

City of Surrey  
PLANNING & DEVELOPMENT REPORT

Application No.: 7918-0377-00

Planning Report Date: June 15, 2020

PROPOSAL:

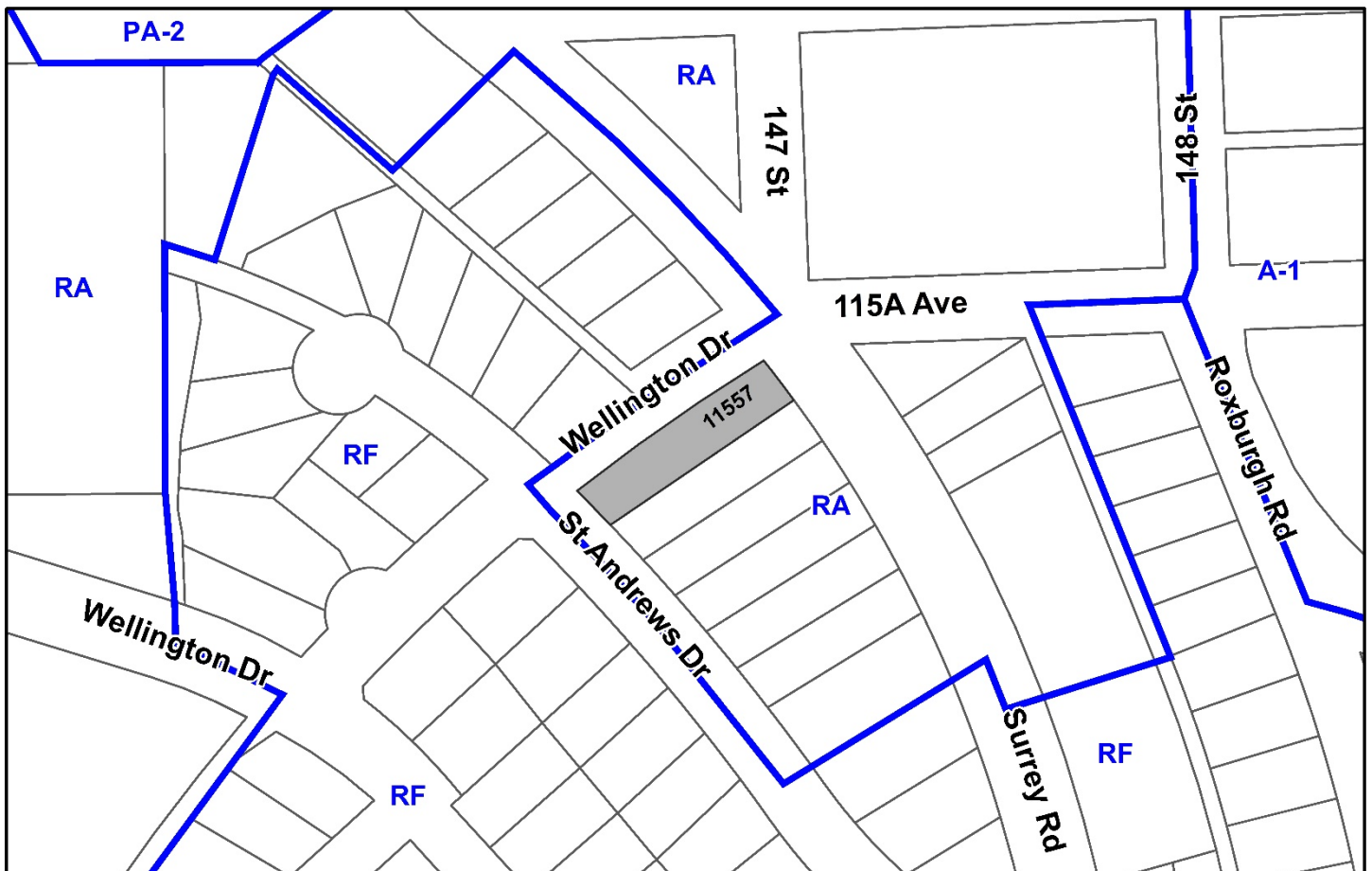
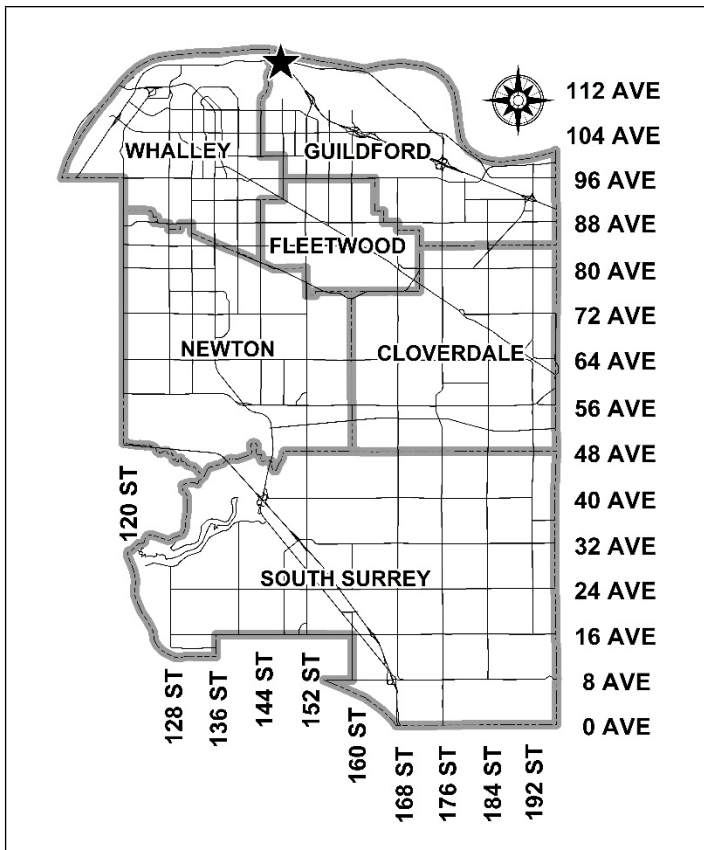
- **Rezoning** from RA to RF
- **Development Permit**
- **Development Variance Permit**

to permit subdivision into two (2) single family residential lots.

LOCATION: 11557 - Surrey Road

ZONING: RA

OCP DESIGNATION: Urban



## RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Hazard Lands and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the minimum lot width of proposed Lot 1 from 15 metres to 14.7 metres and the south side yard setback for proposed Lots 1 and 2 from 1.8 metres to 1.2 metres, under the RF Zone, in order to facilitate the proposed subdivision into two lots and to construct single-family dwellings on each of the proposed lots.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- A geotechnical report was submitted to the City for the Development Permit for Hazard Lands (Steep Slopes), which was peer reviewed by an independent geotechnical engineer. The content of the geotechnical report sufficiently addresses the Official Community Plan (OCP) Hazard Land Development Permit guidelines in support of the proposed subdivision.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Green Infrastructure Areas).
- The requested variance to reduce the minimum south side yard setback on proposed Lots 1 and 2 is required in order to increase the opposite (north) side yard setback to accommodate Green Infrastructure Network (GIN) protection and enhancement, and tree protection, while still accommodating an adequately sized building envelope on the lots.
- The proposed lot width reduction on proposed Lot 1 reflects the existing frontage width of the subject site along St. Andrews Drive.
- The requested variance to reduce the minimum south side yard setback is not anticipated to have a negative impact on the streetscape along Surrey Road or St. Andrews Drive, given the existence of narrow RA zoned lots south of the subject property, which are anticipated could accommodate RF-13 type lots in the future to address the current double fronting configuration (rezoning application would be required and subject to Council approval).
- The proposal is consistent with previous Development Application No. 7915-0062-00 to the southwest of the subject property which also proposed RF zoned lots and was approved in 2017.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0377-00 for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Green Infrastructure Areas) generally in accordance with the finalized Ecosystem Development Plan and geotechnical report.
3. Council approve Development Variance Permit No. 7918-0377-00 (Appendix VII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum lot width of the RF Zone from 15 metres to 14.7 metres for proposed Lot 1; and
  - (b) to reduce the minimum south side yard setback of the RF Zone from 1.8 metres to 1.2 metres to the principal building on proposed Lots 1 and 2.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (f) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
  - (g) submission of a finalized Geotechnical Report;
  - (h) the applicant satisfy the Tier 1 Capital Projects Community Amenity Contributions (CAC) requirement to the satisfaction of the Planning and Development Department;
  - (i) registration of a Section 219 Restrictive Covenant requiring increased north side yard setbacks of 3.6 metres for proposed Lots 1 and 2;
  - (j) registration of a Section 219 Restrictive Covenant requiring an increased front yard setback of 8.5 metres for proposed Lot 2;

- (k) registration of a Section 219 Restrictive Covenant for tree retention on proposed Lots 1 and 2;
- (l) registration of a Section 219 Restrictive Covenant for GIN corridor protection and installation and maintenance of GIN corridor planting and fencing on proposed Lot 2; and
- (m) registration of a Section 219 Restrictive Covenant on proposed Lots 1 and 2 for geotechnical setback, slope stability and to ensure future house construction is in accordance with the recommendations in the submitted geotechnical report.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant residential lot	Urban	RA
North (Across unconstructed lane):	Single family dwellings	Urban	RA
East (Across Surrey Road):	Single family dwellings	Urban	RF
South:	Single family dwelling	Urban	RA
West (Across St. Andrews Drive):	Single family dwellings	Urban	RF

### Context & Background

- The 1,073 square metre subject property is located at 11557 - Surrey Road in Bolivar Heights. The subject lot is approximately 15.3 metres wide and 68.3 metres deep.
- The subject lot is designated "Urban" in the Official Community Plan (OCP) and is zoned "One Acre Residential Zone (RA)". The property is a historic undersized double fronting RA zoned lot in an established, predominantly RF-zoned, residential neighbourhood.
- The Green Infrastructure Network (GIN) is located northeast of the subject site. Of the 2,569 square metre gross site area, approximately 320 square metres is within the GIN, while the remaining 2,249 square metres is beyond the GIN boundary.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes to rezone the subject property from "One Acre-Residential Zone (RA)" to "Single Family Residential Zone (RF)" in order to subdivide into two (2) single family residential lots.

- The proposed rezoning and subdivision have merit as the proposed RF zoning is consistent with the surrounding residential neighbourhood and the subdivision into two lots will resolve the existing double-fronting lot configuration. The proposed subdivision will result in one lot fronting Surrey Road and one lot fronting St. Andrews Drive.
- A Development Variance Permit is also requested to reduce minimum lot width of proposed Lot 1 and the minimum south side yard setback for proposed Lots 1 and 2 under the proposed RF Zone in order to facilitate the proposed 2-lot subdivision and accommodate sufficient building envelopes for typical RF style houses on the lots (see By-law Variances Section).
- A Development Permit is also required for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Green Infrastructure Areas) (See Hazard Lands Development and Streamside Protection Section).
- Details of the proposed subdivision are provided in the table below:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	2,569 square metres
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	2,569 square metres
<b>Number of Lots:</b>	2
<b>Unit Density:</b>	18.64 units per hectare
<b>Range of Lot Sizes</b>	512 square metres – 560 square metres
<b>Range of Lot Widths</b>	14.7 metres – 15.7 metres
<b>Range of Lot Depths</b>	32.4 metres – 35.9 metres

### Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has provided the following projects for the number of students from this development:**

1 Elementary student at Ellendale Elementary School  
1 Secondary student at

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by September, 2021.

**Parks, Recreation & Culture:**

Parks have some concerns about the pressure this project will place on City trees located in the unconstructed Dumbarton Road allowance and will not allow grading inside of that area. All of these trees are currently proposed for retention. Parks will review impact to all City trees as part of the detailed servicing design stage.

**Transportation Requirements**

- In lieu of constructing Dumbarton Road north of the subject site, a meandering crushed gravel walkway is proposed subject to steep grades, accessibility, and project arborist sign-off (to be reviewed and determined during detailed design). The walkway will provide a connection between Surrey Road and St. Andrews Drive while retaining all trees, if achievable.

**Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

**POLICY & BYLAW CONSIDERATIONS****Regional Growth Strategy**

- The site is designated "General Urban" in the Regional Strategy (RGS).
- General Urban Areas are intended for residential neighborhoods.
- The proposed single-family residential development complies with the RGS designation for the site.

**Official Community Plan**Land Use Designation

- The proposal complies with the "Urban" designation in the Official Community Plan (OCP).
- The Urban designation is intended to support low and medium density residential neighborhoods. The proposal complies with the Urban OCP designation, with a maximum density of up to 36 units per hectare.

Themes/Policies

- As per General Provisions Part 4 Section 21 (h) of the Zoning By-law No. 12000, where the land being subdivided is such that only one lot to be created does not have the required minimum lot area, the subdivision may be approved provided that the area of this lot is not less than 90% of the minimum lot area requirement prescribed in the Zone. Proposed Lot 1 is 91% (512 square metres) of the minimum 560 square metre lot area requirement of the RF Zone, thus meeting the requirement for subdivision as prescribed in the Zoning By-law.

## Zoning Bylaw

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning Bylaw, including the "Single Family Residential Zone (RF)":

RF Zone (Part 16)	Permitted and/or Required	Proposed
<b>Yards and Setbacks (RF Zone)</b>		
<b>Lot 1</b>		
Front Yard:	7.5 metres	5.5 metres*
Side Yard:	1.8 metres	1.2 metres****
Side Yard Flanking:	3.6 metres	3.6 metres
Rear:	7.5 metres	6.0 metres**
<b>Lot 2</b>		
Front Yard:	7.5 metres	8.5 metres
Side Yard:	1.8 metres	1.2 metres****
Side Yard Flanking:	3.6 metres	3.6 metres
Rear:	7.5 metres	6.0 metres**
<b>Lot Size (RF Zone)</b>		
<b>Lot 1</b>		
Lot Size:	560 square metres	512 square metres***
Lot Width:	15 metres	14.7 – 15.7 metres****
Lot Depth:	28 metres	32.4 – 34.6 metres
<b>Lot 2</b>		
Lot Size:	560 square metres	560 square metres
Lot Width:	15 metres	15.3 metres
Lot Depth:	28 metres	35.6 – 36 metres
<b>Parking (Part 5)</b>		
<b>Number of Spaces</b>	<b>Required</b>	<b>Proposed</b>
	3	3

\*Except for a garage, the front yard setback may be relaxed at the lower floor level to 5.5 metres for a maximum of 50% of the width of the principal building.

\*\*50% of the length of the rear building face may be setback a distance of 6.0 metres from the rear lot line provided the remainder of the building face is setback at least 8.5 metres from the rear lot line.

\*\*\*Where the land being subdivided is such that only one lot to be created does not have the required minimum lot area, the subdivision may be approved provided that the area of this lot is not less than 90% of the minimum lot area requirement prescribed in the Zone.

\*\*\*\*Variance requested (see By-law Variances Section).

## Setback Variance

- The applicant is requesting the following variances:

- to reduce the minimum lot width of the RF Zone from 15 metres to 14.7 metres for Lot 1; and
- to reduce the minimum south side yard setback of the RF Zone from 1.8 metres to 1.2 metres for principal buildings on proposed Lots 1 and 2.
- The existing frontage of the subject property along St. Andrews Drive is 14.7 metres. The proposed variance will allow proposed Lot 1 to be created fronting onto St. Andrews Drive.
- The proposed reduced south side yard setback will accommodate an increased north side yard setback, thereby creating additional room for protection and enhancement of the portions of the GIN Corridor that are within the subject site.
- City trees within the unconstructed Dumbarton Road north of the subject site have tree protection zones which extend into the subject property, therefore impacting proposed Lots 1 and 2. In order to reduce impact to those trees, decreasing the south side yard setback also allows for a more functional building footprint while ensuring minimized impact to City trees.
- The requested variance to reduce the minimum south side yard setback is not anticipated to have a negative impact on the streetscape along Surrey Road or St. Andrews Drive, due to the existence of narrow RA lots south of the subject property, which are anticipated to accommodate RF-13 type lots in the future to address the existing double fronting lot configuration (subject to a development application and Council approval of rezoning).
- Staff support the requested variances to proceed for Public Notification.

#### Lot Grading and Building Scheme

- The applicant retained Mike Tynan of Tynan Consulting as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines Appendix IV.
- The Character Study involved reviewing a number of existing homes in the neighborhood in order to establish suitable design guidelines for the proposed subdivision. The study found that the only a few homes in the area could be considered acceptable architectural context for the subject site. These homes meet new massing design standards in which various projections on the front of the home are proportionally consistent with one another and are well balanced across the façade. The Design Consultant has proposed a set of building design guidelines that recommend preferred styles for this site which include "Neo-Traditional", "Neo-Heritage" and compatible styles including compatible manifestations of the "West Coast Contemporary" style as determined by the consultant that provide a style bridge between old urban and modern urban.
- A preliminary lot grading plan, submitted by Mainland Engineering Design Corporation, and dated November 19, 2019, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements on proposed Lots 1 and 2. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.



### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, the contribution does not apply.

### **Capital Projects (Tier 1) Community Amenity Contributions**

- On December 16, 2019, Council approved the Community Amenity Contribution and Density Bonus Program (Corporate Report No. R224; 2019), which introduced a new City-wide Community Amenity Contribution (CAC) to assist with funding projects in the City's Annual Five-Year Capital Finance Plan.
- For rezoning projects where the proposed density is consistent with the permitted OCP density, a flat rate per additional proposed dwelling unit (Tier 1) Capital Projects CAC applies. Payment of the Tier 1 CAC is required prior to Final Adoption of the subject Rezoning By-law.
- For the subject application, a phased rate applies as follows:
  - \$1,000 per dwelling unit proposed should the project receive Final Adoption prior to January 1, 2021;
  - \$1,500 per dwelling unit proposed should the project receive Final Adoption between January 1, 2021 and December 31, 2021; and
  - \$2,000 per dwelling unit proposed should the project receive Final Adoption after January 1, 2022.

### **PUBLIC ENGAGEMENT**

Pre-notification letters were sent on November 1, 2019, and the Development Proposal Signs were installed on November 13, 2019. Staff received a response from one (1) respondent and no comments from the Bolivar Heights Community Association (*staff comments in italics*):

- One resident expressed concern that the development would extend closer to their home.  
*(the proposed development is to facilitate a two-lot subdivision of the subject lot. No further applications have been submitted in order to develop the rest of the block).*

## DEVELOPMENT PERMITS

### **Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement**

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located within the east portion of the subject site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies Regional BCS Corridor within the subject site, in the Green Timbers BCS management area, with a High ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderately High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 100 meters. The BCS recommends a target Hub Area of 320 square meters or 30% of the subject property. It is noted that the portion of the GIN corridor that is within the subject property is separated from the rest of the GIN Corridor by existing roads (Surrey Road and 115A Avenue)
- The applicant is proposing to protect 74 square metres of the approximate 320 square metres of the targeted GIN corridor that is within the subject site. In order to offset the proposed encroachment of approximately 246 square metres, the applicant is proposing to enhance (with plantings) and fence off 74 square meters of proposed GIN corridor to be secured on the site. This will all be within the front and north side yard of proposed Lot 2 and will be secured and protected by Restrictive Covenants.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc., and dated April 29, 2020, was reviewed by staff and found to be generally acceptable. The finalized report and recommendations will be incorporated into the Development Permit.

### **Hazard Lands (Steep Slope) Development Permit Requirement**

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP. As per COMOS, the site contains an overall slope gradient of approximately 20% with localized slopes up to 35% near the existing carport rear side retaining wall.
- A geotechnical report, prepared by Tegbir S. Bajwa, *P. Eng.*, of Able Geotechnical Ltd., and dated April 17, 2020, was peer reviewed by Rajinder Bains, *P. Eng.*, of Western Geotechnical Consultants Ltd. and found to be generally acceptable by the peer reviewer. The report and peer review were reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands, the finalized geotechnical report will be incorporated into the Development Permit.

- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

**TREES**

- Reginald Eddy, ISA Certified Arborist of Huckleberry Landscape Design prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	0	0	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry	0	0	0
Maple	2	2	0
<b>Coniferous Trees</b>			
Cedar	2	2	0
Douglas Fir	0	0	0
Hemlock	0	0	0
<b>Total (excluding Alder, Cottonwood Trees and GIN)</b>	<b>4</b>	<b>4</b>	<b>0</b>
<b>Additional Estimated Trees in the proposed Open Space (GIN)</b>	<b>28</b>	<b>0</b>	<b>28</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>4</b>	
<b>Total Retained and Replacement Trees</b>		<b>4</b>	
<b>Contribution to the Green City Program</b>		<b>\$1,600</b>	

- The Arborist Assessment states that there is a total of 4 mature trees on the site. It was determined that no trees can be retained on site as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 28 protected trees that are located within the unconstructed road allowance. All twenty – eight (28) protected trees in the unconstructed road allowance are proposed to be retained, except where removal is required due to hazardous conditions. This will be determined later, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 8 replacement trees on the site. Since only 4 replacement trees can be accommodated on the site, the deficit of 4 replacement trees will require a cash-in-lieu payment of \$1,600 representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection Bylaw.
- The new trees on the site and corresponding landscape planting for the GIN corridor planting on the site will consist of a variety of trees including Sitka Mountain Ash, Baldip Rose, Dull Oregon – Grape, Oceanspray, Snowberry and Sword Fern.
- In summary, four (4) trees are proposed to be replaced on the site with a contribution of \$1,600 to the Green City Fund.
- It is noted that there is one tree on the neighbouring lot to the south, proposed for removal. The applicant has secured permission from the neighbour for removal of this tree and will contribute \$800 to the Green City Fund to compensate for its removal.
- Trees and Landscaping noted potential impact to the critical root zones of OS<sub>1</sub> and OS<sub>2</sub>. As such, construction methods and materials will be clearly presented during the detailed design stage.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Building Design Guidelines Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Landscaping Plan
Appendix VII.	Development Variance Permit No. 7918-0377-00

**INFORMATION AVAILABLE ON FILE**

- Geotechnical Study Prepared by Able Geotechnical Ltd., Dated April 17, 2020.
- Ecosystem Development Permit Prepared by Envirowest Consultants Ltd., Dated April 29, 2020.

*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

ELM/cm



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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 17, 2020** PROJECT FILE: **7818-0377-00**

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RE: **Engineering Requirements  
Location: 11557 Surrey Road**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Register 0.5 m statutory rights-of-way along Surrey Road and St. Andrews Drive.

***Works and Services***

- Construct west side of Surrey Road.
- Construct east side of St. Andrews Drive.
- Construct 6.0 m concrete driveway letdown to each lot.
- Extend water main along Surrey Road.
- Extend sanitary sewer main along St. Andrews Drive.
- Provide water, storm and sanitary service connections to each lot.
- Abandon any redundant water, storm and sanitary service connections.
- Construct on-site stormwater mitigation features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.



Tommy Buchmann, P.Eng.  
Development Services Manager

DJS

May 7, 2020

**Planning**

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Ellendale Elementary serves a maturing residential area. The catchment, however, does continue to have a strong average birthrate of 26 births per year; consequently, the 10 year projections indicated there will be a very gentle growth curve. Enrolment projections are showing the school only increasing by 39 students over the next 10 years.

The school is currently operating below capacity. It is anticipated that the enrolment will surpass the school's existing capacity around 2022. As future growth is forecasted to be minimal, future growth can be accommodated in portables. There are no capital expansion requests for this school.

Guildford Park Secondary is currently operating at 122% and is projected to minimally grow. This school will be impacted by development along the Guildford 104th Ave Corridor when that plan has been adopted. The impact of this plan will not be included in this projection until the plan has been approved. As per the District's Five Year 2020/2021 Capital Plan, the District is requesting a 450 capacity addition targeted to open September 2025. The Ministry of Education has not approved capital funding for this request.

**THE IMPACT ON SCHOOLS**

**APPLICATION #:** 18 0377 00

**SUMMARY**

The proposed 2 Single family with suites are estimated to have the following impact on the following schools:

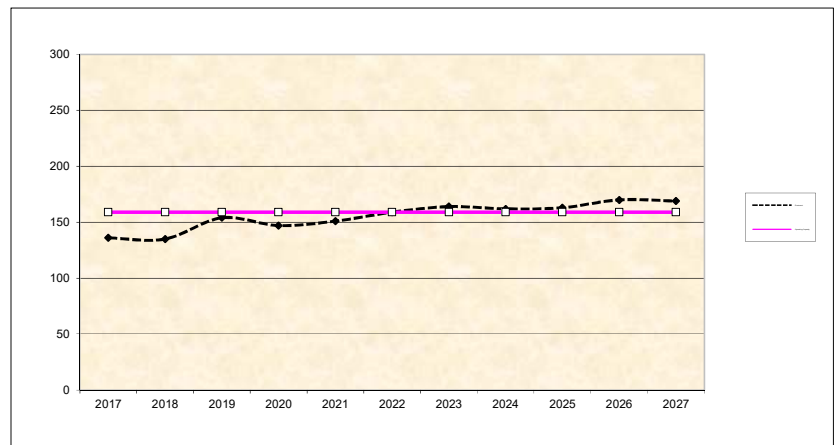
**Projected # of students for this development:**

Elementary Students:	1
Secondary Students:	1

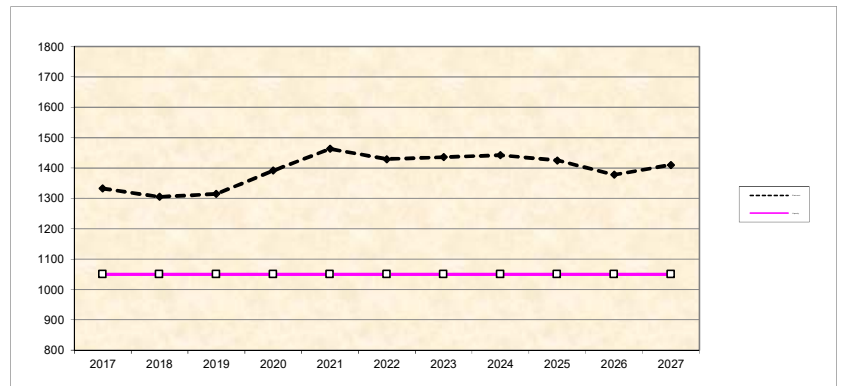
**September 2019 Enrolment/School Capacity**

<b>Ellendale Elementary</b>	
Enrolment (K/1-7):	24 K + 130
Operating Capacity (K/1-7)	19 K + 140
<b>Guildford Park Secondary</b>	
Enrolment (8-12):	1315
Capacity (8-12):	1050

**Ellendale Elementary**



**Guildford Park Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



## BUILDING GUIDELINES SUMMARY

Surrey Project no: 7918-0377-00  
 Project Location: 11557 Surrey Road, Surrey, B.C.  
 Design Consultant: Tynan Consulting Ltd.

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

### 1. Residential Character

#### 1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located within an old growth area in recent transition to a modern urban character. Seventy seven percent of existing homes within the survey area are classified as "old urban" or "West Coast Traditional" homes from the 1960's to 1990's. Older homes include one box-like Basement Entry home, one box-like Cathedral Entry home, and eight Two-Storey homes (with mid to high-scale massing). None of these homes provide suitable context for a year 2019 RF zone development.

Twenty three percent of homes are modern urban homes which can be classified as "Neo-Traditional" and "Neo-Heritage" style Two-Storey type homes, all designed to a modern standard with well balanced, consistently proportioned, mid-scale massing characteristics. These homes have 10:12 or steeper pitch common hip or common gable roofs with a shake profile asphalt shingle roof surface. Gable ends are articulated with stucco with vertical battens, stone, or wood detailing. One home is entirely clad with stone at the front. Another home is clad with stucco at the front, and one with Hardiplank (or other fibre cement board). All homes also have stone accents. One has a front balcony. All of these newer homes can be considered suitable "context homes".

#### 1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** There are only a few homes in this area that could be considered to provide acceptable architectural context for the subject site. These homes meet new massing design standards in which various projections on the front of the home are proportionally consistent with one another, and are well balanced across the façade. These new homes provide an appropriate standard for future development in this area, and emulating the standards found on these homes will reinforce the desirable emerging trend. Therefore, new homes should be compatible with the new context homes described above.
- 2) **Style Character :** There are a mix of old urban and modern urban styles in this neighbourhood. Preferred styles for this site include "Neo-Traditional", "Neo-Heritage", and compatible styles including compatible manifestations of the "West Coast

Contemporary" style as determined by the consultant that provide a style bridge between old urban and modern urban. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.

- 3) **Home Types** : Most surrounding homes are Two-Storey type, and it is expected that all new homes constructed at the subject site will be Two-Storey type with in-ground basements. However, home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc.) will not be regulated in the building scheme.
- 4) **Massing Designs** : Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design** : Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding** : A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, fibre cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post year 2019 RF zone developments.
- 7) **Roof surface** : This is an area in which most homes have asphalt shingle roofs. It is expected that most new homes will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended. Where required by the BC Building Code for lower slope applications membrane roofing products can be permitted subject to consultant approval. Small decorative metal roofs should also be permitted.
- 8) **Roof Slope** : Roof slopes range from 4:12 to more than 12:12. Given the range of roof slopes in this area, roofs slopes of 6:12 or higher are recommended, with standard exceptions to allow lower slopes at verandas (so front windows at the upper floor can be of sufficient depth) and to ensure that roofs are not overly high, resulting in over-shadowing of neighbouring lots, or resulting in view corridor blockage. However, due to emerging trends in which contemporary designs are being increasingly sought, lower slope roofs could be approved subject to confirmation of the architectural integrity of the contemporary design, as determined by the consultant.

**Streetscape:** The Streetscape along Surrey Road consists of a mix of older homes primarily built in the 1990's or prior. These homes are Two-Storey type with high massing characteristics with the exception of one recently built home with mid-scale massing. The homes have one storey high front entrances. The main roofs are common hips or gables with slopes of 4:12 and higher. The roof materials are asphalt shingles. The older homes are clad in vinyl, cedar or stucco and most do not have distinctive feature materials. The new home features Hardiplank with stone accents and wood shingles in the gable. Landscaping is minimal and does not meet current urban standards.

The Streetscape along St. Andrews Street consists primarily of homes built in the 1990's with some newer recently built homes. The homes have a high to mid-scale massing and are Two-Storey in "Neo-Traditional" / "Neo-Heritage" style. The homes have 1 - 1½ storey high front entrances. Main roof forms are common hip or common gable at an 8:12 or steeper slope. The homes have shake profile asphalt shingle roofs. They are clad in vinyl, Hardiplank or stucco with feature masonry accents and common gables articulated with either cedar shingles or hardiboard and 1x4 vertical wood battens. All homes have a shake profile asphalt shingle roof. Landscaping meets a common modern urban standard.

## 2. Proposed Design Guidelines

### 2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Traditional", "Heritage", "Neo-Traditional", "Neo-Heritage", compatible forms of "West Coast Contemporary", or other compatible styles with appropriate transitions in massing and character, as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2019's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

### 2.2 Proposed Design Solutions:

#### **Interfacing Treatment with existing dwellings)**

Strong relationship with neighbouring "context homes"  
Homes will therefore be in a compatible style range, including "Neo-Traditional", "Neo-Heritage", compatible forms of "West Coast Contemporary", or other compatible styles (note however that style range is not specifically regulated in the building scheme). New homes will have similar or better massing designs (equal or lesser massing scale, consistent

proportionality between various elements, and balance of volume across the façade). New homes will have similar roofing materials. Wall cladding, feature veneers and trim treatments will meet or exceed standards found on the aforesaid context homes.

**Exterior Materials/Colours:** Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. “Primary” colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

**Roof Pitch:** Minimum 6:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.

**Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black only. Membrane roofs also permitted where required by B.C. Building Code, and small metal feature roofs also permitted.

**In-ground basements:** In-ground basements are subject to determination that service invert locations are sufficiently below grade to permit a minimum 50 percent in-ground basement to be achieved. If achievable, basements will appear underground from the front.

**Treatment of Corner Lots:** Not applicable - there are no corner lots

**Landscaping:** *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, coloured concrete (earth tones only), or stamped concrete.

**Compliance Deposit:** \$5,000.00

**Summary prepared and submitted by:** Tynan Consulting Ltd.      Date: October 30, 2019

**Reviewed and Approved by:**



Date: October 30, 2019

Filip Christiaanse

## Tree Preservation Summary

**Surrey Project No:** 7918-0377-00  
**Address:** 11557 Surrey Road, Surrey  
**Registered Arborist:** Anne Kulla - Huckleberry Landscape Design

On-Site Trees	Number of Trees
(onsite and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space (GIN) or riparian)	<b>4</b>
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>4</b>
<b>Protected Trees to be Removed</b>	<b>4</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>0</b>
<b>Total Replacement Trees Required:</b>  <div style="text-align: center;"> <p>Alder &amp; Cottonwood Trees Requiring 1 to 1            - Replacement Ratio</p> <math display="block">\begin{array}{r} 0 \quad \times \quad \text{one (1)} \quad = \quad 0 \\ \hline \end{array}</math> <p>- All other Trees Requiring 2 to 1 Replacement Ratio</p> <math display="block">\begin{array}{r} 4 \quad \times \quad \text{two (2)} \quad = \quad 8 \\ \hline \end{array}</math> </div>	<b>8</b>
<b>Replacement Trees Proposed</b>	<b>4</b>
<b>Replacement Trees in Deficit</b>	<b>4</b>

<b>Protected Trees to be Retained in Proposed Open Space / Riparian Areas</b>	<b>28</b>
---	-----------

<b>Off-Site Trees</b>	<b>Number of Trees</b>
<b>Protected Off-Site Trees to be Removed</b>	1
<b>Total Replacement Trees Required:</b>  Alder & Cottonwood Trees Requiring 1 to 1 - Replacement Ratio  X one (1)           = 0 _____  - All other Trees Requiring 2 to 1 Replacement Ratio  1 X two (2)           = 2 _____  	2
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary, report and plan prepared and submitted by:



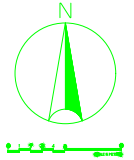
\_\_\_\_\_  
(Signature of Arborist)

April 6, 2020

\_\_\_\_\_  
Date

# TREE RETENTION AND REMOVAL PLAN

1. This area will require maintenance to remove dead branches on the west side of trees #58 and #59.
2. The trees in this area have extensive ivy cover. The ivy must be severed at the base of trees #57 - #60.
3. Tree #56 will be reduced to an 8 meter wildlife tree.
4. One stem on tree #58 will be reduced to a 6 meter wildlife tree.



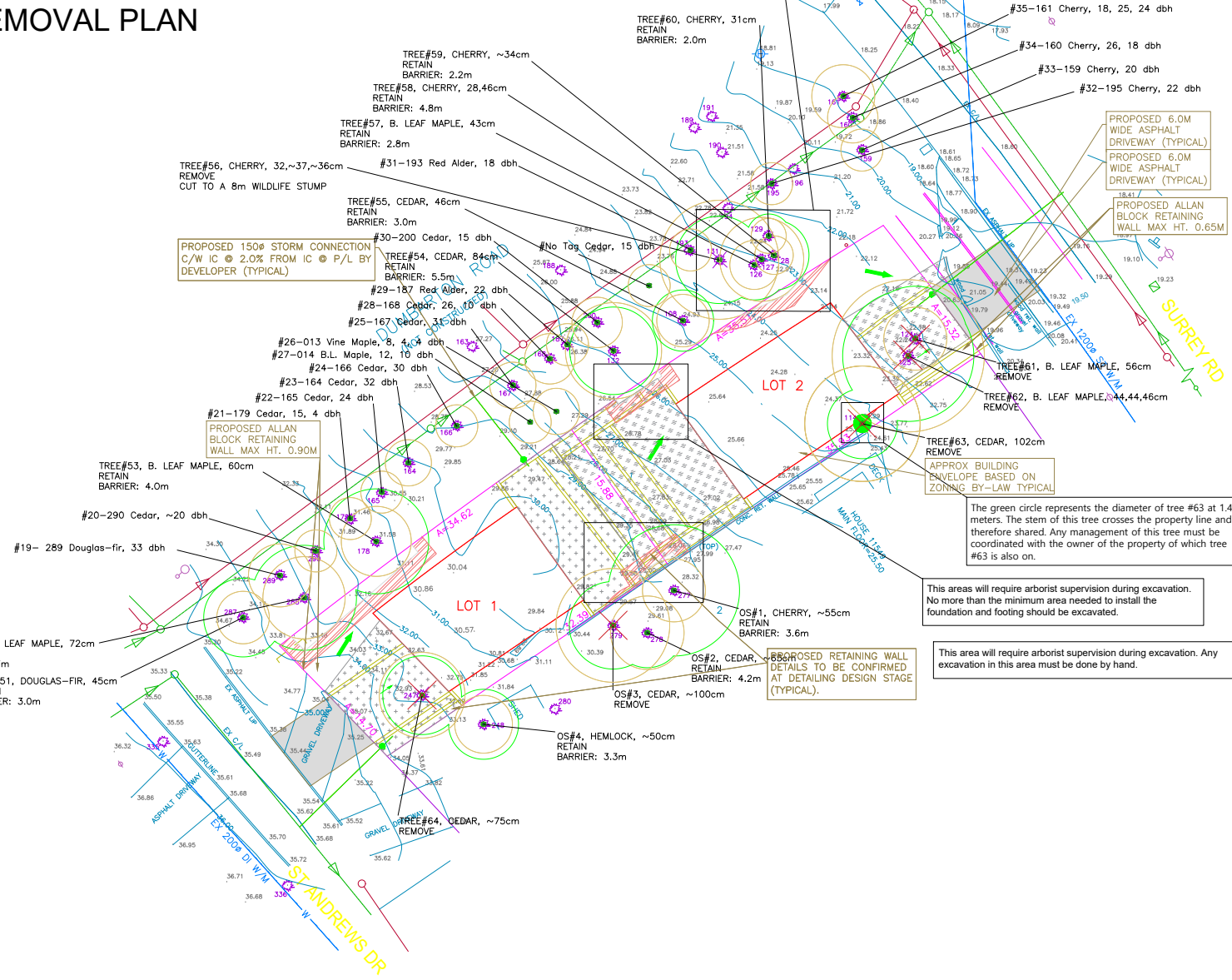
Trees not shown on survey are noted in Label

- Critical Root Zone
- Retained Tree
- Removed Tree
- 1.5m No Build Zone
- Protective Tree Barrier

Phone: 604-724-3025  
 Email: anne@nuckleberrylandscape.ca

Tree Plan  
 Retention and Removal

Client: Rainder Bains  
 2 Lot Subdivision  
 11557 Surrey Road  
 Surrey, BC



PROPOSED 150mm STORM CONNECTION  
 C/W IC @ 2.0% FROM IC @ P/L BY  
 DEVELOPER (TYPICAL)

PROPOSED ALLAN  
 BLOCK RETAINING  
 WALL MAX HT. 0.90M

The green circle represents the diameter of tree #63 at 1.4 meters. The stem of this tree crosses the property line and is therefore shared. Any management of this tree must be coordinated with the owner of the property of which tree #63 is also on.

This area will require arborist supervision during excavation. No more than the minimum area needed to install the foundation and footing should be excavated.

This area will require arborist supervision during excavation. Any excavation in this area must be done by hand.

PROPOSED RETAINING WALL  
 DETAILS TO BE CONFIRMED  
 AT DETAILING DESIGN STAGE  
 (TYPICAL).

APPROX BUILDING  
 ENVELOPE BASED ON  
 ZONING BY-LAW TYPICAL

PROPOSED 6.0M  
 WIDE ASPHALT  
 DRIVEWAY (TYPICAL)

PROPOSED 6.0M  
 WIDE ASPHALT  
 DRIVEWAY (TYPICAL)

PROPOSED ALLAN  
 BLOCK RETAINING  
 WALL MAX HT. 0.65M

TREE#56, CHERRY, 32, ~37, ~36cm  
 REMOVE  
 CUT TO A 8m WILDLIFE STUMP

TREE#59, CHERRY, ~34cm  
 RETAIN  
 BARRIER: 2.2m

TREE#58, CHERRY, 28.4cm  
 RETAIN  
 BARRIER: 4.8m

TREE#57, B. LEAF MAPLE, 43cm  
 RETAIN  
 BARRIER: 2.8m

TREE#60, CHERRY, 31cm  
 RETAIN  
 BARRIER: 2.0m

#35-161 Cherry, 18, 25, 24 dbh

#34-160 Cherry, 26, 18 dbh

#33-159 Cherry, 20 dbh

#32-195 Cherry, 22 dbh

TREE#55, CEDAR, 46cm  
 RETAIN  
 BARRIER: 3.0m

#30-200 Cedar, 15 dbh

TREE#54, CEDAR, 84cm  
 RETAIN  
 BARRIER: 5.5m

#No Tag Cedar, 15 dbh

#29-187 Red Alder, 22 dbh

#28-168 Cedar, 26, 10 dbh

#25-167 Cedar, 31 dbh

#26-013 Vine Maple, 8, 4, 4 dbh

#27-014 B.L. Maple, 12, 10 dbh

#24-166 Cedar, 30 dbh

#23-164 Cedar, 32 dbh

#22-165 Cedar, 24 dbh

#21-179 Cedar, 15, 4 dbh

TREE#53, B. LEAF MAPLE, 60cm  
 RETAIN  
 BARRIER: 4.0m

#20-290 Cedar, ~20 dbh

#19- 289 Douglas-fir, 33 dbh

TREE#52, B. LEAF MAPLE, 72cm  
 RETAIN  
 BARRIER: 4.7m

TREE#51, DOUGLAS-FIR, 45cm  
 RETAIN  
 BARRIER: 3.0m

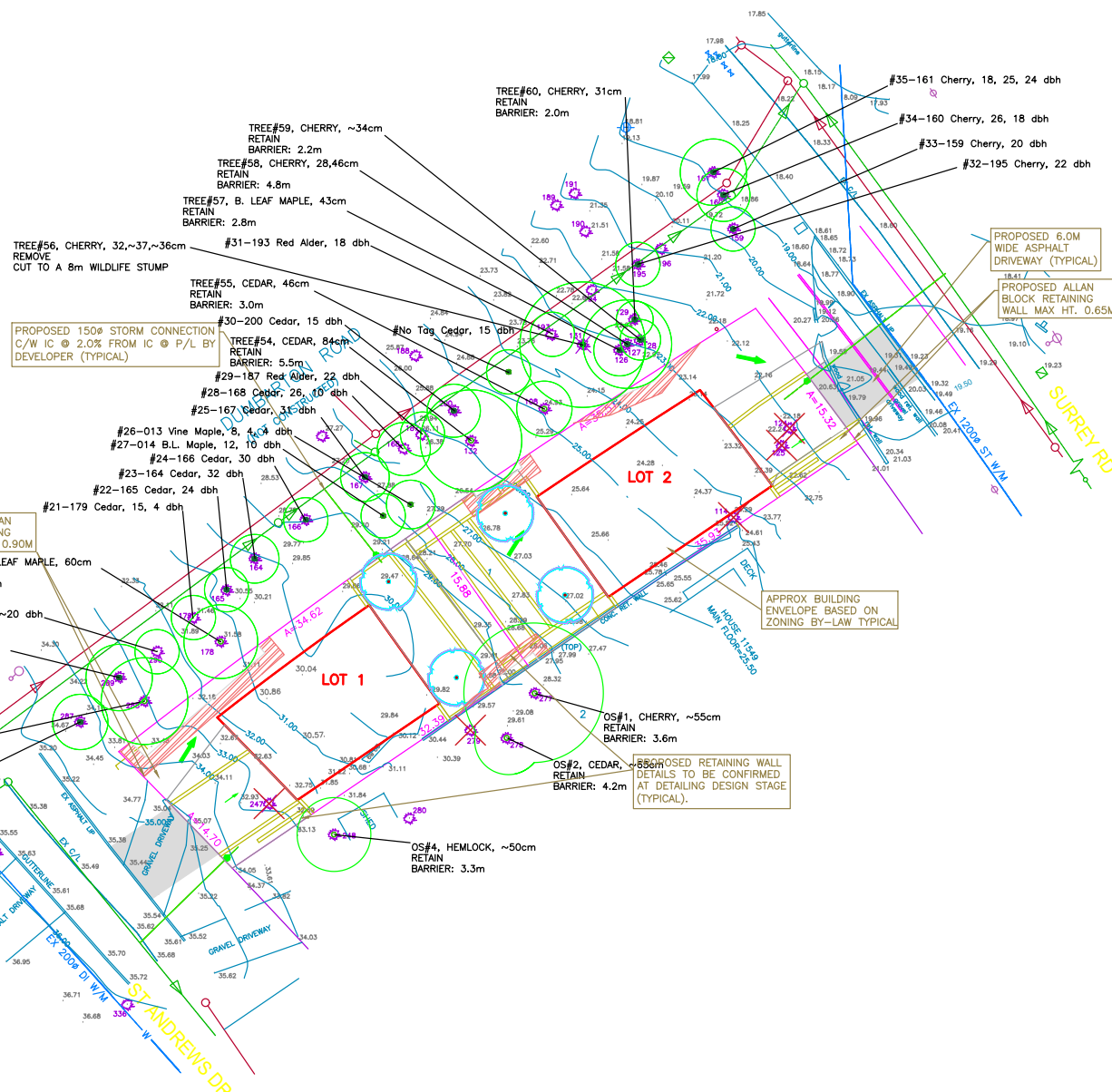
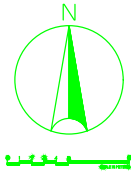
OS#1, CHERRY, ~55cm  
 RETAIN  
 BARRIER: 3.6m

OS#2, CEDAR, ~85cm  
 RETAIN  
 BARRIER: 4.2m





OS#3, CEDAR, ~100cm  
 REMOVE

OS#4, HEMLOCK, ~50cm  
 RETAIN  
 BARRIER: 3.3m

TREE#64, CEDAR, ~75cm  
 REMOVE



All replacement tree locations will be considered tentative until the building plans are finalized.

-  Retained Tree
-  Replacement Tree
-  1.5m No Build Zone
-  Protective Tree Barrier

Phone: 604-724-3025  
Email: [anne@huckleberrylandscape.ca](mailto:anne@huckleberrylandscape.ca)

Tree Plan  
REPLACEMENT

Client: Rajinder Bains  
2 Lot Subdivision  
11557 Surrey Road

Surrey, BC

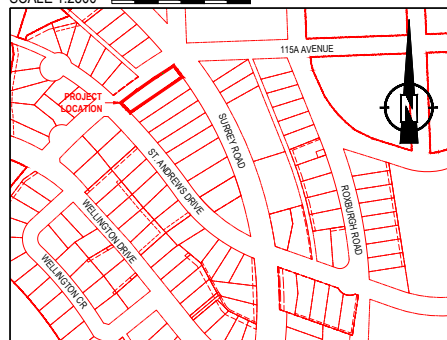
1:200
AKK
Oct 2019

2 of 2



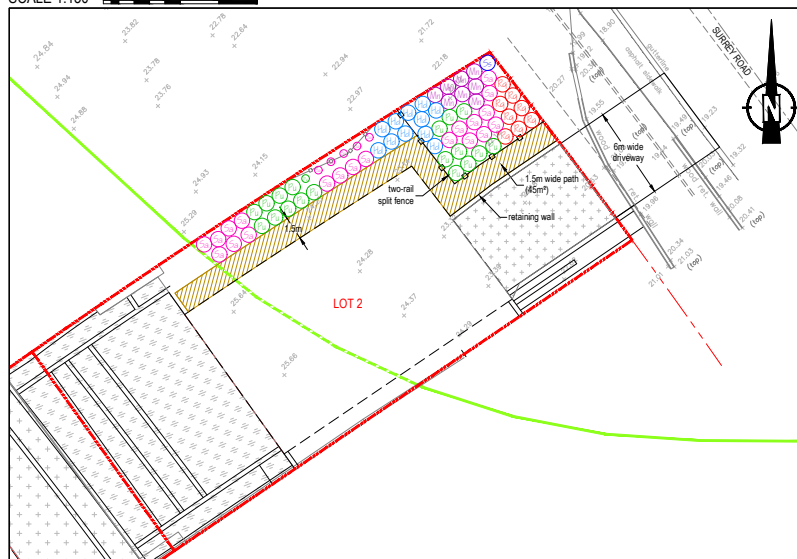
**LOCATION PLAN**

SCALE 1:2500



**PLAN**

SCALE 1:150

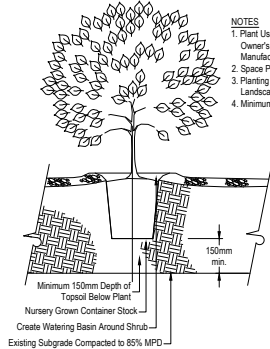


**PLANT SPECIES LIST AND SPECIFICATIONS**

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
	Sitka mountain ash	<i>Sorbus sitchensis</i>	1	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	balldip rose	<i>Rosa gymnocarpa</i>	8	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	dull Oregon-grape	<i>Mahonia nervosa</i>	8	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	oceanspray	<i>Holodiscus discolor</i>	11	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	snowberry	<i>Symphoricarpos albus</i>	20	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	snowberry	<i>Symphoricarpos albus</i>	5	no. 1 pot; 1.0m c.c. spacing; densely branched; well established
	sword fern	<i>Polystichum munium</i>	18	no. 2 pot; 1.0m c.c. spacing; densely branched; well established
	sword fern	<i>Polystichum munium</i>	1	no. 1 pot; 1.0m c.c. spacing; densely branched; well established

**CITY OF SURREY  
SHRUB PLANTING DETAIL**

N.T.S.

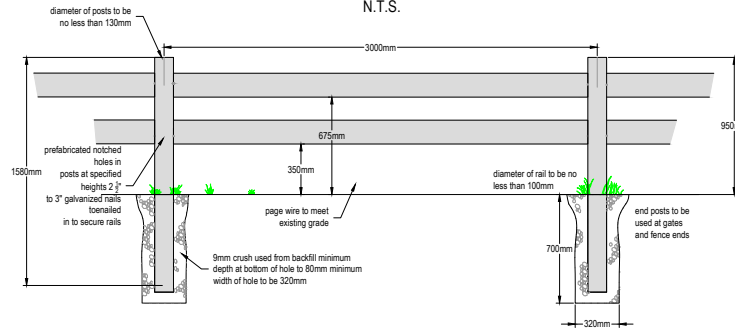


**NOTES**

1. Plant Using Rooting Powder Approved by Owner's Representative According to Manufacturer's Recommendations.
2. Space Plants as Indicated in Planting Plan.
3. Planting to Conform to BC S/LA/B/C/N/T/A Landscape Standard - Current Edition.
4. Minimum 50mm Bark Mulch Setback Depth.

**CITY OF SURREY  
TWO RAIL SPLIT FENCE DETAIL**

N.T.S.



**REFERENCE DRAWINGS**

1. Email: 2019-09-26-C-1902\_11557 SURREY RD, SURREY\_LG.dwg. Received October 01, 2019; Mainland Engineering Design Corporation
2. File No. 1902104-T01. "British Columbia Land Surveyor's Certificate showing existing elevations and trees over part of Lot 1, Block 73, New Westminster District Plan Z546". February 28, 2018. Dhaliwal and Associates Land Surveying Inc.
3. Email: 11557 SURREY RD.dwg. Received February 27, 2019; Mainland Engineering Design Corporation.
4. 2017 Legal Base from City of Surrey.
5. 2018 Ortho Photograph from City of Surrey.

MS. RAJINDER BAINS

11557 SURREY ROAD  
Surrey, BC

www.envirowest.ca

Suite 101 - 1515 Broadway Street  
Port Coquitlam, British Columbia  
Canada V3C 6M2

office: 604-944-0502  
facsimile: 604-944-0507  
saper-wedene@envirowest.ca

**LANDSCAPE PLAN  
LANDSCAPE DETAILS AND SPECIFICATIONS**

DESIGN: RWS	DRAWN: CEV	CHECKED: RWS	REVISION: 02	REVISION DATE: May 25, 2020
SCALE: As Shown			DRAWING NUMBER: 2709-01-02	
DATE: October 08, 2019				

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0377-00

Issued To:

(the "Owners")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-922-032  
Lot 1 Block 73 New Westminster District plan 2546  
11557 - Surrey Road

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

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4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section K of Part 16 "Single Family Residential Zone (RF)", the minimum lot width is reduced from 15 metres to 14.7 metres for proposed Lot 1; and

- (b) In Section F of Part 16 “Single Family Residential Zone (RF)”, the minimum south side yard setback is reduced from 1.8 metres to 1.2 metres for principal buildings on proposed Lots 1 and 2.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
  7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Doug McCallum

---

City Clerk – Jennifer Ficocelli

SURREY PROJECT 18-0377-00 (FUTURE PATH)

Variance to reduce the minimum lot width from 15 metres to 14.7 metres for proposed Lot 1.

Variance to reduce the minimum lot width from 1.8 metres to 1.2 metres for principal buildings on proposed Lots 1 and 2.

