS
 1. Email: A11-13048-13th Ave May 5-20.dwg, Received May 11, 2020; Lorne Ebenal.
 2. File No. 201606, "B.C. Land Surveyors Plan Showing Location of Trees and Spot Elevations on Lot 1, Section 8, Township 1, NWD Plan BCP42201", February 08, 2016.
 John Bresnick and Associates.
 3. 2019 Legal Base from City of Surrey.

MR. HUNDAL

 13048 13 AVENUE
 Surrey, BC

envirowest
www.envirowest.ca

envirowest consultants inc.
 Suite 101 - 1515 Broadway Street
 Port Coquitlam, British Columbia
 Canada V3C 6M2

office: 604-944-0502
 facsimile: 604-944-0507
 saper@vedere@envirowest.ca

SETBACKS			
DESIGN: RWS	DRAWN: CEV	CHECKED: RWS	REVISION: 08
As Shown			REVISION DATE: June 22, 2020
DATE: January 18, 2018	DRAWING NUMBER: 2195-01-02		

DATE: 2020-06-22 - 1:49pm
 PATH: \\ENV-FS-RAlpha\Envirowest_Files\2020\Surrey\White Rock\2195-01-02\2195-01-02\2195-01-02\2195-01-02.dwg
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