

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7918-0428-00

Planning Report Date: June 29, 2020

PROPOSAL:

- Amend CD By-law No. 19918

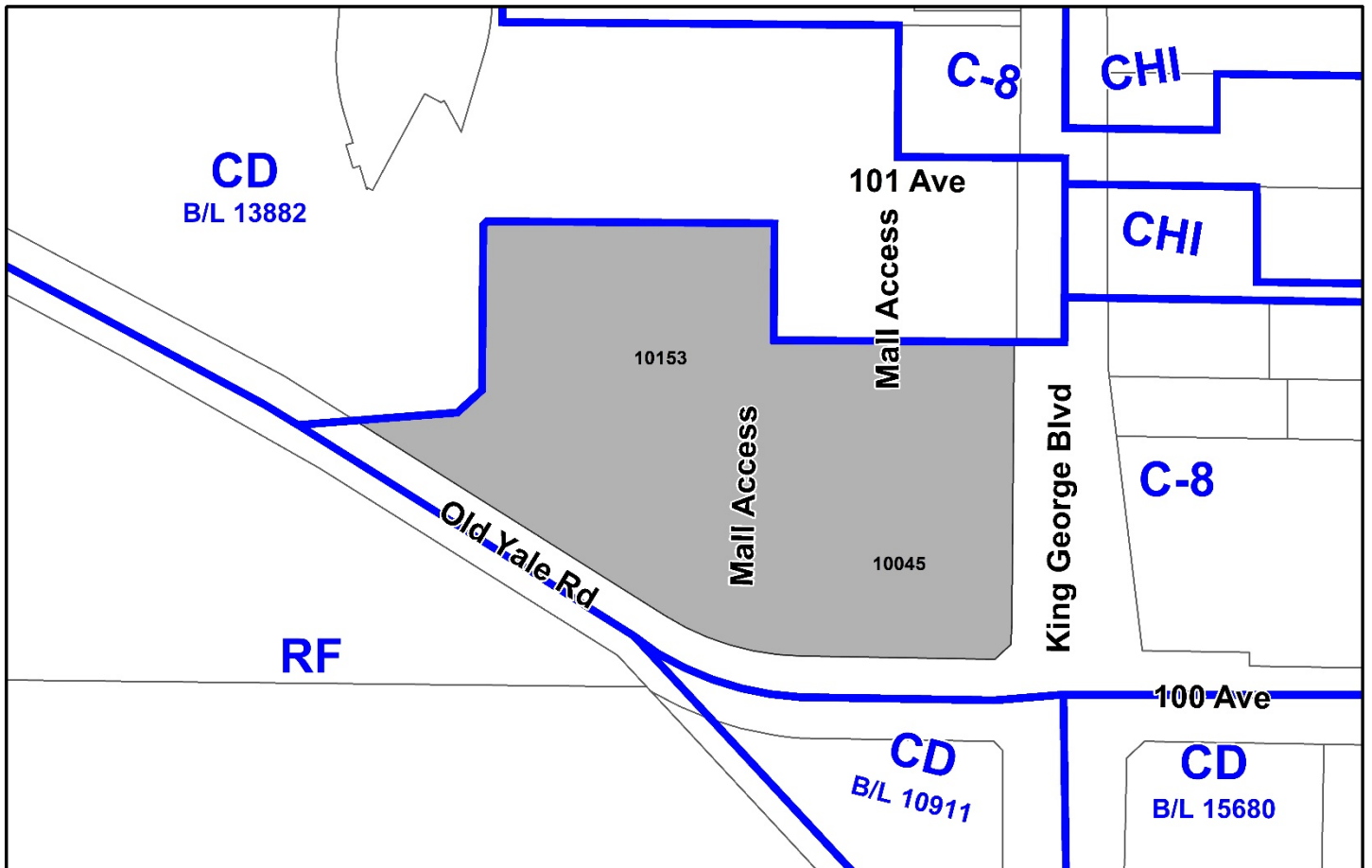
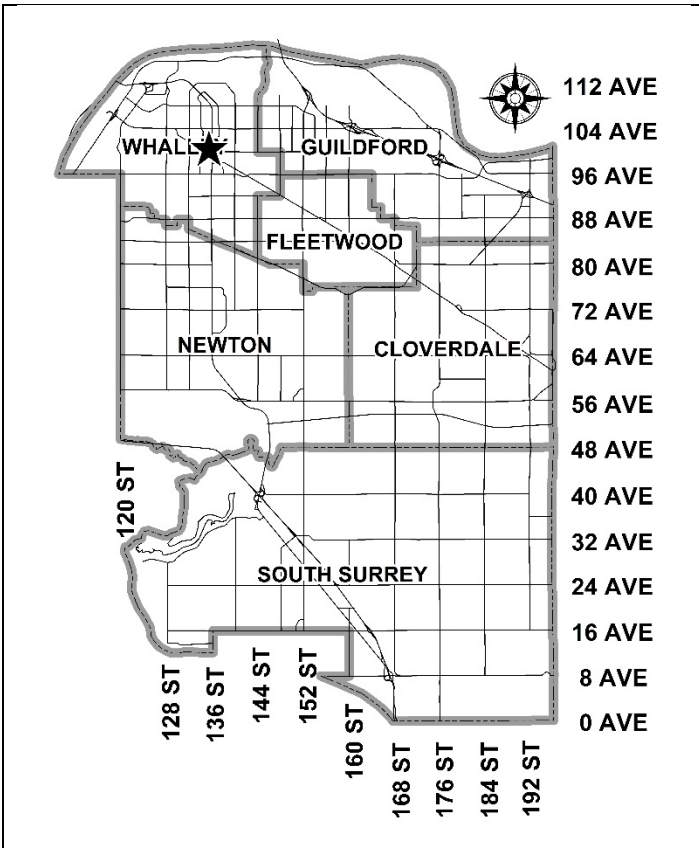
to permit the development of a 25-storey office tower on the southeast corner of the Central City Mall site in City Centre.

LOCATION: 10045 – King George Boulevard

ZONING: C-8

OCP DESIGNATION: Central Business District

CITY CENTRE PLAN DESIGNATION: Mixed Use 7.5 FAR



RECOMMENDATION SUMMARY

- Council rescind Resolution R19-1930 granting Third Reading of By-law No. 19918 at the November 4, 2019, Regular Council – Public Hearing Meeting.
- Council rescind Resolution R19-1795 granting Second Reading of By-law No. 19918 at the October 21, 2019, Regular Council – Land Use Meeting.
- Amend Rezoning By-law No. 19918 by replacing Parts A, B, D, and K of the CD By-law with the attached revision (Appendix I) to include Highways as a permitted use, to adjust the minimum standards for lots created through subdivision on the lands, and to reflect the introduction of the Capital Projects Community Amenity Contributions.
- Council consider Second Reading of By-law No. 19918 (Appendix I), as amended, and if granted, set a date for Public Hearing.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The subject development application was considered by Council at the Regular Council – Land Use Meeting on October 21, 2019, where First and Second readings were granted, and at the November 4, 2019, Regular Council – Public Hearing Meeting, where Council granted Third Reading to the CD By-law (No. 19918).
- Subsequent to Council granting Third Reading, Translink notified staff about concerns they have with the proposed road dedication for City Parkway.
- A significant portion of the proposed road dedication falls within Translink's existing Statutory Right-of-Way (SRW) for the Expo Skytrain Line. If dedicated as road allowance, their SRW rights within the proposed road dedication area would be extinguished.
- Translink has recommended an interim solution whereby the proposed road allowance for this application would instead be created and conveyed to the City as a fee simple lot to ensure their rights remain intact.
- In order to facilitate this change, the previously approved CD By-law requires an amendment to include Highway as an allowable use for the proposed new lot for City Parkway.
- The conveyance of a lot for road purposes, as opposed to a road dedication, will still allow for the road to be constructed to City standards.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council rescind Resolution R19-1930 granting Third Reading of By-law No. 19918 at the November 4, 2019, Regular Council – Public Hearing Meeting.
2. Council rescind Resolution R19-1795 granting Second Reading of By-law No. 19918 at the October 21, 2019, Regular Council – Land Use Meeting.
3. Council amend By-law No. 19918 to include Highways as a permitted use, to adjust the minimum standards for lots created through subdivision on the lands, and to reflect the introduction of the Capital Projects Community Amenity Contributions, as shown in Appendix I.
4. Council consider Second Reading of By-law No. 19918 (Appendix I), as amended, and set a date for a new Public Hearing.

DEVELOPMENT CONSIDERATIONS

- The subject development application was considered by Council at the Regular Council - Land Use Meeting on October 21, 2019, where First and Second Readings were granted to the proposed Rezoning By-law (No. 19918). At the November 4, 2019, Regular Council – Public Hearing Meeting, Council granted the Rezoning By-law (No. 19918) Third Reading (RES.R19-1795 and RES.R19-1930, respectively).
- The proposal involves rezoning a portion of the subject site from C-8 Zone to a Comprehensive Development (CD) Zone (based on C-35) in order to permit the development of a 25-storey office building consisting of class AAA commercial office space and ground floor commercial retail space fronting King George Boulevard, Old Yale Road, and future City Parkway.
- Subsequent to the subject application being granted Third Reading by Council, Translink notified staff about concerns they have with the proposed road dedication for City Parkway.
- A significant portion of the proposed road dedication falls within Translink's existing Statutory Right-of-Way (SRW) for the Expo Skytrain Line. If dedicated as road allowance, their SRW rights within the proposed road dedication area would be extinguished.
- Translink has advised that this issue with road dedication within their existing SRW is a system-wide concern. They have, therefore, set up a Road Dedication Working Group to find a suitable long-term solution to resolve this issue. A staff member from the City of Surrey is taking part in the Working Group.
- In the meantime, Translink has recommended an interim solution for this application whereby the area proposed to be dedicated as road for City Parkway would instead be created and conveyed to the City as a fee simple lot to ensure their rights under their SRW remain intact.

- In order to facilitate this change from road dedication to a fee simple lot for City Parkway, the previously approved CD By-law requires amendments to include Highway as an allowable use.
- The proposed changes to the CD By-law (No. 19918) are summarized as follows and are also detailed in Appendix I attached to this report:
 - Amend Part A. Intent to include Schedule B (Survey Plan) to divide the Lands into two Blocks:
 - Block 1 – development lot;
 - Block 2 –previous road dedication for City Parkway;
 - Amend Part B. Permitted Uses to incorporate all of the previously permitted uses under Block 1 and to permit Highways as the sole permitted use under Block 2;
 - Amend Part D. Density so the previously stated floor area ratio applies only to Block 1, to incorporate language related to the applicable amenity contributions, and to state that this section is not applicable to Block 2; and
 - Amend Part K. Subdivision to include separate minimum standards (Lot Size, Lot Width, and Lot Depth) for Block 1 and Block 2.
- No changes are proposed to the general form and character of the development previously supported by Council and the proposed conveyance of a lot for road purposes, as opposed to a road dedication, will still allow for the road to be constructed to City standards.
- Therefore, Council is requested to consider introducing the amended CD By-law No. 19918 and schedule a date for Public Hearing.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Amended CD By-law – redline version
Appendix II. Planning Report No. 7918-0428-00, dated October 21, 2019

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CB/cm

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMMUNITY COMMERCIAL ZONE (C-8)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 008-541-159
 Lot 130 Except: Firstly: Part Subdivided by Plan 60069
 Secondly: Part Subdivided by Plan 78781
 Thirdly: Part Subdivided by Plan LMP1398
 Fourthly; Part Dedicated Road on Plan BCP13931
 Sections 27 and 34 Block 5 North Range 2 West New Westminster District Plan 38826

Portion of 10045 – King George Boulevard

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Paul Bartlett, B.C.L.S. on the 15th day of July 2019, containing 10,283.4 square metres, called Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a high-rise, high *density*, office *building* with lower-level *commercial* uses which are developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks 1 and 2 as shown as shown on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule B, certified correct by Paul Bartlett, B.C.L.S. on the 8th day of June 2020.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block 1

- ~~1.~~ (a) Office uses excluding *social escort services* and *methadone clinics*.
- ~~2.~~ (b) *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*.
- ~~3.~~ (c) *Personal service uses* excluding *body rub parlours*.
- ~~4.~~ (d) *General service uses* excluding *funeral parlours* and *drive-through banks*.
- ~~5.~~ (e) *Eating establishments* excluding *drive-through restaurants*.
- ~~6.~~ (f) *Indoor recreational facilities*;
- ~~7.~~ (g) *Entertainment uses* excluding *arcades*;
- ~~8.~~ (h) *Neighbourhood pub*.
- ~~9.~~ (i) *Cultural uses*
- ~~10.~~ (j) *Assembly Halls*.
- ~~11.~~ (k) *Community services*.
- ~~12.~~ (l) *Child care centres*.

2. Block 2

- (a) *Highways*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Block 1

- ~~1.~~ For the purposes of *building* construction: ~~the floor area ratio shall not exceed 0.1.~~

- (a) ~~The floor area ratio shall not exceed 0.1 or a building area of 300 sq. m., whichever is less.~~

~~2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the floor area ratio shall not exceed 7.0.~~

(b) The maximum *density* may be increased to a *floor area ratio* of 7.0 if amenity contributions (specifically police, fire, libraries, parks and, where applicable, underground utilities) are provided in accordance with Schedule G, Sections D and E of the Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block 2

(a) Not applicable.

E. Lot Coverage

1. The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

| | Setback | South Yard | North Yard | West Yard | East Yard |
|---|----------------|---------------|---------------|--------------|--------------|
| Use | | | | | |
| <i>Principal Buildings</i> | | 4.0 m | 12.0 m | 2.0 m | 4.0 m |
| <i>Accessory Buildings and Structures</i> | | [13 ft.] | [39 ft.] | [6.5 ft.] | [13 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs, *balconies* and canopies and shading louvres may encroach into the required *setbacks*.

3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of any *lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 120 metres [394 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All commercial *parking spaces* shall be provided as *underground parking*.
3. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

±*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

1. Block 1

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|------------------------------|------------------------|------------------------|
| 7,8600 sq. m. [1.98 acre] | 75 metres [246 ft.] | 75 metres [246 ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block 2

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|----------------------------|-----------------------|------------------------|
| 2,200 sq. m. [0.5 acre] | 23 metres [75 ft.] | 88 metres [288 ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-35 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2020, No. 20019, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-35 Zone in City Centre.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.

10. Development permits may be required in accordance with the *Surrey Official Community Plan By-law, 2013, No. 18020*, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

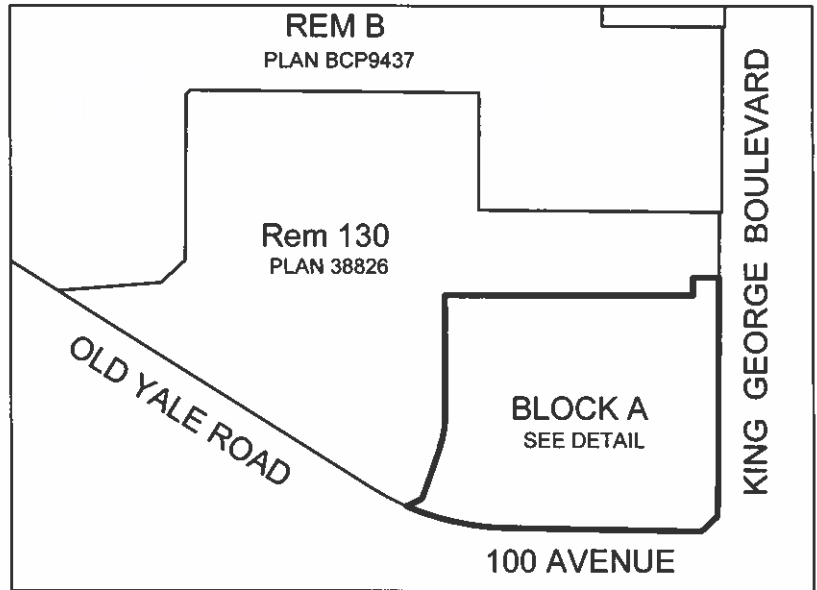
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

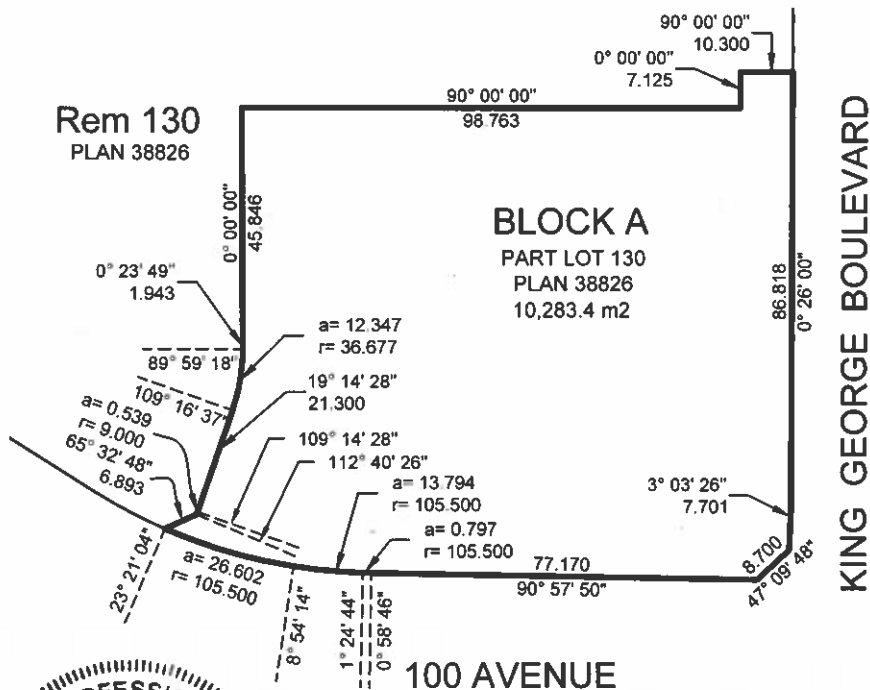
_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
 AND REZONING BYLAW NO. _____ OF PART OF LOT 130 EXCEPT:
 FIRSTLY: PART SUBDIVIDED BY PLAN 60096
 SECONDLY: PART SUBDIVIDED BY PLAN 78781
 THIRDLY: PART SUBDIVIDED BY PLAN LMP1398
 FOURTHLY: PART DEDICATED ROAD ON PLAN BCP13931
 SECTIONS 27 AND 34 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT
 PLAN 38826

BCGS 92G.016



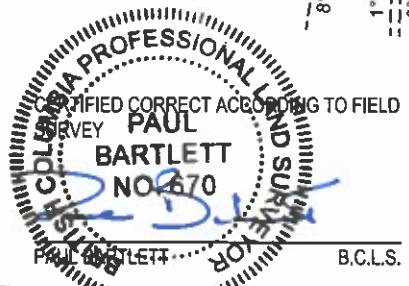
KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)



THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

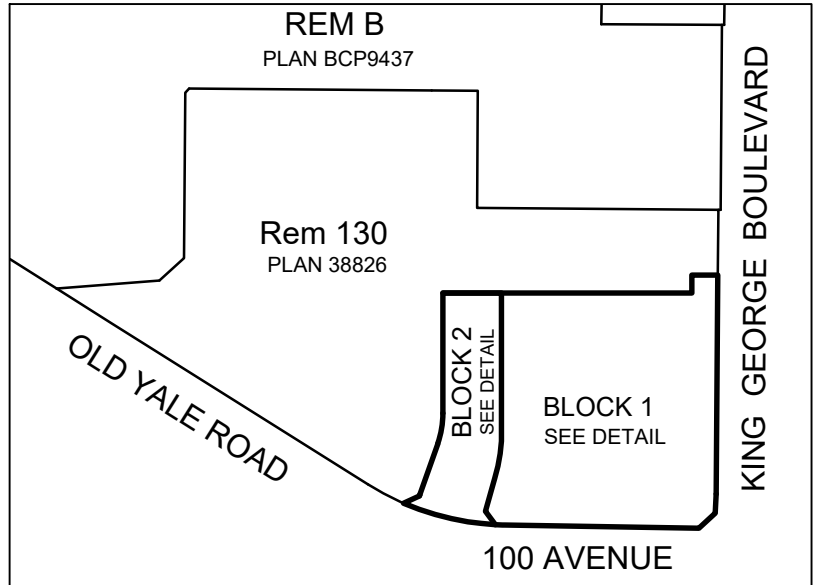
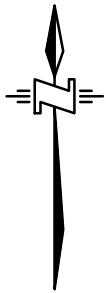


McElhanney
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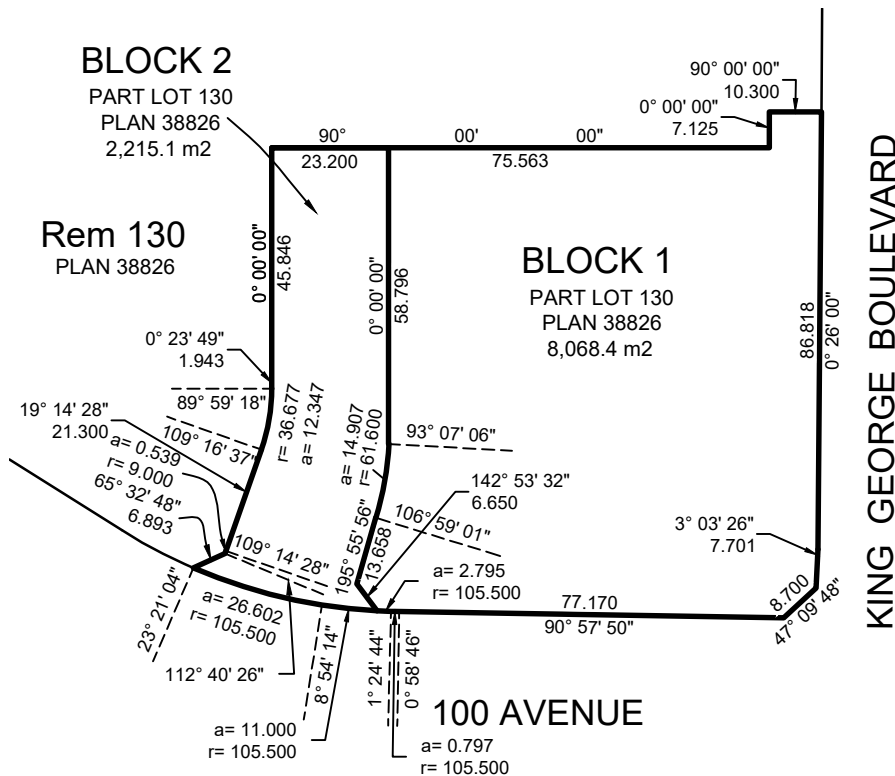
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 OUR DRAWING NO. V-03.DWG

SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
 AND REZONING BYLAW NO. _____ OF PART OF LOT 130 EXCEPT:
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 SECONDLY: PART SUBDIVIDED BY PLAN 78781
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 FOURTHLY: PART DEDICATED ROAD ON PLAN BCP13931
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 PLAN 38826

BCGS 92G.016



KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)

CERTIFIED CORRECT ACCORDING TO FIELD
 SURVEY

THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

PAUL BARTLETT

B.C.L.S.



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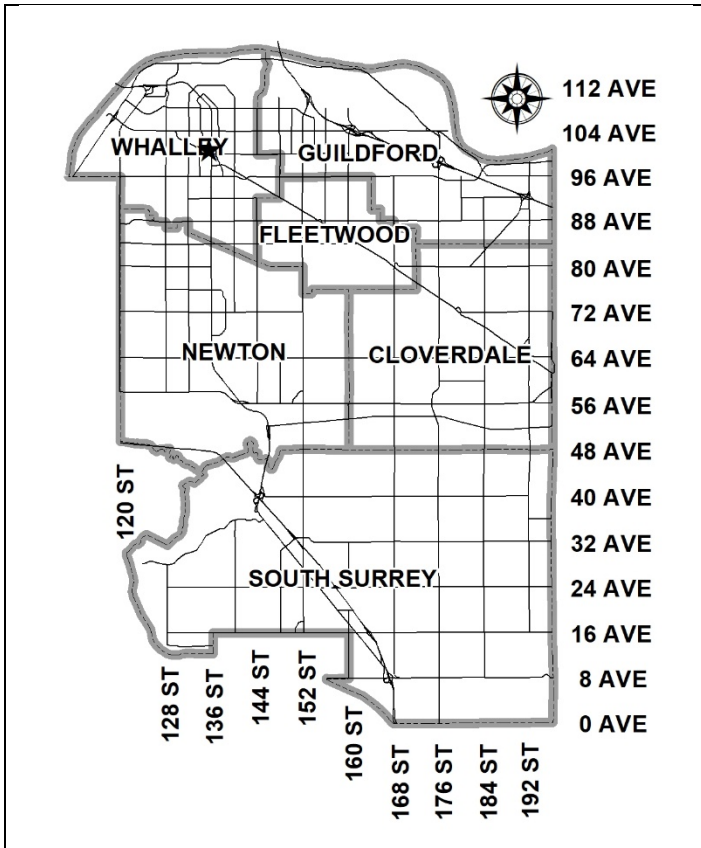
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08 JUNE 2020

City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7918-0428-00

Planning Report Date: October 21, 2019



PROPOSAL:

- **City Centre Plan Amendment** to amend the road network on the subject site.
- **Rezoning of a portion** from C-8 to CD
- **Development Permit**

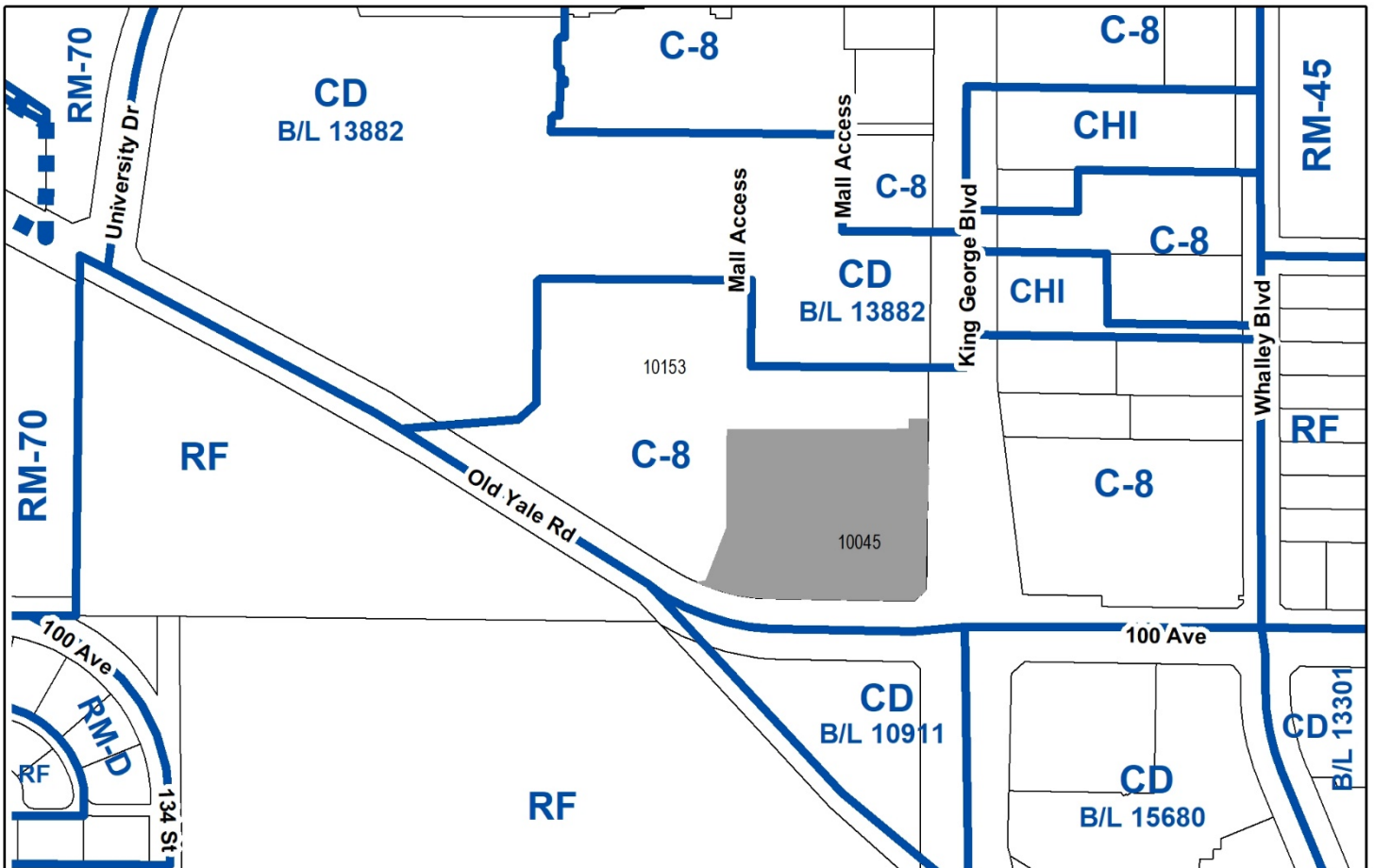
to permit the development of a 25-storey office tower on the southeast corner of the Central City Mall site in City Centre.

LOCATION: 10045 - King George Boulevard

ZONING: C-8

OCP DESIGNATION: Central Business District

CITY CENTRE PLAN DESIGNATION: Mixed Use 7.5 FAR



RECOMMENDATION SUMMARY

- Reconsider By-law Introduction and set date for Public Hearing for Rezoning of a portion of the site.
- Reconsider Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking an amendment to the City Centre Plan to eliminate a public east-west lane and replace it with a private east-west lane.

RATIONALE OF RECOMMENDATION

- At the September 16, 2019 Regular Council – Land Use meeting, Council directed staff to work with the applicant to increase the height and density of the development.
- Staff worked with the applicant to provide additional information and details with respect to the proposed height of the office tower and regarding the ultimate redevelopment plans for the Central City Mall site.
- The proposed development complies with the OCP and City Centre Plan designations, and the proposed density and building form are appropriate for this part of Surrey City Centre.
- The proposed development will add significant, AAA-quality office space to the City Centre.
- The proposed development conforms to the goal of achieving high-rise, high density mixed-use development around the SkyTrain stations. The King George SkyTrain Station is located approximately 200 metres (656 ft.) from the subject site.
- The building has an attractive design and is targeting a LEED Platinum rating.
- Surrey City Centre is currently underserved with quality office space, as demand exceeds supply. Office/Commercial uses help diversify the City's tax base, allow people to live in proximity to where they work, and increases vibrancy in the City Centre.
- The replacement of the public east-west lane with a private east-west lane is supportable. The principal purpose of the lane is to provide access to the underground parking for the subject site and the future development site to the north, both of which will be retained by the applicant in the long term. Public street access will be maintained through the site and this lane is not considered a critical piece of the City's road network.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site shown as Block A on the Survey Plan attached in Appendix A from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)" (Appendix B) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0428-00 generally in accordance with the attached drawings (Appendix C).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (h) final acceptance by TransLink of the building siting adjacent to the SkyTrain guideway.
4. Council pass a resolution to amend the City Centre Plan to amend the road network on the subject site (Appendix D).

DEVELOPMENT CONSIDERATIONS

Background

- At the September 16, 2019 Regular Council – Land Use meeting, Council considered an Initial Planning Report from the Planning & Development Department (Appendix G) for the proposed rezoning of the subject site, located at 10045 King George Boulevard, which is designated "Mixed Use 7.5 FAR" within the City Centre Plan.
- At the Land Use meeting, Council referred the project back to staff, directing staff to work with the applicant to increase the height and density of the development.
- Subsequent to the Land Use meeting, staff have worked with the applicant to provide additional information and details with respect to the proposed height of the office tower and regarding the ultimate redevelopment plans for the Central City Mall site.

Discussion

- The City Centre currently provides approximately 111,500 square metres (1.2 million sq.ft.) of office space.
- The proposed Central City Tower 2 is a 25-storey office building consisting of:
 - 52,114 square metres (567,114 sq.ft.) of class AAA commercial office space; and
 - 1,502 square metres (16,168 sq.ft.) of ground floor commercial retail space fronting King George Boulevard, Old Yale Road, and future City Parkway.
- It is anticipated that the proposed office tower will provide workspace for approximately 3,500 people.
- Based on market study analysis undertaken by the applicant, the applicant indicates that it is unlikely that it will be possible to secure sufficient pre-leasing commitments to support the development of a larger office tower.
- The typical floor-to-ceiling height of a typical commercial office building is greater than the typical floor-to-ceiling height in a typical residential tower. Whereas a 25-storey residential tower would be approximately 75 to 80 metres (246 to 262 ft.) in height, the proposed, 25-storey office tower is approximately 116 metres (382 ft.) in height (Appendix E).
- In comparison, the adjacent 36-story Infinity and Park Place residential towers adjacent to the King George SkyTrain station are comparable in height at approximately 115 metres (377 ft.) and 116 metres (382 ft.) respectively.
- The proposed floor plates of the tower, ranging in floor area from approximately 3,480 square metres (37,500 sq.ft.) at the base of the tower to 1,545 square metres (16,625 sq.ft.) at the top of the tower are designed to reflect the current market demand for large office floor plates.
- The proposed office tower is intended as the first phase of a multi-phased intensification and redevelopment master plan for the Central City Mall site. This will be addressed through a subsequent Master Planning process tied to a future development application.

- Early concept planning exercises related to the future Master Plan envision multiple mid-rise and high rise office and residential towers that will result in significant densification of the site (Appendix F).

CONCLUSION

- The proposed tower development complies with the OCP and City Centre Plan designations,
- The proposed development conforms to the goal of achieving high-rise, high density mixed-use development around the SkyTrain stations. The King George SkyTrain Station is located approximately 200 metres (656 ft.) from the subject site.
- The proposed building form is appropriate for this part of Surrey City Centre, and the tower height is comparable to existing residential towers in close proximity to the subject site.
- The proposed development will add significant, Class AAA-quality office floor area and employment space to the City Centre.
- The building has an attractive design and is targeting a LEED Platinum rating.
- Surrey City Centre is currently underserved with quality office space, as demand exceeds supply. Office/Commercial uses help diversify the City's tax base, allow people to live in proximity to where they work, and increases vibrancy in the City Centre.
- The future redevelopment and intensification of the Central City Mall site will add additional density to City Centre.
- The Planning & Development Department recommends Council reconsider introducing the By-law to rezone the portion of the subject site and that Council authorize staff to draft Development Permit No. 7918-0428-00 in order for the proposed office development to proceed to Public Hearing.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix A. Survey Plan
- Appendix B. Proposed CD By-law
- Appendix C. Site Plan, Building Elevations, Landscape Plans and Perspectives
- Appendix D. Proposed City Centre Plan Amendment
- Appendix E. Tower Height Comparisons
- Appendix F. Preliminary Massing Concept for Central City Mall Master Plan
- Appendix G. Initial Planning Report 7918-0428-00

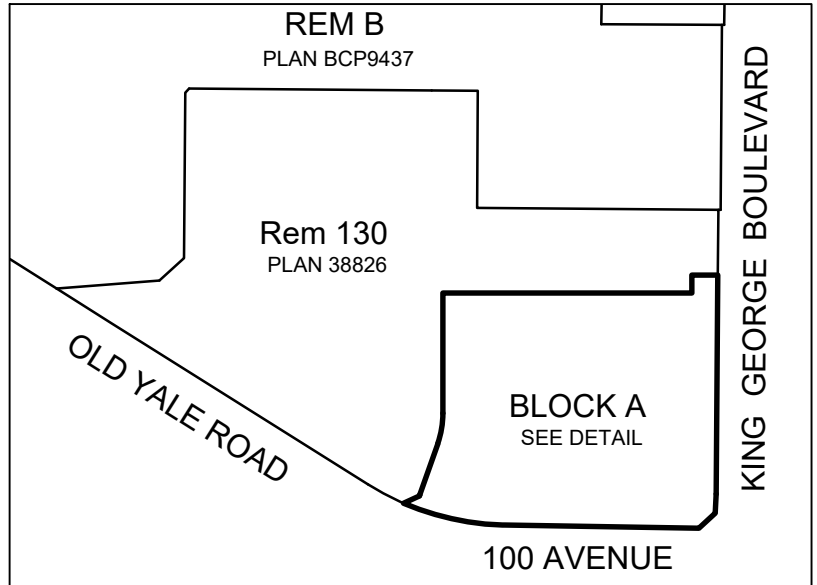
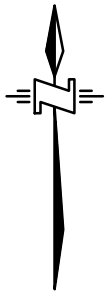
original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

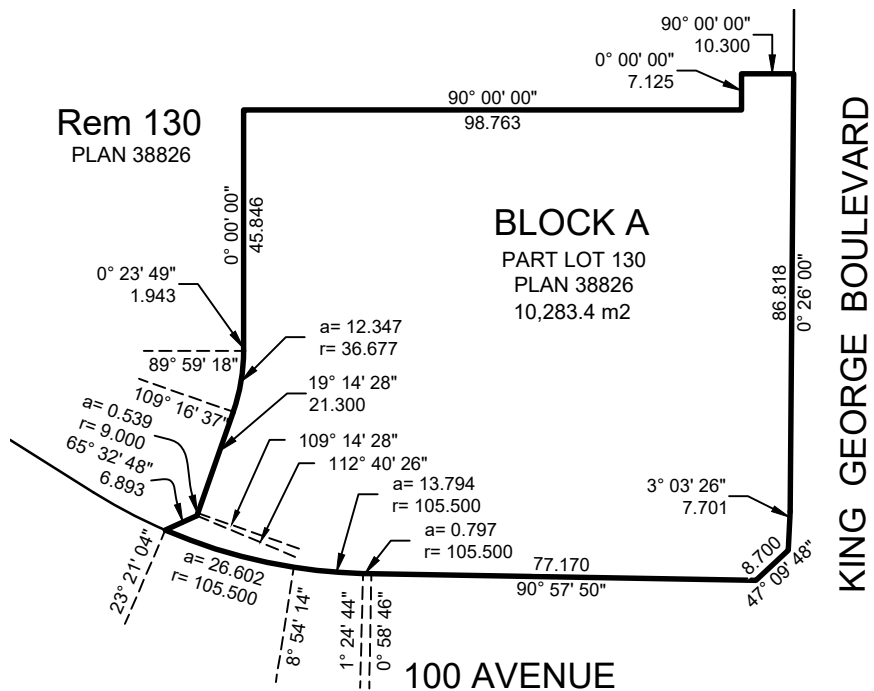
CA/cm

SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
 AND REZONING BYLAW NO. _____ OF PART OF LOT 130 EXCEPT:
 FIRSTLY: PART SUBDIVIDED BY PLAN 60096
 SECONDLY: PART SUBDIVIDED BY PLAN 78781
 THIRDLY: PART SUBDIVIDED BY PLAN LMP1398
 FOURTHLY: PART DEDICATED ROAD ON PLAN BCP13931
 SECTIONS 27 AND 34 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT
 PLAN 38826

BCGS 92G.016



KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)

CERTIFIED CORRECT ACCORDING TO FIELD
 SURVEY

THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

PAUL BARTLETT

B.C.L.S.



McELHANNEY ASSOCIATES
 LAND SURVEYING LTD.
 Suite 2300
 13450 - 102 Avenue
 Surrey BC
 Canada V3T 5X3
 Tel 604 596 0391

OUR FILE NO. 2112-08953-00
 OUR DRAWING NO. V-03.DWG

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMMUNITY COMMERCIAL ZONE (C-8)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 008-541-159
 Lot 130 Except: Firstly: Part Subdivided by Plan 60069
 Secondly: Part Subdivided by Plan 78781
 Thirdly: Part Subdivided by Plan LMP1398
 Fourthly; Part Dedicated Road on Plan BCP13931
 Sections 27 and 34 Block 5 North Range 2 West New Westminster District Plan 38826

Portion of 10045 – King George Boulevard

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Paul Bartlett, B.C.L.S. on the 15th day of July 2019, containing 10,283.4 square metres, called Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a high-rise, high *density*, office *building* with lower-level *commercial* uses which are developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Office uses excluding *social escort services* and *methadone clinics*.
2. *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*.
3. *Personal service uses* excluding *body rub parlours*.
4. *General service uses* excluding funeral parlours and *drive-through banks*.
5. *Eating establishments* excluding *drive-through restaurants*.
6. *Indoor recreational facilities*;
7. *Entertainment uses* excluding *arcades*;
8. *Neighbourhood pub*.
9. *Cultural uses*
10. *Assembly Halls*.
11. *Community services*.
12. *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *floor area ratio* shall not exceed 7.0.

E. Lot Coverage

1. The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

| Use | Setback | South Yard | North Yard | West Yard | East Yard |
|---|----------------|---------------|---------------|--------------|--------------|
| <i>Principal Buildings</i> | | 4.0 m | 12.0 m | 2.0 m | 4.0 m |
| <i>Accessory Buildings and Structures</i> | | [13 ft.] | [39 ft.] | [6.5 ft.] | [13 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs, *balconies* and canopies and shading louvres may encroach into the required *setbacks*.
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of any *lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 120 metres [394 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All commercial *parking spaces* shall be provided as *underground parking*.
3. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|----------------------------|------------------------|------------------------|
| 7,800 sq. m. [1.9 acre] | 75 metres [246 ft.] | 75 metres [246 ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-35 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-35 Zone in City Centre.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

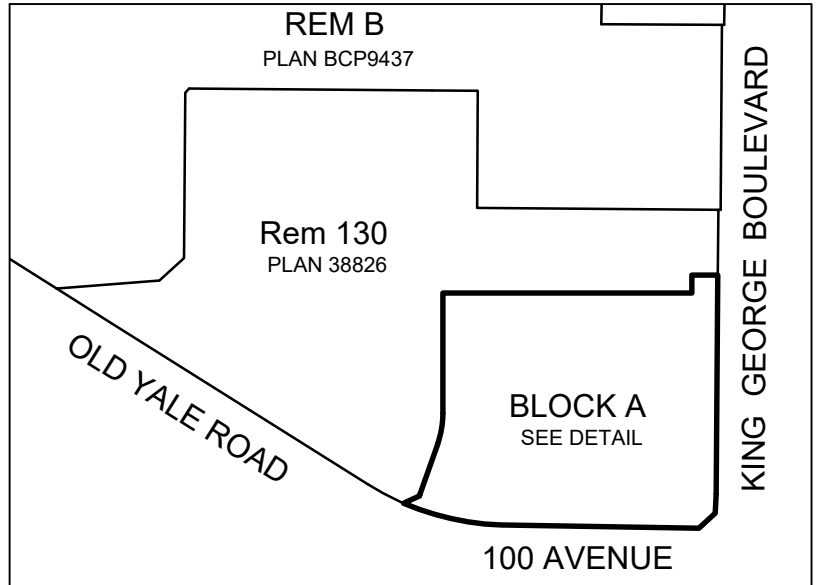
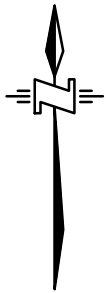
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

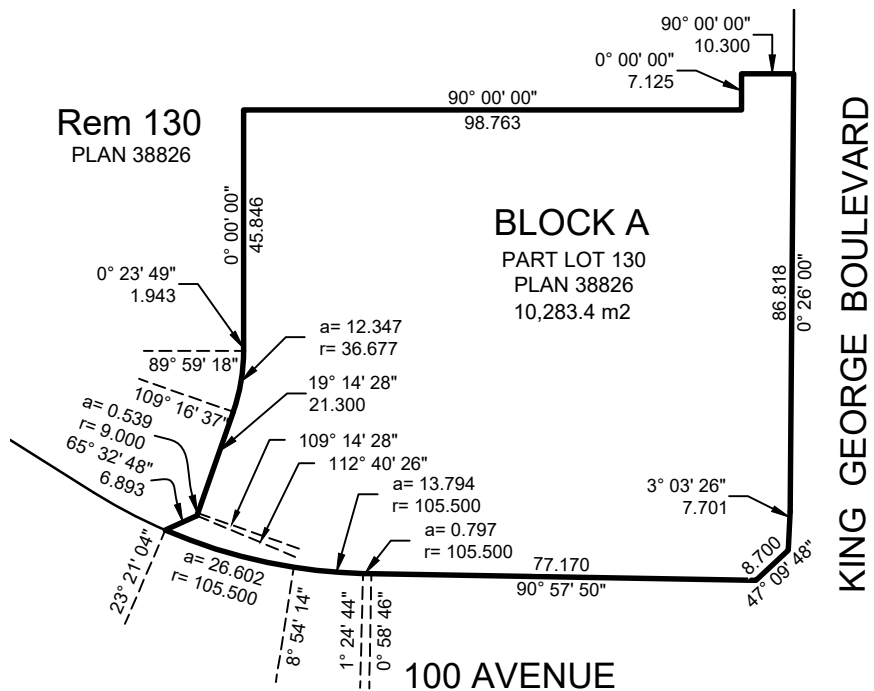
_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
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 SECTIONS 27 AND 34 BLOCK 5 NORTH RANGE 2 WEST
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BCGS 92G.016



KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)

CERTIFIED CORRECT ACCORDING TO FIELD
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THIS PLAN LIES WITHIN THE METRO VANCOUVER
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OUR FILE NO. 2112-08953-00
 OUR DRAWING NO. V-03.DWG

25F Architects Inc.
305 Burrard Street,
Suite 200
Vancouver, BC V6C 2G8
Tel: 604 683 0366
www.25f.com

Consultants

CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271

OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7666

CM
ELLISON
180 - 1075 COMMERCIAL PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072

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25F ARCHITECTS INC.
SUITE 200, 305 BURRARD STREET
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STRUCTURAL ENGINEER
GLITMAN-SIMPSON CONSULTING
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MECHANICAL ENGINEER
AME CONSULTING
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VANCOUVER, BC V6C 2K4
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ELECTRICAL ENGINEER
AES ENGINEERING
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VANCOUVER, BC V6C 1M7
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PFS STUDIO
150 - 13775 COMMERCIAL PARKWAY
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CIVIL/ENVIRONMENTAL
MCELHANEY CONSULTING
608 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-8211

Revisions

- 1 Issued for DP 14 MAY 2019
- 2 DP Revisions 23 AUG 2019

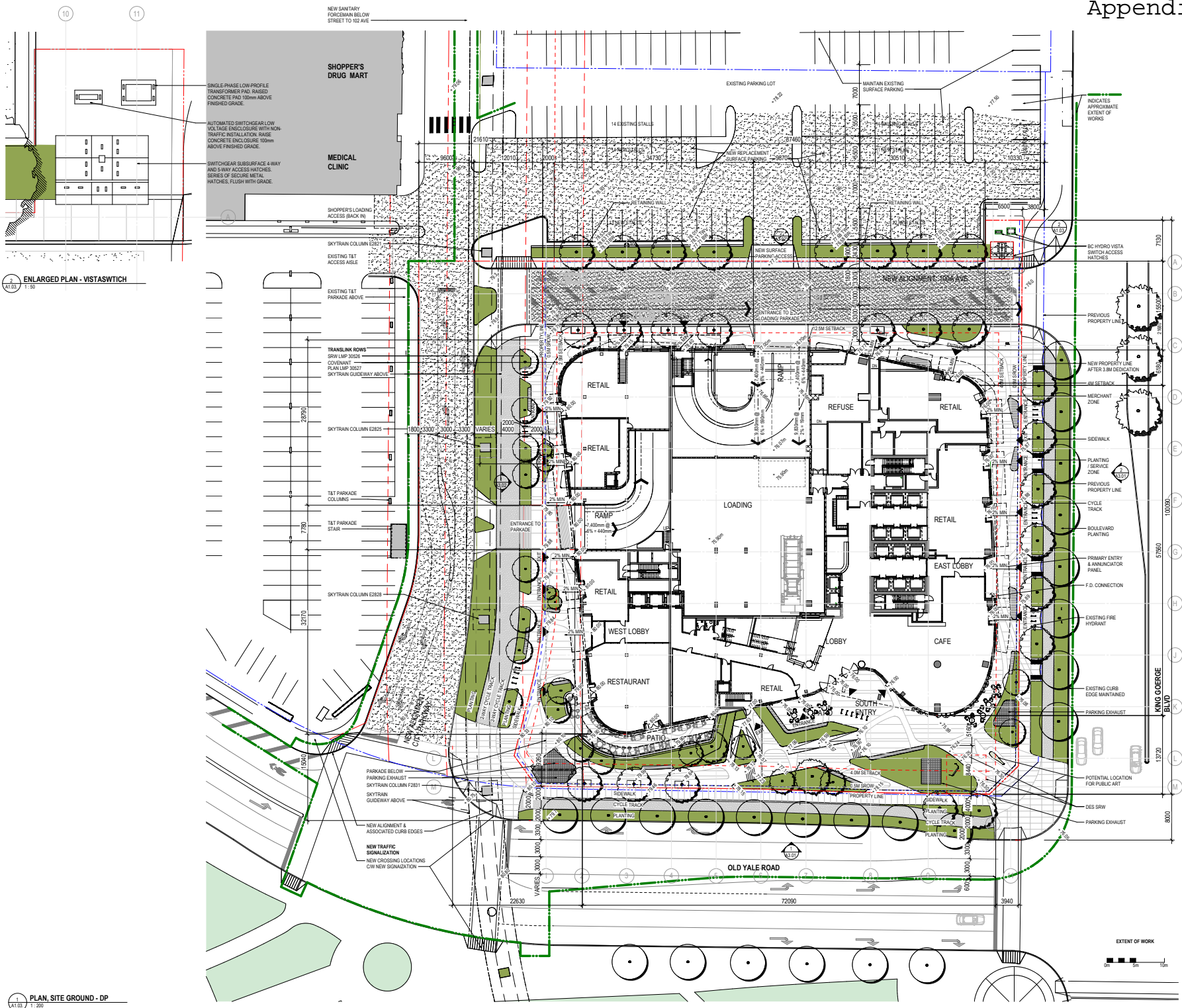
blackwood
PARTNERS
**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10443 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
PLAN, SITE

Date: 22 AUGUST 2019
Job No: 2386.02
Drawn By: DS
Checked By: AC
Drawing No:

A1.03.
C.D.



ENLARGED PLAN - VISTASWITCH
AT 03 1:50

PLAN, SITE GROUND - DP
AT 03 1:20

8/22/2019 10:42:42 PM



1. HOLLAND PARK LOOKING NORTHEAST



2. KING GEORGE SKYTRAIN LOOKING NORTHWEST



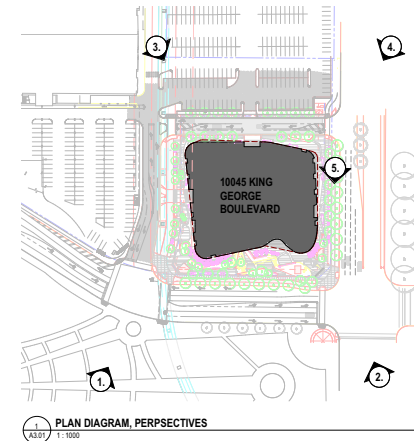
3. EXPO LINE LOOKING SOUTHEAST



4. KING GEORGE LOOKING SOUTHWEST



5. KING GEORGE LOOKING SOUTH AT RETAIL LEVEL



Consultants

- CLIENT/DEVELOPER
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Revisions

- 1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
CENTRAL CITY
TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

PERSPECTIVE
RENDERINGS -
EXTERIOR

Date: 10 JULY 2019
Job No: 2386.02
Drawn By: Author
Checked By: Checker

Drawing No.

A0.03.

D.D.

BYLAW SUMMARY

PROJECT AREA

GROSS SITE AREA INDICATES TOTAL AREA OF SUBDIVIDED LOT AS PER DRAWING 1 / A1.02. PROJECT SCOPE INCLUDES REDEVELOPMENT OF CITY PARKWAY TO THE WEST AND MAKING GOOD OF SURFACE LOT TO THE NORTH.

TOTAL GROSS SITE AREA 110,888 SF / 10,283.2 SQM
 DEDICATIONS 26,865 SF / 2,495.8 SQM
 NET SITE AREA 83,823 SF / 7,787.4 SQM

SITE COVERAGE 49,876 SF / 4,633.6 SQM

GFA 583,282 SF / 54,208.4 SQM
 RETAIL (COLD SHELL) 16,188 SF / 1,502.1 SQM
 OFFICE (WARM SHELL) 567,114 SF / 52,114.0 SQM

FORM AND SCALE

DPA AREA: CITY CENTRE; MIXED USE

ZONING CURRENT - C-8
 ZONING PROPOSED - CD
 PARCEL ID 012-984-272

| FAR | ALLOWED | PROPOSED | GROSS | NET |
|-----|---------|----------|-------|-----|
| | 7.0 | 5.3 | 7.0 | 7.0 |

| SITE COVERAGE | BUILDINGS + STRUCTS | PAVED AND HARD SURF. | X | 45.1% | 59.5% |
|---------------|---|---|---|-------|-------|
| | X <td>X <td></td> <td>61.4%</td> <td>81.1%</td> </td> | X <td></td> <td>61.4%</td> <td>81.1%</td> | | 61.4% | 81.1% |

| SETBACKS | EXTERIOR (SOUTH & EAST) | 4.0m | 4.0m |
|----------|-------------------------|-------|-------|
| | EXTERIOR (WEST) | 2.5m | 2.0m |
| | INTERIOR (NORTH) | 12.5m | 12.5m |

HEIGHT N/A 116.35m / 25 STOREYS

PARKING

| LOADING | BYLAW | N/A | 9 | 9 |
|----------------------|-------|-----|---|---|
| CLASS A: 2.7m x 5.5m | N/A | | 3 | 3 |
| CLASS B: 4.0m x 9.2m | N/A | | | |

| PARKING TOTAL | 711 | 982 |
|------------------------|--------------------|--------------|
| OFFICE DEDICATED | 1.4 / 100 SQ M | 47,811.0 SQM |
| ALLOWABLE SHARED | 25% OF LARGER OCC. | 669 |
| RETAIL / OFFICE SHARED | 2.4 / 100 SQ M | 1,502.1 SQM |
| MALL / OFFICE SHARED* | N/A | N/A |

| | | | |
|------------------------|--------------------|-----|-----|
| DISABLED | 5, + 1/100 IF >500 | 10 | 10 |
| SMALL CARS | 35% | 333 | 100 |
| EV STALLS | N/A | X | 20 |
| FUTURE READY EV STALLS | 20% | 196 | 196 |

* ADDITIONAL ON-SITE PARKING IS REQUIRED TO CREATE FLEX-PARKING FOR THE EXISTING MALL TO ALLOW FOR NEW DEVELOPMENTS IN LOCATIONS CURRENTLY OCCUPIED BY SURFACE PARKING LOTS.

| REQUIRED BICYCLE SPACES | BYLAW | REQUIRED | PROVIDED |
|-------------------------|----------------|--------------|----------|
| OFFICE SECURE | 0.06 / 100 SQM | 52,114.0 SQM | 31 |
| OFFICE VISITOR | 0.12 / 100 SQM | 52,114.0 SQM | 63 |
| RETAIL VISITOR | 0.10 / 100 SQM | 1,743.3 SQM | 2 |

WATER CLOSET - OCCUPANT CALC

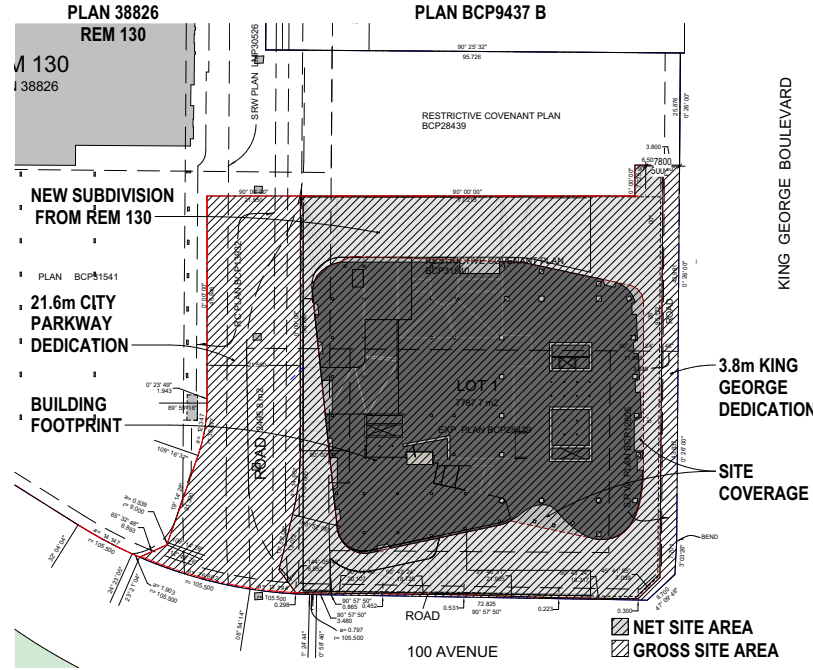
| LEVEL NAME | GROSS MEASURED AREA | | USE | WATER CLOSET CALCULATION | | | MIN CLOSETS PER SEX |
|-----------------------|---------------------|------------------|---------------------|--------------------------|-----------------------|-------------------------|---------------------|
| | AREA (IMP) | AREA (METRIC) | | OCCUPANT LOAD (3.1.17.1) | UNIVERSAL (3.7.2.2.2) | GENDER LOAD (3.7.2.2.1) | |
| LEVEL 1 | 16,046.00 | 1,490.71 | Retail (3.7.2.2.13) | 402.89 | 196.45 | -10 | 4 |
| LEVEL 2 WEST | 10,222.00 | 949.65 | | 256.66 | 128.33 | | 3 |
| LEVEL 2 EAST | 24,365.00 | 2,263.56 | Office (3.7.2.2.12) | 121.70 | 243.39 | | 4 |
| LEVEL 3 | 33,107.00 | 3,075.72 | | 165.36 | 330.72 | | 5 |
| LEVEL 4 | 33,172.00 | 3,081.75 | | 165.69 | 331.37 | | 5 |
| LEVEL 5 | 20,804.00 | 1,932.74 | | 207.82 | 103.91 | | 4 |
| LEVEL 6 | 18,829.00 | 1,749.26 | | 180.09 | 94.05 | | 3 |
| LEVEL 7 | 18,829.00 | 1,749.26 | | 188.09 | 94.05 | | 3 |
| LEVEL 8 | 19,245.00 | 1,787.90 | | 192.25 | 96.12 | | 3 |
| LEVEL 9 | 16,424.00 | 1,525.83 | | 164.07 | 82.03 | | 3 |
| LEVEL 10 | 16,435.00 | 1,526.85 | | 164.18 | 82.09 | | 3 |
| LEVEL 11 | 16,435.00 | 1,526.85 | | 164.18 | 82.09 | | 3 |
| LEVEL 12 | 16,435.00 | 1,526.85 | | 164.18 | 82.09 | | 3 |
| LEVEL 13 | 16,435.00 | 1,526.85 | | 164.18 | 82.09 | | 3 |
| LEVEL 14 | 16,435.00 | 1,526.85 | | 164.18 | 82.09 | | 3 |
| LEVEL 15 | 16,431.00 | 1,526.48 | | 164.14 | 82.07 | | 3 |
| LEVEL 16 | 16,431.00 | 1,526.48 | | 164.14 | 82.07 | | 3 |
| LEVEL 17 | 16,431.00 | 1,526.48 | | 164.14 | 82.07 | | 3 |
| LEVEL 18 | 16,431.00 | 1,526.48 | | 164.14 | 82.07 | | 3 |
| LEVEL 19 | 17,012.00 | 1,580.45 | | 169.94 | 84.97 | | 3 |
| LEVEL 20 | 14,727.00 | 1,368.17 | | 147.12 | 73.56 | | 3 |
| LEVEL 21 | 14,623.00 | 1,358.51 | | 146.08 | 73.04 | | 3 |
| LEVEL 22 | 14,589.00 | 1,355.44 | | 145.75 | 72.87 | | 3 |
| LEVEL 23 | 13,485.00 | 1,252.79 | | 134.71 | 67.35 | | 3 |
| LEVEL 24 | 13,367.00 | 1,241.82 | | 133.53 | 66.76 | | 3 |
| LEVEL 25 | 13,366.00 | 1,241.73 | | 133.52 | 66.76 | | 3 |
| BUILDING TOTAL | 460,112 | 42,745.45 | | 4,993.44 | 2,491.72 | | |

GROSS FLOOR AREAS - FINISHED (SURREY DEFINED)

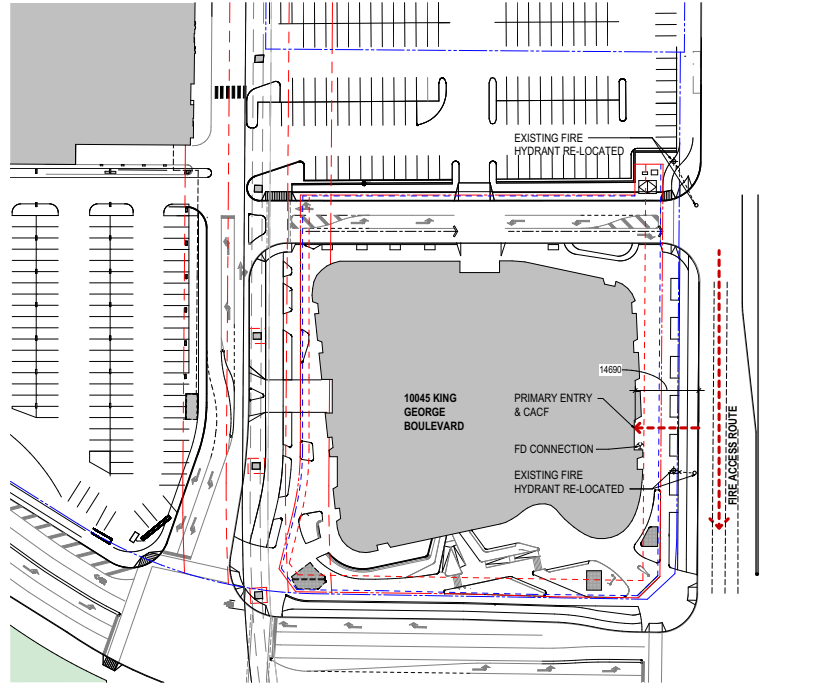
| LEVEL | Area (SF) | Area (SQ M) |
|-------------------------|---------------|----------------|
| LEVEL 1 | 20164 | 1874.0 |
| LEVEL 2 WEST | 11723 | 1089.5 |
| LEVEL 2 EAST | 30936 | 2875.1 |
| LEVEL 3 | 44458 | 3853.0 |
| LEVEL 4 | 44458 | 3853.0 |
| LEVEL 5 | 24960 | 2319.7 |
| LEVEL 6 | 23681 | 2200.8 |
| LEVEL 7 | 23681 | 2200.8 |
| LEVEL 8 | 24081 | 2238.0 |
| LEVEL 9 | 21322 | 1981.6 |
| LEVEL 10 | 21121 | 1962.9 |
| LEVEL 11 | 21121 | 1962.9 |
| LEVEL 12 | 21121 | 1962.9 |
| LEVEL 13 | 21121 | 1962.9 |
| LEVEL 14 | 21121 | 1962.9 |
| LEVEL 15 | 21121 | 1962.9 |
| LEVEL 16 | 21121 | 1962.9 |
| LEVEL 17 | 21121 | 1962.9 |
| LEVEL 18 | 21121 | 1962.9 |
| LEVEL 19 | 21121 | 1962.9 |
| LEVEL 20 | 18805 | 1747.7 |
| LEVEL 21 | 18889 | 1736.9 |
| LEVEL 22 | 18889 | 1736.9 |
| LEVEL 23 | 17543 | 1630.4 |
| LEVEL 24 | 17419 | 1618.9 |
| LEVEL 25 | 17419 | 1618.9 |
| GFA FINISHED: 28 | 583238 | 54204.3 |

GROSS FLOOR AREAS - U/G PARKING

| Level | AREA (SF) | AREA (SQM) |
|----------------------|----------------|-----------------|
| LEVEL 2 WEST | 2,639 | 245.3 |
| LEVEL 1 | 26,779 | 2,488.7 |
| LEVEL P1 | 80,285 | 7,461.4 |
| LEVEL P2 | 79,924 | 7,427.9 |
| LEVEL P3 | 79,924 | 7,427.9 |
| LEVEL P4 | 79,924 | 7,427.9 |
| LEVEL P5 | 67,969 | 6,316.8 |
| GFA SUB-GRADE | 417,443 | 38,795.8 |



PLAN, SITE SUBDIVISION - dp clone



PLAN DIAGRAM, FIRE ACCESS - DP

- Consultants**
- CLIENT/DEVELOPER
 BLACKWOOD PARTNERS
 10503 KING GEORGE BLVD
 SURREY BC V3T 2W1
 +1 (604) 568-5271
 - OWNER'S AGENT
 TURNBULL
 SUITE 1050 - 13450 AVE
 SURREY BC V3T 5G3
 +1 (778) 227-1986
 - CM
 ELLIOTSON
 150 - 13775 COMMERCE PARKWAY
 RICHMOND BC V6V 2V4
 +1 (604) 247 - 1072
 - ARCHITECT
 ZGF ARCHITECTS INC.
 SUITE 350 - 355 BURRARD STREET
 VANCOUVER BC V6C 2G8
 +1 (604) 568-8300
 - STRUCTURAL ENGINEER
 GLOTTMAN-SIMPSON CONSULTING
 1665 W 15TH AVE
 VANCOUVER BC V6C 2K4
 +1 (604) 734-8822
 - MECHANICAL ENGINEER
 ABE CONSULTING
 SUITE 1180 - 800 W HASTINGS ST
 VANCOUVER BC V6C 2K4
 +1 (604) 684-5955
 - ELECTRICAL ENGINEER
 AES ENGINEERING
 1330 GRANVILLE ST
 VANCOUVER BC V6C 1M7
 +1 (604) 569-6500
 - LANDSCAPE ARCHITECT
 PFS STUDIO
 150 - 13775 COMMERCE PARKWAY
 RICHMOND BC V6V 2V4
 +1 (604) 247 - 1072
 - CIVIL/ENVIRONMENTAL
 MCELHANEY CONSULTING
 808 BEATTY STREET
 VANCOUVER BC V6B 1C1
 +1 (604) 683-8211

Revisions
 1 Issued for DP 14 MAY 2019

blackwood PARTNERS
CENTRAL CITY TOWER 2
 Property Legal Description:
 Lot 130, Sections 27 and 34, Block 5 North, Range 2 West, New Westminster District, Plan 38826
 10045 King George Boulevard
 Surrey, BC
 V3T 2W1

Drawing Title
CODE AND BYLAW REVIEW
 Date: 10 JULY 2019
 Job No: 2386.02
 Drawn By: Author
 Checked By: Checker
 Drawing No:

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 568-5271
- OWNER'S AGENT
TURNBULL
SUITE 1500 - 13450 AVE
SURREY, BC V3T 5X3
+1 (779) 227-7966
- CM
ELLISON
150 - 1075 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURARD STREET
VANCOUVER, BC V6T 5G3
+1 (604) 558-8390
- STRUCTURAL ENGINEER
GLT/MAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6J 2X4
+1 (604) 734-8622
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 1150 - 800 W HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-5955
- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL
MCELHANEY CONSULTING
606 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-6211

Revisions

1 Issued for DP 14 MAY 2019

blackwood PARTNERS

CENTRAL CITY TOWER 2

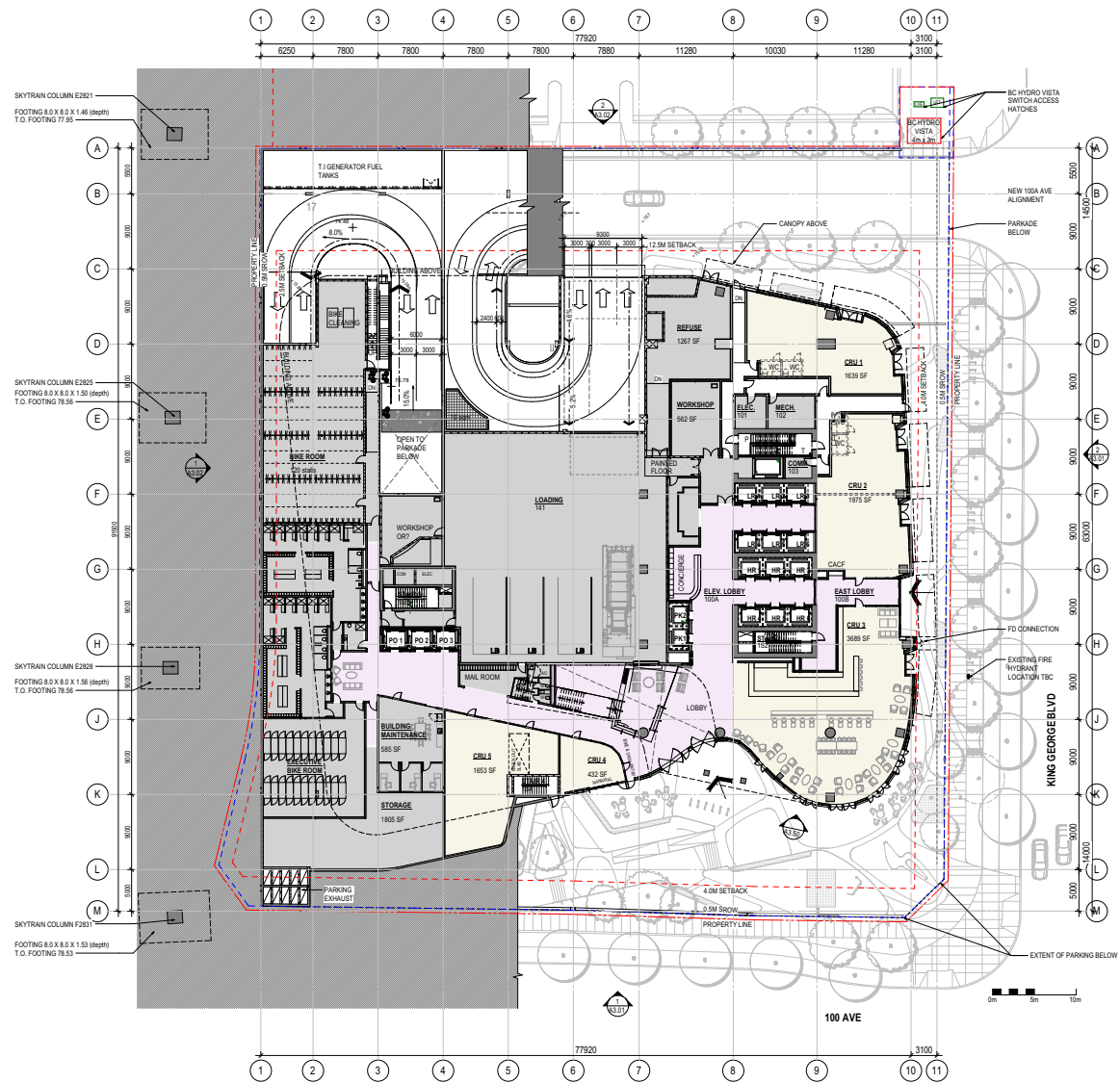
Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10443 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
PLAN, FLOOR LEVEL 1

Date: 10 JULY 2019
Job No: 2386.02
Drawn By: Author
Checked By: Checker
Drawing No:

A2.06.

D.D.



1 PLAN, LEVEL 1
A2.06 1:200

7/12/2019 9:23:30 AM



- Consultants**
- CLIENT/DEVELOPER**
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271
 - OWNER'S AGENT**
TURNBULL
SUITE 1500 - 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7866
 - CM**
ELLISON
180 - 10775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
 - ARCHITECT**
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
VANCOUVER, BC V6C 2G8
+1 (604) 558-8390
 - STRUCTURAL ENGINEER**
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6C 2K4
+1 (604) 734-8622
 - MECHANICAL ENGINEER**
AME CONSULTING
SUITE 1100 - 809 W HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-8995
 - ELECTRICAL ENGINEER**
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6H 1M7
+1 (604) 569-6500
 - LANDSCAPE ARCHITECT**
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
 - CIVIL/ENVIRONMENTAL**
MCELHANNY CONSULTING
606 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-8211

Revisions

1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10043 King George Boulevard
Surrey, BC
V3T 2W1

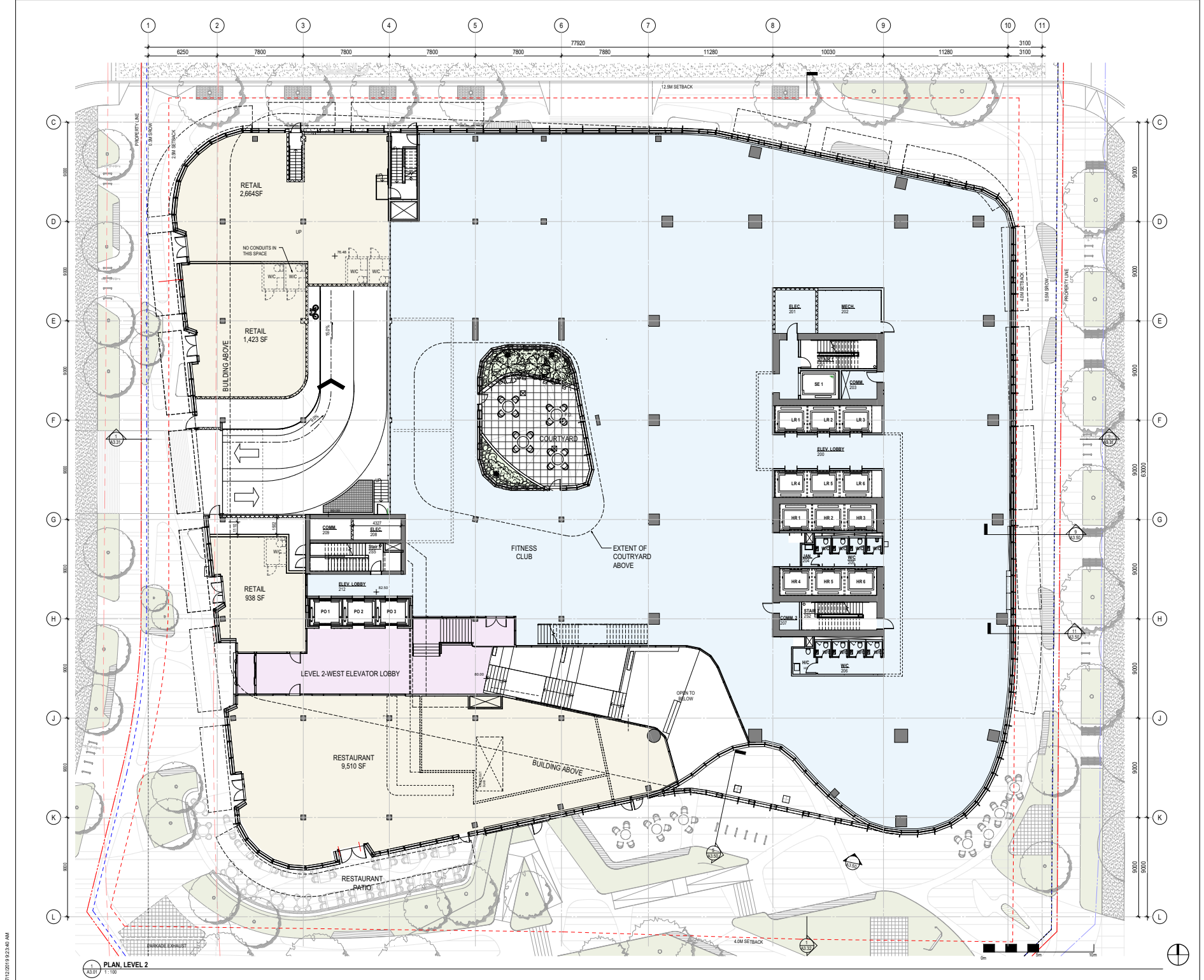
Drawing Title
PLAN, FLOOR LEVEL 2

Date: 10 JULY 2019
Job No: 2386.02
Drawn By: Author
Checked By: Checker

Drawing No:

A2.07.

D.D.



PLAN, LEVEL 2
1:100

7/12/2019 9:23:46 AM

Consultants

CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271

OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7986

CM
ELLISDON
150 - 1075 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072

ARCHITECT
ZGF ARCHITECTS INC.
SUITE 300 - 305 BURRARD STREET
VANCOUVER, BC V6C 2G8
+1 (604) 558-8300

STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6C 2X4
+1 (604) 734-8622

MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 800 W HASTINGS ST
VANCOUVER, BC V6C 2X4
+1 (604) 684-9955

ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
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LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
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MCELHANNY CONSULTING
606 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 663-8211

Revisions

1 Issued for DP 14 MAY 2019

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CENTRAL CITY TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10643 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

PLAN,
FLOOR LEVEL 3

Date: 10 JULY 2019

Job No: 2386.02

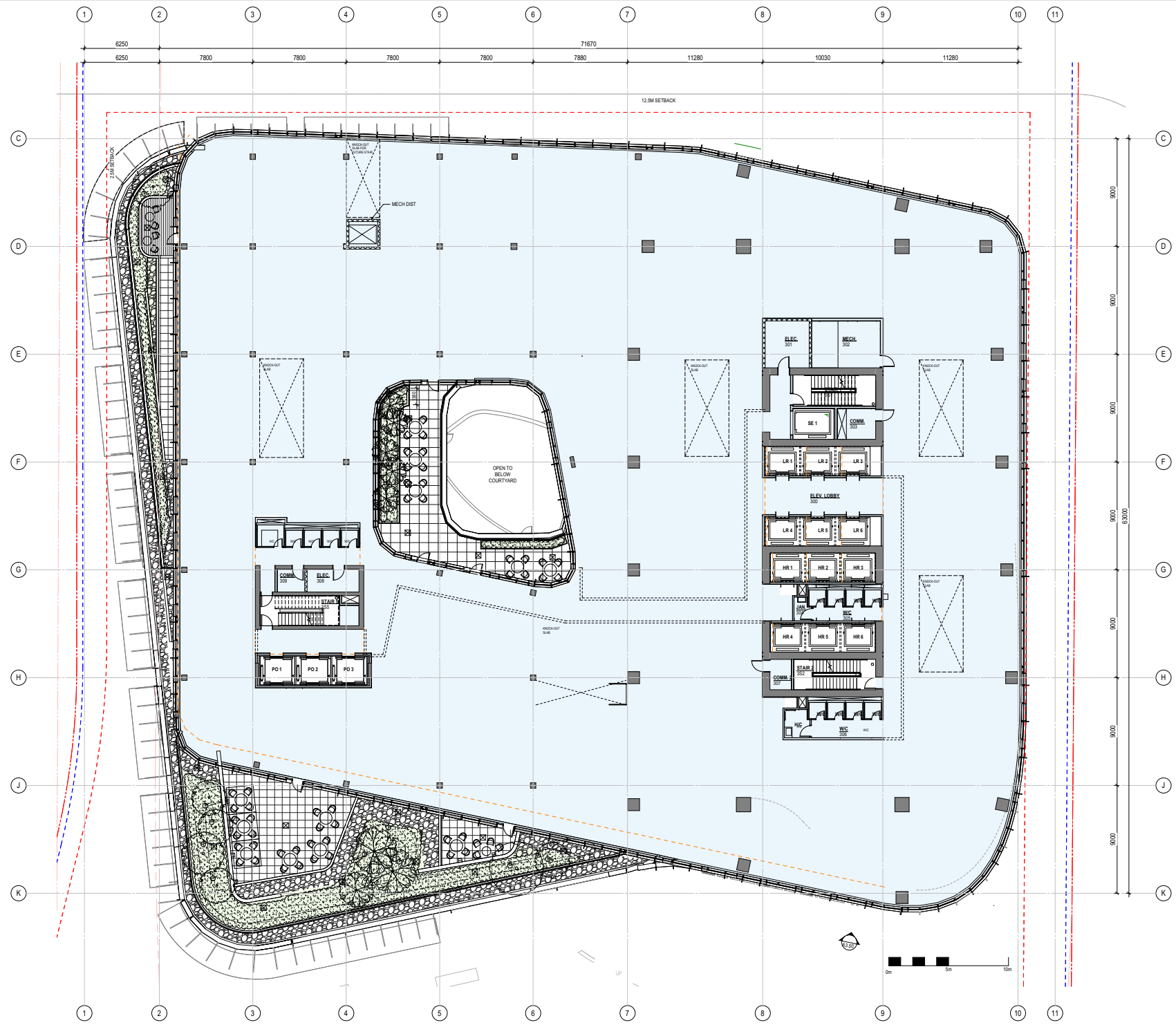
Drawn By: Author

Checked By: Checker

Drawing No:

A2.08.

D.D.



PLAN, LEVEL 3
A3.01 1:100

7/12/2019 9:23:45 AM

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY BC V3T 2W1
+1 (604) 558-5271
OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY BC V3T 5X3
+1 (778) 227-7966
- CM
ELLISDON
150 - 1075 COMMERCE PARKWAY
RICHMOND BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
VANCOUVER BC V6T 5G3
+1 (604) 558-8300
- STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER BC V6J 2K4
+1 (604) 734-8622
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 800 W HASTINGS ST
VANCOUVER BC V6C 2K4
+1 (604) 688-5955
- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL
MCELHANEY CONSULTING
608 BEATTY STREET
VANCOUVER BC V6B 1C1
+1 (604) 663-8521

Revisions

- 1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10443 King George Boulevard
Surrey, BC
V3T 2W1

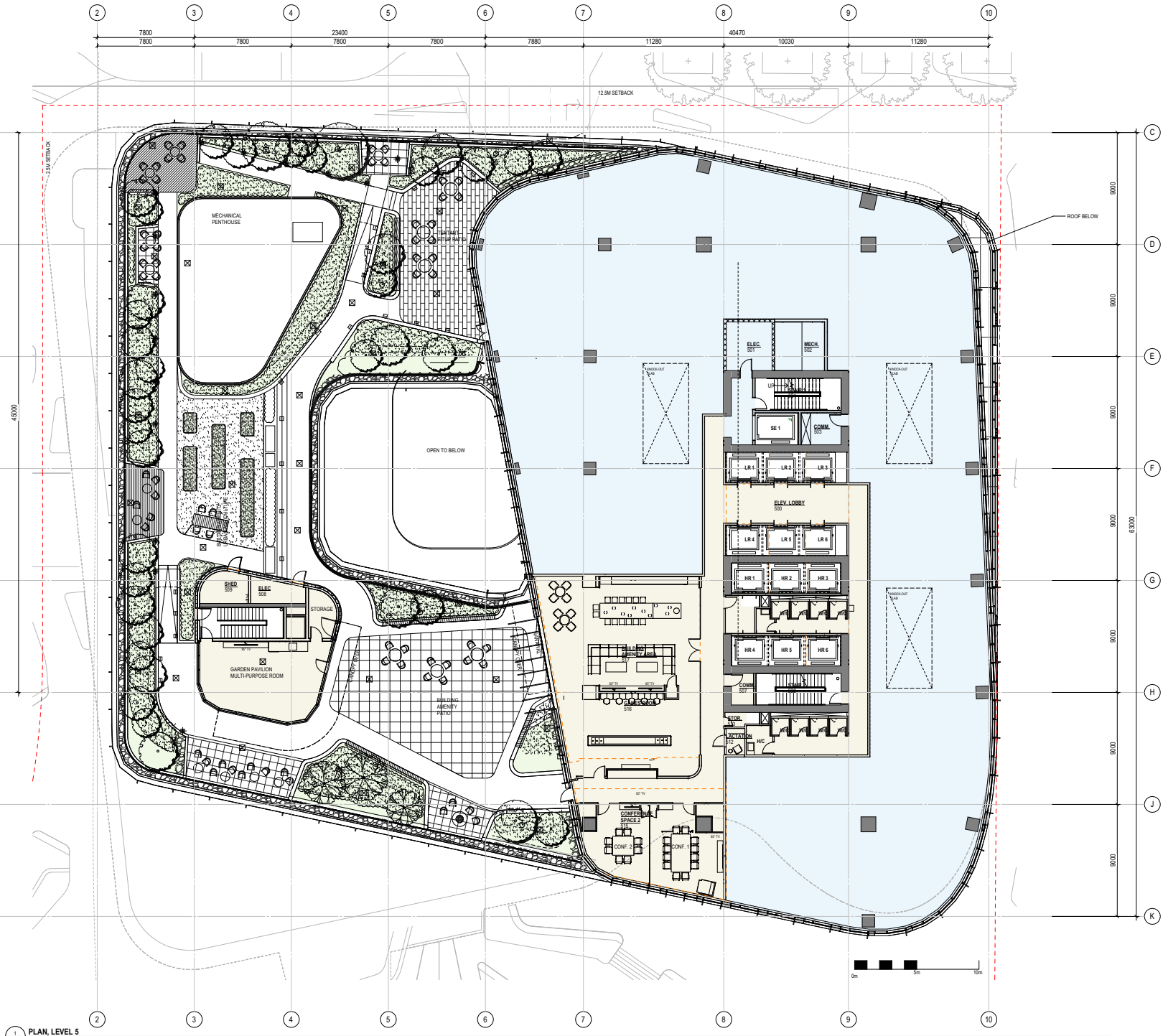
Drawing Title

**PLAN,
FLOOR LEVEL 5**

Date: 10 JULY 2019
Job No: 2386-02
Drawn By: Author
Checked By: Checker
Drawing No:

A2.10.

D.D.



PLAN, LEVEL 5
1:100

- CLIENT/DEVELOPER**
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY BC V3T 2W1
+1 (604) 558-5271
- OWNER'S AGENT**
TURNBULL
SUITE 1050, 12450 AVE
SURREY BC V3T 5A3
+1 (778) 227-9586
- CM**
ELLISDON
150 - 13775 COMMERCE PARKWAY
RICHMOND BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT**
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
VANCOUVER BC V6C 2K4
+1 (604) 558-8300
- STRUCTURAL ENGINEER**
GLOTTMAN-SIMPSON CONSULTING
1965 W 15TH AVE
VANCOUVER BC V6C 2K4
+1 (604) 734-8822
- MECHANICAL ENGINEER**
AME CONSULTING
1965 W 15TH AVE
VANCOUVER BC V6C 2K4
+1 (604) 684-9905
- ELECTRICAL ENGINEER**
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER BC V6C 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT**
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL**
MCELHANEY CONSULTING
608 BEATTY STREET
VANCOUVER BC V6B 1C1
+1 (604) 683-8211

Revisions
1 Issued for DP 14 MAY 2019

blackwood PARTNERS
CENTRAL CITY TOWER 2
Property Legal Description:
Lot 130, Sections 27 and 34, Block 5 North, Range 2 West, New Westminster District, Plan 38826
10643 King George Boulevard
Surrey, BC
V3T 2W1

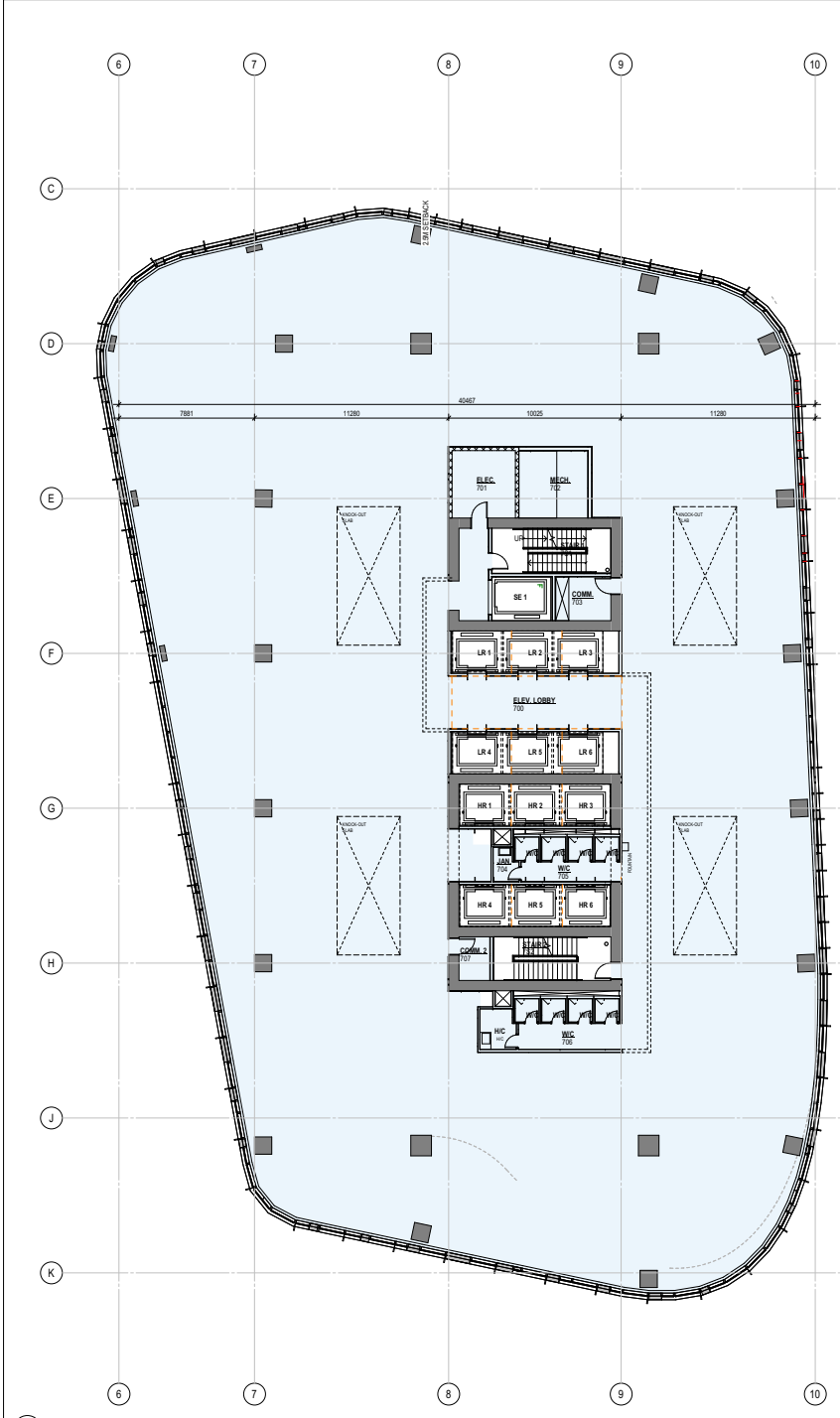
Drawing Title
PLAN, FLOOR_LEVEL 7-8 & 9

Date: 10 JULY 2019
Job No: 23866.02
Drawn By: Author
Checked By: Checker

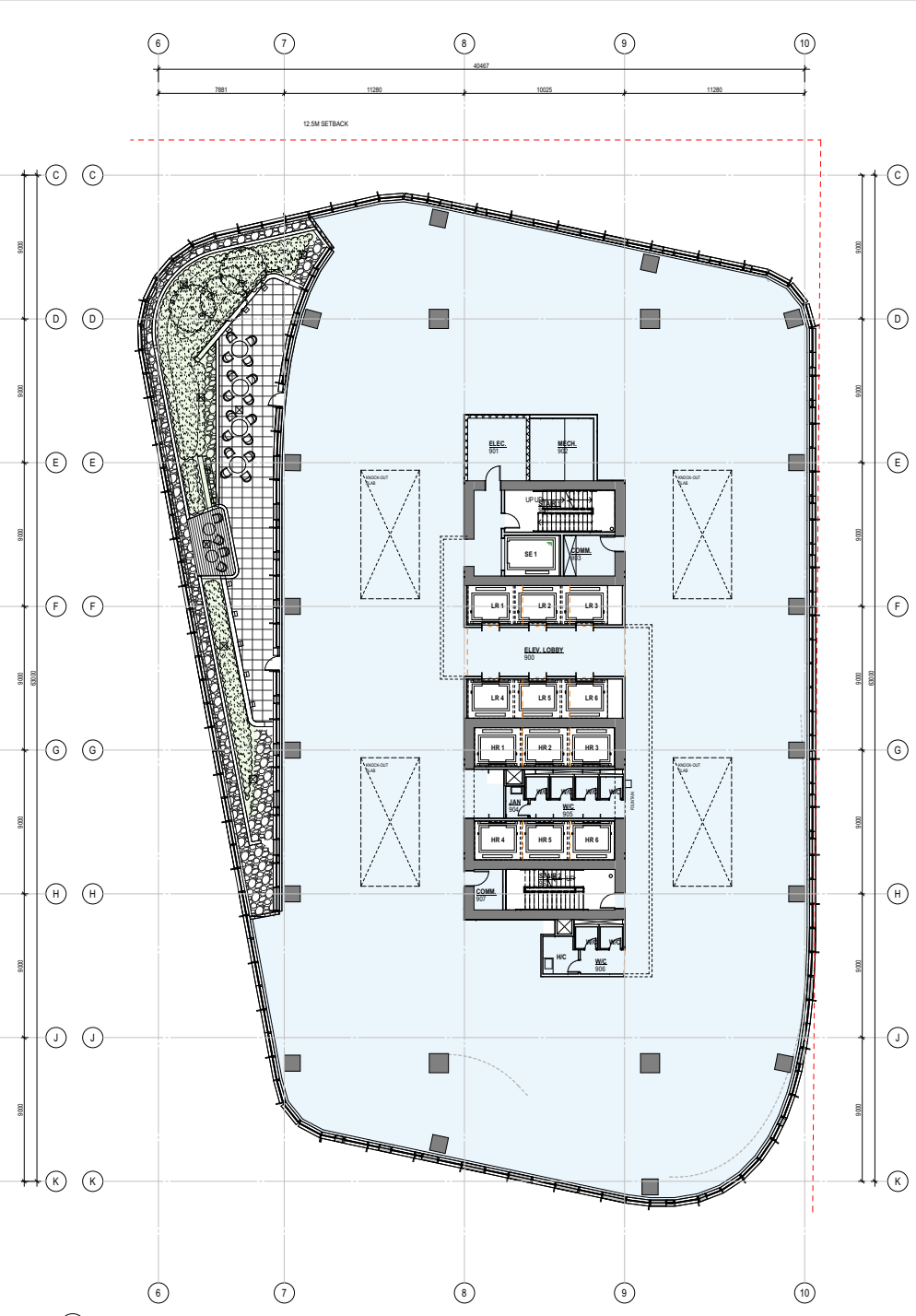
Drawing No:

A2.12.

D.D.



PLAN, LEVEL 7-8
A2.01 1:100



PLAN, LEVEL 9
A2.01 1:100

4.0M SETBACK

0.9M SROW

PROPERTY LINE



7/12/2019 9:24:26 AM

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271
- OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7966
- CM
ELLISON
150 - 10775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
- ARCHITECT
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
VANCOUVER, BC V6T 5G3
+1 (604) 558-8390
- STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1661 W 15TH AVE
VANCOUVER, BC V6C 2X4
+1 (604) 734-8522
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 1150 - 800 W HASTINGS ST
VANCOUVER, BC V6C 2X4
+1 (604) 684-5955
- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
- CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
606 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 663-8521

Revisions

1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10043 King George Boulevard
Surrey, BC
V3T 2W1

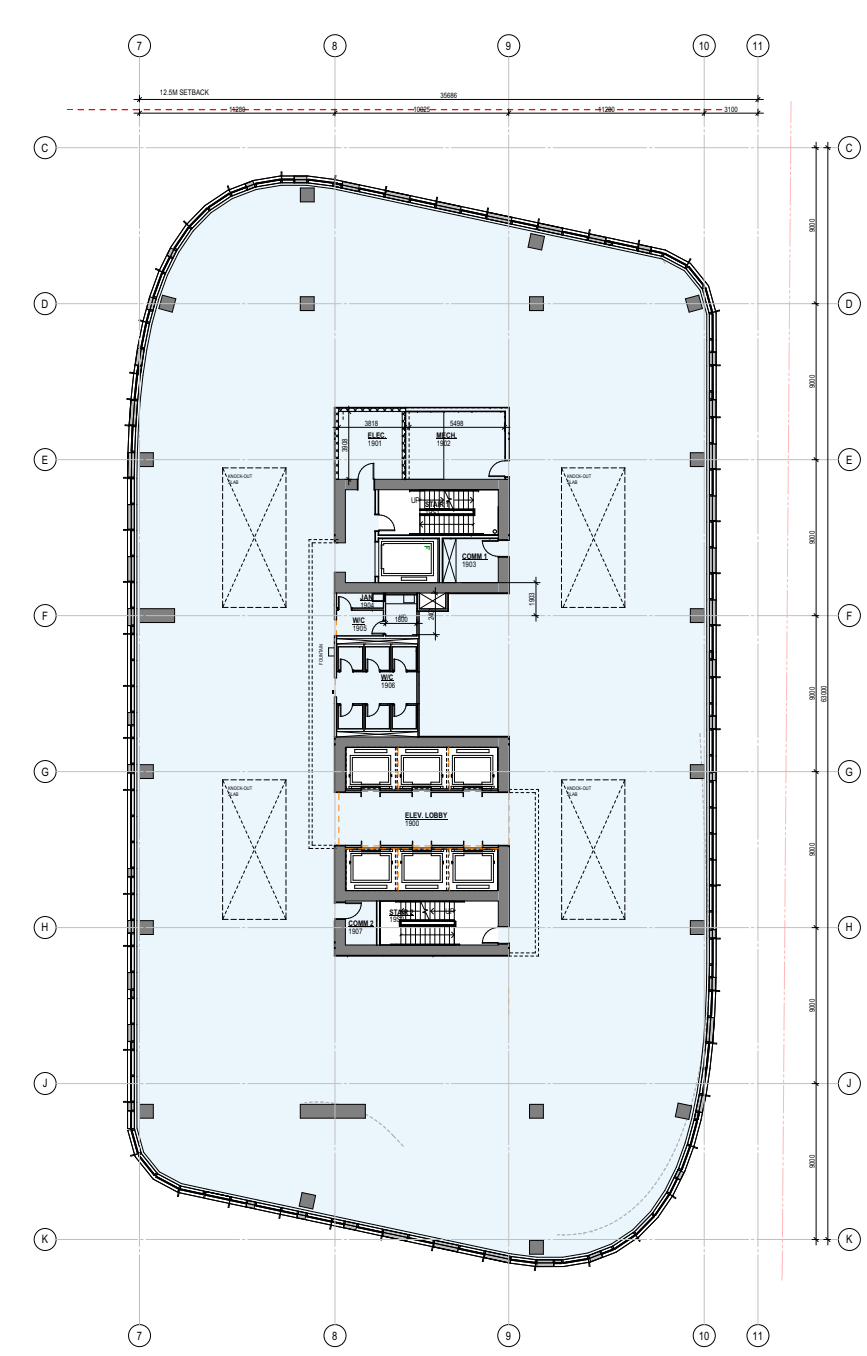
Drawing Title

**PLAN,
FLOOR LEVEL 19
& 20**

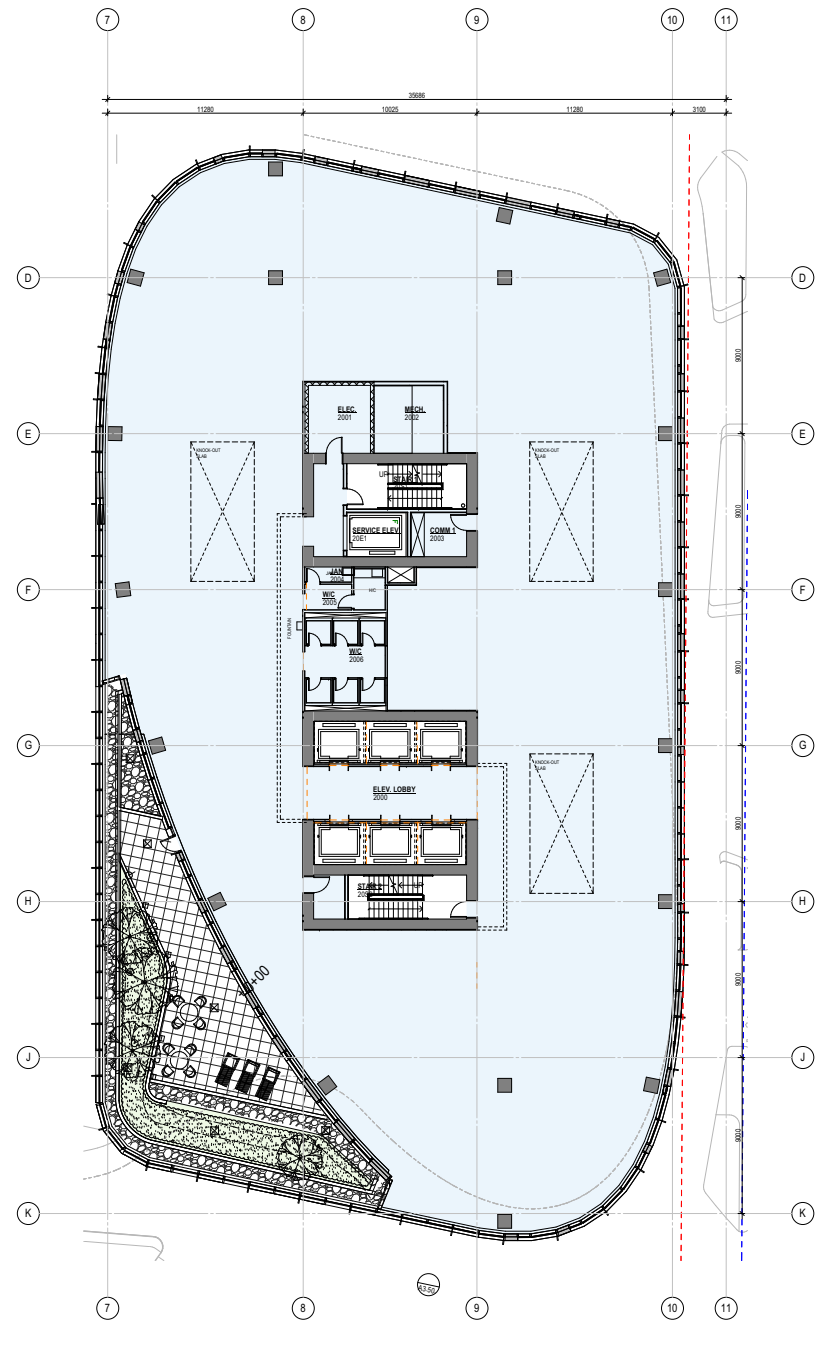
Date: 10 JULY 2019
Job No: 2386.02
Drawn By: Author
Checked By: Checker
Drawing No:

A2.15.

D.D.



1 PLAN, LEVEL 19
A3.07 1:100



2 PLAN, LEVEL 20
A3.07 1:100



Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
10503 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271
- OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7986
- CM
ELLISDON
180 - 10775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
VANCOUVER, BC V6T 5G3
+1 (604) 558-8390
- STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6C 2K4
+1 (604) 734-8622
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100, 400 W HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-9955
- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
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+1 (604) 683-8521

Revisions

1 Issued for DP 14 MAY 2019

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PARTNERS
**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 34, Block
2 North, Range 2 West, New
Westminster District, Plan 38826
10443 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

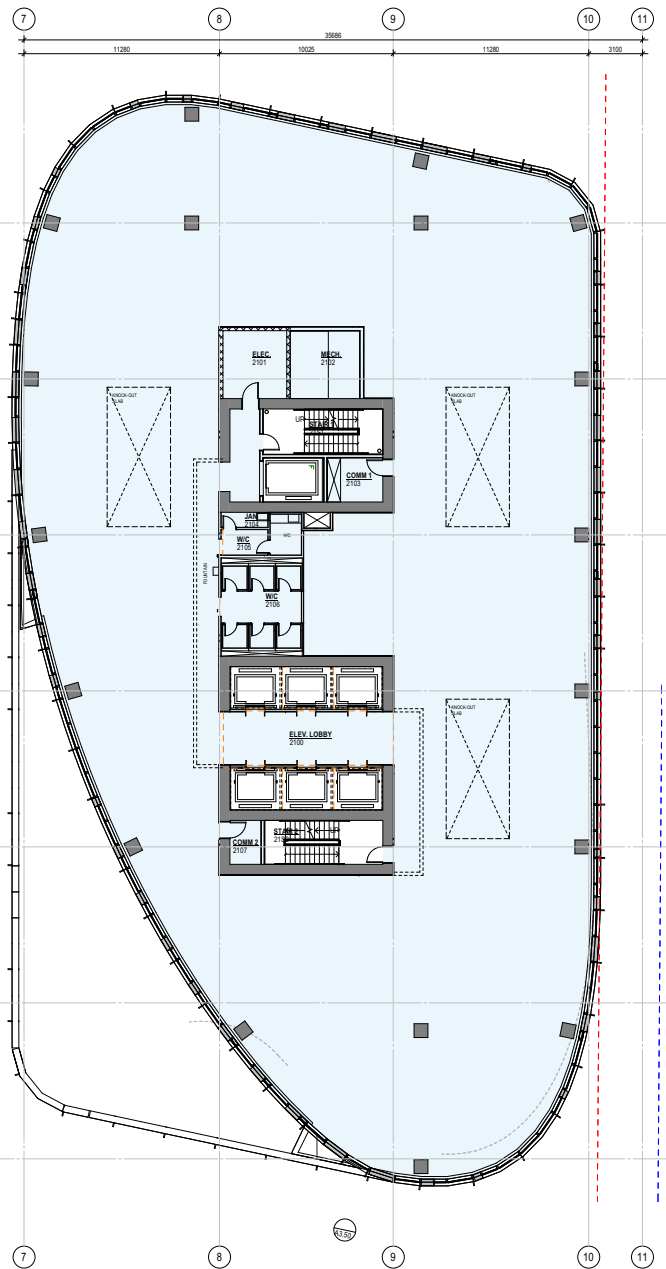
**PLAN,
FLOOR LEVEL
21-22 & 23**

Date: 10 JULY 2019
Job No: 2386.02
Drawn By: Author
Checked By: Checker

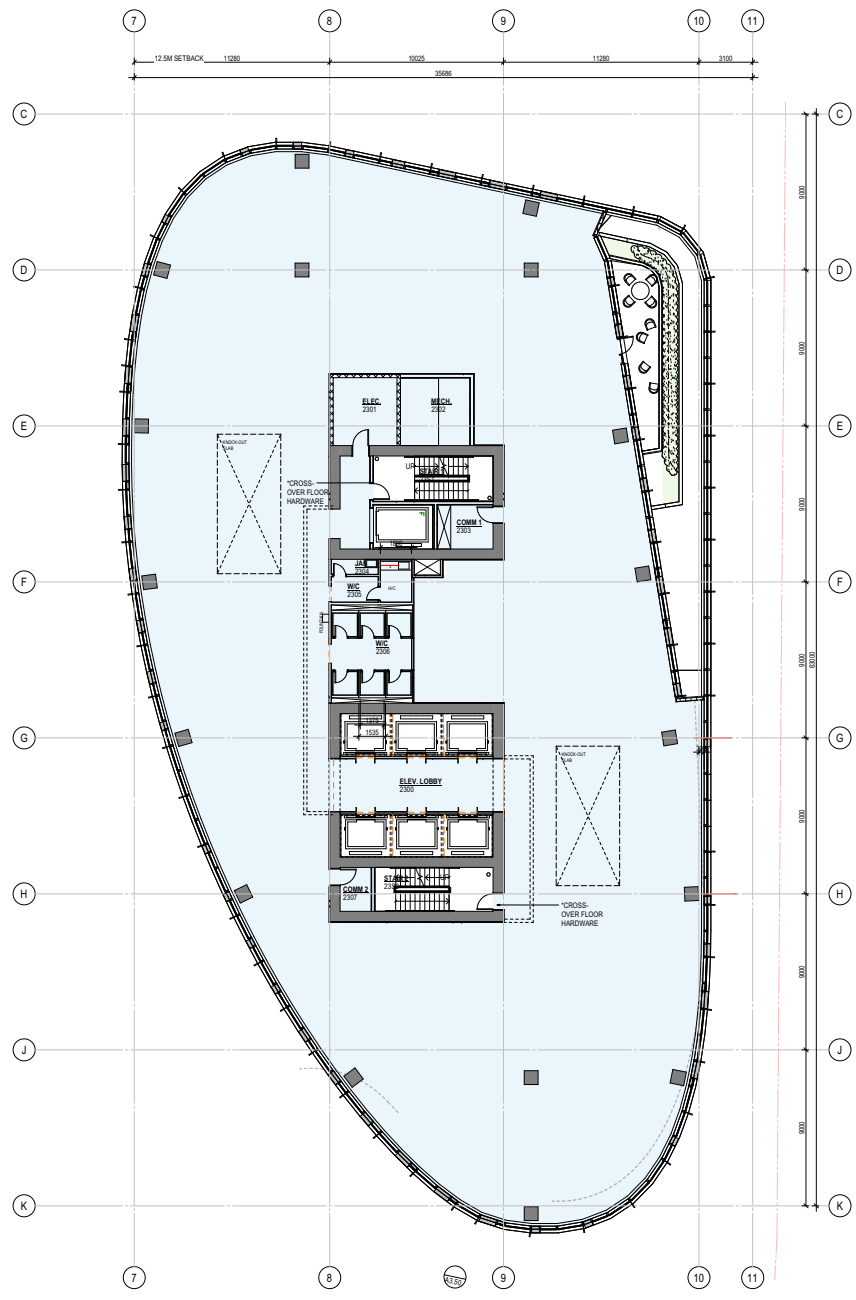
Drawing No.

A2.16.

D.D.



2 PLAN, LEVEL 21-22
A2.17 1:100



1 PLAN, LEVEL 23
A2.17 1:100



Consultants

CLIENT/DEVELOPER
BLACKWOOD PARTNERS
10043 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 568-5271
OWNER'S AGENT
TURNBULL
SUITE 1000, 13450 AVE
SURREY, BC V3T 5X3
+1 (779) 227-9366

CM
ELLISON
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072

ARCHITECT
ZGF ARCHITECTS INC.
SUITE 300 - 305 BURRARD STREET
VANCOUVER, BC V6C 2G8
+1 (604) 568-5290

STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1661 W 15TH AVE
VANCOUVER, BC B6J 2K4
+1 (604) 734-8622

MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 800 W HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-5959

ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500

LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072

CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
608 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-6521

Revisions

- 1 Issued for DP 14 MAY 2019
- 2 DP Revisions 23 AUG 2019

blackwood
PARTNERS

CENTRAL CITY
TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10043 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

ELEVATION - E & S

Date: 22 AUGUST 2019

Job No: 2386.02

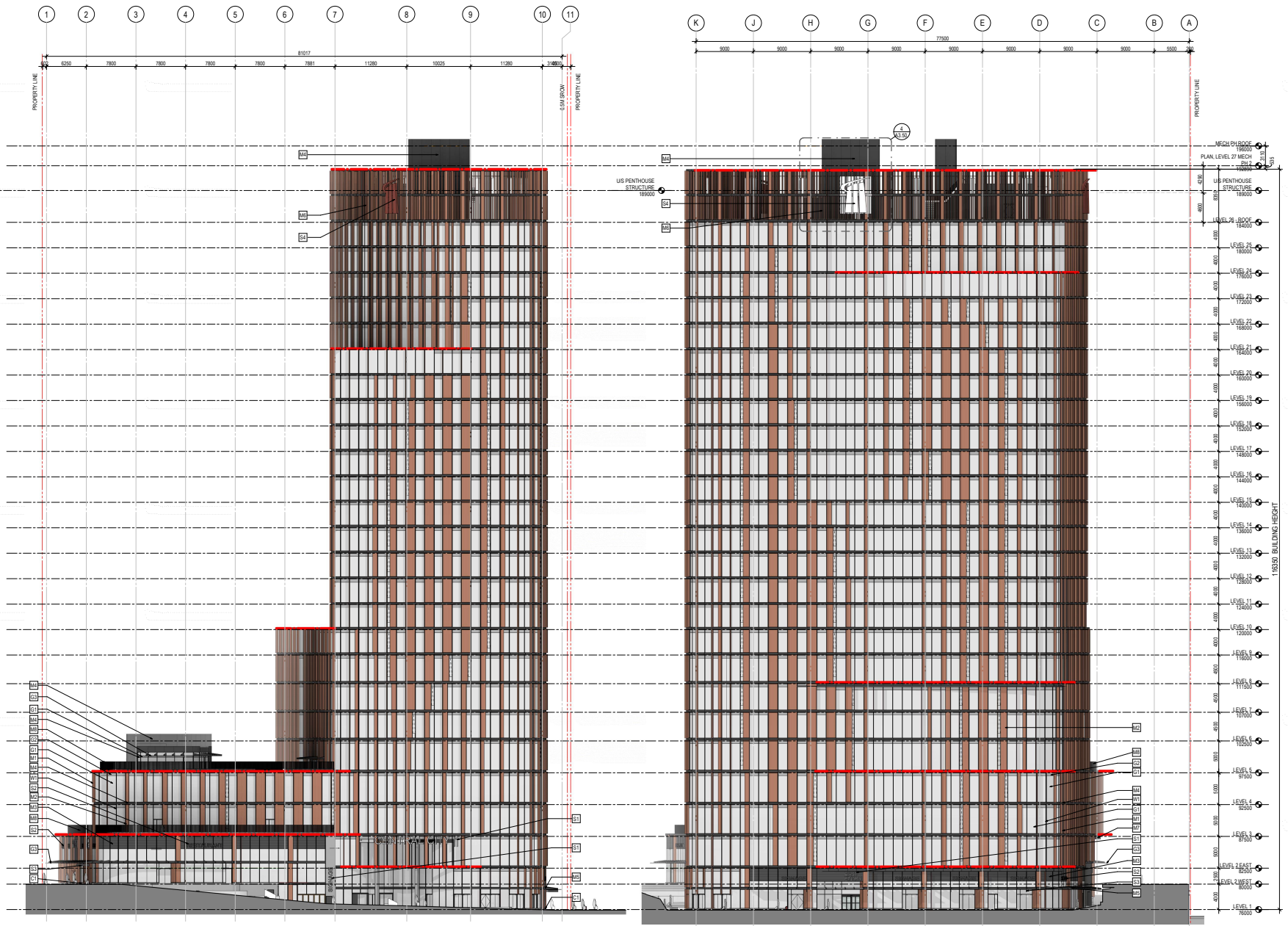
Drawn By: DS

Checked By: AC

Drawing No:

A3.01.

C.D.



1 ELEVATION SOUTH
A3.01 1:200

2 ELEVATION EAST
A3.01 1:200

MATERIALS

- W1 BLACK ANODIZED ALUMINUM UNITIZED CURTAIN WALL WITH SILICONE JOINTS
- G1 LOW E GLASS (CLEAR)
- G2 SPANDREL - LOW E GLASS - SHADOW BOX (CLEAR)
- G3 GLASS CANOPY (FROSTED)
- M1 METAL FIN - ALUMINUM (COLOR RUST)
- M2 CORRUGATED PANEL - ALUMINUM (COLOR RUST)
- M3 METAL LOUVER - ALUMINUM (BLACK)
- M4 METAL CLADDING (BLACK)
- M5 METAL CANOPY SUPPORT (BLACK)
- M6 METAL SCREEN - ALUMINUM (COLOR RUST)
- M7 SOFFIT - ALUMINUM (MATTE BLACK)
- M8 BLACK METAL PICKET TRAINING - FRAME (COLOUR TO MATCH W1)
- M9 PAINTED BLACK METAL - DOORFRAME (COLOUR TO MATCH W1)
- C1 EXPOSED CONCRETE

SIGNAGE & LIGHTING

- NOTE: TOTAL PREMISES FRONTAGE = 262.7m
TOTAL PROPOSED SIGNAGE AREA = 79.6m²
FOR SIGNAGE LOCATIONS REFER TO A3.01.A3.04
- S1 BASE BUILDING SIGNAGE (AT GRADE)
SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT
QUANTITY - 6
- S2 RETAIL SIGNAGE (WALL MOUNTED)
SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT
QUANTITY - 11
- S3 RETAIL SIGNAGE (CANOPY/SUSPENDED)
300mm(H) X 1500mm(W)
NOT ILLUMINATED
QUANTITY - 11
- S4 BASE BUILDING SIGNAGE (TOWER TOP)
500mm(H) X 500mm(W) CENTRAL CITY LOGO
NOT ILLUMINATED
QUANTITY - 3
- F2 ARCHITECTURAL FEATURE LIGHTING-HORIZONTAL STRIPS
INDICATES EXTENT, LEED NIGHT SKY COMPLIANT

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 568-5271
- OWNER'S AGENT
TURNBULL
SUITE 1050 - 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7666
- CM
ELLISON
180 - 1075 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
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ZGF ARCHITECTS INC.
SUITE 350 - 355 BURRARD STREET
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- STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6C 2X4
+1 (604) 734-8622
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AME CONSULTING
SUITE 1100 - 800 W HASTINGS ST
VANCOUVER, BC V6C 2X4
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- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL
MCELANNEY CONSULTING
608 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-8211

Revisions

1 Issued for DP 14 MAY 2019

blackwood
PARTNERS

CENTRAL CITY
TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10043 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

ELEVATION, EXTERIOR - W & N

Date: 22 AUGUST 2019

Job No: 2386.02

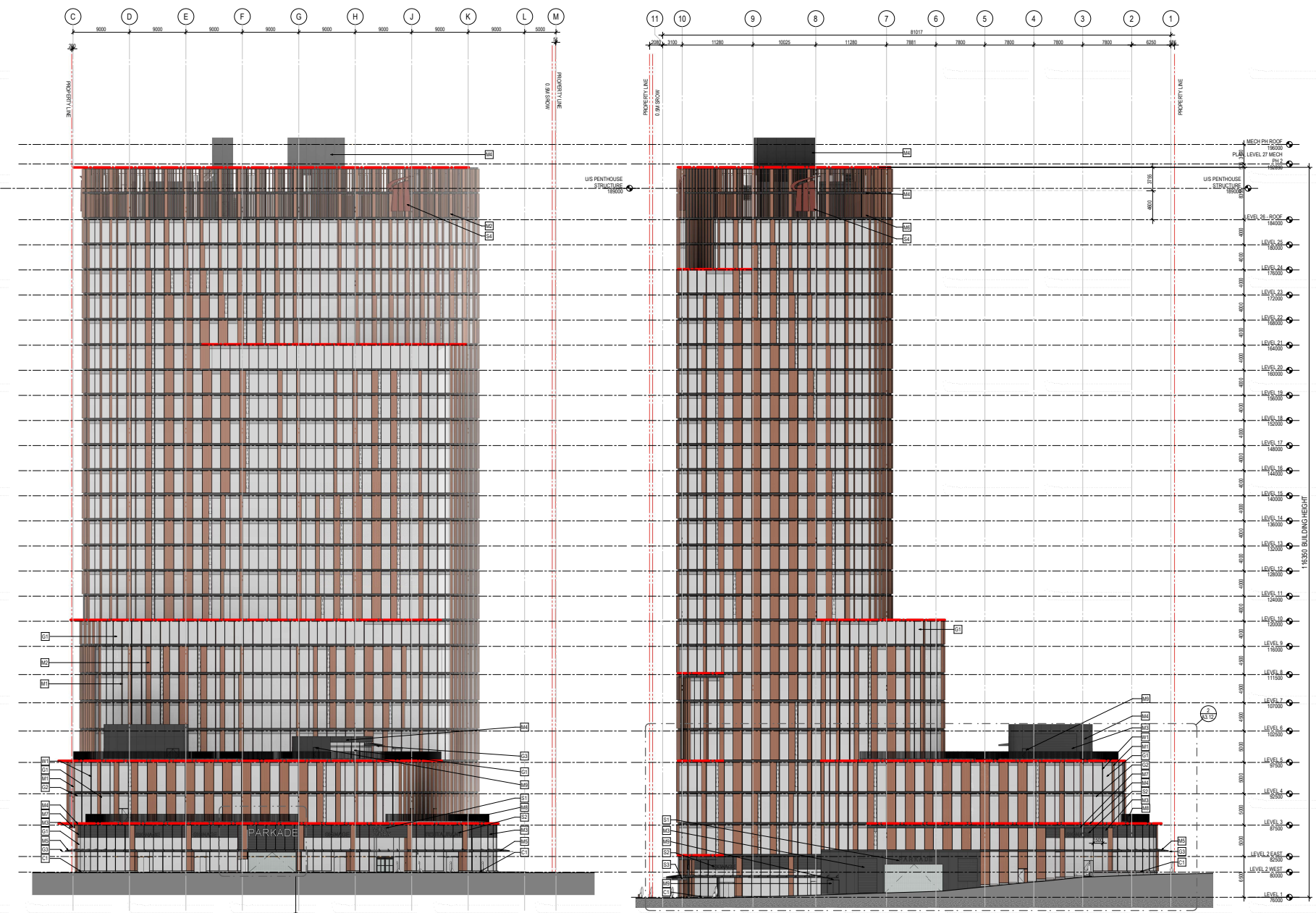
Drawn By: DS

Checked By: AC

Drawing No:

A3.02.

C.D.



1 ELEVATION WEST -dp clone
A3.02 1:200

2 ELEVATION NORTH -dp clone
A3.02 1:200

- MATERIALS**
- W1 BLACK ANODIZED ALUMINUM UNITIZED CURTAIN WALL WITH SILICONE JOINTS
 - G1 LOW E GLASS (CLEAR)
 - G2 SPANDREL - LOW E GLASS - SHADOW BOX (CLEAR)
 - G3 GLASS CANOPY (FROSTED)
 - M1 METAL FIN - ALUMINUM (COLOR RUST)
 - M2 CORRUGATED PANEL - ALUMINUM (COLOR RUST)
 - M3 METAL LOUVERES - ALUMINUM (BLACK)
 - M4 METAL CLADDING (BLACK)
 - M5 METAL CANOPY SUPPORT (BLACK)
 - M6 METAL SCREEN - ALUMINUM (COLOR RUST)
 - M7 SOFFIT - ALUMINUM (MATT BLACK)
 - M8 BLACK METAL PICKET RAILING - FRAME (COLOUR TO MATCH W1)
 - M9 PAINTED BLACK METAL - DOORFRAME (COLOUR TO MATCH W1)
 - C1 EXPOSED CONCRETE
- SIGNAGE & LIGHTING**
- S1 BASE BUILDING SIGNAGE (AT GRADE) SELF-ILLUMINATED; LEED NIGHT SKY COMPLIANT QUANTITY - 8
 - S2 RETAIL SIGNAGE (WALL-MOUNTED) SELF-ILLUMINATED; LEED NIGHT SKY COMPLIANT QUANTITY - 11
 - S3 RETAIL SIGNAGE (CANOPY-SUSPENDED) 300mm(H) X 1500mm(W) NOT ILLUMINATED QUANTITY - 11
 - S4 BASE BUILDING SIGNAGE (TOWER-TOP) 550mm(H) X 650mm(W) CENTRAL CITY LOGO SELF-ILLUMINATED; LEED NIGHT SKY COMPLIANT QUANTITY - 3
 - F2 ARCHITECTURAL FEATURE LIGHTING; HORIZONTAL STRIPS INDICATES EXTENT; LEED NIGHT SKY COMPLIANT
- NOTE:**
TOTAL PREMISES FRONTAGE = 262.7m
TOTAL PROPOSED SIGNAGE AREA = 73.8m²
FOR SIGNAGE LOCATIONS REFER TO A3.01 A3.04

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1053 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 558-5271
OWNER'S AGENT
TURNBULL
SUITE 1500, 13450 AVE
SURREY, BC V3T 5X3
+1 (778) 227-7866
CM
ELLISON
180 - 1075 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
ARCHITECT
ZGF ARCHITECTS INC.
SUITE 350 - 355 BURARD STREET
VANCOUVER, BC V6T 5G3
+1 (604) 558-8390
STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1665 W 15TH AVE
VANCOUVER, BC V6V 2V4
+1 (604) 247-1072
MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 809 W HASTINGS ST
VANCOUVER, BC V6C 2X4
+1 (604) 684-8995
ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
LANDSCAPE ARCHITECT
PFS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247 - 1072
CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
606 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-8521

Revisions

1 Issued for DP 14 MAY 2019

blackwood
PARTNERS

CENTRAL CITY
TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10045 King George Boulevard
Surrey, BC
V3T 2W1

ENLARGED
ELEVATIONS,
SECTIONS, AND
SIGNAGE DETAILS

Date: 10 JULY 2019

Job No: 2386.02

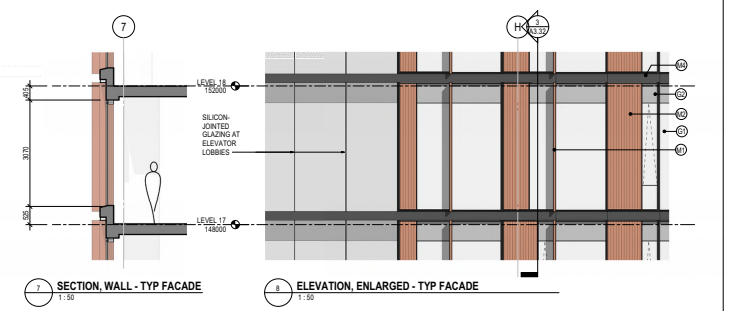
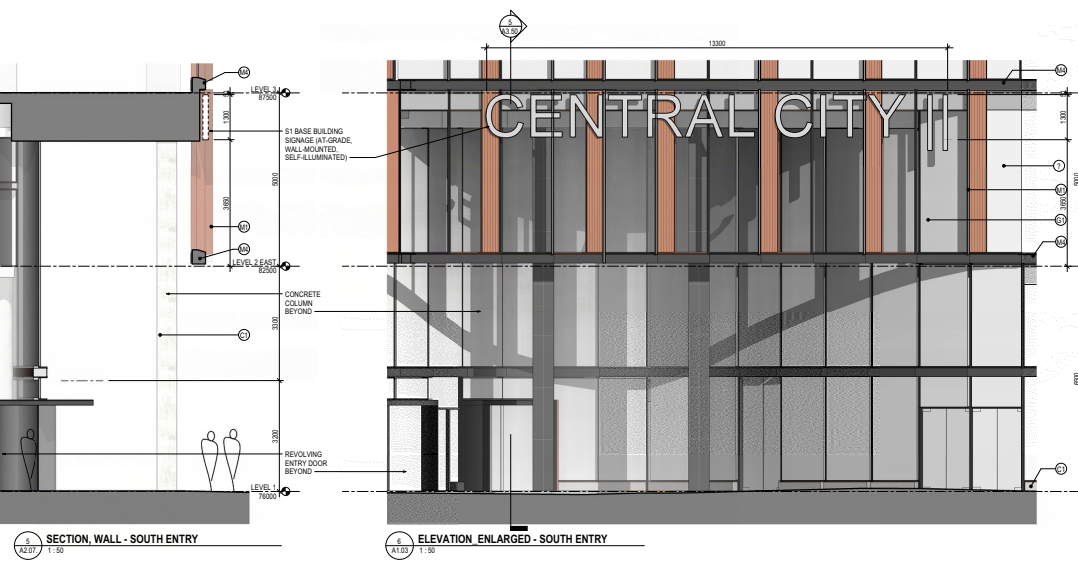
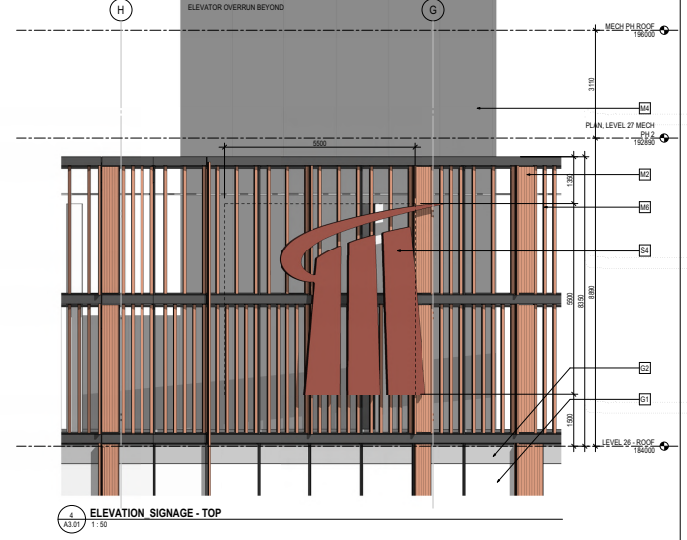
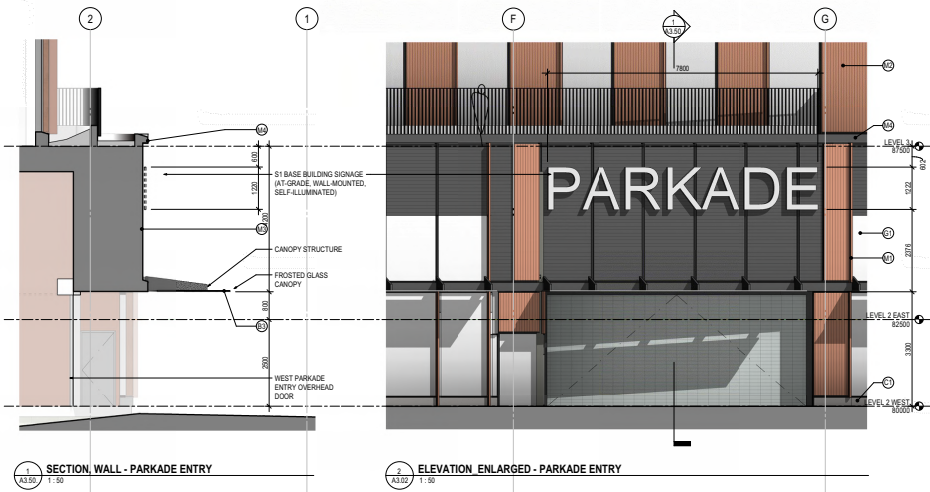
Drawn By: Author

Checked By: Checker

Drawing No:

A3.50.

D.D.



MATERIALS

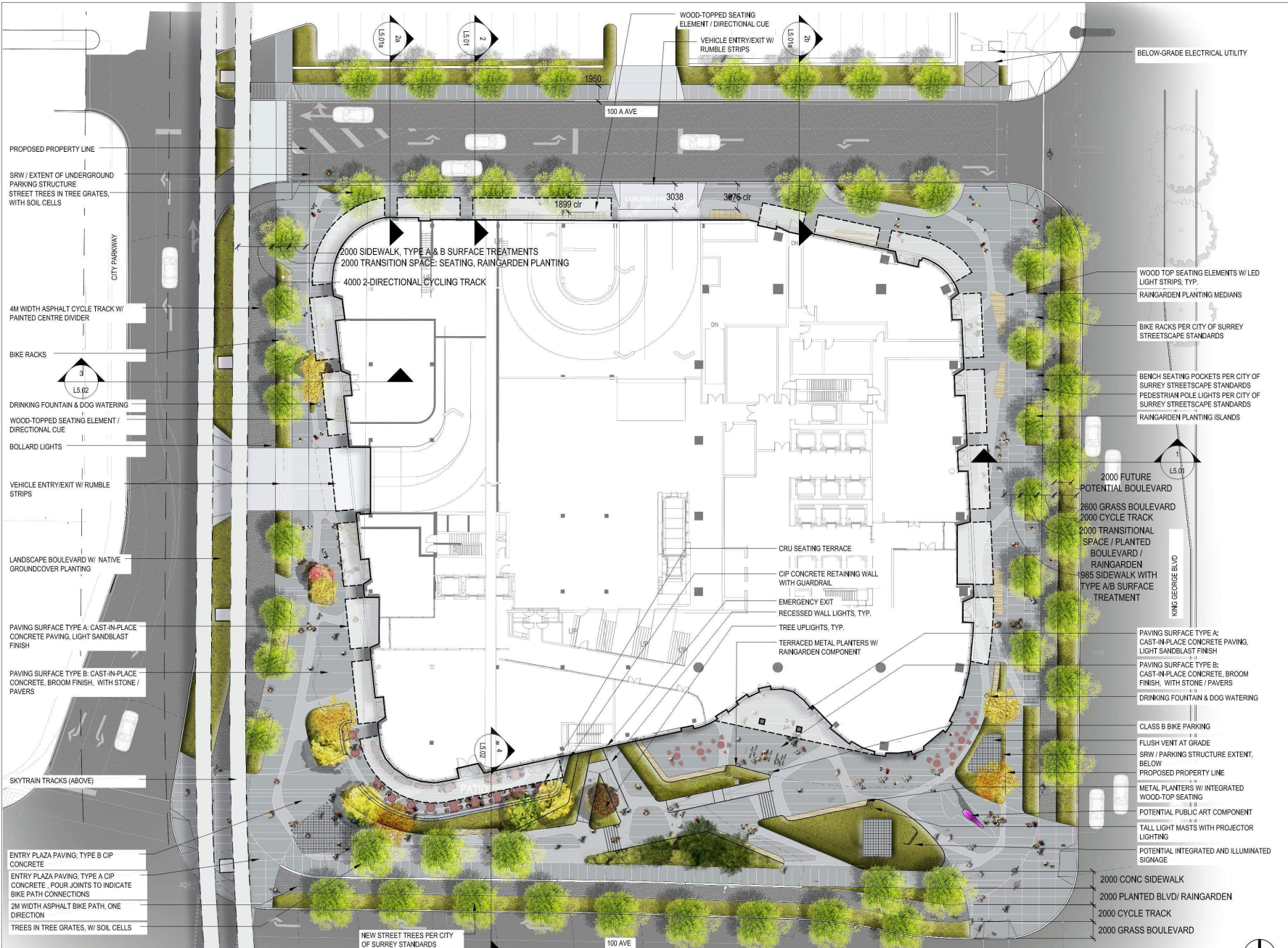
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|----|--|----|---|
| W1 | BLACK ANODIZED ALUMINUM UNFINISHED CURTAIN WALL WITH SILICONE JOINTS | M7 | SOFFIT - ALUMINUM (MATTE BLACK) |
| G1 | LOW E GLASS (CLEAR) | M8 | BLACK METAL PICKET RAILING FRAME (COLOUR TO MATCH W1) |
| G2 | SPANDREL - LOW E GLASS - SHADOW BOX (CLEAR) | M9 | PAINTED BLACK METAL DOORFRAME (COLOUR TO MATCH W1) |
| G3 | GLASS CANOPY (FROSTED) | C1 | EXPOSED CONCRETE |
| M1 | METAL FIN - ALUMINUM (COLOR RUST) | | |
| M2 | CORRUGATED PANEL - ALUMINUM (COLOR RUST) | | |
| M3 | METAL COVER - ALUMINUM (BLACK) | | |
| M4 | METAL CLADDING (BLACK) | | |
| M5 | METAL CANOPY SUPPORT (BLACK) | | |
| M6 | METAL SCREEN - ALUMINUM (COLOR RUST) | | |

SIGNAGE & LIGHTING

NOTE: TOTAL PREMISES FRONTAGE = 262.7m
300mm(H) X 1500mm(W) NOT ILLUMINATED QUANTITY - 11
FOR SIGNAGE LOCATIONS REFER TO A3.01-A3.04

| | | | |
|----|--|----|---|
| S1 | BASE BUILDING SIGNAGE (AT GRADE) SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 8 | S3 | RETAIL SIGNAGE (CANOPY-SUSPENDED) 550mm(H) X 500mm(W) CENTRAL CITY LOGO SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 3 |
| S2 | RETAIL SIGNAGE (WALL MOUNTED) SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 11 | F2 | ARCHITECTURAL FEATURE LIGHTING, HORIZONTAL STRIPS INDICATES EXTENT, LEED NIGHT SKY COMPLIANT |

7/10/2019 10:42:42 AM



1 GROUND FLOOR LANDSCAPE MATERIALS PLAN
SCALE: 1:200



Issued For

| | |
|-------------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 03 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |
| BP 50% | 15 Aug 2019 |
| DP Revisions - Sections | 06 Sept 2019 |
| DP Revisions - Sections | 10 Sept 2019 |

blackwood
PARTNERS
CENTRAL CITY
TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

LANDSCAPE
MATERIALS PLAN
GROUND FLOOR L1/2

Date: 15NOV2018
Job No: 180205
Drawn By: JMD/MS
Checked By: JMS

Drawing No.

L2.01

B.P.



RAISED & MOUNDED PLANTING AREA

WOOD DECKING W/ MOVABLE SEATING

CONCRETE RETAINING WALL

SLOPED PLANTING AREA

HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB

RIVER ROCK EDGING

RAISED CONCRETE PLANTER

HYDRAPRESSED SLABS ON PEDESTALS

RAISED METAL PLANTER IN COURTYARD

MOVABLE TABLES AND CHAIRS BY TENANT

SLOPED PLANTING AREA

RAISED METAL PLANTER IN COURTYARD

MOUNDED PLANTING AREA

HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB

RIVER ROCK EDGING

HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB

MOVABLE AND FIXED FURNISHINGS

CONCRETE PLANTER WALL, W/ RECESSED LIGHTING

MOUNDED PLANTING AREA

PATIO

1 LEVEL 3 RENDERED PLAN
SCALE: 1:200

10/23/2018 4:51:20 PM

| | |
|--------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP application | 19 Nov 2018 |
| ADP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision review | 15 June 2019 |

| | |
|-------------|-------------|
| Date: | 16 NOV 2018 |
| Job No: | 18025 |
| Drawn By: | MD |
| Checked By: | JS |



WOOD DECKING W/ GUARDRAIL AND MOVABLE FURN.

RAISED SEATING AREA, HYDRAPRESSED SLAB AND GUARDRAIL

TENANT FIT-UP PATIO: HYDRAPRESSED SLABS W/ CONC. CURBS AND PLANTER WALLS, AND GAS / ELECTRICAL STUB-OUTS
CIP CONCRETE SURFACE W/ SLOPED WALKWAY
MECHANICAL PENTHOUSE

RECESSED LIGHTING, TYP.

MOUNDED PLANTING AREA

RAISED URBAN AGRICULTURE AREA - 150mm RAISED METAL BORDERS W/ COMPACTED GRANULAR PATHWAYS

CIP CONCRETE STEPS UP TO URBAN AG AREA, W/ RECESSED LIGHTING

WOOD DECKING W/ MOVABLE FURNITURE

BOLLARD LIGHTS, TYP.

RAISED PLANTER WITH EXTERIOR-MOUNTED FULL HEIGHT SCREEN RAMP TO RAISED URBAN AG AREA

CONCRETE SEATWALLS W/ LED STRING LIGHTS

STAIRWAY CORE / AMENITY PAVILION W/ CANOPY

BUILDING AMENITY PATIO, W/ HYDRAPRESSED SLABS ON PEDESTALS

COVER PATIO WITH HYDRAPRESSED SLAB PAVERS

CONCRETE SEATWALLS W/ LED STRING LIGHTS

FIRE PIT PATIO W/ GUARDRAIL

MOUNDED PLANTING AREAS

1 LEVEL 5 RENDERED PLAN
SCALE: 1:200

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- MOUNDED PLANTING AREA
- TREE UPLIGHTS, TYP.
- CONCRETE PLANTER WALL W/ RECESSED LIGHTS
- HYDRAPRESSED SLAB PAVERS ON PEDESTALS, W/ CONC. BAND AND MOVABLE FURNITURE
- RIVER ROCK EDGING
- WOOD DECKING W/ GUARDRAIL AND MOVABLE FURNITURE
- RASIED CONC. PLANTER W/ FULL-HEIGHT SCREEN

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|--------------------|--------------|
| Issued For | |
| DP pre-application | 09 Oct 2018 |
| DP application | 19 Nov 2018 |
| ADP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision | 15 June 2019 |

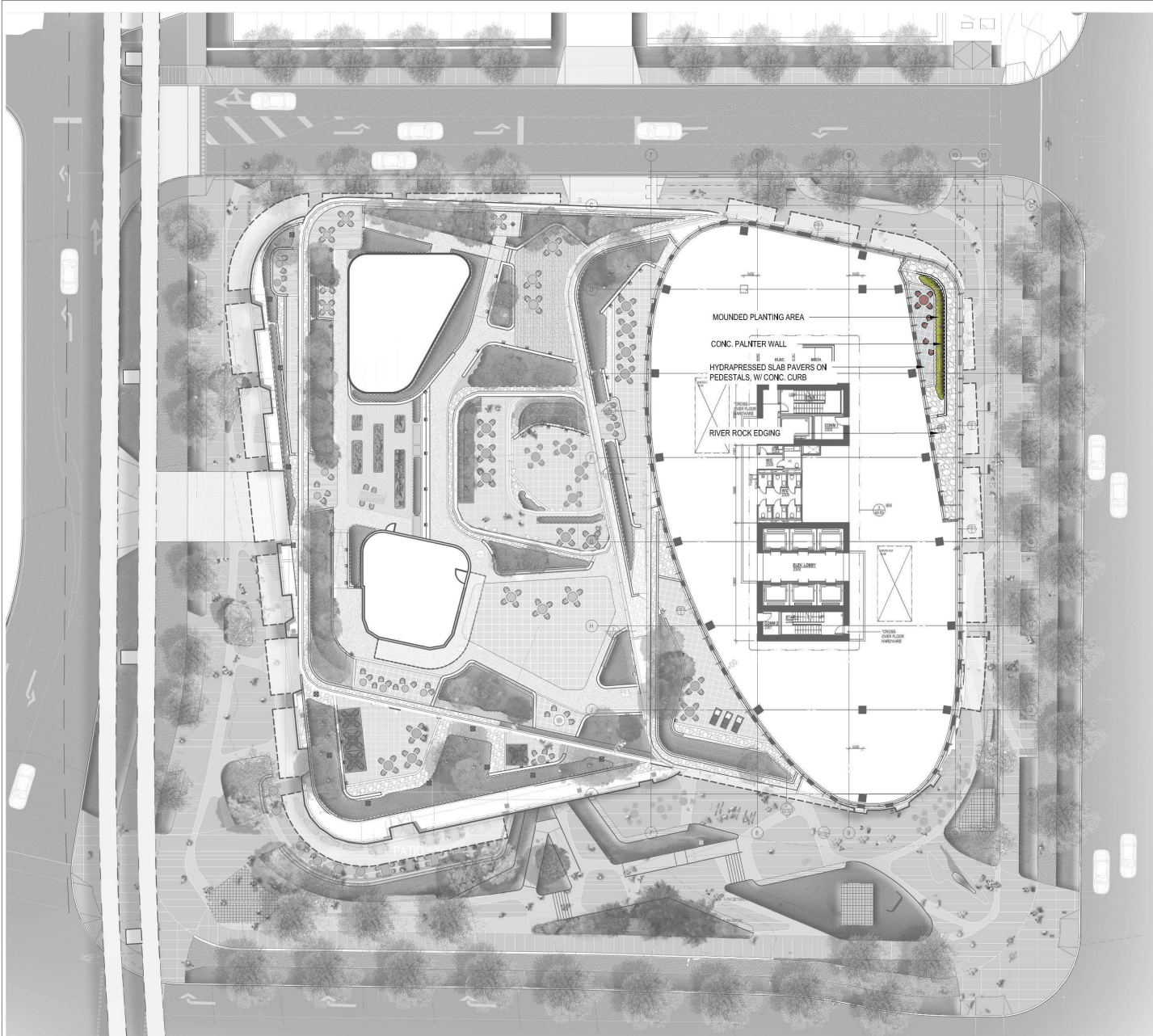
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| Date: | 16 NOV 2018 |
| Job No: | 18025 |
| Drawn By: | MD / MIta |
| Checked By: | JS |

Drawing No.



1 LEVEL 22 MATERIALS PLAN
SCALE: 1:200





| Issued For | |
|--------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP application | 19 Nov 2018 |
| ADP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision review | 15 June 2019 |

| | |
|-------------|-------------|
| Date: | 16 NOV 2018 |
| Job No: | 18025 |
| Drawn By: | MD |
| Checked By: | JS |

Drawing No.



1 LEVEL 23 RENDERED PLAN
 SCALE: 1:200

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| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |
| BP 50% | 15 Aug 2019 |
| DP Revisions - Sections | 06 Sept 2019 |
| DP Revisions - Sections | 10 Sept 2019 |

ABBREVIATIONS

| | |
|----|-----------------|
| CP | CAST-IN-PLACE |
| CJ | CONTROL JOINT |
| TF | TOP OF FENCE |
| TS | TOP OF STAIR |
| BS | BOTTOM OF STAIR |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| TC | TOP OF CURB |
| BC | BOTTOM OF CURB |
| AD | AREA DRAIN |
| FG | FINISH GRADE |

| | |
|--|----------------|
| | DETAIL NUMBER |
| | SHEET NUMBER |
| | SECTION NUMBER |
| | PLANT QUANTITY |
| | PLANT SPECIES |

GENERAL NOTES

1. ALL DIMENSIONS ARE NOMINAL, DO NOT SCALE FROM DRAWINGS.
2. CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCING WORK.
3. PROVIDE ADEQUATE SUB-SURFACE DRAINAGE IN ALL LAWN AND PLAY AREAS.
4. FOR PLAY AREA DRAINAGE, REFER TO TYPE 8 SAFETY SURFACE INTEGRATED DRAINAGE SYSTEM, REFER TO SPECS, INSTALL PLAY ELEMENT FOOTING PRIOR TO DRAINAGE, INSTALL SAFETY SURFACE TYPE B DRAINAGE LINES AROUND FOOTINGS.
5. REFER TO CIVIL DRAWINGS FOR ALL VEHICULAR PAVING, SANITARY, STORM, AND WATER DRAINAGE DETAILS (EXCEPT AS NOTED ON LANDSCAPE DRAWINGS), CERTAIN DETAILS, AND OTHER EXISTING AND PROPOSED UTILITIES.
6. REFER TO SPECIFICATIONS AND DETAILS FOR PAVING MATERIAL AND LAYOUT, REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
7. ENSURE POSITIVE DRAINAGE.
8. ALL PLANT MATERIAL SHALL CONFORM TO RCMA AND BCSLA STANDARDS, NURSERIES SHALL BE S.O.D. CERTIFIED.
9. LANDSCAPE AND PLANTING LIGHTING TO BE PROVIDED, REFER TO ELECTRICAL DRAWINGS AND SCHEDULES FOR LIGHTING.
10. SEE STRUCTURAL DRAWINGS FOR ALL CAST-IN-PLACE CONCRETE. ALL EXPOSED CAST-IN-PLACE CONCRETE TO BE ARCHITECTURAL.



CENTRAL CITY TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

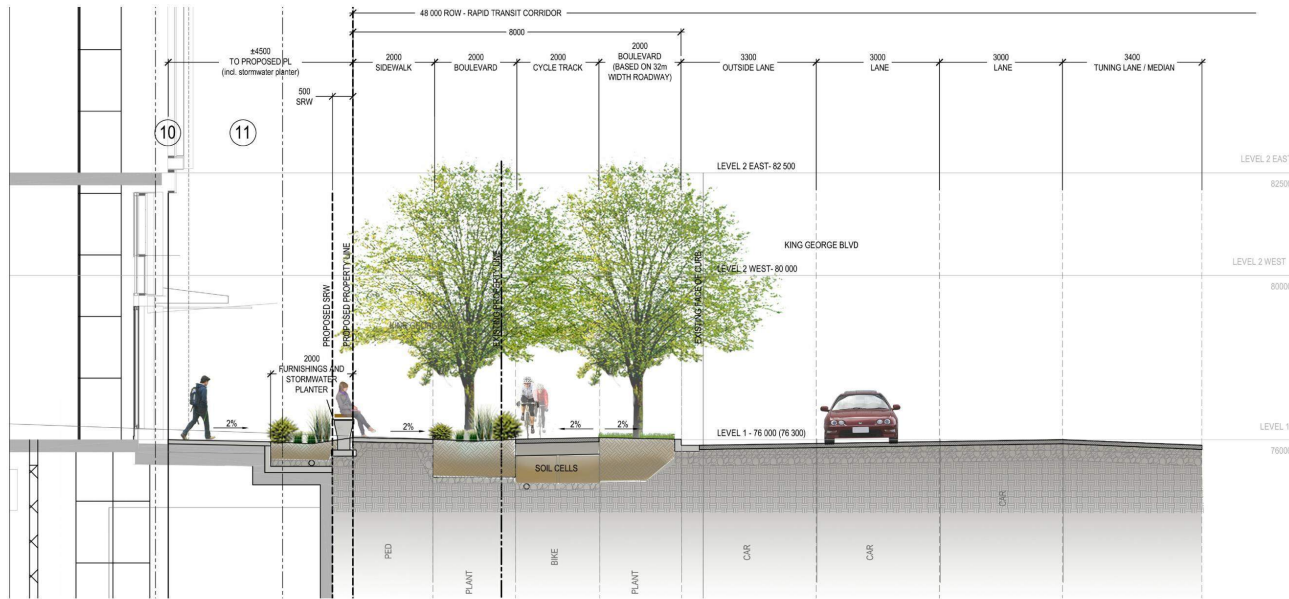
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LANDSCAPE GRADING PLAN
GROUND FLOOR L1/2

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| Date: | 18 SEP 2019 |
| Job No: | 180205 |
| Drawn By: | MCD/AM/MS |
| Checked By: | JES |

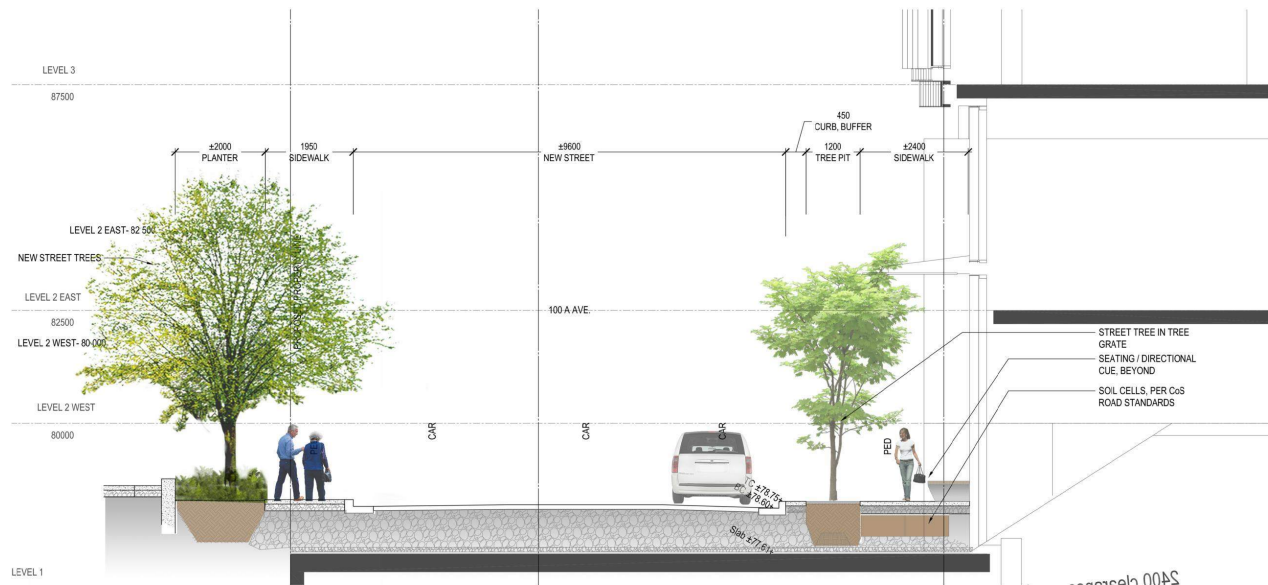
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Issued For

| | |
|----------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |



1 EAST SECTION - KING GEORGE BLVD
SCALE: 1:50

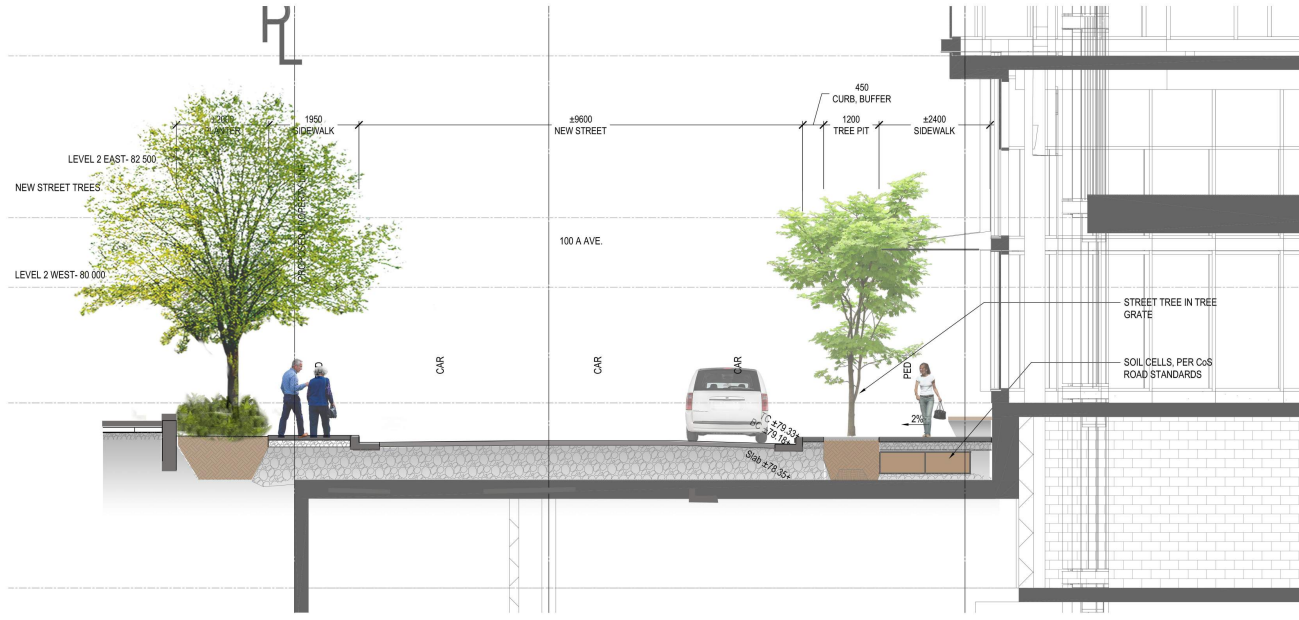


2 NORTH SECTION - 100A AVE. / INTERNAL STREET
SCALE: 1:50

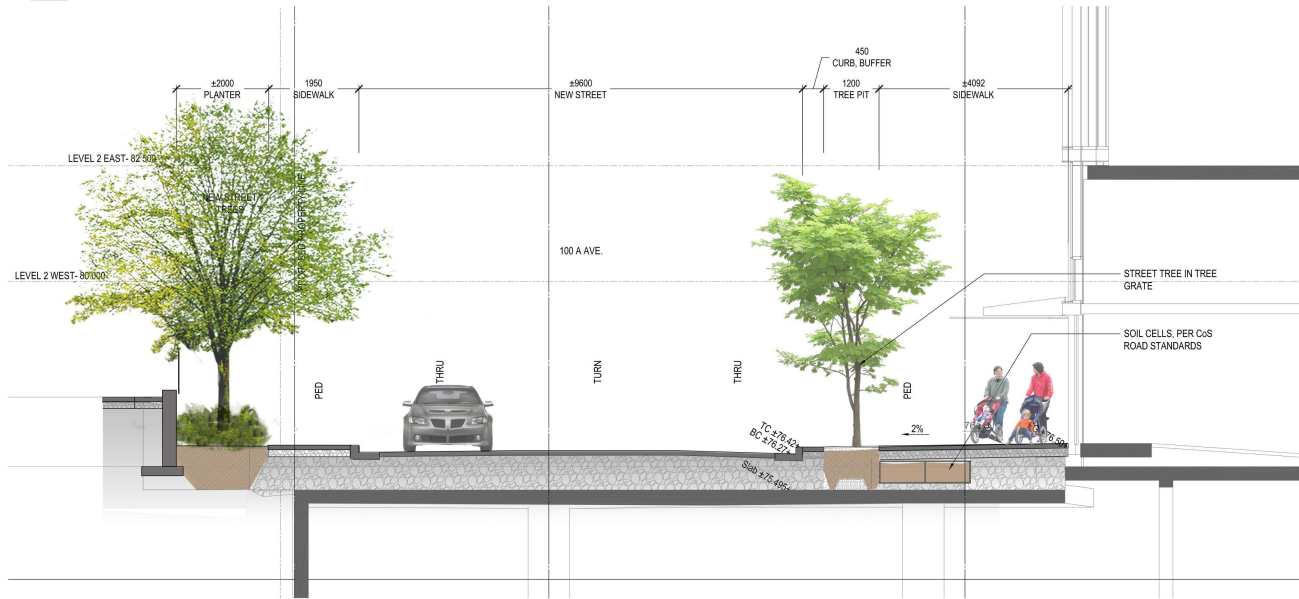
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| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |
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| DP Revisions - Sections | 10 Sept 2019 |



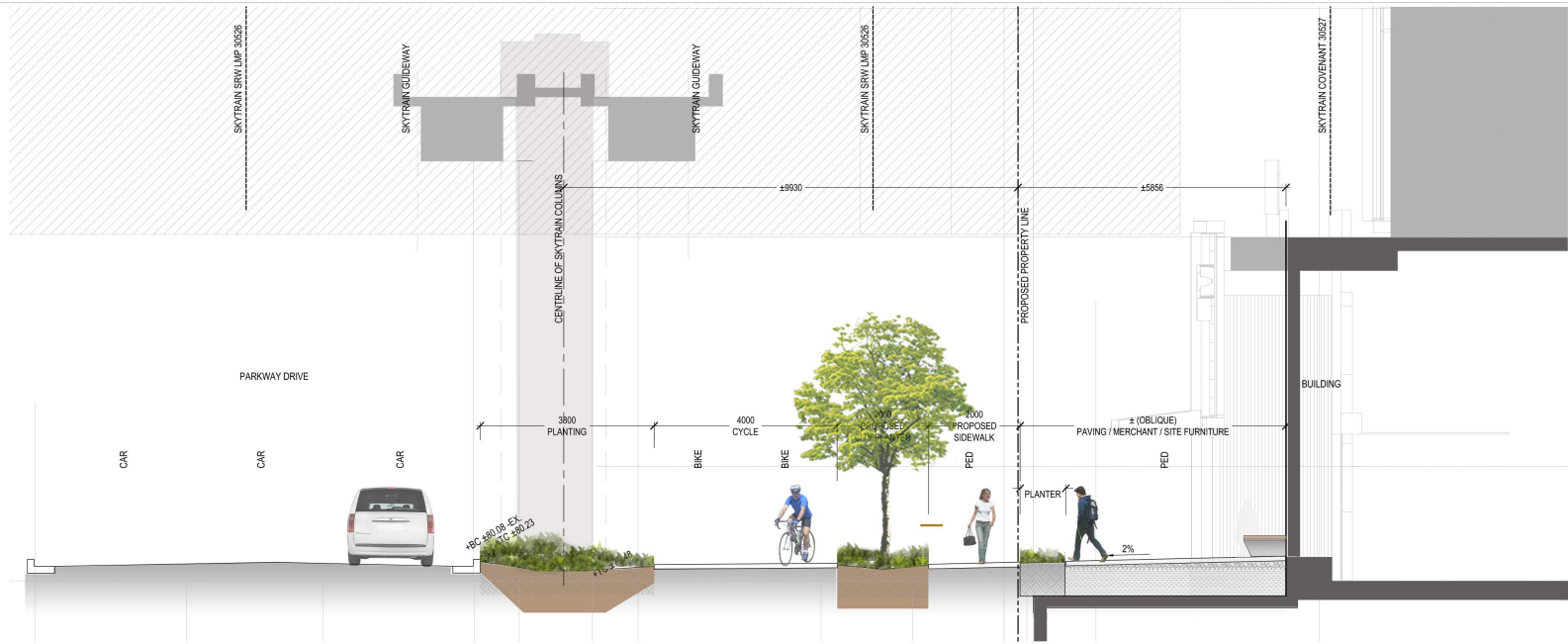
2a NORTH SECTION - 100A AVE. / INTERNAL STREET (Gridlines 2/3)
SCALE: 1:50



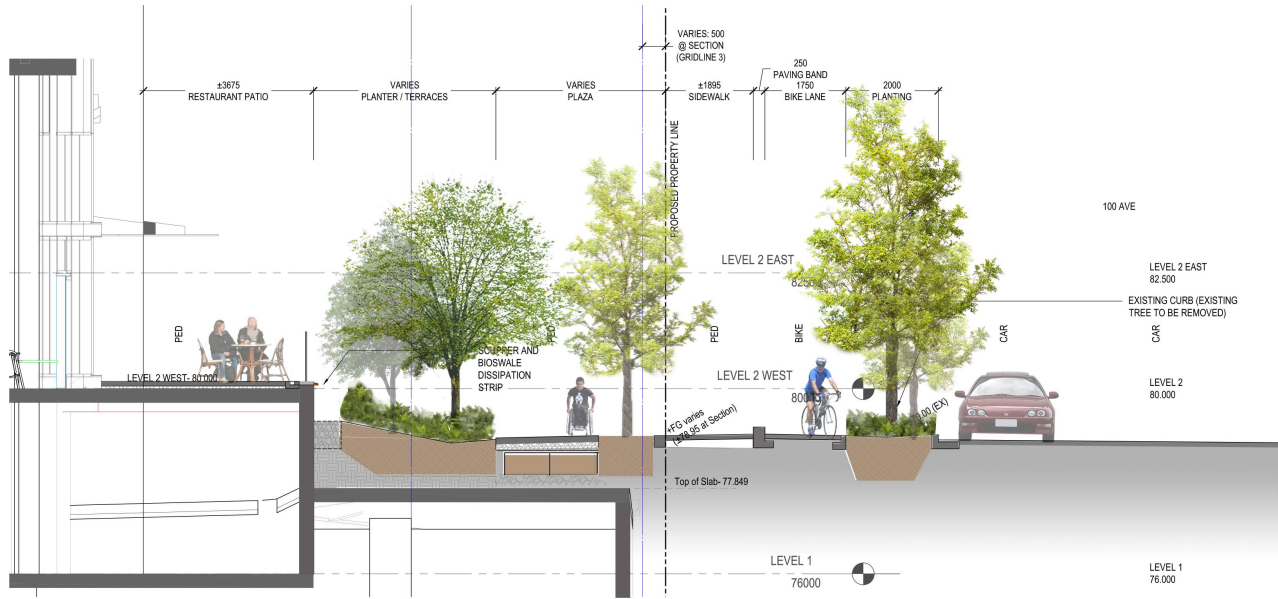
2b NORTH SECTION - 100A AVE. / INTERNAL STREET (Gridline 8)
SCALE: 1:50

| | |
|-------------|-------------|
| Date: | 16 NOV 2018 |
| Job No: | 18025 |
| Drawn By: | MD, MHA |
| Checked By: | JS |

Drawing No.



3 CITY PARKWAY
SCALE: 1:50

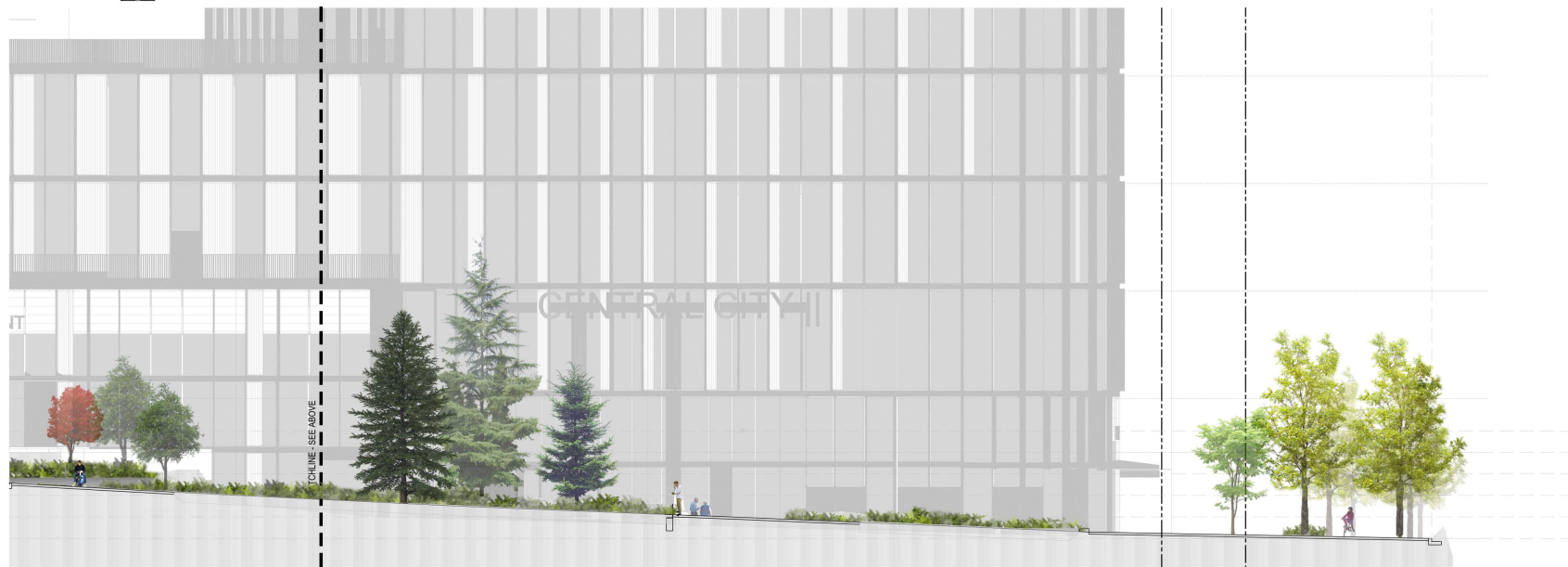


4 100 AVE / OLD YALE ROAD
SCALE: 1:50

| | |
|----------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 10 July 2019 |



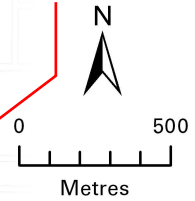
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SCALE: 1:75



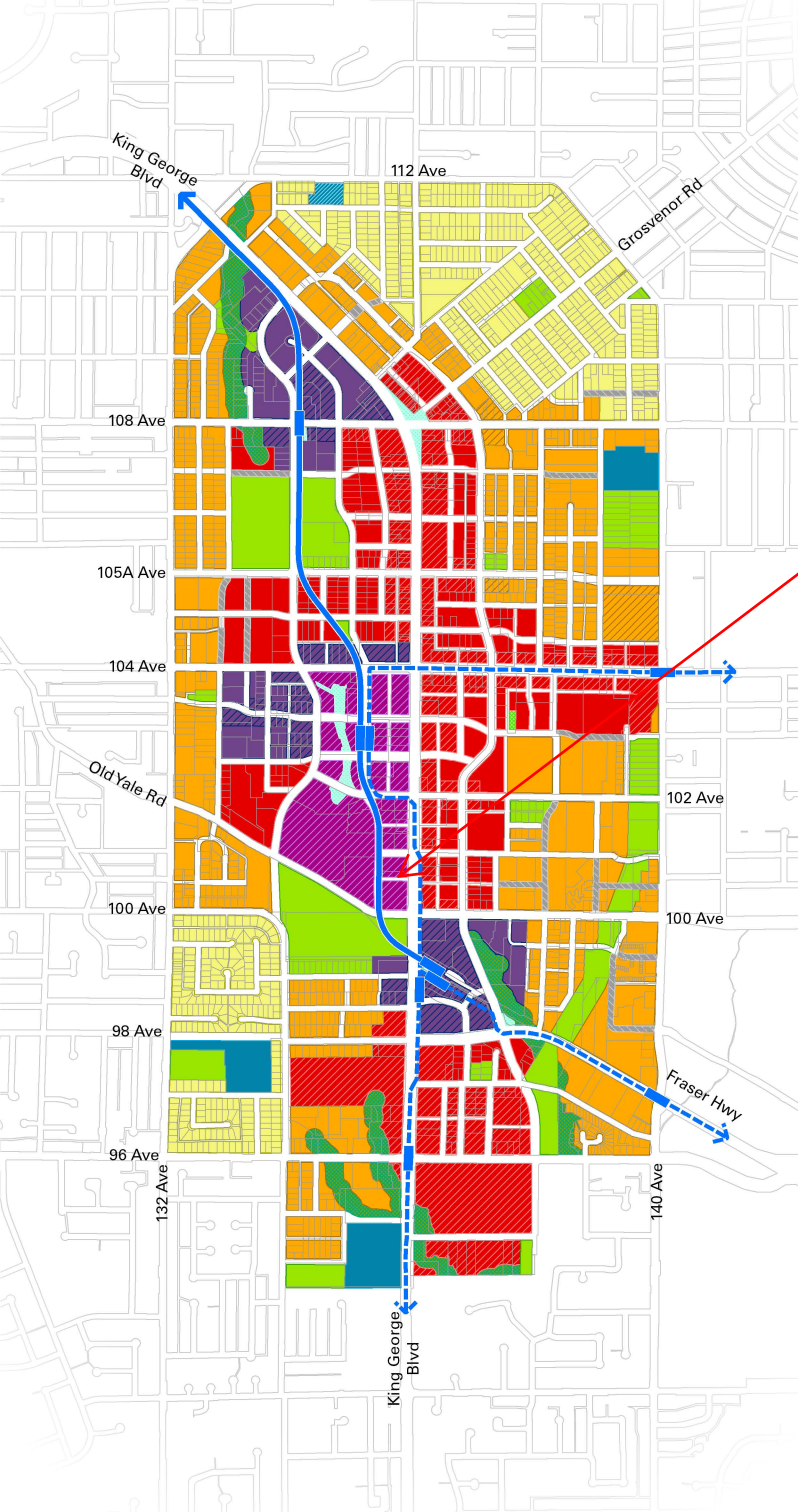
5b 100 AVE / OLD YALE ROAD - LONG SECTION @ PROPERTY LINE - EAST
SCALE: 1:75



Proposed City Centre
Plan Amendment -
Road Network
(replace public lane
with private lane)

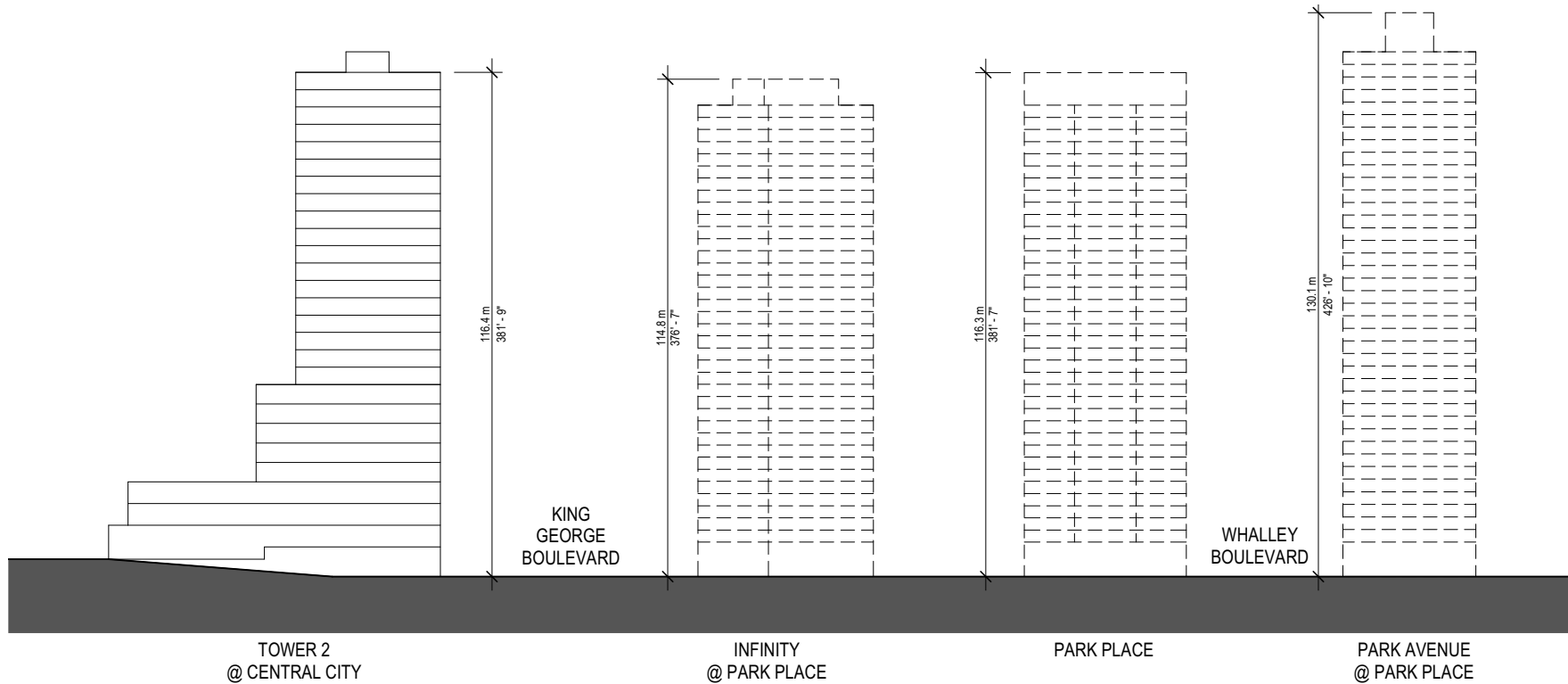


- High Rise 5.5 FAR
- Mid to High Rise 3.5 FAR
- Low to Mid Rise up to 2.5 FAR
- Single Family/Duplex 0.6 FAR
- Mixed-Use 2.5 FAR
- Mixed-Use 3.5 FAR
- Mixed-Use 5.5 FAR
- Mixed-Use 7.5 FAR
- Plaza
- Public Open Space
- School
- Institutional
- Park
- Creek Buffers
- Long Term Road
- SkyTrain
- Proposed Light Rail



CENTRAL CITY TOWER 2

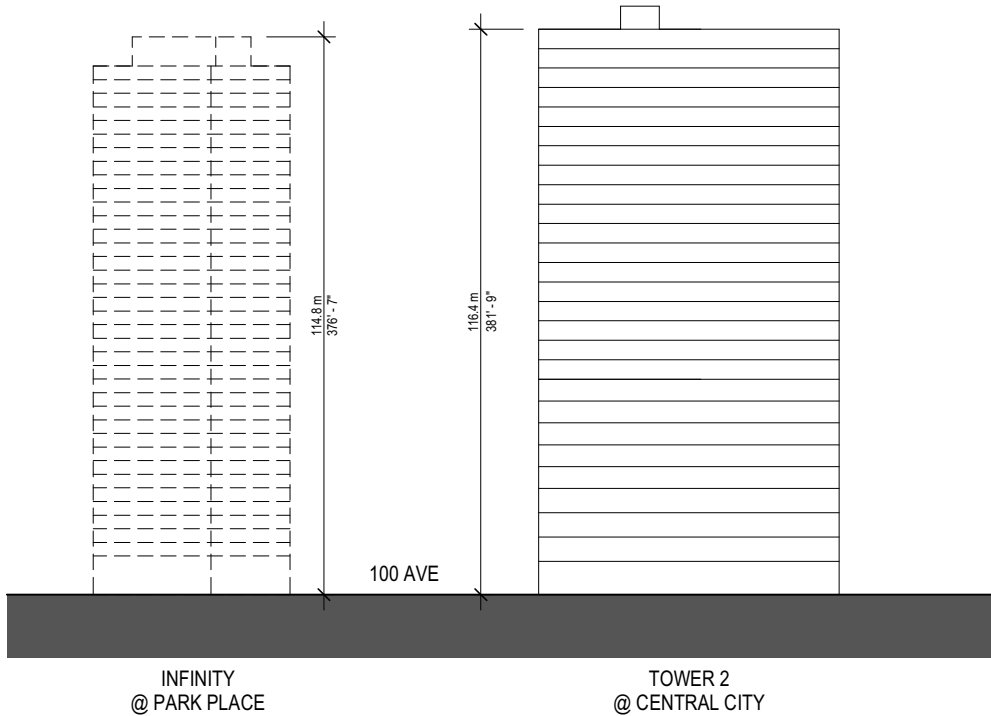
STREETSCAPE ELEVATIONS SHOWING PROPOSED TOWER 2
HEIGHT IN COMPARISON WITH NEARBY DEVELOPMENTS



SOUTH ELEVATION ALONG 100 AVE

CENTRAL CITY TOWER 2

STREETSCAPE ELEVATIONS SHOWING PROPOSED TOWER 2
HEIGHT IN COMPARISON WITH NEARBY DEVELOPMENTS



EAST ELEVATION ALONG KING GEORGE







City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0428-00

Planning Report Date: September 16, 2019

PROPOSAL:

- **City Centre Plan Amendment** to amend the road network on the subject site.
- **Rezoning of a portion** from C-8 to CD
- **Development Permit**

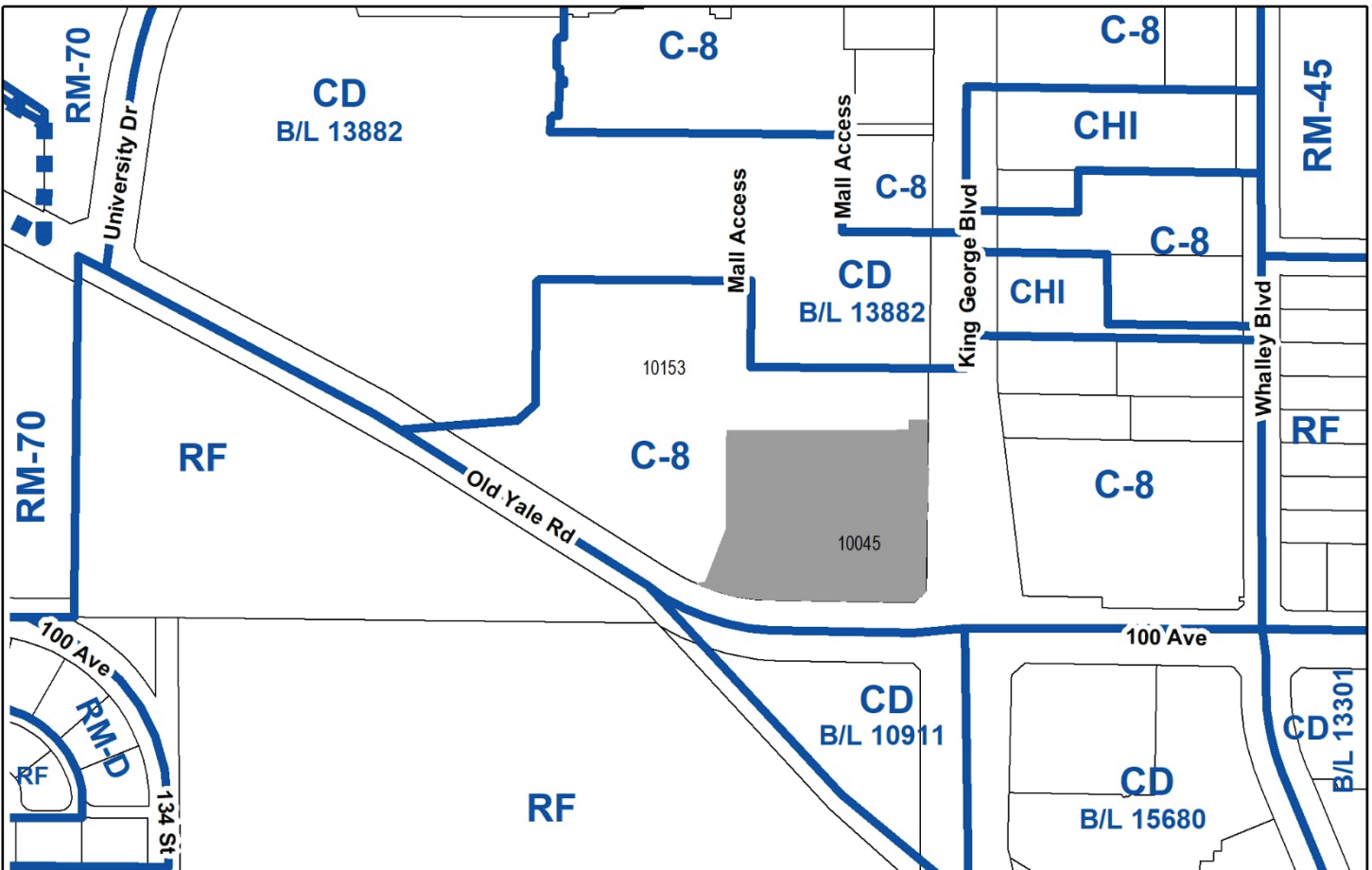
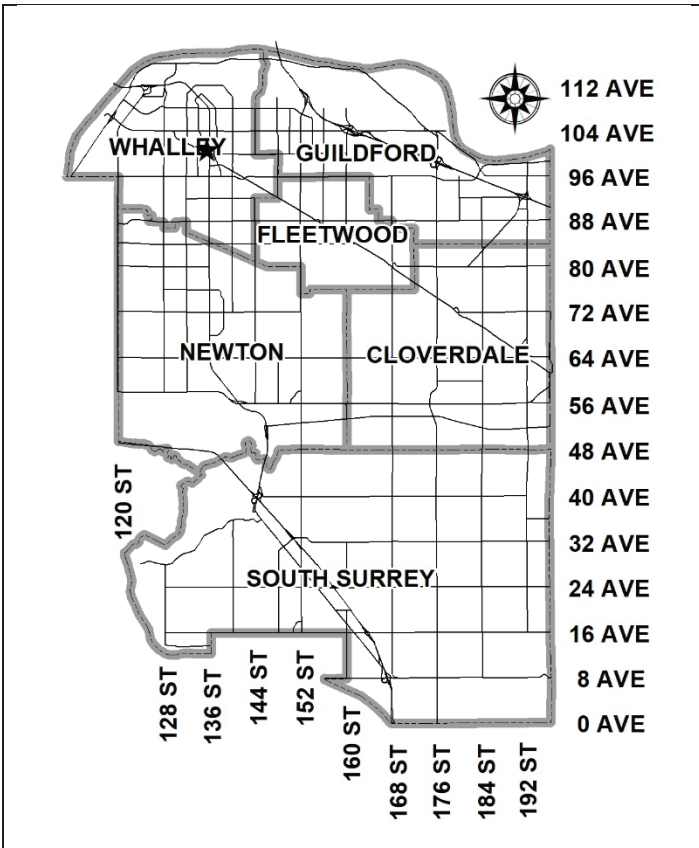
to permit the development of a 25-storey office tower on the southeast corner of the Central City Mall site in City Centre.

LOCATION: 10045 - King George Boulevard

ZONING: C-8

OCP DESIGNATION: Central Business District

CITY CENTRE PLAN DESIGNATION: Mixed Use 7.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning of a portion of the site.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking an amendment to the City Centre Plan to eliminate a public east-west lane and replace it with a private east-west lane.

RATIONALE OF RECOMMENDATION

- The proposed development complies with the OCP and City Centre Plan designations, and the proposed density and building form are appropriate for this part of Surrey City Centre.
- The proposed development will add significant, AAA-quality office space to the City Centre.
- The proposed development conforms to the goal of achieving high-rise, high density mixed-use development around the SkyTrain stations. The King George SkyTrain Station is located approximately 200 metres (656 ft.) from the subject site.
- The building has an attractive design and is targeting a LEED Platinum rating.
- Surrey City Centre is currently underserved with quality office space, as demand exceeds supply. Office/Commercial uses help diversify the City's tax base, allow people to live in proximity to where they work, and increases vibrancy in the City Centre.
- The replacement of the public east-west lane with a private east-west lane is supportable. The principal purpose of the lane is to provide access to the underground parking for the subject site and the future development site to the north, both of which will be retained by the applicant in the long term. Public access will be maintained through the site and this lane is not considered a critical piece of the City's road network.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site shown as Block A on the Survey Plan attached in Appendix I from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0428-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (h) final acceptance by TransLink of the building siting adjacent the SkyTrain guideway.
4. Council pass a resolution to amend the City Centre Plan to amend the road network on the subject site (Appendix VIII).

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Parks, Recreation & Culture:

Parks has no concerns with the proposed development.

Surrey Fire Department:

The Surrey Fire Department has no concerns but has identified items to be addressed with the submission of the Building Permit.

SITE CHARACTERISTICS

Existing Land Use:

Vacant commercial building

Adjacent Area:

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|--------------------------------------|---------------------------------------|---------------------|----------------------------|
| North: | Surface parking for Central City Mall | Mixed Use 7.5 FAR | CD By-law No. 13882 |
| East (Across King George Boulevard): | Commercial shopping centre | Mixed Use 3.5 FAR | C-8 |
| South (Across Old Yale Road | Holland Park | Park | RF and CD By-law No. 10911 |
| West: | Central City Mall | Mixed Use 7.5 FAR | C-8 |

DEVELOPMENT CONSIDERATIONS

Site Context

- The 10,283 square-metre (2.5-acre) subject site consists of a vacant commercial building that was previously the site of a Best Buy retail store, and associated surface parking.
- The subject site is located in the southeast corner of the Central City Mall site, at the intersection of King George Boulevard and 100 Avenue/Old Yale Road. The site is separated from the main portion of Central City Mall by the SkyTrain Guideway and the Mall Access road which bisect the mall site.
- The subject site is designated "Central Business District" in the Official Community Plan (OCP), "Mixed Use 7.5 FAR" in the City Centre Plan and is zoned "Community Commercial Zone (C-8)".

Current Proposal

- The applicant has submitted a development application that would permit a 116.5-metre (382 ft.), 25-storey office tower with ground-floor retail ("Central City Tower 2") as Phase 1 of the ultimate redevelopment of the Central City Mall site.

- The future redevelopment of the balance of the Central City Mall site will be addressed through a subsequent Master Planning process tied to a future development application. This Master Plan will include this phase as well as future phases. Each phase will be subject to separate Rezoning and Development Permit applications.
- The Phase 1 application includes the following:
 - Subdivision of the existing lots into two lots (Lot 1 and Lot 2);
 - City Centre Plan Amendment to amend the road network on the subject site;
 - Rezoning of a portion of the site (proposed Lot 1) from C-8 to a "Comprehensive Development Zone (CD)"(based on C-35); and
 - Development Permit (Form and Character).
- The proposed development will consist of the following to be located on proposed Lot 1:
 - 52,114 square metres (567,114 sq.ft.) of commercial office space; and
 - 1,502 square metres (16,168 sq.ft.) of ground floor commercial retail space fronting King George Boulevard, Old Yale Road, and future City Parkway.
- Including the land to be dedicated for road, the proposed gross density for the Phase 1 site is 5.3 FAR. The City Centre Plan indicates that the subject site is appropriate for mixed-use, high-rise development with a floor area ratio (FAR) of up to 7.5, based on the gross site area.
- The proposed net density for the site is 7.0 FAR.
- As part of this application, portions of Old Yale Road and King George Boulevard will be dedicated, and a portion of the Mall Access road within the site will be dedicated to the City, for the construction of City Parkway on the Lot 1 portion of the site.
- The applicant is proposing to amend the City Centre Plan road network to delete a public lane that is intended to provide an east-west connection through the site from King George Boulevard to the future City Parkway and replace it with a private lane along the north side of the proposed tower.
- City staff will support the proposed amendment. The principal purpose of the lane is to provide access to the underground parking for the subject site and the future development site to the north, both of which will be retained by the applicant in the long term. Public access will be maintained through the site and it is not considered a critical piece of the City's road network.
- Proposed Lot 2 will remain zoned C-8 and will retain the existing uses on the site, including portions of Central City Mall, and related parking.
- As the remainder of the Central City Mall site redevelops, portions of the Mall Access road will be dedicated and constructed as future extensions of City Parkway in subsequent development applications.
- In recognition of the impact of creating additional roads to achieve a finer-grained road network, density for lands within the City Centre Plan is determined on the gross site area of the entire block.

- While densities on individual development sites within the Central City Mall Master Plan area will vary, the overall gross density proposed for the entire Master Plan area is anticipated to result in a floor area ratio of up to 7.5 FAR.

Proposed CD By-law

- In order to accommodate the proposed density and other aspects of the project, the applicant has applied to rezone the Lot 1 portion of the site to a CD Zone, based on the C-35 Zone, but modified to accommodate the proposed "Central City Tower 2" project. The following table illustrates the differences between the C-35 Zone and the proposed CD Zone.

| | C-35 Zone | Proposed CD By-law |
|--------------------------------|--|--|
| Land Use <i>Residential</i> | <ul style="list-style-type: none"> • The C-35 Zone permits a multiple unit residential building that forms an integral part of the commercial uses on the lot. | <ul style="list-style-type: none"> • Residential uses will not be permitted. |
| <i>Commercial</i> | <ul style="list-style-type: none"> • The C-35 Zone permits commercial use including: <ul style="list-style-type: none"> ○ Retail stores; ○ Personal service uses; ○ General service uses; ○ Eating establishments; ○ Office Uses; ○ Tourist Accommodation; ○ Indoor recreational facilities; ○ Parking facilities; ○ Entertainment uses; ○ Cultural uses; ○ Assembly halls; ○ Community services; and ○ Childcare facilities. | <ul style="list-style-type: none"> • Commercial uses will be limited to the following, with some restrictions: <ul style="list-style-type: none"> ○ Retail Stores; ○ Personal service uses; ○ General service uses; ○ Eating establishments; ○ Office Uses; ○ Indoor recreational facilities; ○ Entertainment uses; ○ Cultural uses; ○ Assembly halls; ○ Community services; and ○ Childcare facilities ○ Neighbourhood pubs |
| Floor Area Ratio (Net) | 3.5 | 7.0 |
| Building Height | Not Applicable | 120 metres |
| Parking Location | No parking facilities within 2.0 metres (6.6 ft.) of the front lot line. | Underground parking may extend to all lot lines. |

- The proposed net floor area ratio (FAR) of the development will be 7.0, which will exceed the maximum 3.5 FAR permitted under the C-35 Zone. However, the proposed density complies with the Mixed Use 7.5 FAR designation in the Surrey City Centre Plan and is appropriate for the proposed development.

Vehicular Access, Circulation and Parking

- The proposed development, consisting of 52,114 square metres (567,114 sq.ft.) of commercial office space and 1,502 square metres (16,168 sq.ft.) of ground floor commercial retail space, will generate approximately 473 peak hour vehicular trips according to the Transportation Impact Study (TIS) provided by the applicant through the applicant's traffic consultant, Bunt & Associates. The TIS also estimates the 473 peak hour vehicular trips represents 60% of the total trips accessing and egressing the development. The remaining 40% will be accommodated by public transit, walking, and cycling trips due to the site's proximity to rapid transit (King George SkyTrain station and B-line service along King George Boulevard), and the growing pedestrian and cycling infrastructure network within City Centre.
- The applicant proposes to construct a designated right turn lane along Old Yale Road. This additional lane will provide enhanced access to the existing Central City Mall and the proposed development, and will increase the overall capacity for existing traffic along Old Yale Road.
- The applicant is required to dedicate portions of the existing mall access as City Parkway in accordance to the City Centre Plan. City Parkway will be constructed to City Centre standards with a lengthened southbound left turn lane to accommodate vehicular traffic exiting the site. An enhanced sidewalk and separated bike paths will be provided along the east side of City Parkway.
- A future TIS, to be submitted as a requirement of the subsequent Master Planning process for the larger Central City Mall site, will be required to address the future transportation demands related to the redevelopment of the balance of the Central City Mall site.
- Vehicle access to the underground parking and loading/unloading facilities will be from the west on future City Parkway, and from a private drive aisle located along the north property line. The private drive aisle connects to King George Boulevard to the east, which allows for right-in/right-out movement and enhances traffic distribution for the proposed development.
- Five (5) levels of underground parking are proposed with a total of 982 parking spaces, exceeding the requirements within the Zoning By-law. As the Central City Mall site is proposed to be redeveloped over time, including the redevelopment of the existing surface parking spaces on the eastern portion of the mall site, the applicant is constructing additional parking capacity to accommodate ultimate redevelopment of the Mall.
- A total of 10 accessible parking spaces are provided for persons with disabilities, exceeding the requirements within the Surrey Zoning By-law.
- In addition to the required parking spaces, the applicant is proposing to provide Electric Vehicle (EV) charging stations and EV-ready parking spaces within the underground facility.
- To maximize the amount of parking, the underground parkade will be permitted to be sited 0.0 metre (0.0 ft.) from all lot lines.
- In addition, the development will be providing a total of 200 bicycle parking spaces on Level 1, exceeding the requirements within the Surrey Zoning By-law.

Road Dedication

- The proposal has the following road dedication and construction requirements:
 - Dedicate 4.8 metres (15.5 ft.) along King George Boulevard for the ultimate 48.0 metre unique arterial standard;
 - Dedicate 0.3 metre (1.0 ft.) along Old Yale Road for the ultimate arterial standard, including a separated bike lane (cycle track); and
 - Dedicate 23 metres (75 ft.) and construct City Parkway to a unique collector standard, including a separated bike lane (cycle track).

Public Art Policy

- The Private development Public Art Program is applicable to non-residential developments with a total floor area of 1,000 square metres (10,764 sq.ft.) or greater. The applicant will be required to provide public art or register a Restrictive Covenant to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- The applicant intends to provide public art on the subject site. The applicant will continue to work with City Staff and the City's Public Art Advisory Committee on their Detailed Public Art Plan.

PRE-NOTIFICATION

Pre-notification letters were mailed out on March 7, 2019 to a total of 1,369 addresses. The development sign was installed on March 5, 2019. To date, staff have received the following response.

- A resident wrote in opposition to the proposed development, expressing concern that it would impact views from their property and therefore negatively affect the value of their property.

(Staff replied to the resident, advising that the proposed development is consistent with the Urban Design Guidelines in the City Centre Plan, which designates the site for high-rise development and also defines tower separation criteria in order to allow views through the site from surrounding sites and to minimize shadow impacts.)

- Staff received one letter in support of the proposed office tower.

DESIGN PROPOSAL AND REVIEW

- The proposed "Central City 2 Tower" development incorporates a single, high-rise office tower and three-storey podium comprised of office space and ground floor commercial retail space.

- The 25-storey tower is located in a high profile location in the City Centre, in the southeast corner of the Central City Mall site at the intersection of Old Yale Road and King George Boulevard and overlooks Holland Park to the south. Staff encouraged the applicant to increase the height of the proposed tower, due its central, prominent location in City Centre. However, the applicant declined, noting that the building had been sized for anticipated market needs.
- The main entrance lobby is on the south side of the building, leading directly out to a public plaza.
- The elliptical tower form is meant to reference the form of the "Central City 1 Tower", which anchors the opposite, northwest corner of the Central City Mall site, although the massing and material treatment of the subject tower is noticeably different. The placement of the tower and podium creates a strong active urban edge and street wall along each of the public frontages (King George Boulevard, Old Yale Road, and future City Parkway).
- The most significant massing is oriented towards King George Boulevard to the east, while a slenderer form is oriented towards Holland Park to the south.
- The proposed floorplates are larger than those considered appropriate for residential buildings in City Centre, to reflect the demand for office space that provides large and relatively rectangular floorplates for a functional and efficient layout.
- The building incorporates large roof decks and outdoor amenity space for the building occupants atop the prominent podiums. The massing decreases as the building steps up from the ground plane in order to provide articulation and tapered form as the building rises.
- The building exterior incorporates a combination of glass and corrugated metal panels, principally in a metallic rust tone, that provide shading and visual interest. The composition creates vertical reveals, intended to mitigate the broad east and west elevations.
- A series of stepped public plazas and landscaping are located south of the tower as an entrance onto the site, creating a welcoming outdoor, urban space at the prominent street intersections while reflecting the entrance into Holland Park across Old Yale Road.
- Ground level retail spaces and restaurants will spill out on to the plaza, activating these spaces and each of the public frontages.
- Landscape planters interspersed throughout the site will provide additional seating opportunities to allow pedestrians and building tenants to gather on the site, adding to the activation of the public realm.
- Additional landscaping is located throughout the development on the various outdoor courtyards provided for the use and enjoyment of the building occupants, located on Levels 2, 3, 5, 9, 20, and 23.
- Opportunities for installing public art have been considered in the site design, with a high-profile location in the southwest corner of the site identified as a future site of a significant art piece, subject to an acceptable Detailed Public Art Plan.

- Commercial signage is shown conceptually on the attached Development Permit drawings and will consist of channel lettering on all frontages that is consistent with the sign by-law. A comprehensive sign package will be submitted at a later date.

ADVISORY DESIGN PANEL (ADP)

ADP Date: February 14, 2019

The site plan and architecture were strongly supported by ADP, noting that the architecture stands out and will differentiate office space in Surrey (see Appendix VI). The applicant's architect and landscape architect agreed to work with staff to resolve the majority of the design items, which includes some recommended modifications to improve the pedestrian experience along King George Boulevard, the architectural expression of the ground floor, and accessibility into the site.

In response, the project design team has simplified the landscaping in the southeast corner, strengthened the ground floor expression with revisions to the cladding and canopy design and shifted the massing to create a more legible entry to the building.

Staff will confirm the revisions are acceptable prior to consideration of Final Adoption of the Rezoning By-law and issuance of the Development Permit.

TREES

- Kristian Short, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|--|----------|--------|--------|
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Norway Maple | 26 | 26 | 0 |
| Red Maple | 5 | 5 | 0 |
| Dogwood | 10 | 10 | 0 |
| Beech | 18 | 18 | 0 |
| Magnolia | 1 | 1 | 0 |
| Pin Oak | 19 | 19 | 0 |
| Red Oak | 4 | 4 | 0 |
| Ash | 1 | 1 | 0 |
| Linden | 3 | 3 | 0 |

| Tree Species | Existing | Remove | Retain |
|---|-----------|-----------------|----------|
| Coniferous Trees | | | |
| Atlas Cedar | 2 | 2 | 0 |
| Total | 89 | 89 | 0 |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | | 148 | |
| Total Retained and Replacement Trees | | 148 | |
| Contribution to the Green City Fund | | \$12,000 | |

- The Arborist Assessment states that there is a total of 89 protected trees on the site, and 11 trees on City property, for a total of 100 trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, parkade, road dedication and proposed lot grading.
- For those on-site trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 178 replacement trees on the site. The applicant is proposing 70 replacement trees on the ground level and 78 replacement trees in courtyards throughout the various upper levels of the building, for a total of 148 replacement trees. The deficit of 30 replacement trees will require a cash-in-lieu payment of \$12,000, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law
- In addition to the replacement trees, boulevard street trees will be planted on King George Boulevard, Old Yale Road, and City Parkway. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Maple, Oak, Hornbeam, Magnolia, Cedar, and Pine.
- In summary, a total of 148 trees are proposed to be retained or replaced on the site with a contribution of \$12,000 to the Green City Fund.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix V for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;

- distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
 - In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
 - Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 16, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| Sustainability Criteria | Sustainable Development Features Summary |
|---------------------------------------|---|
| 1. Site Context & Location (A1-A2) | <ul style="list-style-type: none"> • The proposed development is located within the City Centre area in proximity to King George SkyTrain Station and is consistent with the "Mixed Use 7.5 FAR" designation of the City Centre Plan. • The applicant will undertake a Master Plan for the balance of the Central City Mall site. |
| 2. Density & Diversity (B1-B7) | <ul style="list-style-type: none"> • The proposal includes a mix of employment opportunities, comprised of office space and commercial retail space. • Roof top gardens providing space for dining, meeting and relaxing will be available to building occupants. |
| 3. Ecology & Stewardship (C1-C4) | <ul style="list-style-type: none"> • The development will incorporate Low Impact Development Standards (LIDS) such as absorbent soils, on-site infiltration, permeable surfaces, and natural landscaping. • On-site landscaping will feature native plantings and reduced irrigation requirements. |

| Sustainability Criteria | Sustainable Development Features Summary |
|---|---|
| 4. Sustainable Transport & Mobility (D1-D2) | <ul style="list-style-type: none"> • The development will include pedestrian and cycling oriented infrastructure, such as: <ul style="list-style-type: none"> ○ Connection to off-site pedestrian and multi-use paths; ○ Pedestrian specific lighting; ○ Direct pedestrian linkages to transit stations; ○ Bike parking spaces in excess of City requirements • The development will also provide Electric Vehicle charging stations |
| 5. Accessibility & Safety (E1-E3) | <ul style="list-style-type: none"> • Active uses at the ground level will encourage "eyes-on-the-street". • Landscape design provides for clear visual paths while traveling around the site. |
| 6. Green Certification (F1) | <ul style="list-style-type: none"> • The development is targeting LEED Platinum (in "New Construction" and "Neighbourhood Development" categories) and is targeting Step Code 3, which surpasses City requirements. |
| 7. Education & Awareness (G1-G4) | <ul style="list-style-type: none"> • Tenant guidelines will provide details of sustainability features. • Educational signage will be incorporated into the design of the building. • The typical notification to area residents has occurred (i.e. development proposal sign and pre-notification letter). |

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|----------------|---|
| Appendix I. | Project Data Sheets, Proposed Subdivision Layout, and Survey Plan |
| Appendix II. | Site Plan, Building Elevations, Landscape Plans and Perspectives |
| Appendix III. | Engineering Summary |
| Appendix IV. | Summary of Tree Survey and Tree Preservation |
| Appendix V. | District Energy Service Area Map |
| Appendix VI. | ADP Comments and Applicant's Responses |
| Appendix VII. | Aerial Photo |
| Appendix VIII. | Proposed City Centre Plan Amendment |
| Appendix IX. | Proposed CD By-law |

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CA/cm

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (C-35)

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|-------------------------------------|---------------------------------------|--------------------------|
| LOT AREA* (in square metres) | | |
| Gross Total | | 10,283.2 m ² |
| Road Widening area | | 2,495.8 m ² |
| Undevelopable area | | |
| Net Total | | 7,787.4 m ² . |
| | | |
| LOT COVERAGE (in % of net lot area) | | |
| Buildings & Structures | 85% | 60% |
| Paved & Hard Surfaced Areas | | 21% |
| Total Site Coverage | | 81% |
| | | |
| SETBACKS (in metres) | | |
| Front (South/Old Yale Road) | | 4.0 m |
| Rear (North) | | 12.5 m |
| Side #1 (West/City Parkway) | | 2.0 m |
| Side #2 (East/King George Blvd) | | 4.0 m |
| | | |
| BUILDING HEIGHT (in metres/storeys) | | |
| Principal | 120 m | 116.35 m (25 storeys) |
| Accessory | | |
| | | |
| NUMBER OF RESIDENTIAL UNITS | | |
| Bachelor | | |
| One Bed | | |
| Two Bedroom | | |
| Three Bedroom + | | |
| Total | | |
| | | |
| FLOOR AREA: Residential | | |
| | | |
| FLOOR AREA: Commercial | | |
| Retail | | 1,502 m ² |
| Office | | 52,114 m ² |
| Common/Service | | 592.5 m ² |
| Total | | 54,208.5 m ² |
| | | |
| FLOOR AREA: Industrial | | |
| | | |
| FLOOR AREA: Institutional | | |
| | | |
| TOTAL BUILDING FLOOR AREA | | 54,208.5 m ² |

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|---|---|-----------------|
| DENSITY | | |
| # of units/ha /# units/acre (gross) | | |
| # of units/ha /# units/acre (net) | | |
| FAR (gross) | 7.5 | 5.3 |
| FAR (net) | 7.0 | 7.0 |
| | | |
| AMENITY SPACE (area in square metres) | | |
| Indoor | N/A | |
| Outdoor | N/A | |
| | | |
| PARKING (number of stalls) | | |
| Commercial | 711 | 982 |
| Industrial | | |
| | | |
| Residential Bachelor + 1 Bedroom | | |
| 2-Bed | | |
| 3-Bed | | |
| Residential Visitors | | |
| | | |
| Institutional | | |
| | | |
| Total Number of Parking Spaces | 711 | 982 |
| | | |
| Number of accessible stalls | 9 | 10 |
| Number of small cars | 333 | 100 |
| Tandem Parking Spaces: Number / % of Total Number of Units | | N/A |
| Size of Tandem Parking Spaces width/length | | N/A |

| | | | |
|---------------|----|---------------------------------|-----|
| Heritage Site | NO | Tree Survey/Assessment Provided | YES |
|---------------|----|---------------------------------|-----|

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Revisions

- 1 Issued for DP 14.MAY.2019

blackwood
PARTNERS
CENTRAL CITY
TOWER 2
Property Legal Description:
Lot 130, Sections 27 and 34, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10545 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

PLAN,
SITE SUBDIVISION

Date: 10 JULY 2019

Job No: 23665.02

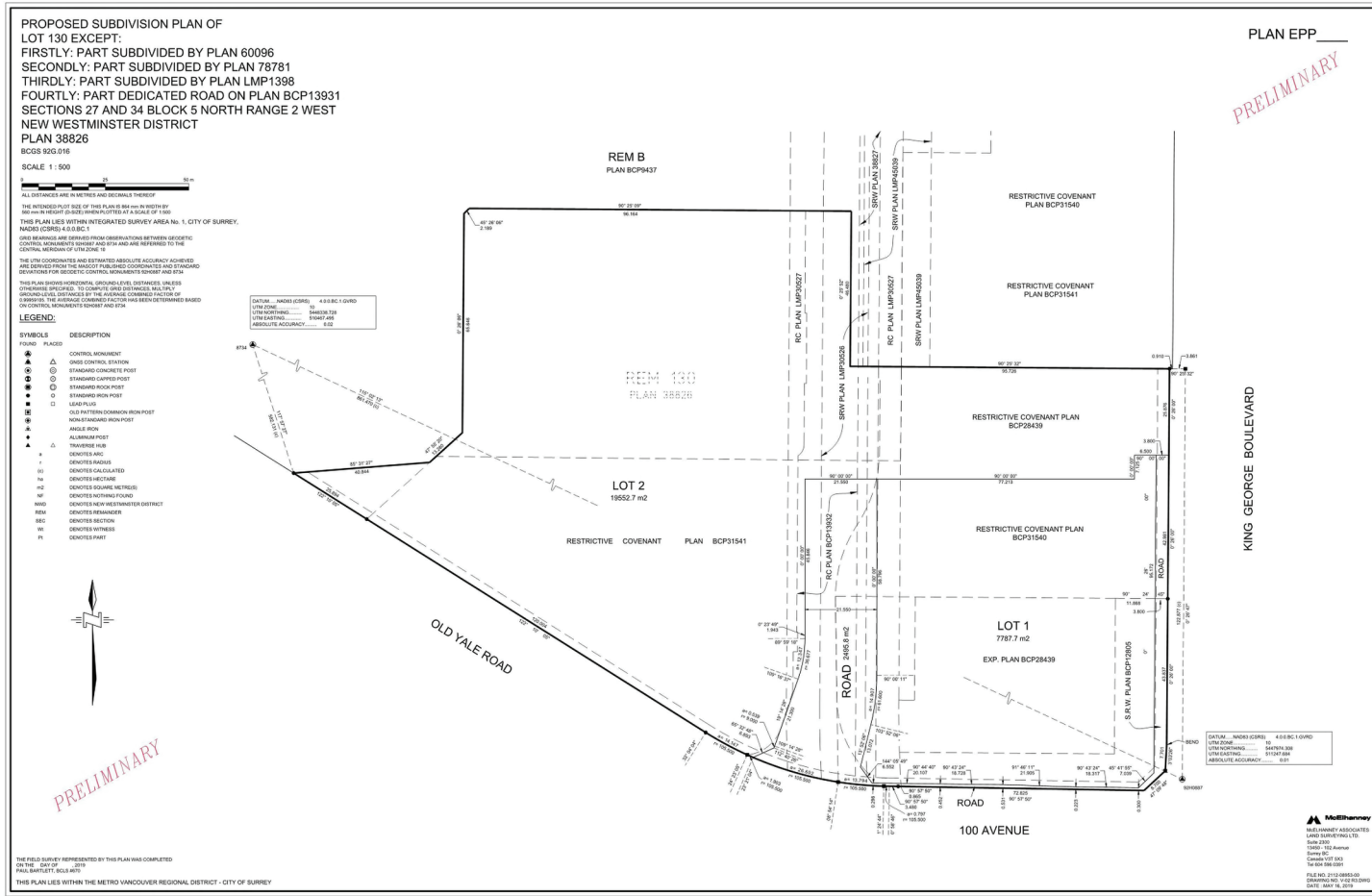
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Checked By: Checker

Drawing No:

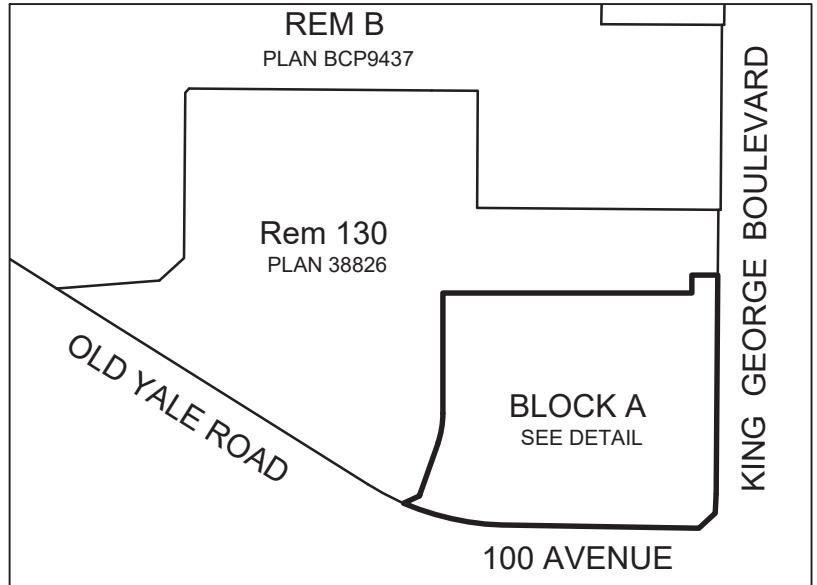
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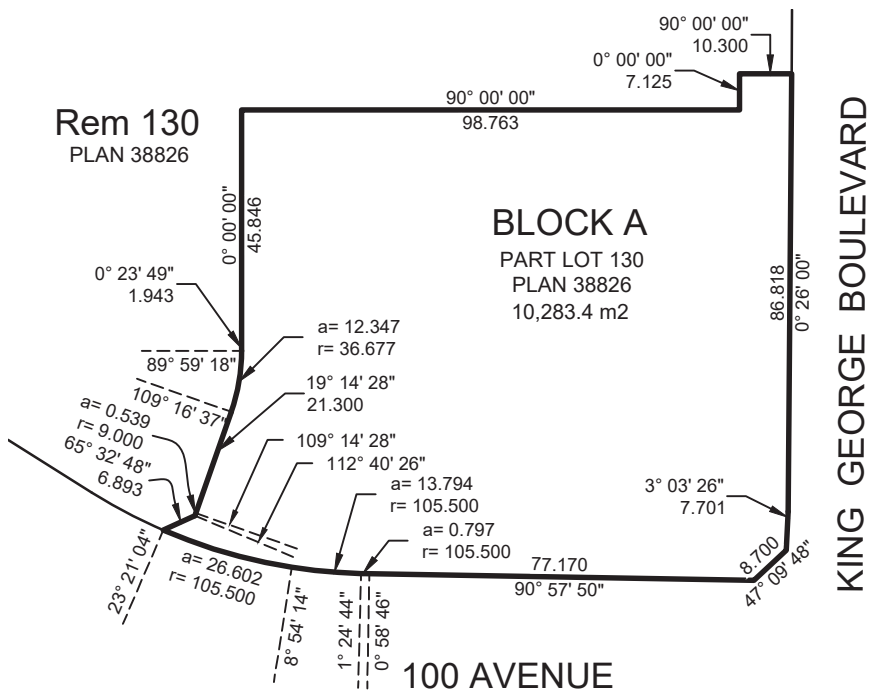


SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
 AND REZONING BYLAW NO. _____ OF PART OF LOT 130 EXCEPT:
 FIRSTLY: PART SUBDIVIDED BY PLAN 60096
 SECONDLY: PART SUBDIVIDED BY PLAN 78781
 THIRDLY: PART SUBDIVIDED BY PLAN LMP1398
 FOURTHLY: PART DEDICATED ROAD ON PLAN BCP13931
 SECTIONS 27 AND 34 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT
 PLAN 38826

BCGS 92G.016



KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)

CERTIFIED CORRECT ACCORDING TO FIELD
 SURVEY

THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

PAUL BARTLETT

B.C.L.S.



McELHANNEY ASSOCIATES
 LAND SURVEYING LTD.
 Suite 2300
 13450 - 102 Avenue
 Surrey BC
 Canada V3T 5X3
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OUR FILE NO. 2112-08953-00
 OUR DRAWING NO. V-03.DWG

15 JULY 2019

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Revisions

1 Issued for DP 14 MAY 2019
2 DP Revisions 23 AUG 2019

blackwood
PARTNERS
CENTRAL CITY
TOWER 2
Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
1046 King George Boulevard
Surrey, BC
V3T 2W1

PLAN, SITE

Date: 22 AUGUST 2019
Job No: 23665.02
Drawn By: DS
Checked By: AC
Drawing No:

A1.03.
C.D.



2 ENLARGED PLAN - VISTASWITCH
AT D1 1:50

1 PLAN, SITE GROUND - DP
AT D1 1:20

8/23/2019 3:03:42 PM



1. HOLLAND PARK LOOKING NORTHEAST



2. KING GEORGE SKYTRAIN LOOKING NORTHWEST



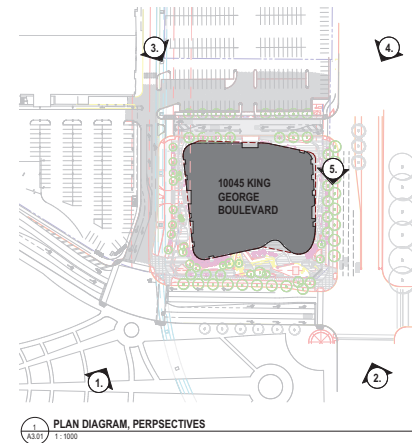
3. EXPO LINE LOOKING SOUTHEAST



4. KING GEORGE LOOKING SOUTHWEST



5. KING GEORGE LOOKING SOUTH AT RETAIL LEVEL



Consultants

- CLIENT/DEVELOPER
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1005 KING GEORGE BLVD
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- OWNER'S AGENT
TURNBULL
SUITE 1610 - 1340 AVE
SURREY, BC V3T 5G3
+1 (778) 227-7886
- GM
ELLISON
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
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- ARCHITECT
ZGF ARCHITECTS INC.
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- STRUCTURAL ENGINEER
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- MECHANICAL ENGINEER
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PRS STUDIO
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- CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
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VANCOUVER, BC V6B 1C1
+1 (604) 683-8521

Revisions

- 1 Issued for DP 14 MAY 2019

Drawing Title

Drawing No.

BYLAW SUMMARY

| PROJECT AREA | | | | |
|---|--------------------------------|------------------|----------|----------|
| GROSS SITE AREA INDICATES TOTAL AREA OF SUBDIVIDED LOT AS PER DRAWING 1/ A1.02. PROJECT SCOPE INCLUDES REDEVELOPMENT OF CITY PARKWAY TO THE WEST AND MAKING GOOD OF SURFACE LOT TO THE NORTH. | | | | |
| TOTAL GROSS SITE AREA | 110,688 SF / 10,283.2 SQM | | | |
| DEDICATIONS | 26,865 SF / 2,495.8 SQM | | | |
| NET SITE AREA | 83,823 SF / 7,787.4 SQM | | | |
| SITE COVERAGE | 49,876 SF / 4,633.6 SQM | | | |
| GFA | | | | |
| RETAIL (COLD SHELL) | 583,282 SF / 54,208.4 SQM | | | |
| OFFICE (WARM SHELL) | 16,168 SF / 1,502.1 SQM | | | |
| OFFICE (WARM SHELL) | 567,114 SF / 52,114.0 SQM | | | |
| FORM AND SCALE | | | | |
| DPA AREA- CITY CENTRE; MIXED USE | | | | |
| ZONING CURRENT - C-8 | | | | |
| ZONING PROPOSED - CD | | | | |
| PARCEL ID 012-984-272 | | | | |
| FAR | | | | |
| ALLOWED | PROPOSED | | | |
| 7.0 | 5.3 | | | |
| GROSS | NET | | | |
| 45.1% | 59.5% | | | |
| 61.4% | 81.1% | | | |
| SITE COVERAGE | | | | |
| BUILDINGS + STRUCTS | X | 45.1% | 59.5% | |
| PAVED AND HARD SURF. | X | 61.4% | 81.1% | |
| SETBACKS | | | | |
| EXTERIOR (SOUTH & EAST) | 4.0m | 4.0m | | |
| EXTERIOR (WEST) | 2.5m | 2.0m | | |
| INTERIOR (NORTH) | 12.5m | 12.5m | | |
| HEIGHT | | | | |
| N/A | 116.35m / 25 STOREYS | | | |
| PARKING | | | | |
| LOADING | BYLAW | ALLOWED/REQUIRED | PROVIDED | |
| CLASS A: 2.7m x 5.5m | N/A | 9 | 9 | |
| CLASS B: 4.0m x 9.2m | N/A | 3 | 3 | |
| PARKING TOTAL | | 711 | 982 | |
| OFFICE DEDICATED | 1.4 / 100 SQ M | 47,811.0 SQM | 669 | |
| ALLOWABLE SHARED | 25% OF LARGER OCC. | | 669 | |
| RETAIL / OFFICE SHARED | 2.4 / 100 SQ M | 1,502.1 SQM | 42 | |
| MALL / OFFICE SHARED* | N/A | | 271 | |
| DISABLED | 5, + 1/100 IF >500 | 10 | 10 | |
| SMALL CARS | 35% | 333 | 100 | |
| EV STALLS | X | 20 | 20 | |
| FUTURE READY EV STALLS | 20% | 196 | 196 | |
| * ADDITIONAL ON-SITE PARKING IS REQUIRED TO CREATE FLEX-PARKING FOR THE EXISTING MALL TO ALLOW FOR NEW DEVELOPMENTS IN LOCATIONS CURRENTLY OCCUPIED BY SURFACE PARKING LOTS. | | | | |
| REQUIRED BICYCLE SPACES | | BYLAW | REQUIRED | PROVIDED |
| OFFICE SECURE | 0.06 / 100 SQM | 52,114.0 SQM | 31 | 150 |
| OFFICE VISITOR | 0.12 / 100 SQM | 52,114.0 SQM | 63 | 48 |
| RETAIL VISITOR | 0.10 / 100 SQM | 1,743.3 SQM | 2 | 2 |

WATER CLOSET - OCCUPANT CALC

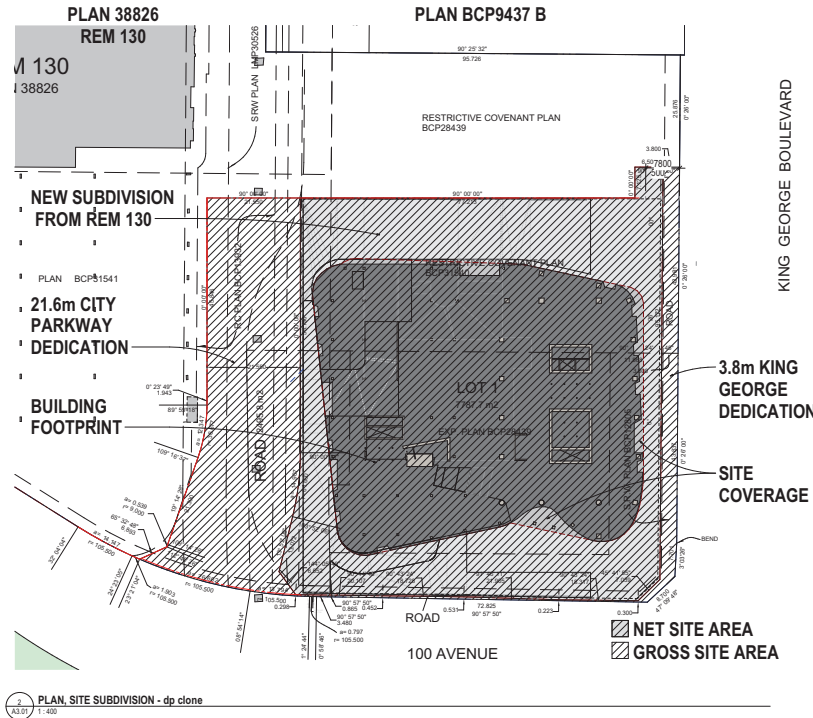
| LEVEL NAME | GROSS MEASURED AREA | | USE | WATER CLOSET CALCULATION | | | |
|-----------------------|---------------------|------------------|----------------------|--------------------------|---------------------|-------------------------|---------------------|
| | AREA (IMP) | AREA (METRIC) | | OCCUPANT LOAD (3.1,1.7) | UNIVERSAL (3.7,2.2) | GENDER LOAD (3.7,2.2,1) | MIN CLOSETS PER SEX |
| LEVEL 1 | 16,046.00 | 1,490.71 | Retail (3.7,2.2,1.3) | 402.89 | | 196.45 | 4 |
| LEVEL 2 WEST | 10,222.00 | 949.65 | | 128.33 | | 256.66 | 3 |
| LEVEL 2 EAST | 24,365.00 | 2,263.56 | Office (3.7,2.2,1.2) | 121.70 | | 243.39 | 3 |
| LEVEL 3 | 33,107.00 | 3,076.72 | | 330.72 | | 165.36 | 5 |
| LEVEL 4 | 33,172.00 | 3,091.75 | | 331.75 | | 165.88 | 5 |
| LEVEL 5 | 20,804.00 | 1,932.74 | | 207.82 | | 103.91 | 4 |
| LEVEL 6 | 18,829.00 | 1,749.26 | | 188.09 | | 94.05 | 3 |
| LEVEL 7 | 18,829.00 | 1,749.26 | | 188.09 | | 94.05 | 3 |
| LEVEL 8 | 19,245.00 | 1,787.90 | | 192.25 | | 96.12 | 3 |
| LEVEL 9 | 16,424.00 | 1,526.83 | | 164.07 | | 82.03 | 3 |
| LEVEL 10 | 16,435.00 | 1,526.85 | | 164.18 | | 82.09 | 3 |
| LEVEL 11 | 16,435.00 | 1,526.85 | | 164.18 | | 82.09 | 3 |
| LEVEL 12 | 16,435.00 | 1,526.85 | | 164.18 | | 82.09 | 3 |
| LEVEL 13 | 16,435.00 | 1,526.85 | | 164.18 | | 82.09 | 3 |
| LEVEL 14 | 16,435.00 | 1,526.85 | | 164.18 | | 82.09 | 3 |
| LEVEL 15 | 16,431.00 | 1,526.48 | | 164.14 | | 82.07 | 3 |
| LEVEL 16 | 16,431.00 | 1,526.48 | | 164.14 | | 82.07 | 3 |
| LEVEL 17 | 16,431.00 | 1,526.48 | | 164.14 | | 82.07 | 3 |
| LEVEL 18 | 16,431.00 | 1,526.48 | | 164.14 | | 82.07 | 3 |
| LEVEL 19 | 17,012.00 | 1,590.45 | | 169.94 | | 84.97 | 3 |
| LEVEL 20 | 14,727.00 | 1,368.17 | | 147.12 | | 73.56 | 3 |
| LEVEL 21 | 14,623.00 | 1,358.51 | | 146.08 | | 73.04 | 3 |
| LEVEL 22 | 14,590.00 | 1,355.44 | | 145.75 | | 72.87 | 3 |
| LEVEL 23 | 13,485.00 | 1,252.79 | | 134.71 | | 67.35 | 3 |
| LEVEL 24 | 13,367.00 | 1,241.82 | | 133.53 | | 66.76 | 3 |
| LEVEL 25 | 13,366.00 | 1,241.73 | | 133.52 | | 66.76 | 3 |
| BUILDING TOTAL | 460,112 | 42,745.45 | | 4,993.44 | | 2,491.72 | |

GROSS FLOOR AREAS - FINISHED (SURREY DEFINED)

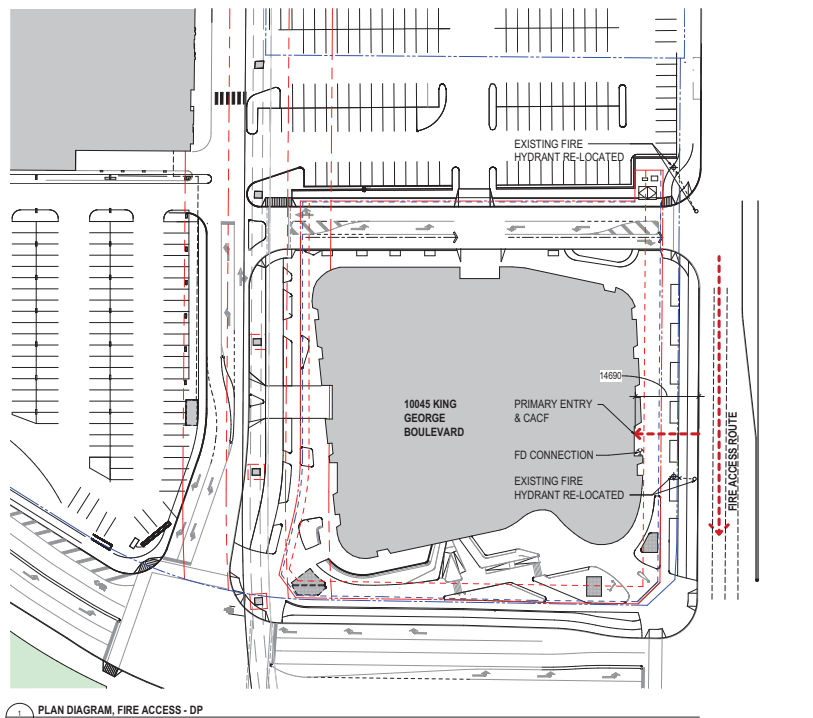
| LEVEL | Area (SF) | Area (SQ M) |
|------------------|-----------|-------------|
| LEVEL 1 | 20164 | 1874.0 |
| LEVEL 2 WEST | 11723 | 1089.5 |
| LEVEL 2 EAST | 30936 | 2875.1 |
| LEVEL 3 | 41456 | 3853.0 |
| LEVEL 4 | 41456 | 3853.0 |
| LEVEL 5 | 24960 | 2319.7 |
| LEVEL 6 | 23681 | 2200.8 |
| LEVEL 7 | 23681 | 2200.8 |
| LEVEL 8 | 24081 | 2238.0 |
| LEVEL 9 | 21322 | 1981.6 |
| LEVEL 10 | 21121 | 1962.9 |
| LEVEL 11 | 21121 | 1962.9 |
| LEVEL 12 | 21121 | 1962.9 |
| LEVEL 13 | 21121 | 1962.9 |
| LEVEL 14 | 21121 | 1962.9 |
| LEVEL 15 | 21121 | 1962.9 |
| LEVEL 16 | 21121 | 1962.9 |
| LEVEL 17 | 21121 | 1962.9 |
| LEVEL 18 | 21121 | 1962.9 |
| LEVEL 19 | 21121 | 1962.9 |
| LEVEL 20 | 18805 | 1747.7 |
| LEVEL 21 | 18689 | 1736.9 |
| LEVEL 22 | 18689 | 1736.9 |
| LEVEL 23 | 17543 | 1630.4 |
| LEVEL 24 | 17419 | 1618.9 |
| LEVEL 25 | 17419 | 1618.9 |
| GFA FINISHED: 28 | 583238 | 54204.3 |

GROSS FLOOR AREAS - U/G PARKING

| Level | AREA (SF) | AREA (SQM) |
|---------------|-----------|------------|
| LEVEL 2 WEST | 2,639 | 245.3 |
| LEVEL 1 | 26,779 | 2,488.7 |
| LEVEL P1 | 80,285 | 7,461.4 |
| LEVEL P2 | 79,924 | 7,427.9 |
| LEVEL P3 | 79,924 | 7,427.9 |
| LEVEL P4 | 79,924 | 7,427.9 |
| LEVEL P5 | 67,969 | 6,316.8 |
| GFA SUB-GRADE | 417,443 | 38,795.8 |



PLAN SITE SUBDIVISION - dp clone
1:400



PLAN DIAGRAM, FIRE ACCESS - DP
1:400

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www.zgf.com

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1 Issued for DP 14 MAY 2019

blackwood
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CENTRAL CITY
TOWER 2
Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
CODE AND BYLAW
REVIEW
Date: 10 JULY 2019
Job No: 2366.02
Drawn By: Author
Checked By: Checker

A0.02.
D.D.

Consultants

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Revisions

1 Issued for DP 14 MAY 2019

blackwood PARTNERS

CENTRAL CITY TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 28, Block 5 North, Range 2 West, New Westminster District, Plan 26826
1045 King George Boulevard
Surrey, BC
V3T 2W1

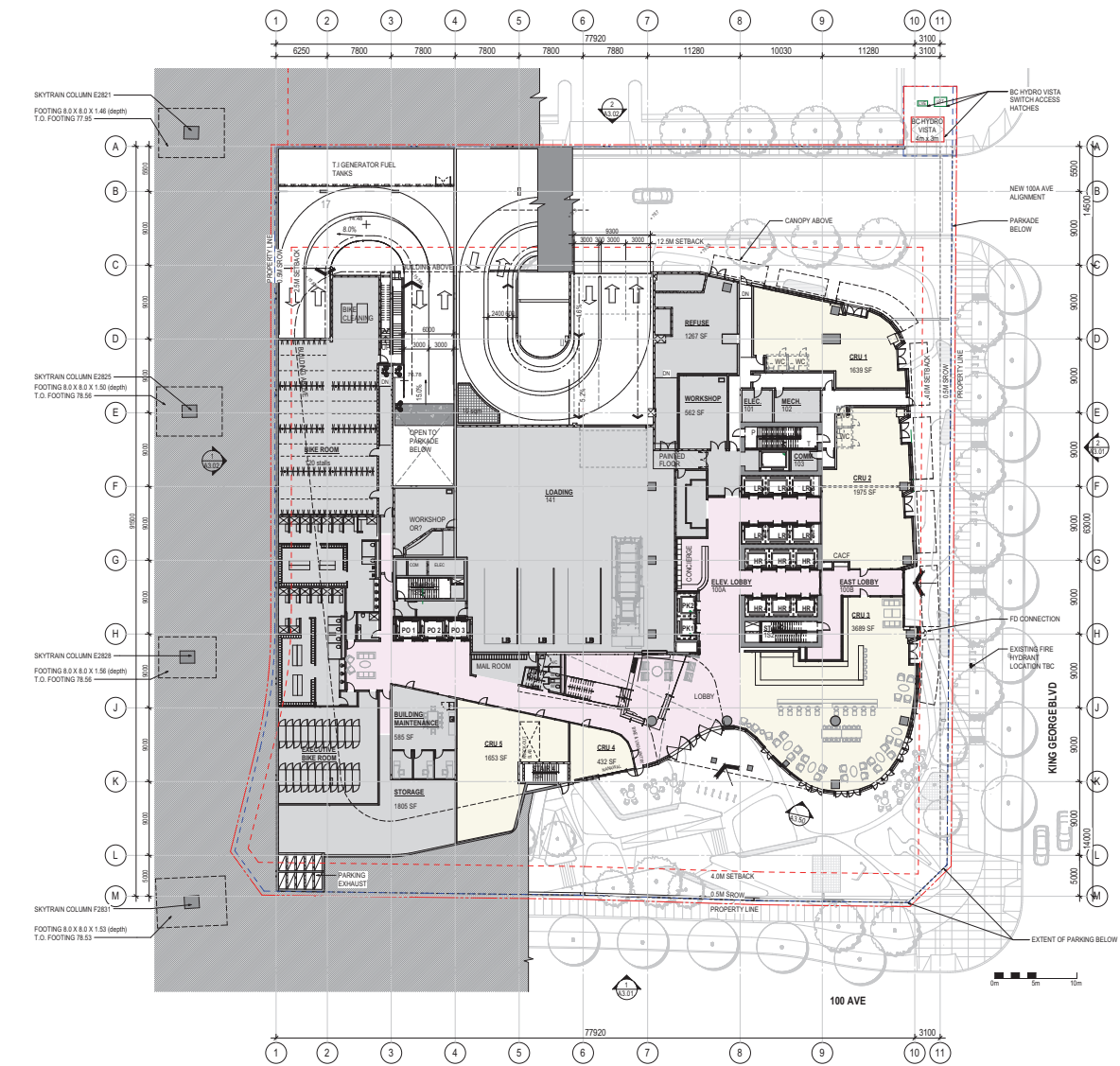
Drawing Title
PLAN,
FLOOR LEVEL 1

Date: 10 JULY 2019
Job No: 23665.02
Drawn By: Author
Checked By: Checker

Drawing No:

A2.06.

D.D.



PLAN LEVEL 1
1:100

Consultants

CLIENT/DEVELOPER

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Revisions

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5 North, Range 2 West, New
Westminster District, Plan 38826
10454 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

PLAN,
FLOOR LEVEL 2

Date: 10 JULY 2019

Job No: 2366.02

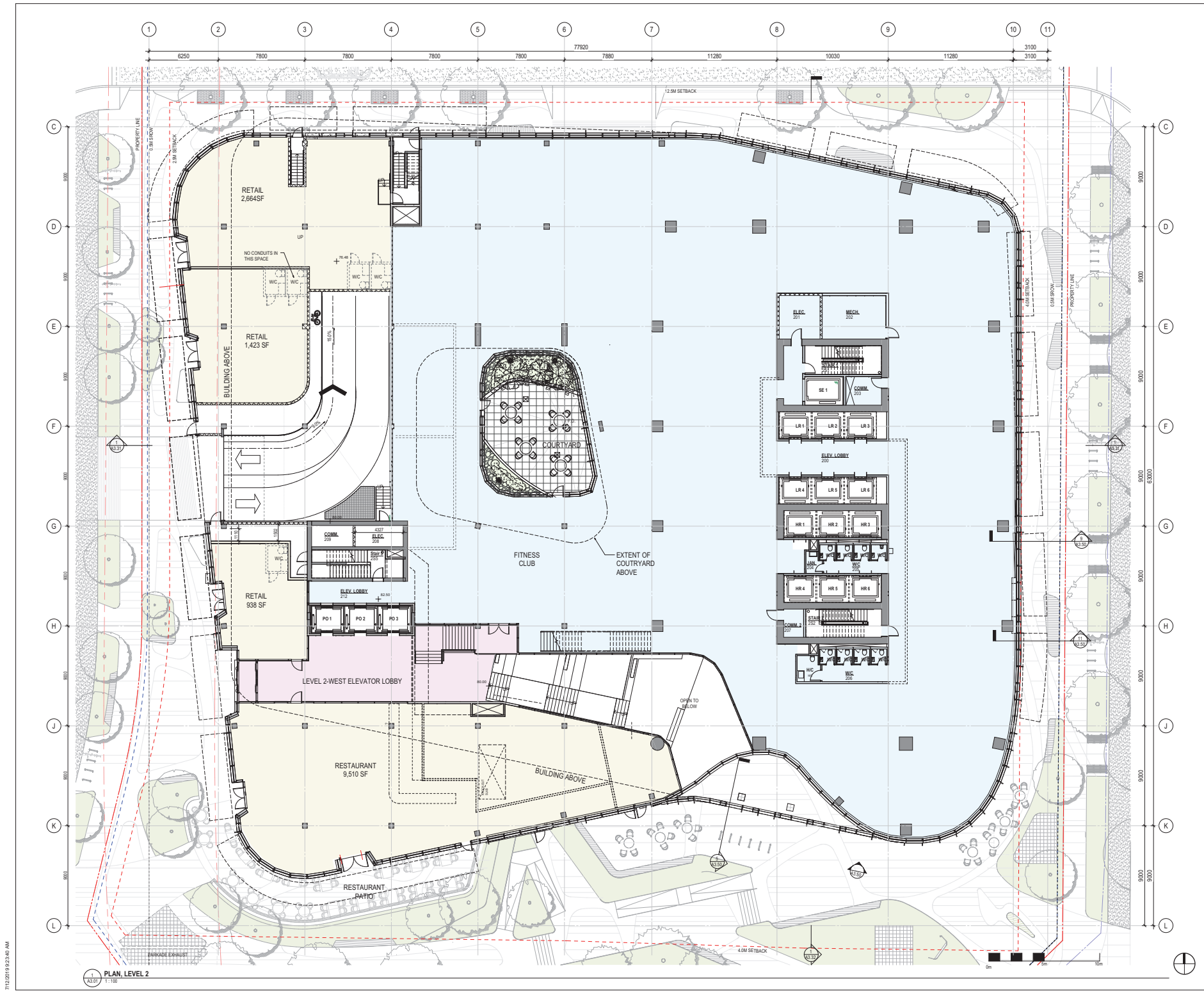
Drawn By: Author

Checked By: Checker

Drawing No:

A2.07.

D.D.



PLAN, LEVEL 2
1:100

7/12/2019 9:23:40 AM

Consultants

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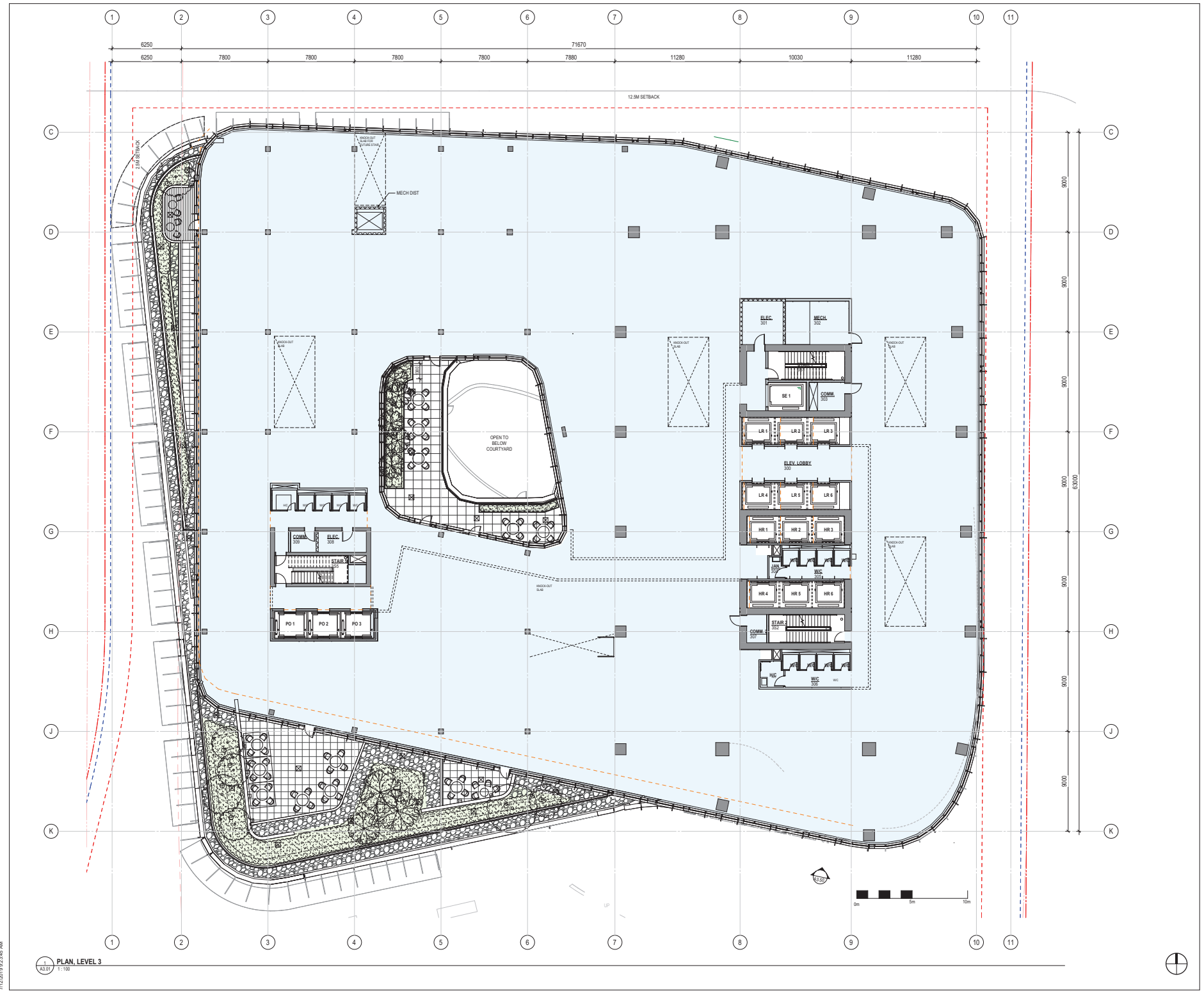
Drawing Title
**PLAN,
FLOOR LEVEL 3**

Date: 10 JULY 2019
Job No: 23665.02
Drawn By: Author
Checked By: Checker

Drawing No:

A2.08.

D.D.



1 PLAN, LEVEL 3
A2.08 1:100

7/12/2019 9:23:45 AM

Consultants

CLIENT/DEVELOPER

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Drawing Title

PLAN,
FLOOR LEVEL 5

Date: 10 JULY 2019

Job No: 23665.02

Drawn By: Author

Checked By: Checker

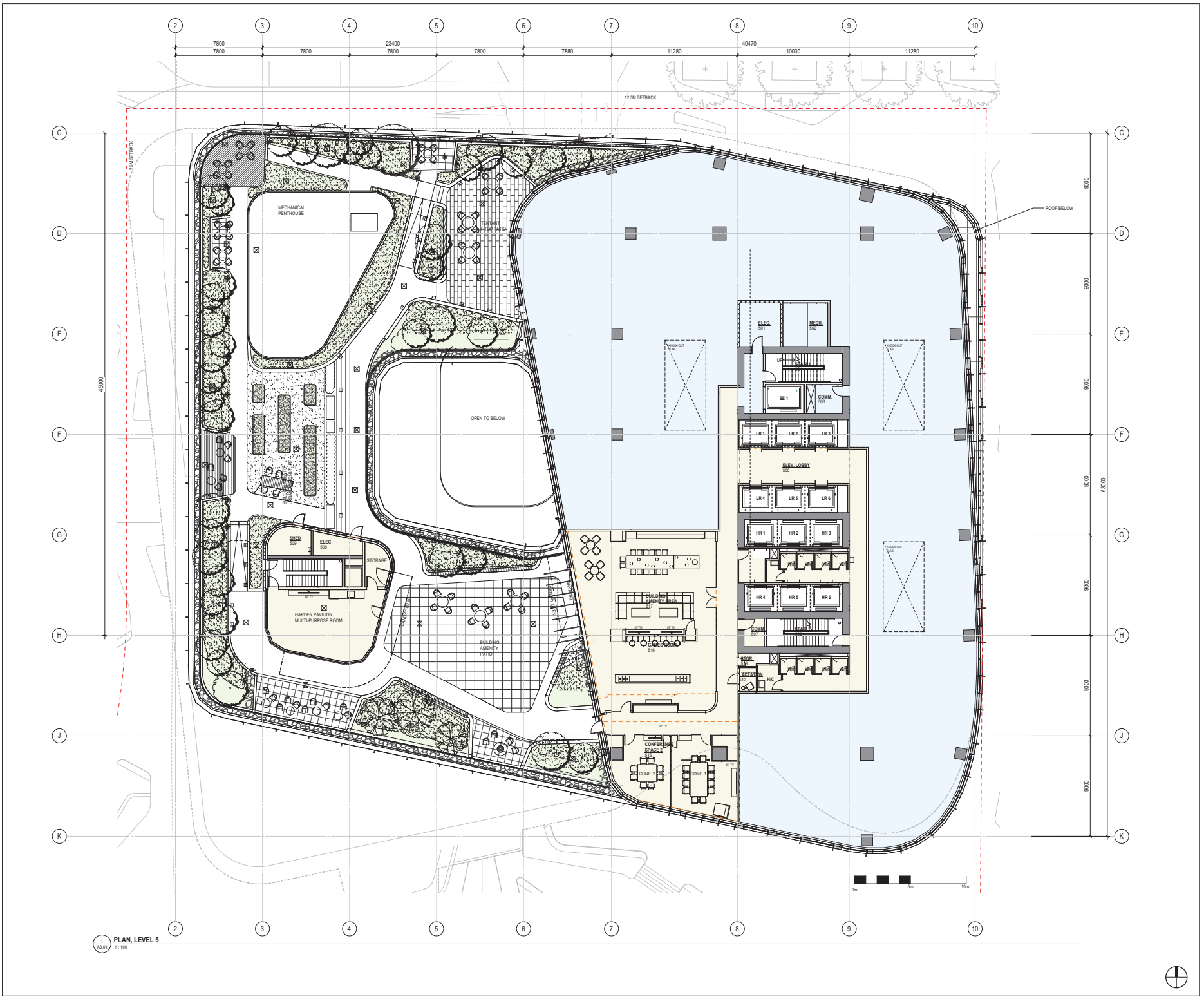
Drawing No:

A2.10.

D.D.

1 PLAN LEVEL 5
A2.10 1:100

7/12/2019 9:24:05 AM



Consultants

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TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 26826
10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

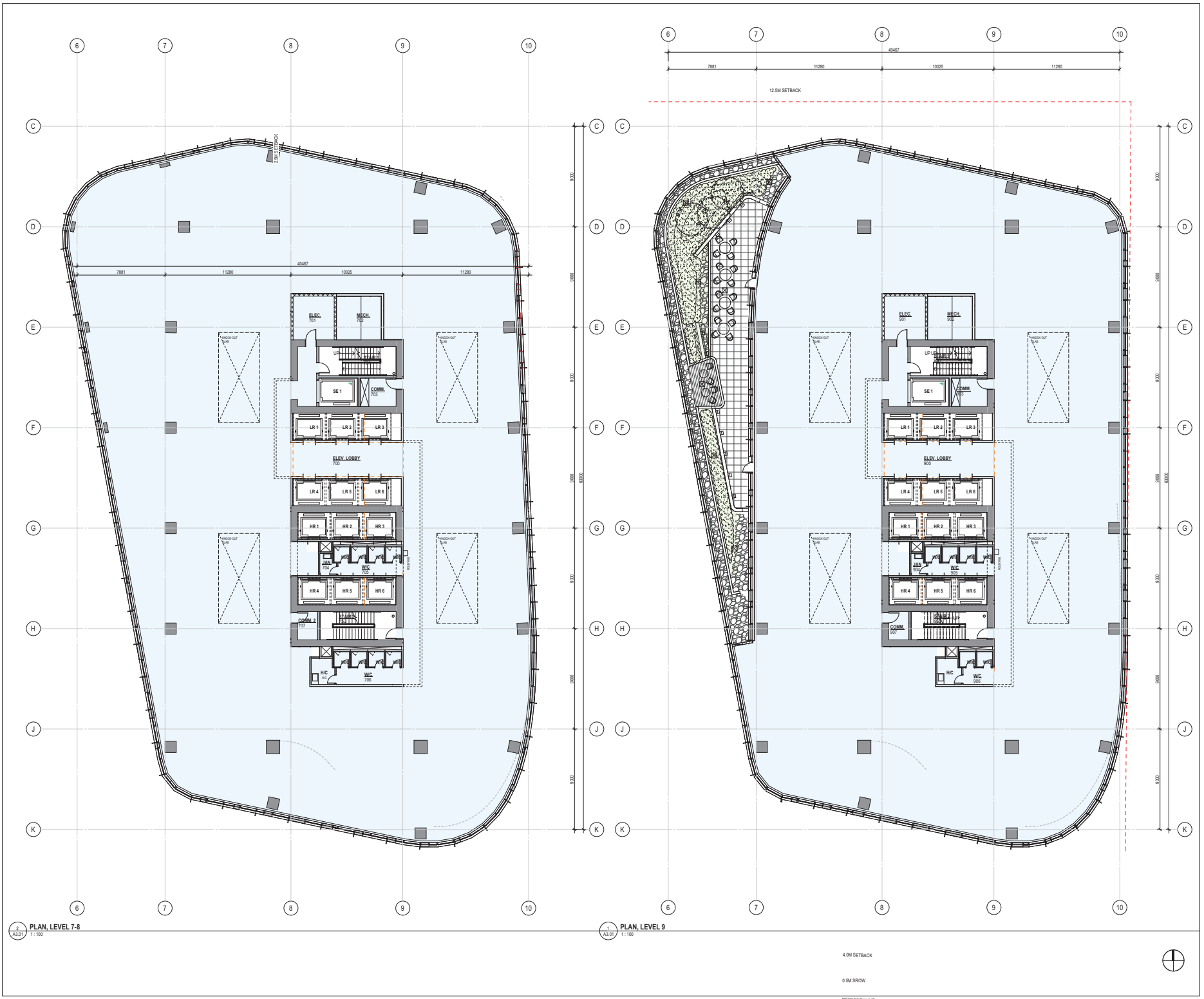
PLAN,
FLOOR LEVEL 7-8
& 9

Date: 10 JULY 2019
Job No: 23665.02
Drawn By: Author
Checked By: Checker

Drawing No.

A2.12.

D.D.



2 PLAN, LEVEL 7-8
A2.01 1:100

1 PLAN, LEVEL 9
A2.01 1:100

4.0M SETBACK

0.9M SROW

PROPERTY LINE



7/12/2019 9:24:26 AM

Consultants

CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1055 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 584-8271

OWNER'S AGENT
TURNBULL
SUITE 1670 - 1340 AVE
SURREY, BC V3T 5A3
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CM
ELLISDON
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072

ARCHITECT
ZGF ARCHITECTS INC.
SUITE 300 - 305 BURRARD STREET
VANCOUVER, BC V6T 5K3
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STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1601 W. 57TH AVE
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MECHANICAL ENGINEER
AME CONSULTING
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VANCOUVER, BC V6C 2A4
+1 (604) 684-5995

ELECTRICAL ENGINEER
AES ENGINEERING
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VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500

LANDSCAPE ARCHITECT
PRS STUDIO
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CIVIL/ENVIRONMENTAL
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VANCOUVER, BC V6B 1C1
+1 (604) 683-8521

Revisions

1 Issued for DP 14 MAY 2019

blackwood PARTNERS

CENTRAL CITY TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 28, Block 5 North, Range 2 West, New Westminster District, Plan 26826
10545 King George Boulevard
Surrey, BC
V3T 2W1

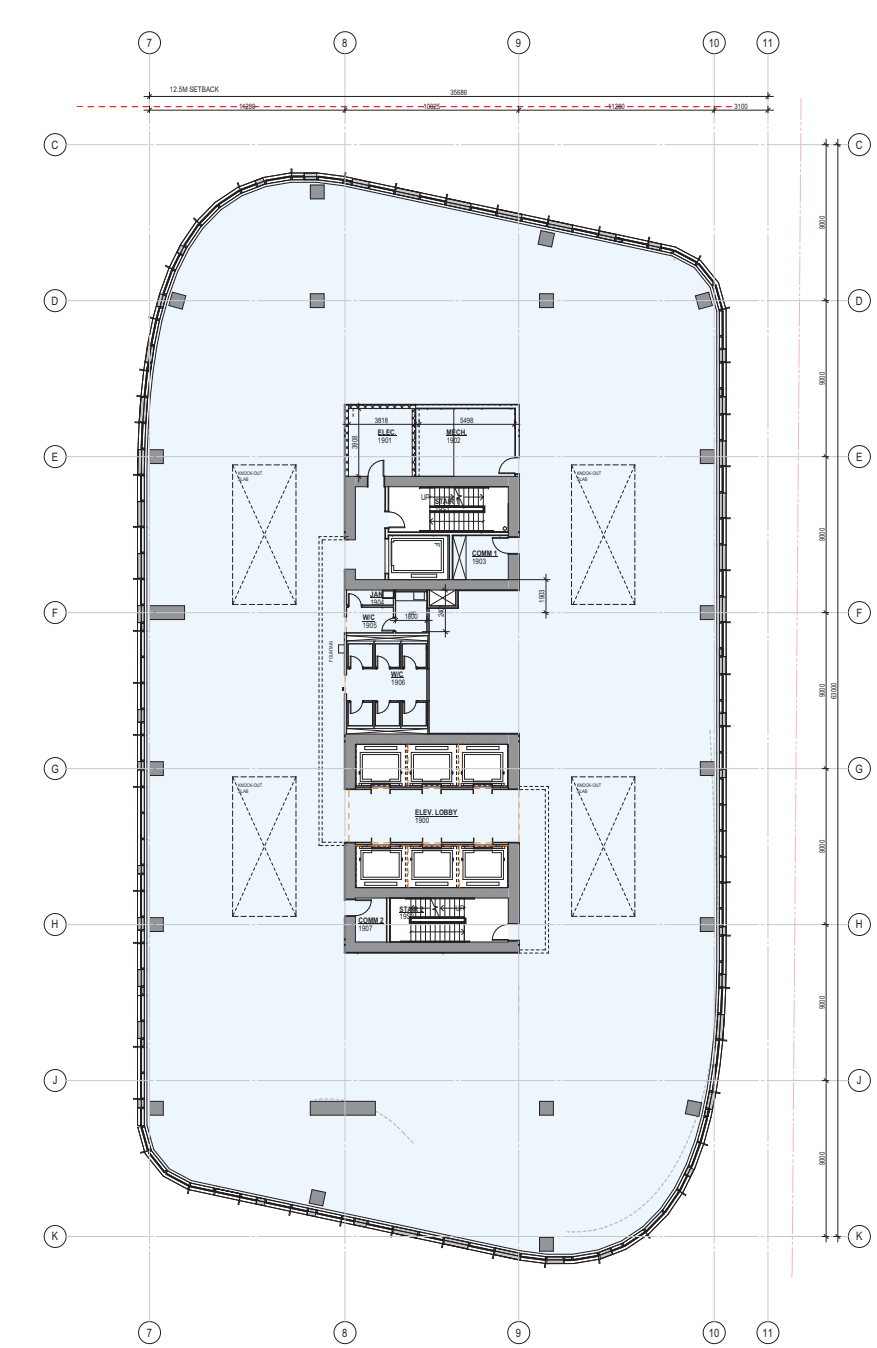
Drawing Title
PLAN,
FLOOR LEVEL 19
& 20

Date: 10 JULY 2019
Job No: 23665.02
Drawn By: Author
Checked By: Checker

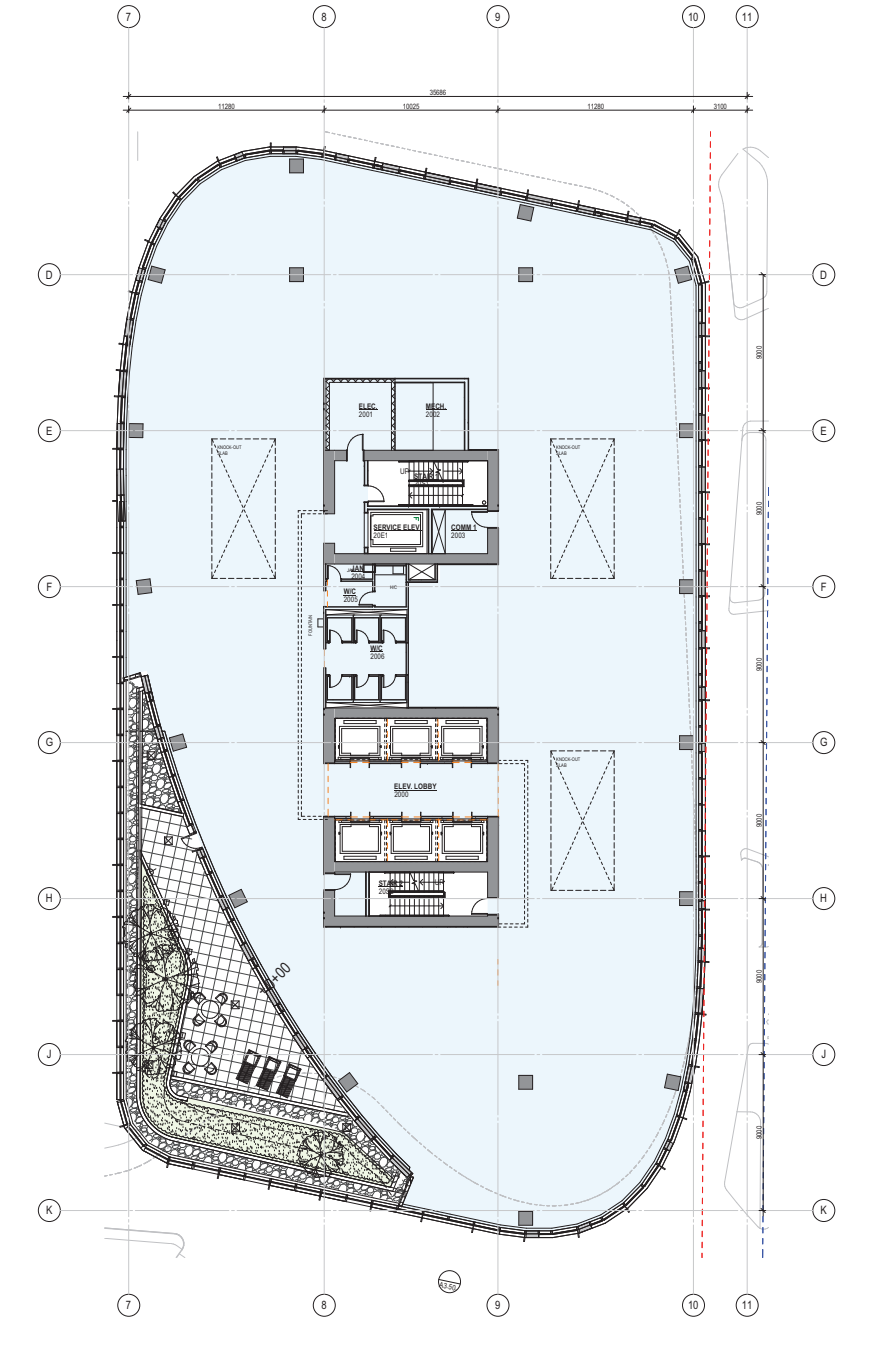
Drawing No:

A2.15.

D.D.



1 PLAN, LEVEL 19
A2.01 1:100



2 PLAN, LEVEL 20
A2.02 1:100



Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
10045 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 584-8571
- OWNER'S AGENT
TURNBULL
SUITE 1670 - 1340 AVE
SURREY, BC V3T 5G3
+1 (778) 277-7086
- CM
ELLISDON
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT
ZGF ARCHITECTS INC.
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VANCOUVER, BC V6T 5K3
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- STRUCTURAL ENGINEER
GLOTTMAN-SIMPSON CONSULTING
1601 W. 57th AVE
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+1 (604) 534-8522
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 110 - 80 W. HASTINGS ST
VANCOUVER, BC V6C 2Z4
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- ELECTRICAL ENGINEER
AES ENGINEERING
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VANCOUVER, BC V6Z 1M7
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- LANDSCAPE ARCHITECT
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Revisions

1 Issued for DP 14.MAY.2019

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**CENTRAL CITY
TOWER 2**

Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 26826
10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

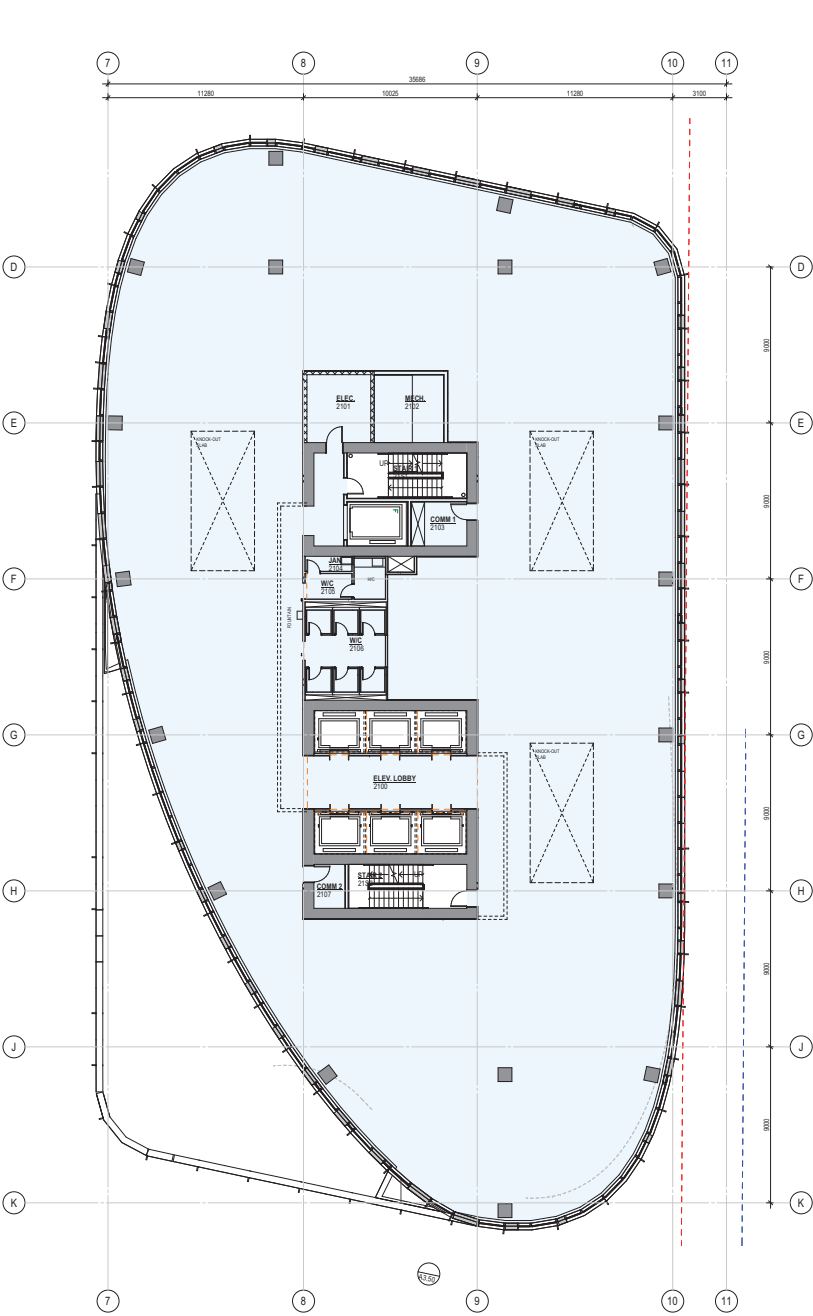
**PLAN,
FLOOR LEVEL
21-22 & 23**

Date: 10 JULY 2019
Job No: 23665.02
Drawn By: Author
Checked By: Checker

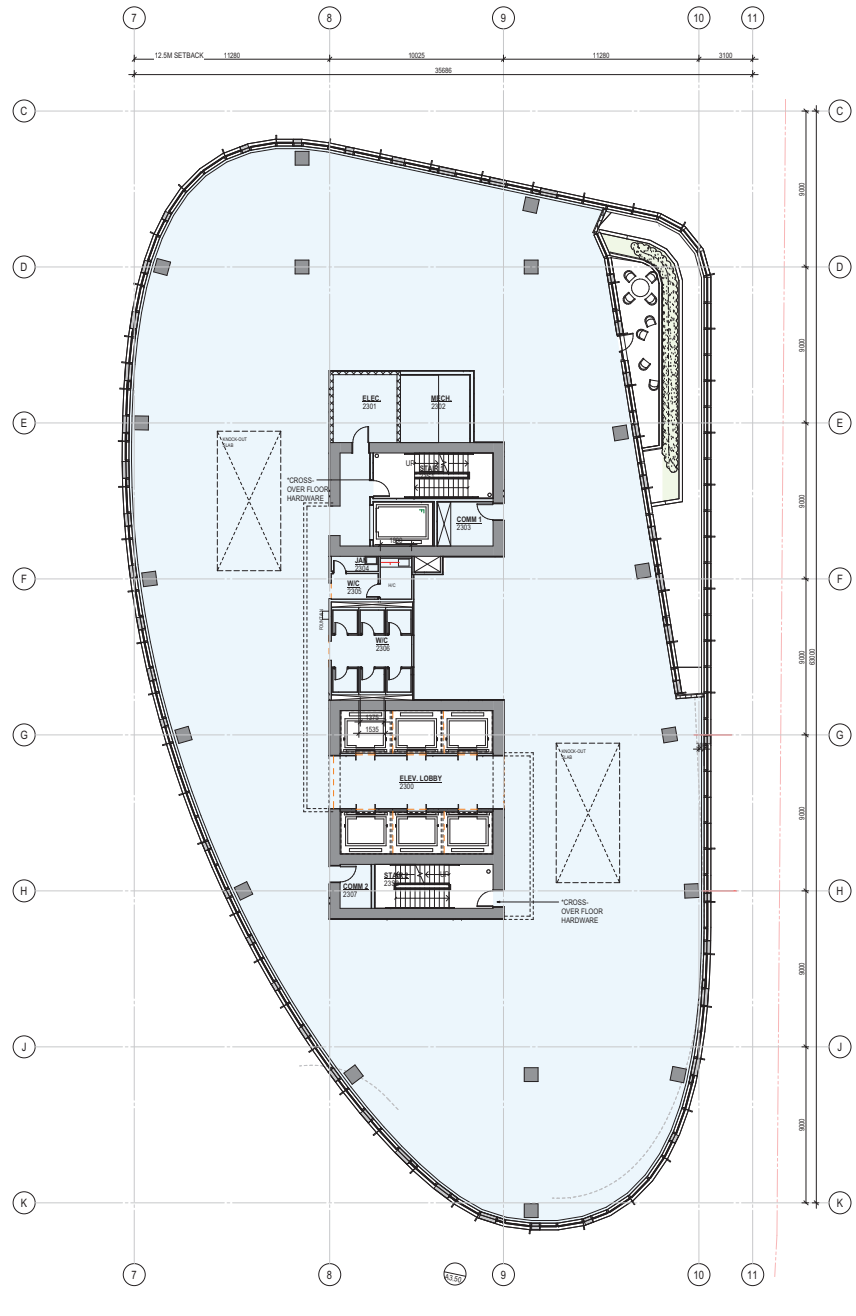
Drawing No.

A2.16.

D.D.



2
A3.01
PLAN, LEVEL 21-22
1:100



1
A3.01
PLAN, LEVEL 23
1:100

Consultants

- CLIENT/DEVELOPER
BLACKWOOD PARTNERS
10565 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 584-8271
- OWNER'S AGENT
TURNBULL
SUITE 1610 - 1340 AVE
SURREY, BC V3T 5G3
+1 (778) 277-7086
- CM
ELLISON
150 - 1375 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT
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+1 (604) 534-8522
- MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 80 W. HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-5995
- ELECTRICAL ENGINEER
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT
PDS STUDIO
150 - 1375 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL
MCELHANNY CONSULTING
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Revisions

- 1 Issued for DP 14 MAY 2019
2 DP Revisions 23 AUG 2019

blackwood PARTNERS

CENTRAL CITY TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 28, Block 5 North, Range 2 West, New Westminster District, Plan 38826
10565 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

ELEVATION, EXTERIOR - E & S

Date: 22 AUGUST 2019

Job No: 23866.02

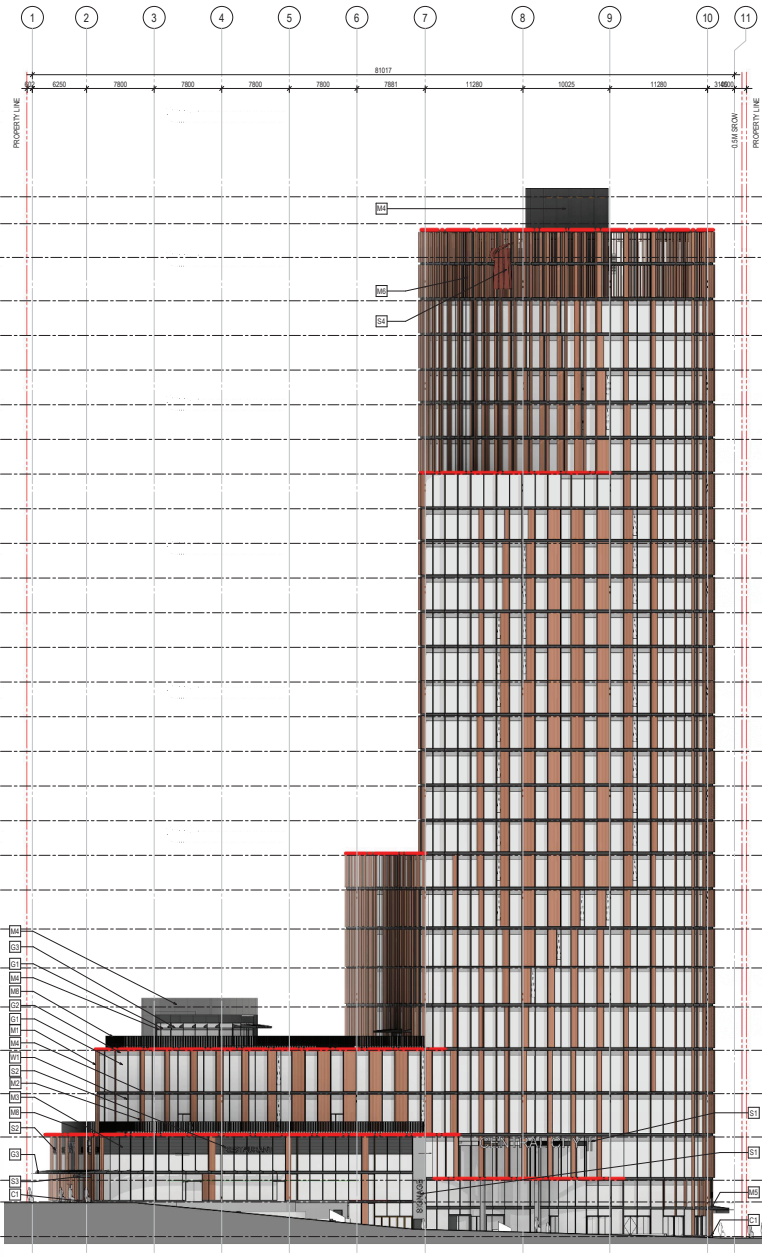
Drawn By: DS

Checked By: AC

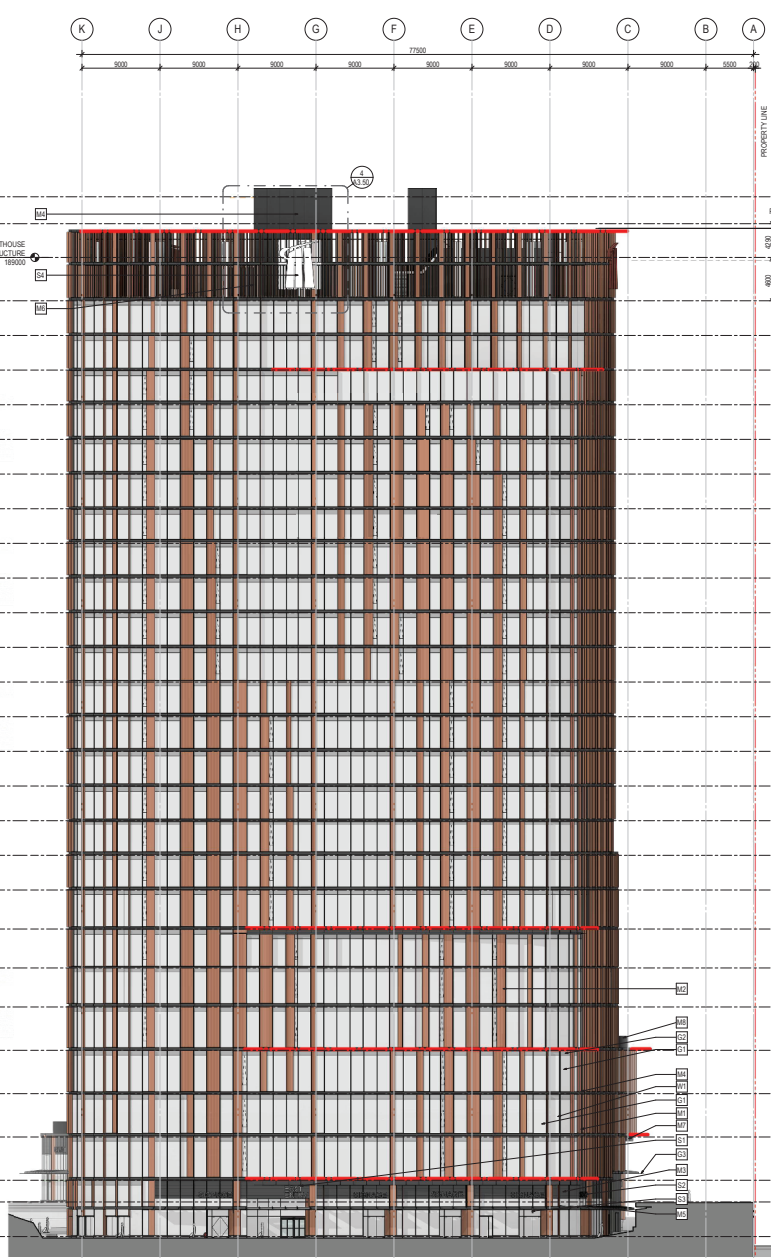
Drawing No:

A3.01.

C.D.



1 ELEVATION SOUTH
A3.01
1:200



2 ELEVATION EAST
A3.01
1:200

MATERIALS

- W1 BLACK ANODIZED ALUMINUM UNUNITED CURTAIN WALL WITH SILICONE JOINTS
- G1 LOW E GLASS (CLEAR)
- G2 SPANDREL - LOW E GLASS - SHADOW BOX (CLEAR)
- G3 GLASS CANOPY (PRISTINE)
- M1 METAL FIN - ALUMINUM (COLOR RUST)
- M2 CORRUGATED PANEL - ALUMINUM (COLOR RUST)
- M3 METAL LOUVRES - ALUMINUM (BLACK)
- M4 METAL GLAZING (BLACK)
- M5 METAL CANOPY SUPPORT (BLACK)
- M6 METAL SCREEN - ALUMINUM (COLOR RUST)
- M7 SOFFIT - ALUMINUM (MATTE BLACK)
- M8 BLACK METAL PICKET RAILING - FRAME (COLOUR TO MATCH W1)
- M9 PAINTED BLACK METAL - DOORFRAME (COLOUR TO MATCH W1)
- C1 EXPOSED CONCRETE

SIGNAGE & LIGHTING

- NOTE: TOTAL PREMISES FRONTAGE = 262.7m
TOTAL PROPOSED SIGNAGE AREA = 781m²
FOR SIGNAGE LOCATIONS REFER TO A3.01.A3.04
- S1 BASE BUILDING SIGNAGE (AT GRADE)
SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT
QUANTITY - 8
 - S2 RETAIL SIGNAGE (WALL MOUNTED)
SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT
QUANTITY - 11
 - S3 RETAIL SIGNAGE (CANOPY SUSPENDED)
3000mm(H) X 1500mm(W)
NOT ILLUMINATED
QUANTITY - 11
 - S4 BASE BUILDING SIGNAGE (TOWER TOP)
500mm(H) X 500mm(W) CENTRAL CITY LOGO
SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT
QUANTITY - 3
 - S5 ARCHITECTURAL FEATURE LIGHTING HORIZONTAL STRIPS
INDICATES EXTERIOR, LEED NIGHT SKY COMPLIANT

Consultants

- CLIENT/DEVELOPER**
BLACKWOOD PARTNERS
1005 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 584-8521
- OWNER'S AGENT**
TURNBULL
SUITE 1610 - 1340 AVE
VANCOUVER, BC V6T 5G3
+1 (778) 277-7886
- CM**
ELLISDON
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- ARCHITECT**
ZGF ARCHITECTS INC.
SUITE 300 - 305 BURRARD STREET
VANCOUVER, BC V6T 5K3
+1 (604) 588-6500
- STRUCTURAL ENGINEER**
GLOTTMAN-SIMPSON CONSULTING
1601 W. 57TH AVE
VANCOUVER, BC V6J 2K4
+1 (604) 584-8521
- MECHANICAL ENGINEER**
AME CONSULTING
SUITE 1100 - 800 W. HASTINGS ST
VANCOUVER, BC V6C 2K4
+1 (604) 684-5995
- ELECTRICAL ENGINEER**
AES ENGINEERING
1330 GRANVILLE ST
VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500
- LANDSCAPE ARCHITECT**
PRS STUDIO
150 - 13775 COMMERCE PARKWAY
RICHMOND, BC V6V 2V4
+1 (604) 247-1072
- CIVIL/ENVIRONMENTAL**
MCELHANNY CONSULTING
858 BEATTY STREET
VANCOUVER, BC V6B 1C1
+1 (604) 683-8521

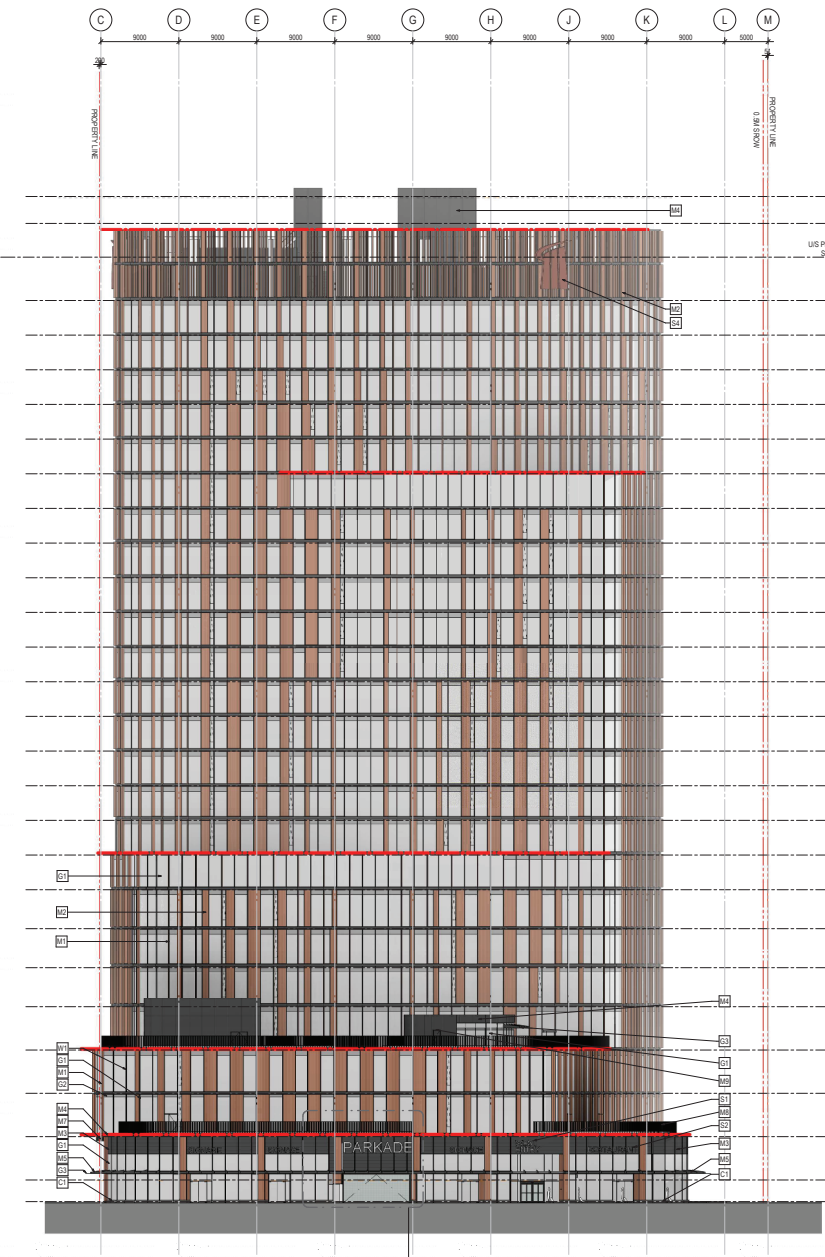
1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
**CENTRAL CITY
TOWER 2**
Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 38826
1005 King George Boulevard
Surrey, BC
V3T 2W1

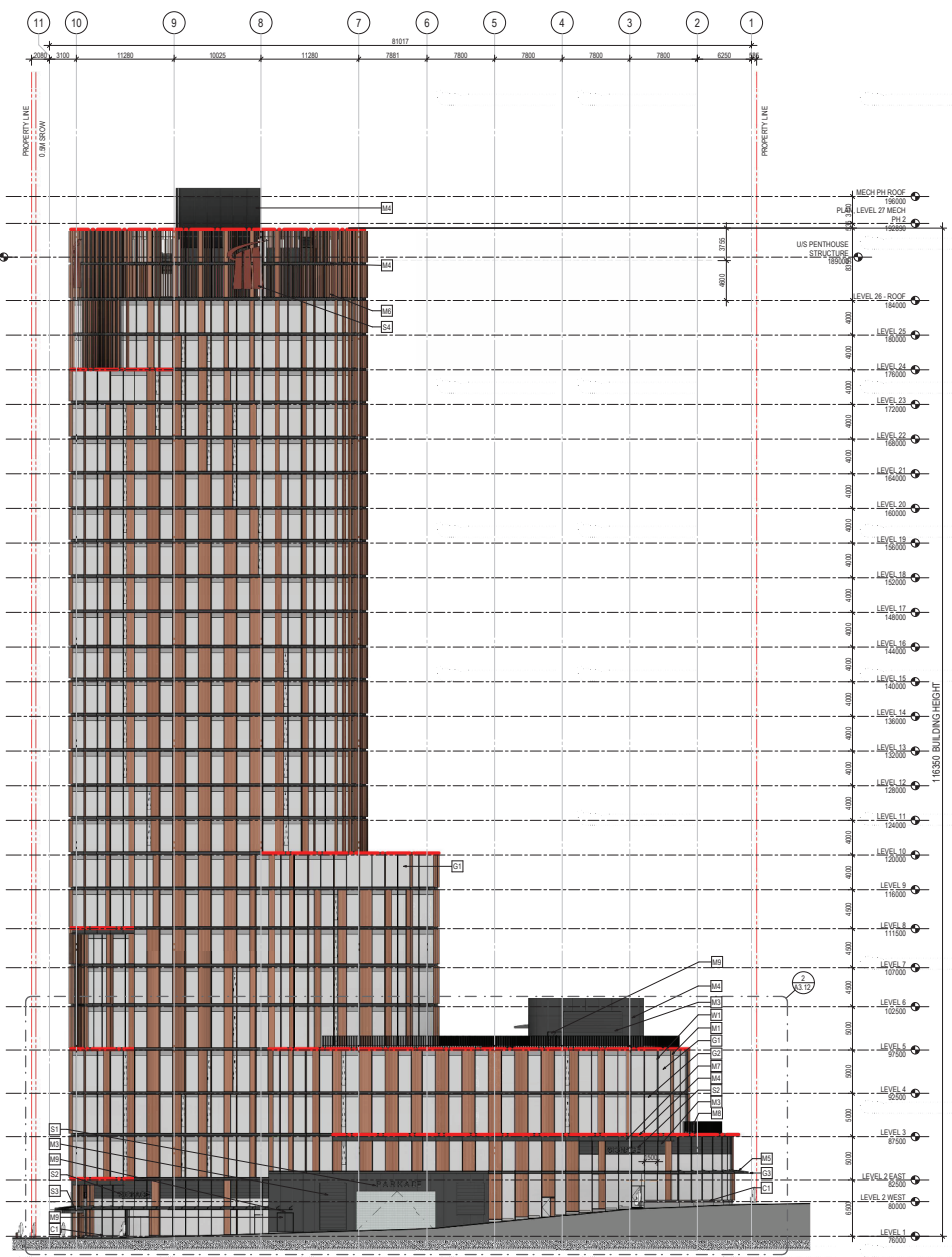
Drawing Title
**ELEVATION,
EXTERIOR - W & N**

Date: 22 AUGUST 2019
Job No: 23666.02
Drawn By: DS
Checked By: AC

Drawing No:
A3.02.
C.D.



1 ELEVATION WEST -dp clone
A3.02 1:200



2 ELEVATION NORTH -dp clone
A3.02 1:200

- MATERIALS**
- W1 BLACK ANODIZED ALUMINUM UNITIZED CURTAIN WALL WITH SILICONE JOINTS
 - G1 LOW E GLASS (CLEAR)
 - G2 SPANDREL - LOW E GLASS: SHADOW BOX (CLEAR)
 - G3 GLASS CANOPY (FROSTED)
 - M1 METAL FIN - ALUMINUM (COLOR RUST)
 - M2 CORRUGATED PANEL - ALUMINUM (COLOR RUST)
 - M3 METAL LOUVER - ALUMINUM (BLACK)
 - M4 METAL CLADDING (BLACK)
 - M5 METAL CANOPY SUPPORT (BLACK)
 - M6 METAL SCREEN - ALUMINUM (COLOR RUST)
 - M7 SOFFIT - ALUMINUM (MATTI BLACK)
 - M8 BLACK METAL PICKET RAILING - FRAME (COLOUR TO MATCH W1)
 - M9 PAINTED BLACK METAL - DOORFRAME (COLOUR TO MATCH W1)
 - C1 EXPOSED CONCRETE
- SIGNAGE & LIGHTING**
- NOTE: TOTAL PREMISES FRONTAGE = 362.7m
TOTAL PROPOSED SIGNAGE AREA = 78.6m²
FOR SIGNAGE LOCATIONS REFER TO A3.01 A3.04
- S1 BASE BUILDING SIGNAGE (AT GRADE)
SELF-ILLUMINATED: LEED NIGHT SKY COMPLIANT
QUANTITY: 6
 - S2 RETAIL SIGNAGE (WALL MOUNTED)
SELF-ILLUMINATED: LEED NIGHT SKY COMPLIANT
QUANTITY: 11
 - S3 RETAIL SIGNAGE (CANOPY SUSPENDED)
300mm(H) X 1500mm(W)
NOT ILLUMINATED
QUANTITY: 11
 - S4 BASE BUILDING SIGNAGE (TOWER TOP)
500mm(H) X 2000mm(W) CENTRA. OTR (LOGO)
SELF-ILLUMINATED: LEED NIGHT SKY COMPLIANT
QUANTITY: 3
 - F2 ARCHITECTURAL FEATURE LIGHTING: HORIZONTAL STRIPS
SELF-ILLUMINATED: LEED NIGHT SKY COMPLIANT
INDICATES EXTENT: LEED NIGHT SKY COMPLIANT

Consultants

CLIENT/DEVELOPER
BLACKWOOD PARTNERS
1026 KING GEORGE BLVD
SURREY, BC V3T 2W1
+1 (604) 584-8271

OWNER'S AGENT
TURNBULL
SUITE 1610 - 1340 AVE
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CM
ELLISDON
150 - 13775 COMMERCE PARKWAY
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ARCHITECT
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1601 W. 15TH AVE
VANCOUVER, BC V6J 2K4
+1 (604) 584-8521

MECHANICAL ENGINEER
AME CONSULTING
SUITE 1100 - 800 W. HASTINGS ST
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+1 (604) 684-5995

ELECTRICAL ENGINEER
AES ENGINEERING
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VANCOUVER, BC V6Z 1M7
+1 (604) 569-6500

LANDSCAPE ARCHITECT
PRS STUDIO
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RICHMOND, BC V6V 2V4
+1 (604) 247-1072

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+1 (604) 683-8521

Revisions
1 Issued for DP 14 MAY 2019

blackwood
PARTNERS
CENTRAL CITY
TOWER 2

Property Legal Description:
Lot 130, Sections 27 and 28, Block
5 North, Range 2 West, New
Westminster District, Plan 36826
10464 King George Boulevard
Surrey, BC
V3T 2W1

ENLARGED
ELEVATIONS,
SECTIONS, AND
SIGNAGE DETAILS

Date: 10 JULY 2019
Job No: 2366.02
Drawn By: Author
Checked By: Checker

Drawing No:

A3.50.

D.D.



MATERIALS

- W1 BLACK ANODIZED ALUMINUM UNFINISHED CURTAIN WALL WITH SILICONE JOINTS
- G1 LOW E GLASS (CLEAR)
- G2 SPANDELS - LOW E GLASS - SHADOW BOX (CLEAR)
- G3 GLASS CANOPY (FROSTED)
- M1 METAL FIN - ALUMINUM (COLOR RUST)
- M2 CORRUGATED PANEL - ALUMINUM (COLOR RUST)
- M3 METAL LOUVRES - ALUMINUM (BLACK)
- M4 METAL CLADDING (BLACK)
- M5 METAL CANOPY SUPPORT (BLACK)
- M6 METAL SCREEN - ALUMINUM (COLOR RUST)
- M7 SOFFIT - ALUMINUM (MATTE BLACK)
- M8 BLACK METAL PICKET RAILING - FRAME COLOUR TO MATCH W1)
- M9 PAINTED BLACK METAL DOOR FRAME (COLOUR TO MATCH W1)
- C1 EXPOSED CONCRETE

SIGNAGE & LIGHTING

NOTE: TOTAL PREMISES FRONTAGE = 282.7m
TOTAL PROPOSED SIGNAGE AREA = 79.8m²
FOR SIGNAGE LOCATIONS REFER TO A3.51-A3.54

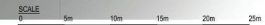
- S1 BASE BUILDING SIGNAGE (AT GRADE) SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 6
- S2 RETAIL SIGNAGE (WALL-MOUNTED) SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 11
- S3 RETAIL SIGNAGE (CANOPY-SUSPENDED) 300mm(H) X 1500mm(W) NOT ILLUMINATED QUANTITY - 11
- S4 BASE BUILDING SIGNAGE (TOWER TOP) 500mm(H) X 500mm(W) CENTRAL CITY LOGO SELF-ILLUMINATED, LEED NIGHT SKY COMPLIANT QUANTITY - 3
- F2 ARCHITECTURAL FEATURE LIGHTING: HORIZONTAL STRIPS INDICATES EXTENT. LEED NIGHT SKY COMPLIANT

7/10/2019 4:42:42 PM



GROUND FLOOR LANDSCAPE MATERIALS PLAN

SCALE: 1:200



ZGF

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PORTLAND
SEATTLE
VANCOUVER
WASHINGTON DC

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| Issued For | |
|-------------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |
| BP 50% | 15 Aug 2019 |
| DP Revisions - Sections | 06 Sept 2019 |
| DP Revisions - Sections | 10 Sept 2019 |

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

blackwood
PARTNERS

CENTRAL CITY TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

**LANDSCAPE MATERIALS PLAN
GROUND FLOOR L1/2**

| | |
|-------------|------------|
| Date: | 15/09/2018 |
| Job No: | 198085 |
| Drawn By: | MMD/EM/ML |
| Checked By: | JSE |

Drawing No.

L2.01

B.P.



- RAISED & MOUNDED PLANTING AREA
- WOOD DECKING W/ MOVABLE SEATING
- CONCRETE RETAINING WALL
- SLOPED PLANTING AREA
- HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB
- RIVER ROCK EDGING
- RAISED CONCRETE PLANTER
- HYDRAPRESSED SLABS ON PEDESTALS
- RAISED METAL PLANTER IN COURTYARD
- MOVABLE TABLES AND CHAIRS BY TENANT
- SLOPED PLANTING AREA
- RAISED METAL PLANTER IN COURTYARD
- MOUNDED PLANTING AREA
- HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB
- RIVER ROCK EDGING
- HYDRAPRESSED SLABS ON PEDESTALS, W/ CONC. CURB
- MOVABLE AND FIXED FURNISHINGS
- CONCRETE PLANTER WALL, W/ RECESSED LIGHTING
- MOUNDED PLANTING AREA

10/25/2018 4:51:20 PM

LEVEL 3 RENDERED PLAN

SCALE: 1:200

ZGF

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WASHINGTON DC

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| | |
|--------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP application | 19 Nov 2018 |
| ADP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision review | 18 June 2019 |

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

blackwood
PARTNERS

**CENTRAL CITY
TOWER 2**

10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

**LANDSCAPE
MATERIALS PLAN
LEVEL 3**

Date: 16 NOV 2018

Job No: 18025

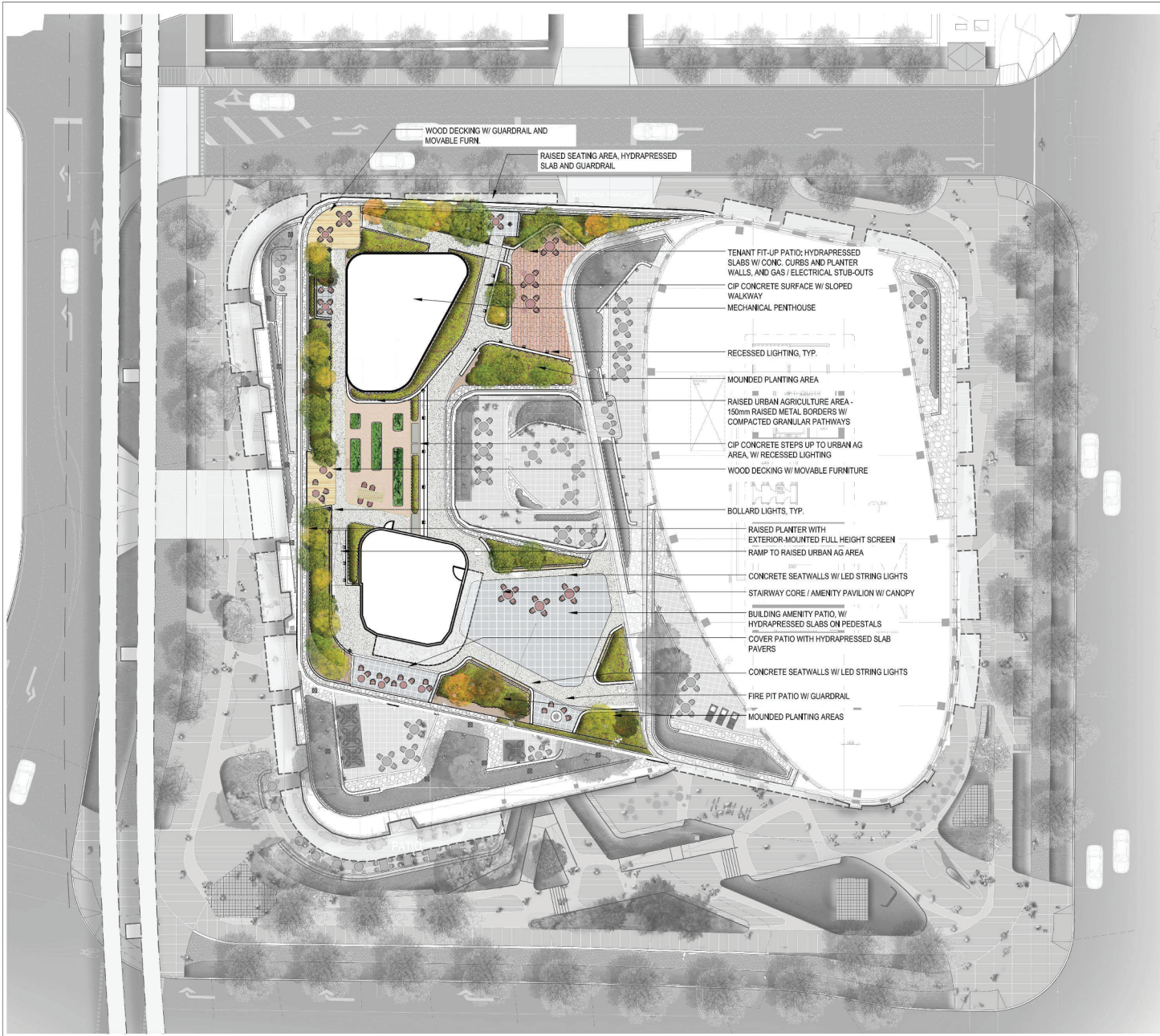
Drawn By: MD

Checked By: JS

Drawing No.

L2.12

D.P.



WOOD DECKING W/ GUARDRAIL AND MOVABLE FURN.

RAISED SEATING AREA, HYDRAPRESSED SLAB AND GUARDRAIL

TENANT FIT-UP PATIO: HYDRAPRESSED SLABS W/ CONC. CURBS AND PLANTER WALLS, AND GAS / ELECTRICAL STUB-OUTS

CIP CONCRETE SURFACE W/ SLOPED WALKWAY

MECHANICAL PENTHOUSE

RECESSED LIGHTING, TYP.

MOUNDED PLANTING AREA

RAISED URBAN AGRICULTURE AREA - 150mm RAISED METAL BORDERS W/ COMPACTED GRANULAR PATHWAYS

CIP CONCRETE STEPS UP TO URBAN AG AREA, W/ RECESSED LIGHTING

WOOD DECKING W/ MOVABLE FURNITURE

BOLLARD LIGHTS, TYP.

RAISED PLANTER WITH EXTERIOR-MOUNTED FULL HEIGHT SCREEN RAMP TO RAISED URBAN AG AREA

CONCRETE SEATWALLS W/ LED STRING LIGHTS

STAIRWAY CORE / AMENITY PAVILION W/ CANOPY

BUILDING AMENITY PATIO, W/ HYDRAPRESSED SLABS ON PEDESTALS

COVER PATIO WITH HYDRAPRESSED SLAB PAVERS

CONCRETE SEATWALLS W/ LED STRING LIGHTS

FIRE PIT PATIO W/ GUARDRAIL

MOUNDED PLANTING AREAS

LEVEL 5 RENDERED PLAN
SCALE: 1:200

10/25/2018 4:51:20 PM

ZGF

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Issued For
DP pre-application 09 Oct 2018
DP application 19 Nov 2018
ADP Submission 14 Feb 2019

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

blackwood
PARTNERS

CENTRAL CITY TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
LANDSCAPE MATERIALS PLAN LEVEL 5

Date: 16 NOV 2018
Job No: 18025
Drawn By: MD /MIta
Checked By: JS

Drawing No.

L2.13

D.P.



- MOUNDED PLANTING AREA
- TREE UPLIGHTS, TYP.
- CONCRETE PLANTER WALL W/ RECESSED LIGHTS
- HYDRAPRESSED SLAB PAVERS ON PEDESTALS, W/ CONC. BAND AND MOVABLE FURNITURE
- RIVER ROCK EDGING
- WOOD DECKING W/ GUARDRAIL AND MOVABLE FURNITURE
- RAISED CONC. PLANTER W/ FULL-HEIGHT SCREEN

10/23/2018 4:51:20 PM

LEVEL 9 RENDERED PLAN
SCALE: 1:200

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| DP pre-application | 09 Oct 2018 |
| DP application | 19 Nov 2018 |
| ADP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision review | 18 June 2019 |

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

blackwood
PARTNERS

CENTRAL CITY TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

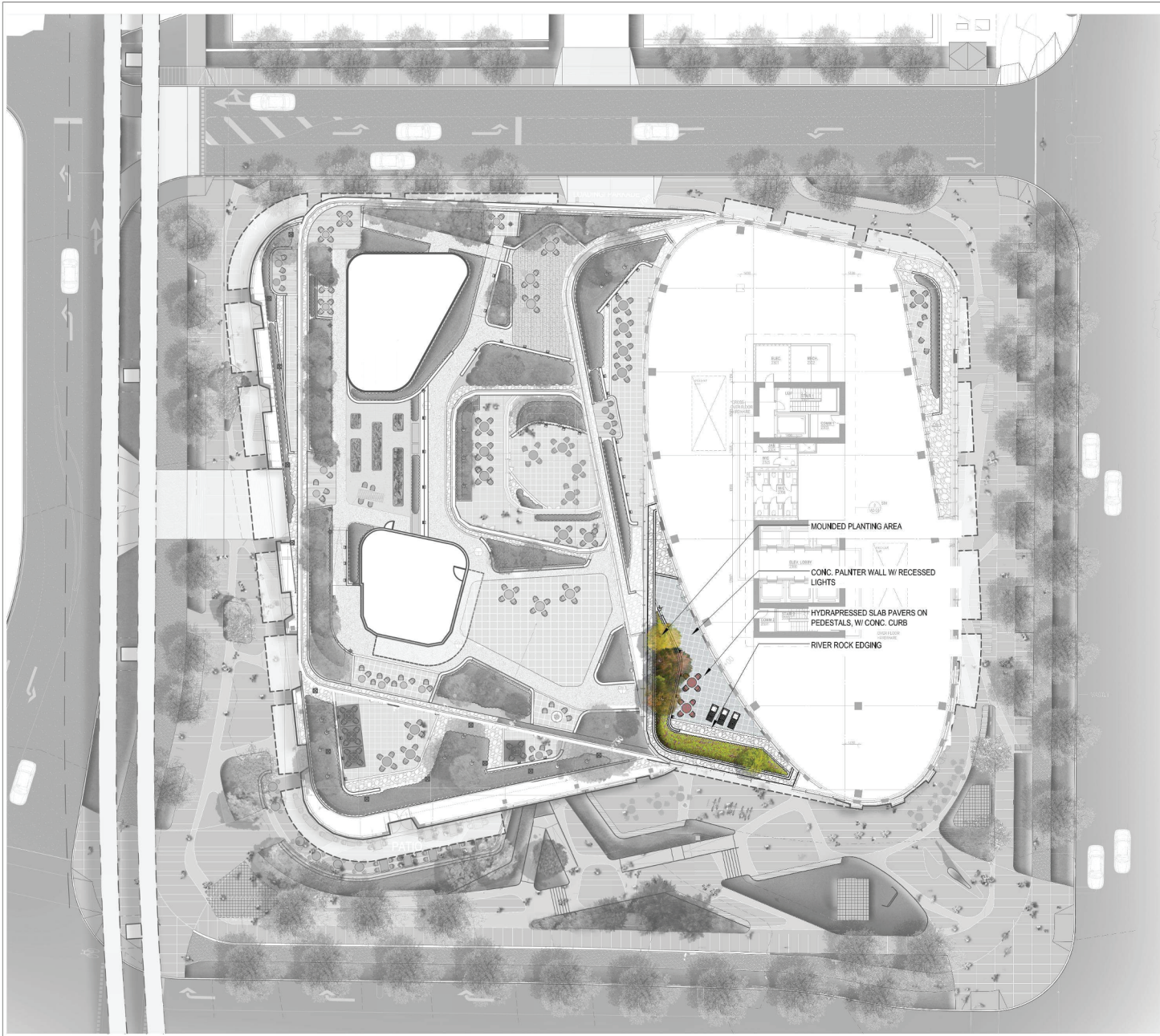
Drawing Title
LANDSCAPE MATERIALS PLAN LEVEL 9

| | |
|-------------|-------------|
| Date: | 16 NOV 2018 |
| Job No: | 18025 |
| Drawn By: | MD / MIta |
| Checked By: | JS |

Drawing No.

L2.14

D.P.



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**CENTRAL CITY
TOWER 2**

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Surrey, BC
V3T 2W1

Drawing Title

**LANDSCAPE
MATERIALS PLAN
LEVEL 22**

Date: 16 NOV 2018

Job No: 18025

Drawn By: MD

Checked By: JS

Drawing No.

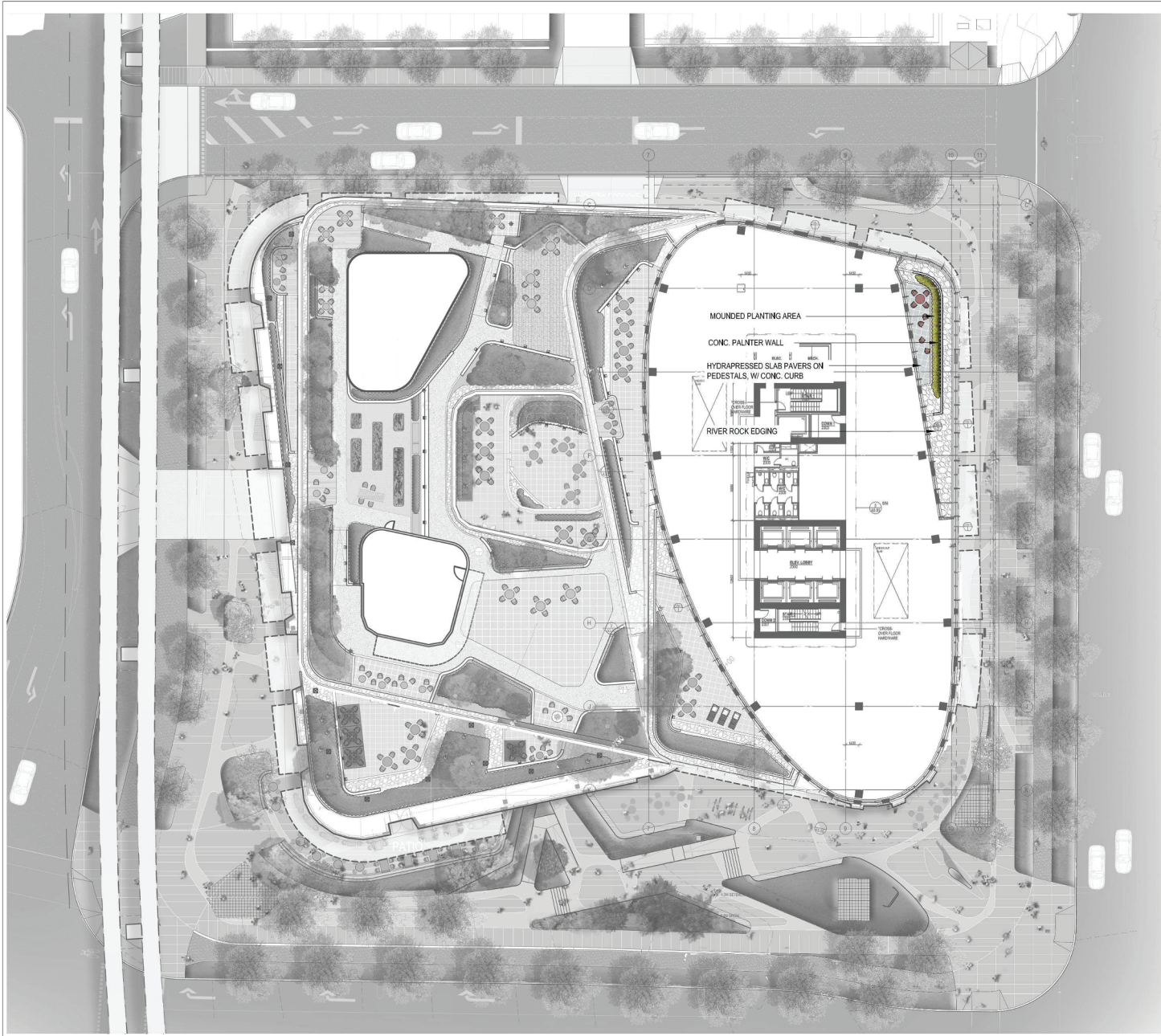
L2.15

D.P.

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LEVEL 22 MATERIALS PLAN
SCALE: 1:200





LEVEL 23 RENDERED PLAN
SCALE: 1:200

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**CENTRAL CITY
TOWER 2**

10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
**LANDSCAPE
MATERIALS PLAN
LEVEL 22**

Date: 16 NOV 2018
 Job No: 18025
 Drawn By: MD
 Checked By: JS

Drawing No.

L2.15

D.P.



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ABBREVIATIONS

| | |
|----|------------------------|
| CI | CAST-IN-PLACE CONCRETE |
| CF | CONTROL FURF |
| TF | TOP OF FENCE |
| TS | TOP OF STAR |
| BS | BOTTOM OF STAR |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| TC | TOP OF CURB |
| BC | BOTTOM OF CURB |
| AD | AREA DRAIN |
| FG | FRESH GRADE |

| | |
|--|----------------|
| | DETAIL NUMBER |
| | SECTION NUMBER |
| | PLANT QUANTITY |
| | PLANT SPECIES |

- GENERAL NOTES**
1. ALL DIMENSIONS ARE NOMINAL, DO NOT SCALE FROM DRAWINGS.
 2. CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCING WORK.
 3. PROVIDE ADEQUATE SUB-SURFACE DRAINAGE IN ALL LAWNS AND PLAY AREAS.
 4. FOR PLAY AREA DRAINAGE, REFER TO TYPE B SAFETY SURFACE INTEGRATED DRAINAGE SYSTEM, REFER TO SPECS, INSTALL PLAY ELEMENT FOOTING PRIOR TO DRAINAGE, INSTALL SAFETY SURFACE TYPE B DRAINAGE LINES AROUND FOOTINGS.
 5. REFER TO CIVIL DRAWINGS FOR ALL VEHICULAR PAVING, SANITARY, STORM, AND WATER DRAINAGE DETAILS (EXCEPT AS NOTED ON LANDSCAPE DRAWINGS), CURBEN DETAILS, AND OTHER EXISTING AND PROPOSED UTILITIES.
 6. REFER TO SPECIFICATIONS AND DETAILS FOR PAVING MATERIAL AND LAYOUT, REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 7. ENSURE POSITIVE DRAINAGE.
 8. ALL PLANT MATERIAL SHALL CONFORM TO RCMA AND BCSLA STANDARDS, NURSERIES SHALL BE S.O.D. CERTIFIED.
 9. LANDSCAPE AND PAVILION LIGHTING TO BE PROVIDED, REFER TO ELECTRICAL DRAWINGS AND SCHEDULES FOR LIGHTING.
 10. SEE STRUCTURAL DRAWINGS FOR ALL CAST-IN-PLACE CONCRETE. ALL EXPOSED CAST-IN-PLACE CONCRETE TO BE ARCHITECTURAL.



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|-------------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 11 July 2019 |
| DP 50% | 15 Aug 2019 |
| DP Revisions - Sections | 08 Sept 2019 |
| DP Revisions - Sections | 10 Sept 2019 |



CENTRAL CITY TOWER 2

10045 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title
LANDSCAPE GRADING PLAN GROUND FLOOR L1/2

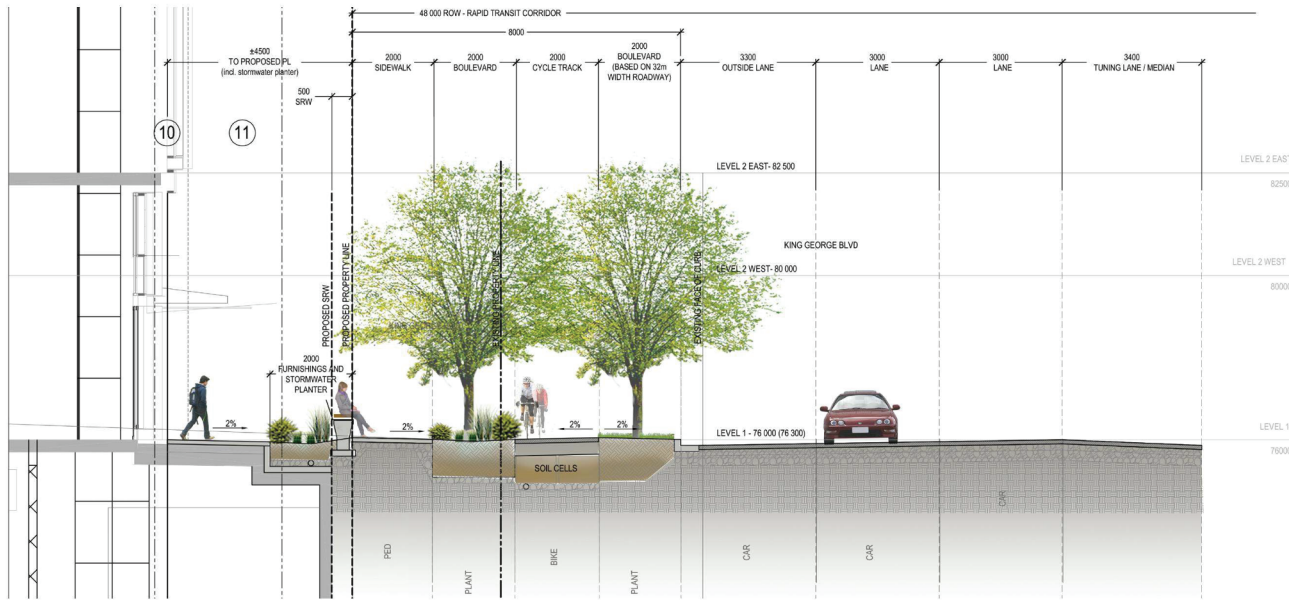
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| Date: | 18/NOV/2018 |
| Job No: | 18025 |
| Drawn By: | IMD/AM/ta |
| Checked By: | JBS |

Drawing No.

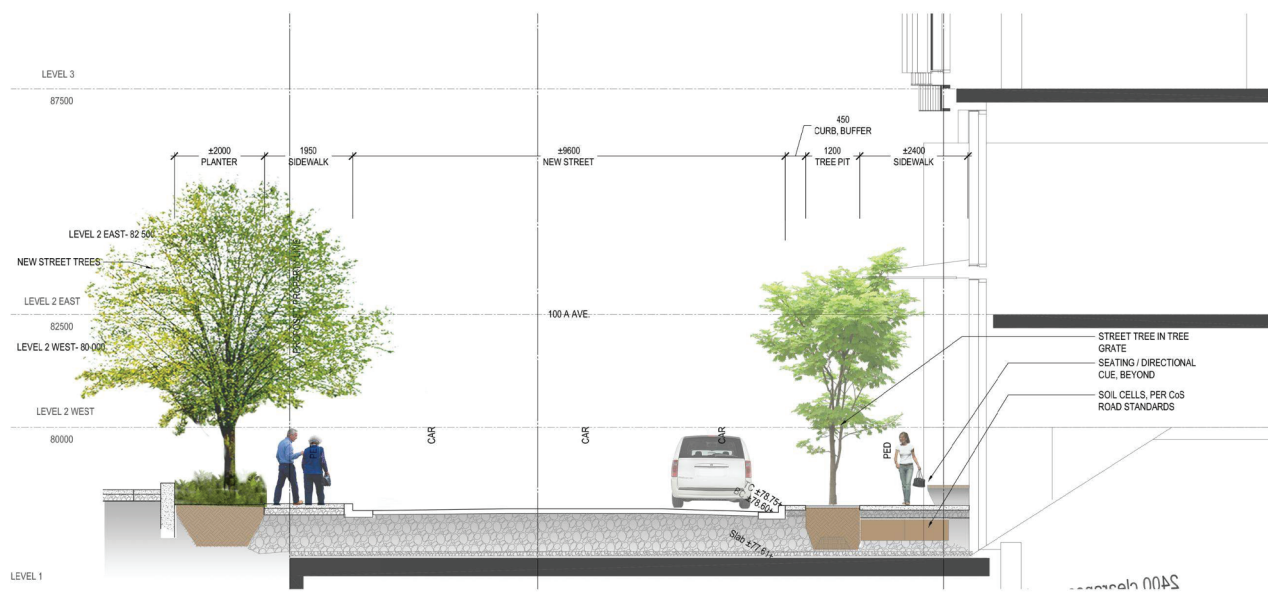
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B.P.





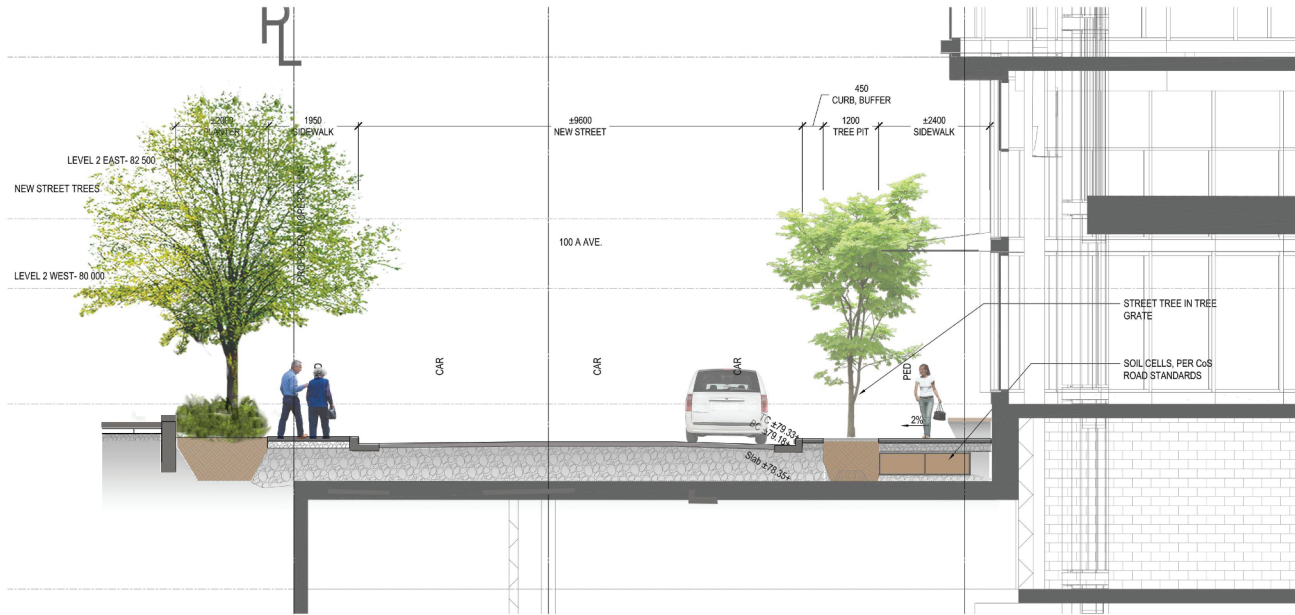
1 EAST SECTION - KING GEORGE BLVD
SCALE: 1:50



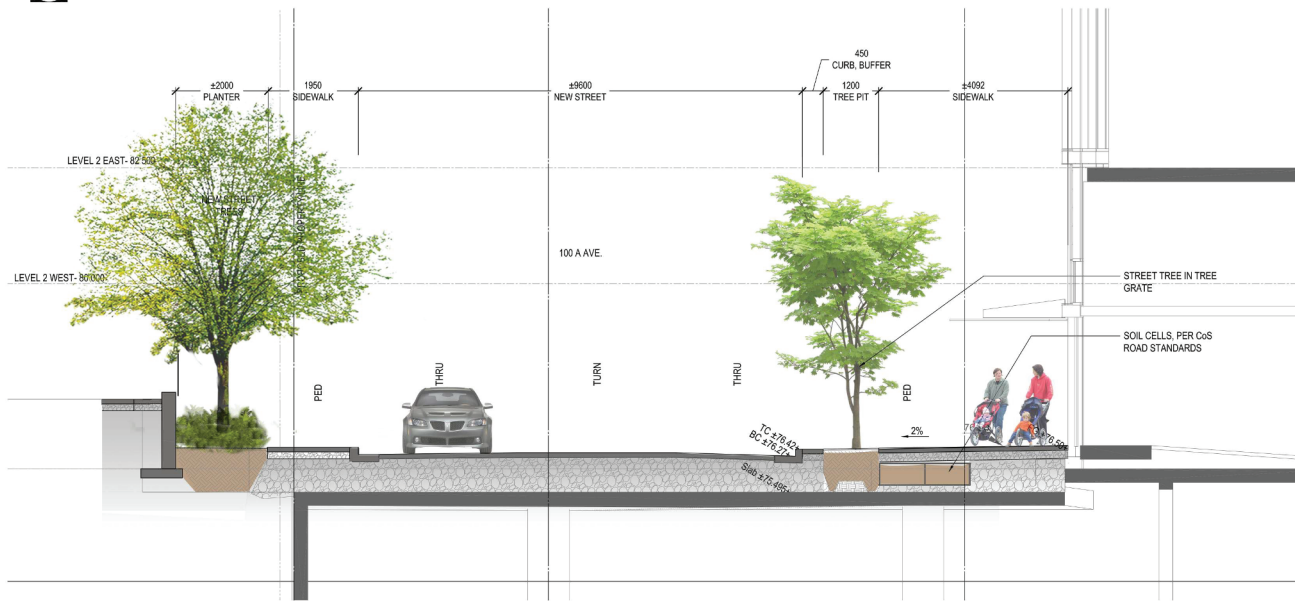
2 NORTH SECTION - 100A AVE. / INTERNAL STREET
SCALE: 1:50

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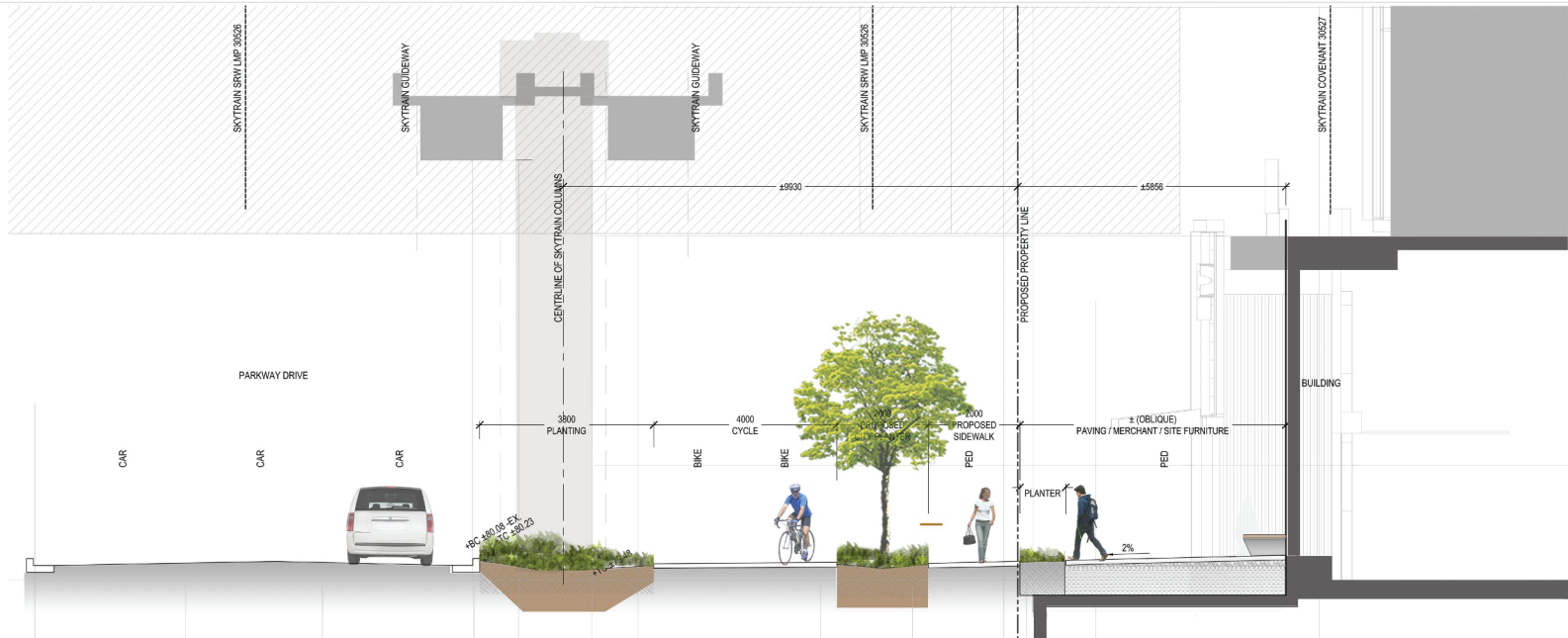




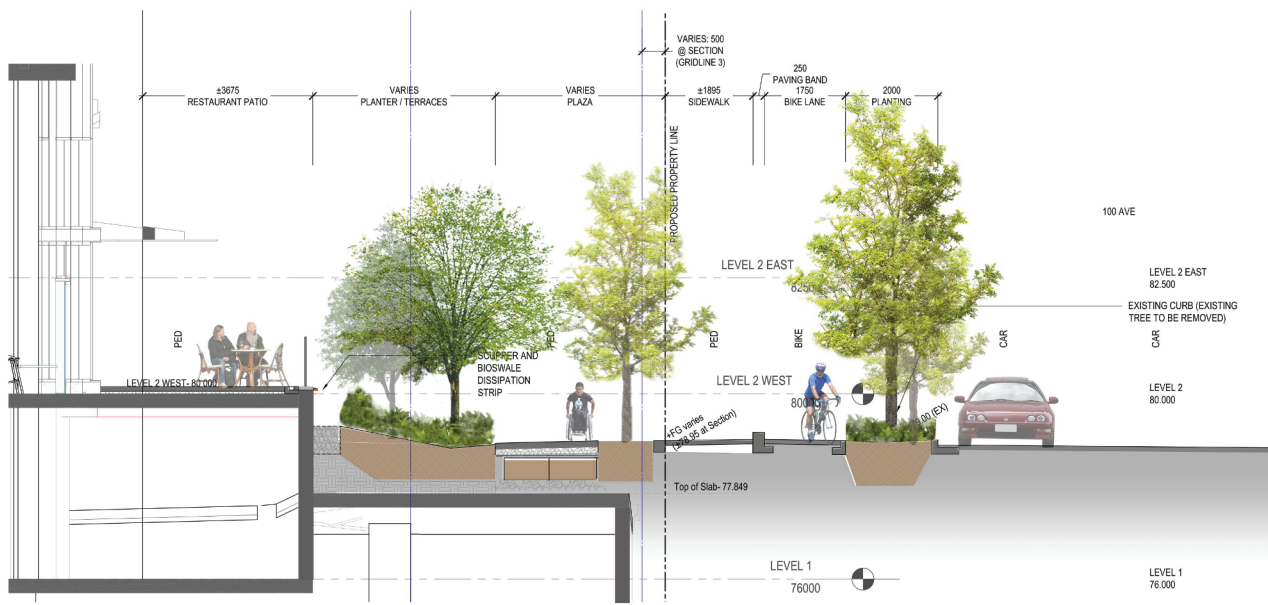
2a NORTH SECTION - 100A AVE. / INTERNAL STREET (Gridlines 2/3)
SCALE: 1:50



2b NORTH SECTION - 100A AVE. / INTERNAL STREET (Gridline 8)
SCALE: 1:50



3 CITY PARKWAY
SCALE: 1:50



4 100 AVE / OLD YALE ROAD
SCALE: 1:50

10/23/2018 4:51:20 PM

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|----------------------|--------------|
| DP pre-application | 09 Oct 2018 |
| DP Application | 19 Nov 2018 |
| AUDP Submission | 14 Feb 2019 |
| DP Revision | 08 May 2019 |
| DP Revision - Review | 18 June 2019 |
| DP Revision | 10 July 2019 |

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blackwood
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**CENTRAL CITY
TOWER 2**

10111 King George Boulevard
Surrey, BC
V3T 2W1

Drawing Title

SECTIONS

Date: 18 NOV 2018

Job No: 18025

Drawn By: MD

Checked By: JS

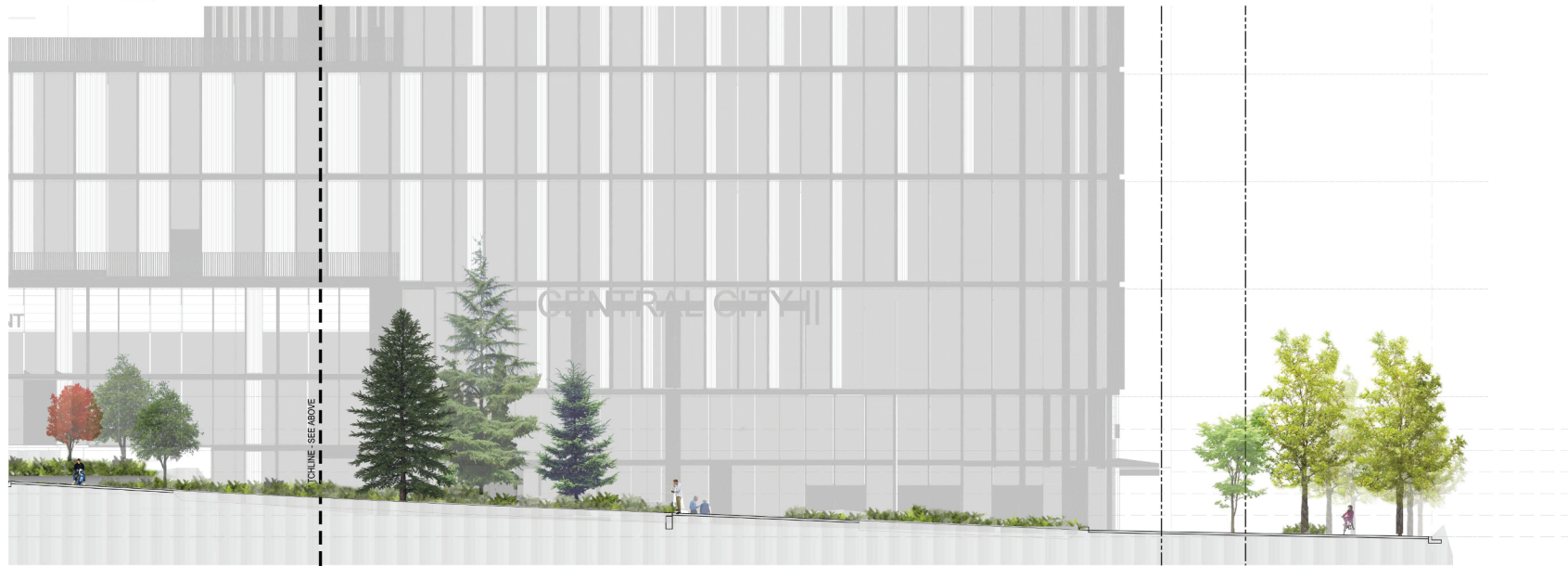
Drawing No:

L5.03

D.P.



5a 100 AVE / OLD YALE ROAD - LONG SECTION @ PROPERTY LINE - WEST
SCALE: 1/75



5b 100 AVE / OLD YALE ROAD - LONG SECTION @ PROPERTY LINE - EAST
SCALE: 1/75

10/23/2018 4:51:20 PM

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Mar 26, 2019** PROJECT FILE: **7818-0428-00**

RE: **Engineering Requirements (Commercial)
Location: 10045 King George Boulevard (KGB)**

CITY CENTRE PLAN AMENDMENT

There are no engineering requirements relative to the City Centre Plan Amendment beyond those noted below:

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 4.8m along KGB for the ultimate 48.0m unique arterial road standard.
- Dedicate 0.3m along Old Yale Road for the ultimate unique arterial road standard.
- Dedicate ultimate 23.2m unique dedication of City Parkway.
- Dedicate 5.0m x 5.0m corner cut at the intersection of KGB and Old Yale Road.
- Dedicate 5.0m x 5.0m corner cut at the intersection of City Parkway and Old Yale Road.
- Dedicate required corner cuts.
- Provide 0.5m wide statutory rights-of-way along all site frontages.

Works and Services

- Construct west side of King George Boulevard to City Centre arterial road standard.
- Construct north side of Old Yale Road to City Centre arterial road standard.
- Construct City Parkway to unique City Centre collector road standard including drainage..
- Construct traffic signal at the intersection of City Parkway and private east-west lane.
- Implement recommendations of Traffic Impact Study including modification of traffic signals, as required.
- Construct minimum 250mm sanitary main along City Parkway, if applicable.
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide water storm and sanitary service connections to support the development.
- Register applicable legal documents and easements as determined through detailed design.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.
Acting Development Services Manager
HB4

NOTE: Detailed Land Development Engineering Review available on file

4.0 Tree Preservation Summary

Table 6: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address **10153 Central City Shopping Centre, Surrey BC**

Registered Arborist Kristian Short PN -8029A

| On-Site Trees | Number of Trees |
|---|-----------------|
| Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 89 |
| Protected Trees to be Removed | 89 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio $89 \text{ X two (2) = 164}$ | 178 |
| Replacement Trees Proposed | 74 |
| Replacement Trees in Deficit | 104 |
| Protected Trees to be Retained in Proposed Open Space / Riparian Areas | 0 |

| Off-Site Trees (City of Surrey) | Number of Trees |
|--|-----------------|
| Protected Off-Site Trees to be Removed | 11 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio $11 \text{ X two (2) = 10}$ | 22 |
| Replacement Trees Proposed | 0 |
| Replacement Trees in Deficit | 0 |

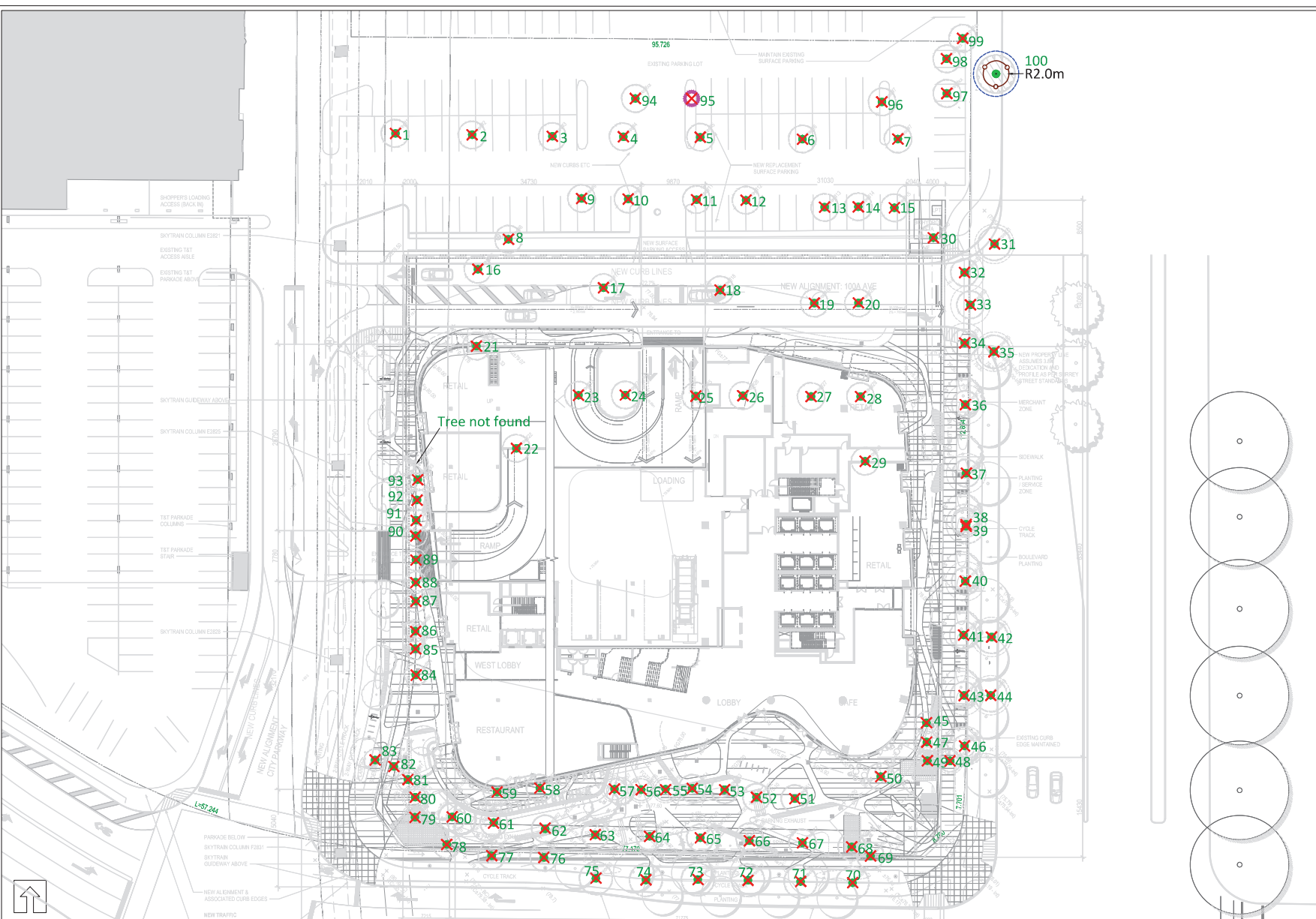
Summary, report and plan prepared and submitted by



Signature of Arborist

May 7, 2019

Date



LEGEND

| | |
|--|----------------------------------|
| | CRITICAL ROOT ZONE |
| | NO-BUILD ZONE |
| | TREE PROTECTION ZONE AND FENCING |
| | SURVEYED TREE TO BE RETAINED |
| | UN-SURVEYED TREE TO BE RETAINED |
| | TREE TO BE REMOVED |

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership should be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

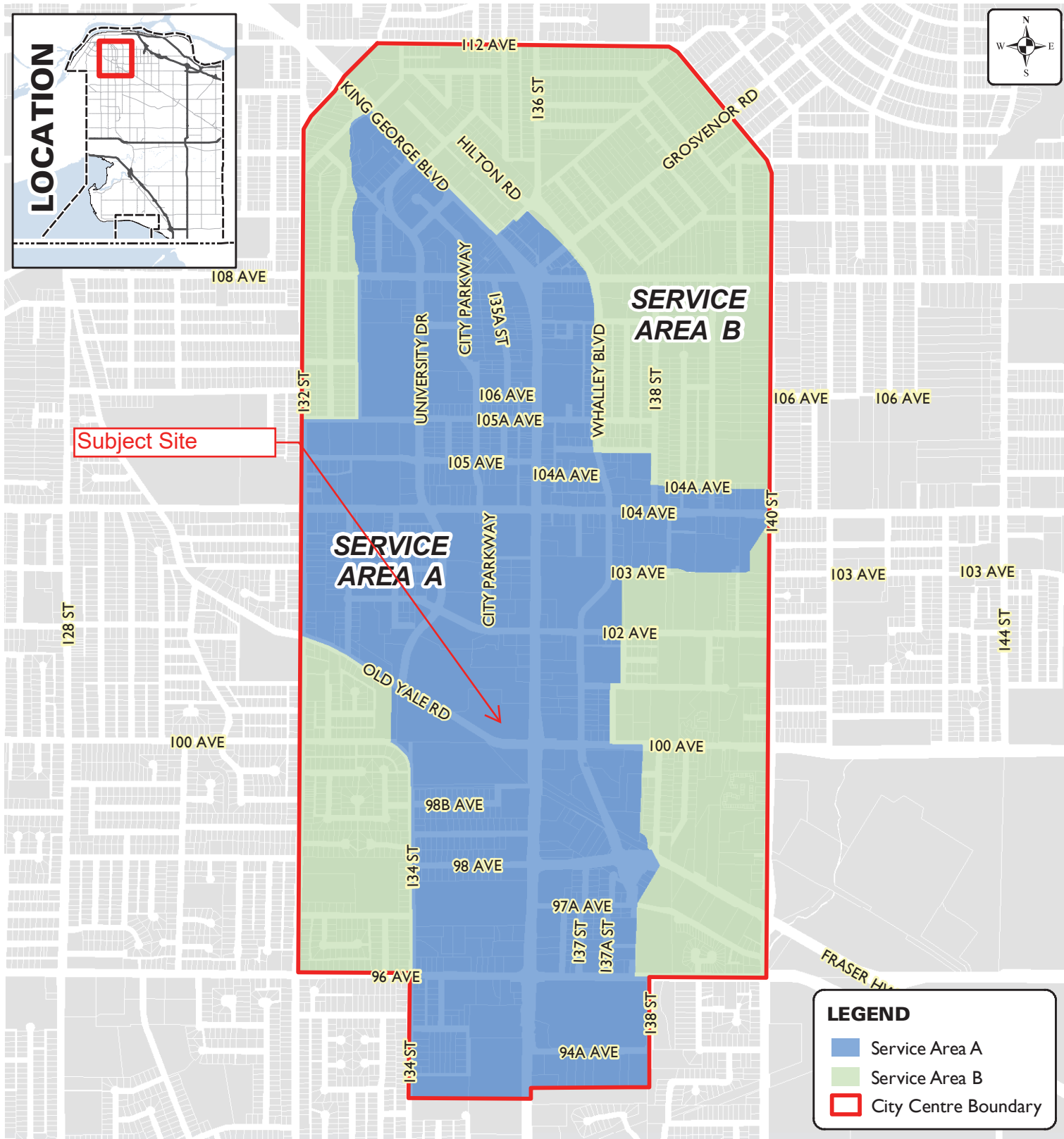
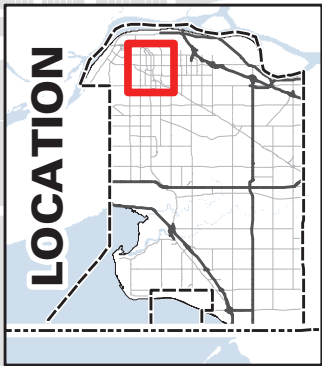


3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan
Project address: Surrey City Centre - Tower 2 Site
Client: PFS Studio

Drawing No: XXX
Date: 2019/05/08
Drawn by: KW/DB
Page Size: TABLOID 11"x17"

Page #
1 of 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, FEBRUARY 14, 2019
Time: 4:00 p.m.

Present:

Chair - A. Politano

Panel Members:

B. Howard

I. MacFadyen

K. Shea (left the meeting at 7:12 p.m.)

M. Patterson

R. Drew

S. Standfield

Guests:

Malcolm Elliot, Stantec Architecture

Bruce Hemstock, PWL Partnership

Landscape Architects

Gillian Brennan, Musson Cattell Mackey

Partnership Architects

Celso Stiffelmann, Musson Cattell

Mackey Partnership Architects

Grant Brumpton, PWL Partnership

Landscape Architects

Patrick Cotter, ZGF Architects

Dave Jerke, van der Zalm + Associates

Inc.

Staff Present:

A. McLean, City Architect

N. Chow, Urban Design Planner

S. Maleknia, Urban Design Planner

L. Blake, Administrative Assistant

A. RECEIPT OF MINUTES

It was

Moved by R. Drew

Seconded by A. Politano

That the minutes of the Advisory Design

Panel meeting of December 13, 2018 be received.

Carried

B. ORIENTATION

Staff provided an overview of the Advisory Design Panel.

C. NEW SUBMISSIONS

3. 5:45 p.m.

File No.: 18-0428

Address: 10025 King George Boulevard

New or Resubmit: New

Last Submission Date: N/A

Description: Rezoning and Development Permit, to permit the development of a 25-storey office tower as Phase 1 on the Central City Mall site. Four levels of underground parking are proposed.

The application will also seek a Master Plan endorsement for the Phase 2 and Phase 3 sites adjacent to the Phase 1 office tower site.

Developer: Bill Rempel, Blackwood Partners Management Group

Architect: Andrew Carruthers and Patrick Cotter, ZGF Architects

Landscape Architect: Jeffrey Staates and Mike Derksen, PFS Studio Landscape Architects
Planner: Christopher Atkins
Urban Design Planner: Ann McLean

I. MacFadyen and K. Shea declared a conflict of interest and left the meeting at 6:17 p.m.

The City Architect advised that the subject site is part of City Centre Mall and that redevelopment of the entire site is anticipated by the City Centre plan through a full masterplan review. The current application is moving forward before the finalization of the full masterplan to provide critically needed office space in City Centre. It was noted that additional height could be considered. Staff noted that the proposal generally complies with the City Centre Plan and are seeking comments regarding the form and height, and in particular the architectural expression of the east facade and pedestrian flow on the southeast side of the site.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by R. Drew
Seconded by B. Howard
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

The Panel strongly supported the proposal and noted that the architecture stands out and will differentiate office space in Surrey. The Panel suggested that the building could include additional height.

Site

- Provide any opportunities to improve the pedestrian experience along King George Boulevard.
 - There were concerns from the city about the scale of the hardscaped plaza on the Southeast corner of the site resulting in a negative pedestrian experience. In response, PFS has enhanced the soft-scaping along the south edge, further greening the site and connecting it to Holland Park across Old Yale Road. This provides additional areas for rainwater infiltration and swales, enhancing the site's sustainability features.
 - It was further understood that an additional degree of architectural articulation should be provided on King George Boulevard to enhance the retail expression and pedestrian experience. The drawing will reflect design work to bring a more legible retail 'rhythm' to the ground floor via façade cladding, articulation, and canopy design.

Form and Character

- Consider addressing the expression of the ground floor podium to differentiate the retail space and provide opportunities for signage.
 - See note above regarding tweaks to the architecture. Retail signage opportunities have also been better described.
- Consider similar entry inflexion for the secondary entrance particularly on the east side.
 - East edge office entry is the tertiary entry point (after the South and West entries), but the massing has been adjusted to create a recess for a more legible entry condition.
- Consider the use of glazing with a light, transparent appearance to relieve a “heavy” appearance.
 - All glazing proposed is clear un-tinted. The somewhat more ‘heavy’ appearance is a result of a more sustainable envelope with more solid walls to ensure less thermal loss and greater thermal comfort. This expression, particularly for office, was uncommon in the past but will become the norm with new codes and practices coming into effect reflecting a need for buildings to use less energy.
- Appreciate the use of knock-out panels in the floor to provide interconnection between different floors for tenants requiring larger spaces.

Landscape

- Support proposal to implement public art in the southeast corner.
 - The design team will be reaching out to a public art consultant to begin to generate a plan for public art with the city.
- Concerns regarding the bike path at the northeast and northwest corners and how it will integrate with pedestrians crossing the road. Recommend material changes for indication to cyclists to slow down.
 - Current Landscape design drawings reflect this change, with pedestrian surfaces interrupting biking surfaces to achieve cyclist traffic-calming at intersections.

Accessibility

- Consider replacing the revolving doors at the south entry with a more accessible entry type.
 - Accessible entries shown at all entry points and are in addition to revolving doors at the south entry, which are required by ASHRAE to reduce cold air entering the lobby.
- Ensure the use of high contrast materials at entrances provide clarity to the location of the entrance for low vision individuals.
 - All entries are now clarified through signage and recesses in the massing.
- Consider implementing a ramp or alternative access to the steps in the south plaza.
 - Steps have been realigned to better reflect the diagonal ‘desire line’ crossing the corner of the site. Accessible ramp has been added alongside the south plaza steps, while maintaining a seating edge further west, facing the park.

- Consider accessible furnishings and back and arm rests for benches.
 - At-grade benches as designed have back rests; arm rests will be integrated where possible.
- Consider gender-neutral accessible washrooms in the commercial and amenity space.
 - Gender-neutral washrooms and change rooms have been integrated on the ground floor.
- Locate accessible parking stalls near elevator lobbies and away from traffic paths.
 - Accessible stalls are now located adjacent to elevator lobbies.

D. OTHER BUSINESS

E. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, February 28, 2019 at Surrey City Hall in 2E Community Room B.

F. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:56 p.m.

Jennifer Ficocelli, City Clerk

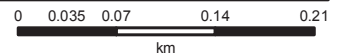
Adrian Politano, Chair

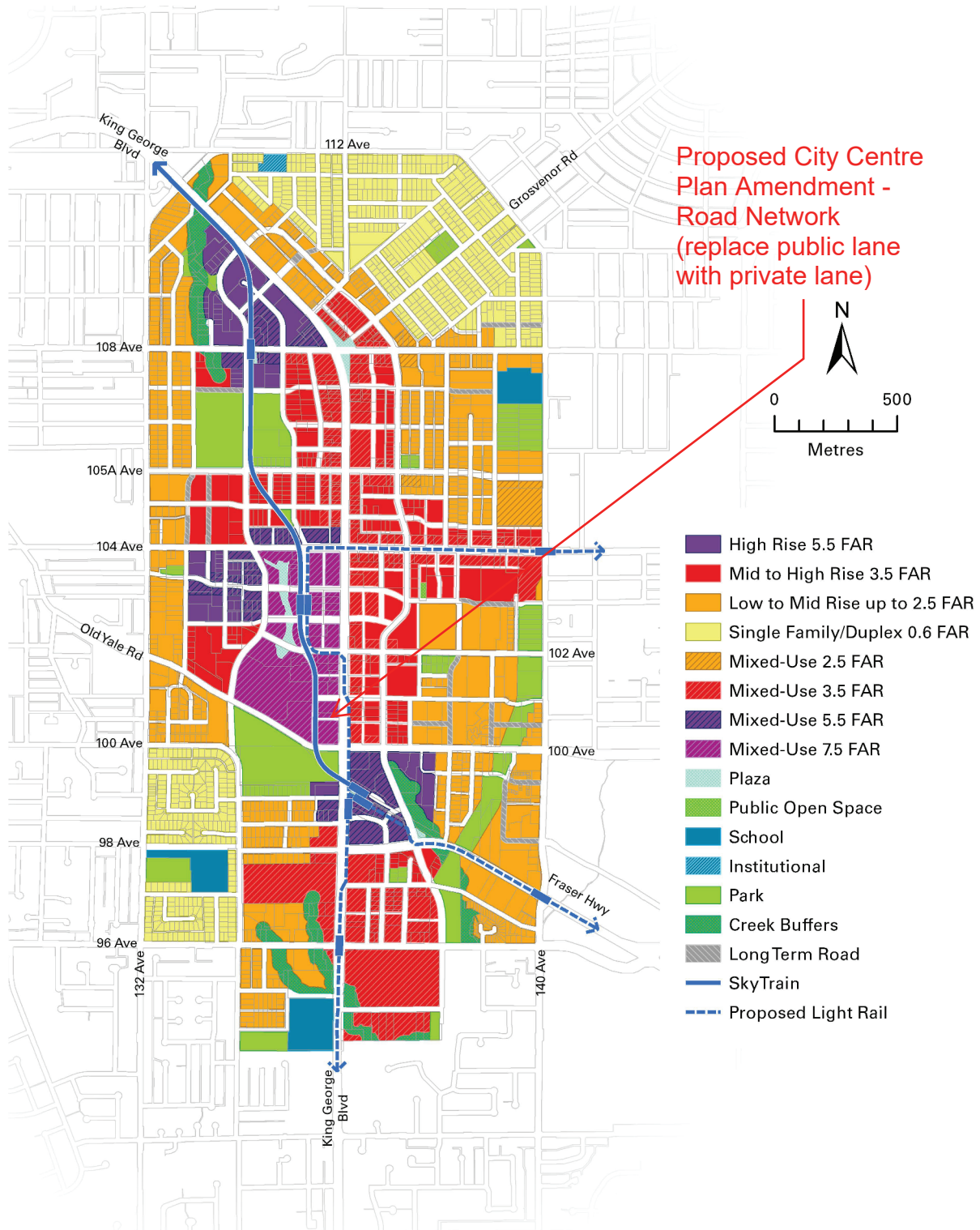


Enter Map Description

Scale: 1:5,364

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca





CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMMUNITY COMMERCIAL ZONE (C-8)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 008-541-159
 Lot 130 Except: Firstly: Part Subdivided by Plan 60069
 Secondly: Part Subdivided by Plan 78781
 Thirdly: Part Subdivided by Plan LMP1398
 Fourthly; Part Dedicated Road on Plan BCP13931
 Sections 27 and 34 Block 5 North Range 2 West New Westminster District Plan 38826

Portion of 10045 – King George Boulevard

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Paul Bartlett, B.C.L.S. on the 15th day of July 2019, containing 10,283.4 square metres, called Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a high-rise, high *density*, office *building* with lower-level *commercial* uses which are developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Office uses excluding *social escort services* and *methadone clinics*.
2. *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*.
3. *Personal service uses* excluding *body rub parlours*.
4. *General service uses* excluding funeral parlours and *drive-through banks*.
5. *Eating establishments* excluding *drive-through restaurants*.
6. *Indoor recreational facilities*;
7. *Entertainment uses* excluding *arcades*;
8. *Neighbourhood pub*.
9. *Cultural uses*
10. *Assembly Halls*.
11. *Community services*.
12. *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *floor area ratio* shall not exceed 7.0.

E. Lot Coverage

1. The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

| Use | Setback | South Yard | North Yard | West Yard | East Yard |
|---|----------------|---------------|---------------|--------------|--------------|
| <i>Principal Buildings</i> | | 4.0 m | 12.0 m | 2.0 m | 4.0 m |
| <i>Accessory Buildings and Structures</i> | | [13 ft.] | [39 ft.] | [6.5 ft.] | [13 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs, *balconies* and canopies and shading louvres may encroach into the required *setbacks*.
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of any *lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 120 metres [394 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All commercial *parking spaces* shall be provided as *underground parking*.
3. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|----------------------------|------------------------|------------------------|
| 7,800 sq. m. [1.9 acre] | 75 metres [246 ft.] | 75 metres [246 ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-35 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-35 Zone in City Centre.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

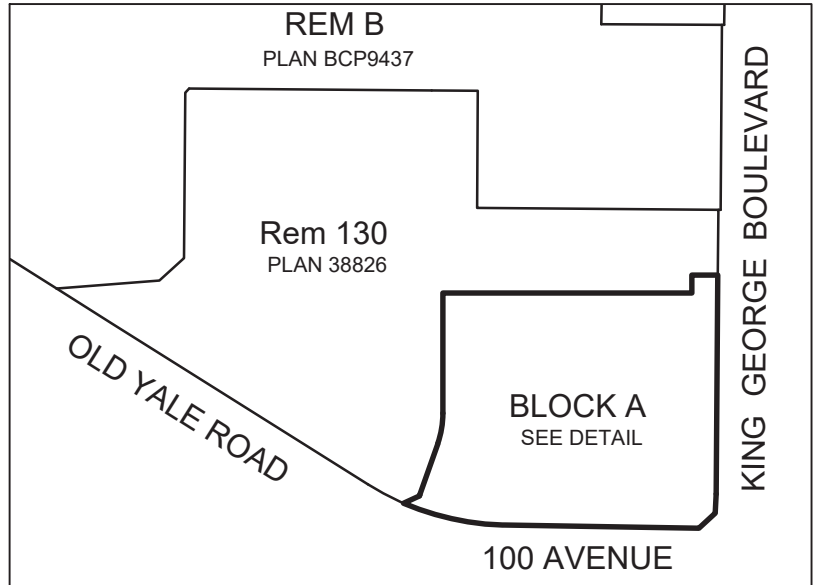
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

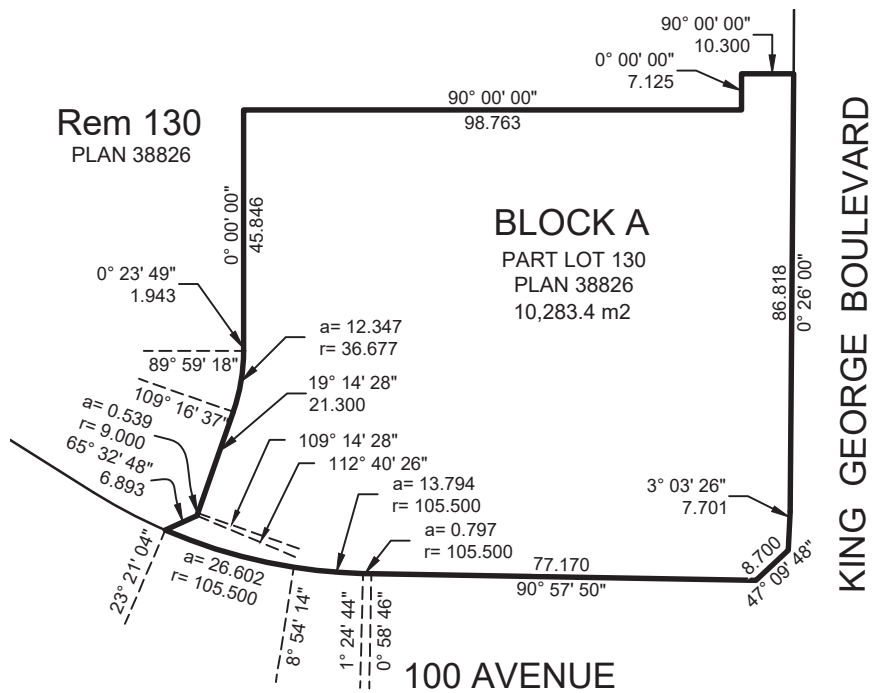
_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW
 AND REZONING BYLAW NO. _____ OF PART OF LOT 130 EXCEPT:
 FIRSTLY: PART SUBDIVIDED BY PLAN 60096
 SECONDLY: PART SUBDIVIDED BY PLAN 78781
 THIRDLY: PART SUBDIVIDED BY PLAN LMP1398
 FOURTHLY: PART DEDICATED ROAD ON PLAN BCP13931
 SECTIONS 27 AND 34 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT
 PLAN 38826

BCGS 92G.016



KEY PLAN
 NOT TO SCALE



DETAIL



SCALE OF ENLARGEMENT IS
 1:1500 AT THE INTENDED PLOT
 SIZE OF PLAN (8.5 x 11 INCHES)

CERTIFIED CORRECT ACCORDING TO FIELD
 SURVEY

THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

PAUL BARTLETT

B.C.L.S.



McELHANNEY ASSOCIATES
 LAND SURVEYING LTD.

Suite 2300
 13450 - 102 Avenue
 Surrey BC
 Canada V3T 5X3
 Tel 604 596 0391

OUR FILE NO. 2112-08953-00
 OUR DRAWING NO. V-03.DWG