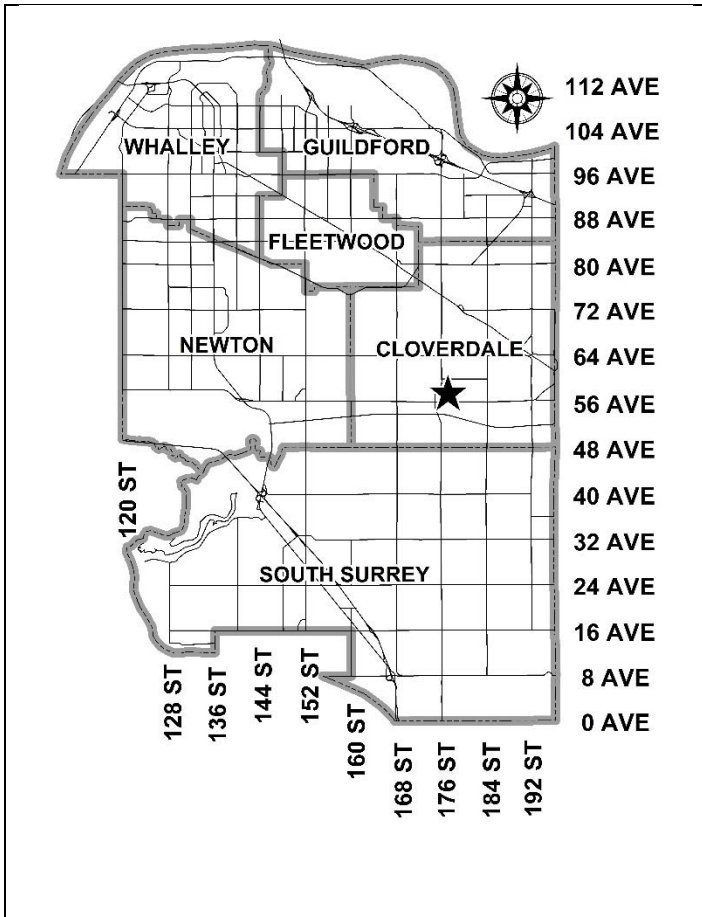


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0063-00

Planning Report Date: December 7, 2020



PROPOSAL:

- Rezoning from RF to CD (based on RM-70).
- Housing Agreement
- Development Permit

to permit the development of three 5-storey apartment buildings with a shared one-storey podium, consisting of 197 dwelling units (145 market strata and 52 secured market rental) in Cloverdale Town Centre.

LOCATION:

17715, 17725 and 17735 – 57A Avenue
 5765, 5771, 5779 and 5789 - 177B Street
 17722 and 17734 – 58 Avenue
 Portion of unopened lane

ZONING:

RF

OCP

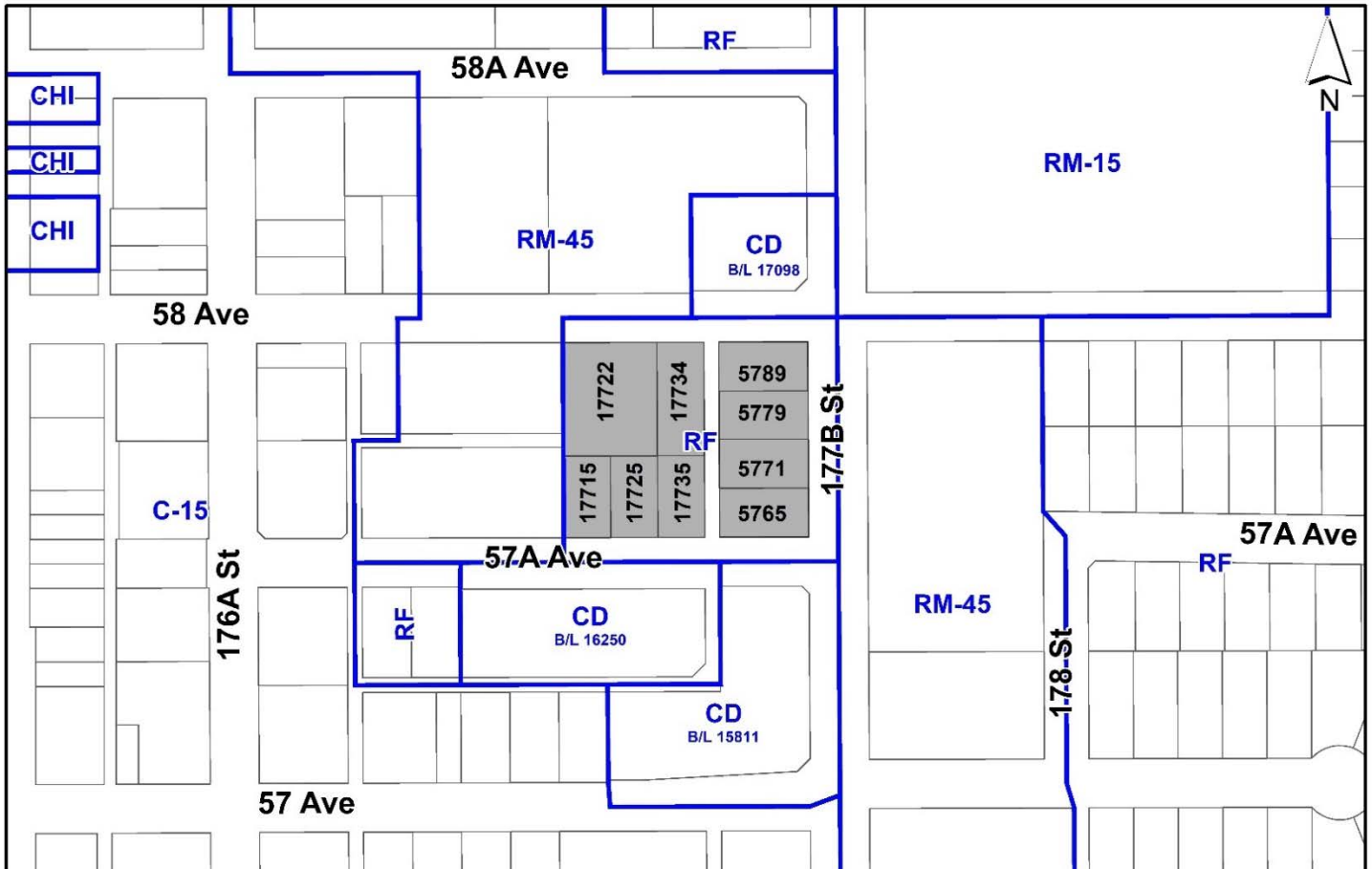
Multiple Residential

DESIGNATION:

TCP

Low-Rise Residential

DESIGNATION:



RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for Rezoning.
- Bylaw Introduction, First, Second and Third Hearing for a Housing Agreement.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the "Low-Rise Residential" designation in the Cloverdale Town Centre Plan (TCP).
- The proposed density and building form are appropriate for this part of Cloverdale Town Centre. The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Cloverdale Town Centre Plan (TCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The applicant proposes to enter into a Housing Agreement to allocate 52 dwelling units located in one of the 5-storey apartment buildings on the subject site as market rental. The proposed Housing Agreement will restrict the dwelling units to rental for a period of no less than 20 years. The Housing Agreement Bylaw will be brought forward for Final Adoption concurrently with the Rezoning Bylaw, when all requirements associated with the rezoning are addressed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site, as well as the north/south unopened lane allowance, approximately 490 square metres in area, shown as Block A on the Survey Plan attached as Appendix I, from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. A Bylaw be introduced to enter into a Housing Agreement and be given First, Second and Third Readings, to secure 52 rental apartment units for a period of 20 years.
3. Council authorize staff to draft Development Permit No. 7919-0063-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure (MOTI);
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant enter into a Housing Agreement with the City to restrict a total of 52 dwelling units on the subject site to rental housing for a period of twenty (20) years;
 - (h) completion of the road closure and acquisition of approximately 490 square metres of the existing unnamed north-south lane within the subject site;
 - (i) registration of a volumetric statutory right-of-way for public rights-of-passage over for the proposed corner plazas located on the northeast and southeast corners of the site as well as the north-south pedestrian walkway located along the west of the subject site;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
- (l) registration of a Section 219 Restrictive Covenant to require payment of deferred Affordable Housing, Public Art and Capital Projects Community Amenity Contributions should the rental units be converted to market units at any time after the Housing Agreement has expired.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Vacant residential lots and an existing north-south lane.	Low Rise Residential	RF
North (Across 58 Avenue):	Three-storey, 71 unit apartment complex, consisting of three buildings, and one four-storey, 34-unit low-rise residential building	Low Rise Residential	RM-45 and CD (Bylaw No. 17098_
East (Across 177B Street):	Three-storey, 79-unit low-rise residential building (Cloverdale Apartments)	Low Rise Residential and Pedestrian Pathway	RM-45
South (Across 57A Avenue):	One four-storey, 91-unit low-rise residential building and one four-storey, 60-unit low-rise residential building.	Low Rise Residential	CD (Bylaw No. 16250) and CD (Bylaw No. 15811)
West:	One two-storey, 25-unit rental apartment building and one three-storey, 28-unit strata apartment building.	Low Rise Residential	RM-45

Context & Background

- The 0.8-hectare subject site, comprised of nine (9) vacant single family residential lots and approximately 480 square metres of unopened lane allowance, is located between 57A Avenue and 58 Avenue, to the west of 177B Street, in Cloverdale Town Centre.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP), "Low Rise Residential" in the Cloverdale Town Centre Plan (TCP) and is currently zoned "Single Family Residential Zone (RF)".

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following to accommodate the development of three (3), 5-storey low-rise residential apartment buildings with a shared one-storey podium, with one level of wrapped at-grade parking and one level of underground parking, containing a total of 197 dwelling units (145 market strata and 52 secured market rental):
 - Rezoning from RF to CD (based on RM-70);
 - Housing Agreement to secure the proposed 52 rental units;
 - Development Permit for Form and Character;
 - Road closure and purchase of the 6-metre wide north/south unopened lane, approximately 490 square metres in area, within the subject site; and
 - Subdivision in order to consolidate the nine (9) lots and lane allowance into one (1) lot.

- The following table provides specific details on the proposal:

	Proposed
Lot Area	
Gross Site Area:	8,086 square metres
Road Dedication:	688 square metres
Undevelopable Area:	N/A
Net Site Area:	7, 398 square metres
Number of Lots:	1
Building Height:	5 storey / 18 metres
Floor Area Ratio (FAR):	2.00 (Gross); 2.19 (Net)
Floor Area	
Residential:	16,153 square metres
Total:	16,153 square metres
Residential Units:	
Market	
Studio:	1
1-Bedroom:	19
1-Bedroom and Den:	24
2-Bedroom and Den:	97
3-Bedroom:	4
<i>Sub-Total:</i>	145
Rental	
Studio:	0
1-Bedroom:	17
1-Bedroom and Den:	16
2-Bedroom and Den:	15
3-Bedroom:	4
<i>Sub-Total:</i>	52
Total:	197

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
School District:	<p>The School District has provided the following projections for the number of students from this development:</p> <p>12 Elementary students at Martha Currie Elementary School 10 Secondary students at Lord Tweedsmuir Secondary School</p> <p>(Appendix III)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2023.</p>
Parks, Recreation & Culture:	No concerns. The applicant will be required to pay the NCP amenity contributions on a per unit basis in keeping with the Cloverdale Town Centre Plan as well as Capital Projects Community Amenity Contributions (CACs) as per Schedule G of the Surrey Zoning Bylaw.
Ministry of Transportation & Infrastructure (MOTI):	MOTI supports the development in principle, subject to a review of a finalized Traffic Impact assessment (TIA). Final approval from MOTI is a condition of Final Adoption of the proposed Rezoning Bylaw.
Surrey Fire Department:	The Fire Department has no concerns with the proposed development application. The City of Surrey Bylaw No. 19108 for Public Safety E-Comm Radio Amplification applies to this building. A Building Permit will not be issued until a Construction Fire Safety Plan (CFSP) has been submitted, reviewed and accepted by the Fire Department.
Advisory Design Panel:	<p>The proposal was considered at the ADP meeting on August 27, 2020 and was supported. The applicant has resolved all of the outstanding items from the ADP review as outlined in the Development Permit section of this report.</p> <p>Any additional revisions will be completed prior to Council's consideration of Final Adoption of the Rezoning Bylaw, to the satisfaction of the Planning and Development Department.</p>

Transportation Considerations

- The following road dedications and road-related works will be required as part of the subject development:
 - Dedicate 1.942 metres along 58 Avenue frontage and construct to the Collector Road Standard.

- Dedicate a 5.0-metre x 5.0-metre corner cut at the intersection of 58 Avenue and 177B Street.
 - Construct 177B Street frontage to the Collector Road Standard.
 - Dedicate a 3.0-metre x 3.0-metre corner cut at the intersection of 57A Avenue and 177B Street.
 - Register a 0.5-metre wide statutory right-of-way along 57A Avenue, 58 Avenue and 177B Street frontages for sidewalk maintenance.
 - Dedicate 11.0 metres for the proposed north/south lane at the south-west corner of the subject site in addition to a 1.0-metre x 1.0-metre corner cut at the intersection of 57A Avenue and the north/south lane.
- To complete the subdivision/consolidation, as proposed, the applicant will be required to purchase the 480-square metre existing north-south unopened lane allowance that bisects the subject site (see Survey Plan attached as Appendix I). The Engineering Department has deemed this existing road right-of-way as surplus, based on the proposed development layout, and support closure and consolidation with the subject site.
 - Vehicle access to both the wrapped at-grade and underground parking will be via the proposed north-south lane at the south-west corner of the subject site.
 - The proposed development triggers the requirements for a Transportation Impact Assessment (TIA), which was prepared by Bunt & Associates for review by both the Ministry of Transportation and Infrastructure (MoTI) and City staff. Based on the proposed number of dwelling units, the development is expected to generate approximately 70-87 vehicles per hour during weekday morning and afternoon peaks, which translates to approximately three (3) additional vehicles added to the network every two (2) minutes, on average.
 - The applicant will be required to provide a finalized TIA which will inform the improvements that will be required to service the additional traffic of the proposed development (i.e., intersection upgrades or continued monitoring of Highway 10 & 176A Street for operations and signal optimization in co-ordination with MoTI).
 - The subject site is within walking distance of three existing bus routes (320, 342 and 370) along 57 Avenue, 58 Avenue and 177B Street, and adjacent to existing north-south bicycle lanes along 177B Street.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. The project will be required to meet a minimum of Step 3 of the BC Energy Step Code.
- In addition, the applicant has highlighted the following additional sustainable features:
 - High performance building thermal envelope;
 - Large fenestrations to maximize daylight with Low-E double glazed windows;
 - Energy efficient lighting fixtures;
 - Dark sky landscape and wayfinding fixtures; and
 - Low-flow and low flush plumbing fixtures.

School Capacity Considerations

- The School District has advised that while Martha Currie Elementary School is within a maturing area the 10-year enrolment projections are showing continued growth. Growth will continue to be accommodated with portables; however, the School District has requested a 6 classroom addition in the 2021/2022 Five Year Capital Plan. As of August 2020, the Ministry of Education has yet to approve funds for the project.
- The School District also notes that Salish Secondary, which opened in September 2018, was built to relieve the current enrolment pressure on both Lord Tweedsmuir and Clayton Heights Secondary School.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "General Urban" designation of the subject site under the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the "Multiple Residential" designation of the subject site under the Official Community Plan (OCP).

Themes/Policies

- In selected areas, including Urban Centres and Frequent Transit Development Areas, and where specifically noted in approved Secondary Plans, densities expressed as Floor Area Ratio (FAR) are calculated on a gross site basis before dedications for roadways or other public purposes are accounted for.

(As the subject site is located in the Cloverdale Urban Centre, as identified in the OCP and by the Metro Vancouver Regional Growth Strategy (RGS), the proposed FAR is calculated on a gross site basis before road dedications.)

- The proposed development complies with the following themes and policies in the OCP:
 - A1.1. – Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS)

(The proposed development is a more efficient use of the land and is consistent with the RGS).

- A1.3 – Accommodate urban land development according to the following order of growth management priorities:

- a. City Centre, Town Centre, Urban Centre, Frequent Transit Development Areas and Skytrain Corridor Planning Area locations well-served by local services, infrastructure, and transit.

(The proposed development is located within both a Town Centre and Urban Centre).

Secondary Plans

Land Use Designation

- The proposal complies with the "Low Rise Residential" designation of the subject site under the Cloverdale Town Centre Plan,

Themes/Objectives

- The proposed development complies with the following themes and policies in the TCP:
 - Building height and density in the "Low Rise Residential" designation is typically 4 storeys and up to 1.5 floor area ratio (FAR), respectively. Building height and density may be increased to 5 storeys and up to 2.0 FAR (gross density) where heritage preservation is proposed, a plan-designated plaza is being delivered or where additional community benefit is provided in accordance with City policies. In such cases, development must meet parking requirements and be subject to urban design approval to ensure appropriate interface treatments and consistency with design guidelines.

(The proposed development will include 52 1-, 2-, and 3-bedroom market rental units, secured through a minimum 20-year Housing Agreement, which is equivalent to 0.5 FAR of the total 2.0 FAR proposed. The proposal has been reviewed and supported at the August 27, 2020 meeting of the City's Advisory Design Panel and meets the parking requirements of the Surrey Zoning Bylaw).

- Provide a range of housing types in order to improve the balance of housing types and affordability within walking distance of the Cloverdale Town Centre downtown.

(The proposed development contains a mixture of 1-, 2- and 3-bedroom dwelling units as well as 52 market rental units, which will be secured for a minimum of 20 years through the registration of a Housing Agreement. The subject site is within a 2-4 minute walk (250 metres) of the Cloverdale Town Centre downtown core, defined as 176 Street between 56 Avenue and 58A Avenue).

CD Bylaw

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed low-rise development on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio (Net):	1.50	2.2
Lot Coverage:	33%	80%
Yards and Setbacks	7.5 metres from all lot lines.	North: 4.5 metres East: 4.5 metres South: 4.5 metres North-West: 7.5 metres South-West: 0.0 metres
Principal Building Height:	50 metres	18 metres
Permitted Uses:	<ul style="list-style-type: none"> Multiple residential buildings. Ground-oriented multiple residential buildings. Child Care Centres. 	<ul style="list-style-type: none"> Multiple residential buildings. Ground-oriented multiple residential buildings.
Amenity Space		
Indoor Amenity:	588 square metres (3.0 square metres per dwelling unit)	The proposed 599 m ² meets the Zoning Bylaw requirement.
Outdoor Amenity:	588 square metres (3.0 square metres per dwelling unit)	The proposed 903 m ² meets the Zoning Bylaw requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls (for Multiple Unit Residential Dwellings)		
Residential:	280	280
Residential Visitor:	39	40
Total:	319	320
Bicycle Spaces		
Residential Secure:	236	236
Residential Visitor:	18	18

- The proposed CD Bylaw will incorporate similar uses as the RM-70 Zone.
- The proposed net floor area ratio (FAR) of the development is 2.2, and the lot coverage is proposed to be 80%, which will exceed the maximum 1.5 FAR and 33% lot coverage permitted under the RM-70 Zone. The proposed density complies with the Low Rise Residential designation in the Cloverdale Town Centre Plan and the proposed lot coverage is appropriate for this proposed low-rise apartment development.
- The RM-70 Zone requires the setbacks to be 7.5 meters from all lot lines. The applicant is proposing reductions for all setbacks in the CD Bylaw. A comprehensive form and character review has been completed by staff, including consideration by the Advisory Design Panel (ADP), to ensure that the proposed massing, height, and setbacks are appropriate for this location and generally compatible with existing and planned developments in the area. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable in Cloverdale Town Centre and is consistent with the Cloverdale Town Centre design guidelines for the Low Rise Residential designation.

- The proposed south-west building setback of 0.0 metres applies to a small section of the proposed building, adjacent to the parkade entrance, with the remaining portion of the proposed building set back a minimum of 1.2 metres. The proposed building will be set back between 7.5 to 12.2 metres from any lot lines shared with existing residential uses to the west.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Projects CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance (\$1,500 per dwelling unit if completed by December 31, 2021 and \$2,000 per dwelling unit if completed after January 1, 2022). The 52 rental units secured by Housing Agreement are exempt from Tier 1 CPCACs
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy. The 52 rental units secured by Housing Agreement are exempt from Affordable Housing Contributions.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Development proposal signs were installed on the subject property along the 57A Avenue, 177B Street and 58 Avenue frontages and pre-notification letters were sent on March 2, 2020. Staff received eleven (11) responses from area residents (*staff comments in italics*):

- One (1) resident requested additional information regarding the rental component of the project and if the proposed rental units were affordable or market rental.

(Staff indicated that the proposal included 49 market rental units, subsequently increased to 52 market rental units, which would be secured for a minimum of 20 years through a registered Housing Agreement and Housing Agreement Bylaw. Following clarification, the area resident indicated that they had no further concerns with the project.)

- One (1) resident expressed concerns with the proposed building height, as existing residential buildings in the area were between 2- to 4-storeys in height.

(The proposed development complies with the "Low-Rise Residential" designation in the Cloverdale Town Centre Plan, which supports a maximum building height of 5 storeys, where additional community benefits are provided in accordance with City policies, subject to urban design approval and the development meeting off-street parking requirements in the Surrey Zoning Bylaw.

The applicant has worked with staff in order to reduce the overall height and massing of the proposed building, which includes a 1.8m setback for the upper storey, and the proposal was supported at the August 27, 2020 meeting of the City's Advisory Design Panel. In addition, the proposed development complies with the minimum off-street parking requirements of the Zoning Bylaw).

- Several residents expressed concerns about the proposed access, specifically as it relates to:
 - Increased traffic volume, noise and pollution;
 - The width and condition of the existing east-west and north-south lanes to the west of the subject site, between 57A Avenue and 58 Avenue, including existing utility encroachments and overhangs, which, according to residents, preclude two-way vehicle traffic is further exacerbated by delivery vehicles, garbage trucks, and semi-trailer deliveries to businesses along 176A Street;
 - Potential conflict with the existing off-street parking configuration in the lane as many stalls are accessed directly off the lane, or, in the case of 17707 – 57A Avenue, an at-grade parking structure built along the north and west lot lines;
 - Potential conflict with pedestrians who often use the lanes to access 17707 – 57A Avenue and 17700 – 58 Avenue and the commercial establishments to the west, along 176A Street; and
 - Existing conditions at the intersection between the existing north-south lane to the west of the subject site and 58 Avenue, where there are poor site lines.
- City staff held two additional online meetings with concerned residents on August 27, 2020, and November 24, 2020. The meetings consisted of a staff-led presentation detailing the rationale behind the proposed site access, the steps that had been taken to reduce the impact, and demonstrating where similar access situations occur in the Cloverdale Town Centre, after which staff held a question and answer session. During the two subsequent meetings residents expressed many of the same concerns previously communicated to staff and noted that they would be in support of two alternative access conditions:
 - Direct access to the proposed at-grade and underground parkade from 57A Avenue; or
 - An access condition where the applicant dedicate and construct a north-south lane between 57A Avenue and 58 Avenue, along the west lot line of the subject site, with a requirement that no access to the existing lane network be permitted until such time as the adjacent properties re-develop.

(The City's road classification system is part of an access management strategy as it assigns the level of importance to mobility for each road class. The road classification regulates the level of permitted/prohibited access, design requirements, turning movements and traffic control requirements. As per the Surrey Design Criteria Manual which forms part of the Subdivision and Development Bylaw, when properties have multiple frontages with different road classifications the driveway should be located on the lowest classified road and utilize the supporting road network for circulation and distribution of traffic.

As per the Cloverdale Town Centre Plan, which was endorsed by Council in November 2019, the existing lane network has always been intended to extend further west. The subject site of Development Application 19-0063 is a consolidation of what could have been three potential development sites, and as such the existing lane is only extending south to outlet to 57A Avenue.

The existing lane system is approximately 130 metres in length, which exceeds the maximum road length permitted as per the Design Criteria Manual, which forms part of the Subdivision and Development Bylaw. The maximum road length provision is intended to reduce the number of overall vehicle trips serviced by a single point of access and increases connectivity to reduce the potential for temporary blockages.

The subject site of Development Application 19-0063 has multiple frontages; 58 Avenue and 177B Street are Collector Roads, 57A Avenue is a Local road, and a residential lane is proposed along the west property line. In this context, the proposed residential lane will be the lowest classified road, which is intended to primarily provide direct access to a property. The proposed access location to the residential lane meets the City's objectives of being located so that there is not an unnecessary increase in conflicts with pedestrian and cycling facilities (which are accommodated on Local and Collector Roads) and any compromise to existing and planned transit operations.

A Traffic Impact Assessment (TIA) was prepared for the subject development by Bunt & Associates which notes that based on the proposed number of dwelling units, the development is expected to generate approximately 70-87 vehicles per hour during weekday morning and afternoon peaks, which translates to approximately three (3) additional vehicles added to the network every two (2) minutes, on average. Of these trips, approximately 13 trips are anticipated to utilize the existing lane network during the peak AM and PM hours, which translates to approximately one (1) additional vehicle utilizing the existing lane network every four (4) minutes. The remainder of the trips are expected to utilize the proposed north-south lane on the subject site in order to access the surrounding road network. The impact of these development trips to the area road network is expected to be minimal, however, several recommendations have been made for improving the 58 Avenue & 176A Street, 58 Avenue & 177B Street and Highway 10 & 177B Street intersections.

In response to concerns from area residents, the applicant has revised the proposed north-south lane connection, widening it from 6.0 metres to approximately 11.0 metres through the entire length. This will ensure that in addition to facilitating a 5.5-metre x 5.5-metre corner cut entirely within the proposed lane and retaining the existing off-site hedge, the proposed dedication area will be able to accommodate two grassed boulevards, including one (1) treed portion, and a 1.5-metre wide public sidewalk. A 1.5-

metre wide publicly accessible sidewalk would be provided in order to secure pedestrian access from the mid-block lane to 58 Avenue to the north.

For the existing laneways within the block (between 57A & 58 Avenue and 176A & 177B Street) the developer has agreed to construct a series of speed humps as well as review existing pavement conditions in order to mill and pave, where required, and delineate the 5.4m wide two-lane drive aisle with a painted road markings.

Both the additional 5 metres of lane dedication, which accommodates a public sidewalk and additional boulevard, as well as the proposed works within the existing lane network are above-and-beyond the typical road frontage upgrade requirements.)

- The subject development application was reviewed by both the Cloverdale Business Improvement Association (CBIA) and the Cloverdale Community Association (CCA) who provided the following comments (*staff comments in italics*):
 - Both the CCA and the CBIA expressed concerns with the proposed lane access, as it would result in additional residential traffic within a commercial lane that serves existing businesses along 176A Street, and that direct access along one of the existing road frontages (57A Avenue, 177B Street and 58 Avenue) should be considered.

(As per the Surrey Design Criteria Manual which forms part of the Subdivision and Development Bylaw, when properties have multiple frontages with different road classifications the driveway should be located on the lowest classified road and utilize the supporting road network for circulation and distribution of traffic.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Cloverdale Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP). The applicant has worked with staff to develop a design that incorporates Cloverdale Town Centre Plan design guideline principles and responds to the neighbouring context. The overall building height has been reduced and the proposed upper storey setback to reduce shadowing, while the architectural expression, street interface and public realm design, including corner plaza development, has been designed in such a way as to blend low-rise contemporary building forms with Cloverdale appropriate building materials creating a more urban, pedestrian streetscape.

Site Planning and Building Design

- The proposed development consists of three 5-storey low-rise residential buildings with a shared 1-storey podium with one (1) level of underground parking and one (1) level of at-grade parking, which has been wrapped with residential dwelling units in order for the proposed development to both comply with off-street parking requirements in the Surrey Zoning Bylaw and provide a more urban, pedestrian-oriented streetscape along the 57A Avenue, 177B Street and 58 Avenue frontages. The proposed development contains 197 dwelling units, distributed as follows:

- Building A (fronting 57A Avenue): 65 strata residential units;
 - Building B (fronting 177B Street and 58 Avenue): 80 strata residential units; and
 - Building C (fronting 58 Avenue): 52 market rental units.
- The overall mass of the building has been reduced through the use of a wide composition of contemporary and heritage-style materials and a hierarchy of scales for architectural elements.
 - Brick veneer cladding, in three different colours to demarcate the three separate buildings, is used extensively to delineate a two- and three-storey "townhouse expression" along the ground plane, with Hardi panels in grey, beige and white as well as cedar siding used on the upper residential levels. Extensive balconies are treated with clear glass guards, cedar siding and dark metal railings, with balcony projections supported by brick veneer columns.
 - The upper (5th) storey of the proposed buildings has been stepped back approximately 1.8 metres and a deep soffit projection has been provided along the transition from the 4th to 5th storey in order to reduce the overall sense of building scale and height. The roof is significantly articulated due to balcony overhangs on both the third and fourth storeys, which provides further visual interest.
 - Lobby entrances located along 57A Avenue, 177B Street and 58 Avenue are accentuated by the use of more extensive glazing as well as extended metal and wood-clad weather protection canopies.

Landscaping

- The landscape plans propose a total of 85 trees, including both deciduous and coniferous species, as well as a significant number of low-lying and ground cover species to be planted throughout the subject site.
- Ground level residential units each have access to a private, raised patio space which are screened from the adjacent public sidewalk through low-lying shrubs and individual trees. Each patio can be accessed either through the dwelling unit or via gated, street-level entrance.
- A private, publicly-accessible walkway is proposed at the north-west corner of the site in order to provide pedestrian access between 57A Avenue and 58 Avenue. The proposed walkway will be flanked by a row of Katsura trees, as well as both in-ground and raised planter beds, and illuminated by bollard lights to enhance public safety.
- Corner plazas are located at the intersections of both 57A Avenue and 177B Street as well as 58 Avenue and 177B Street. Each plaza contains benches for seating, raised planter walls and additional bicycle storage racks and will be delineated from the adjacent public sidewalk through decorative hardscaping.

Indoor Amenity

- The RM-70 Zone requires that 588 square metres of indoor amenity space be provided (3.0 square metres of amenity space per dwelling unit).
- The applicant proposes 630 square metres of indoor amenity space throughout the development.

- Indoor amenity space for the two (2) proposed market buildings (Building A and B) includes:
 - A combined meeting/media/party/lounge room on Level 2 (Building A);
 - A combined lounge/party room and fitness centre on Level 2 (Building B);
 - A combined lounge and kitchen/party room on Levels 3-4 (Building B); and
 - A meeting room/study space on Level 5 (Building B)
- Indoor amenity space for the proposed rental building (Building C) includes a media and lounge room as well as a combined games room and party room on Level 2.
- All indoor amenity spaces proposed on Level 2 of Buildings A,B, and C are connected to the proposed central outdoor amenity space.

Outdoor Amenity

- The RM-70 Zone requires that 588 square metres of outdoor amenity space be provided (3.0 square metres of amenity space per dwelling unit).
- The applicant proposes approximately 903 square metres of outdoor amenity space, located in a central courtyard on Level 2 with access shared by both the market and rental buildings, which exceeds the Zoning Bylaw requirements.
- The proposed open space consists of the following outdoor amenity spaces:
 - A dedicated children's play area comprised of various play structures and seating areas;
 - Covered outdoor lounge areas with inset fireplaces;
 - A central "great lawn" space with adjacent bench seating;
 - Outdoor kitchen areas (barbeque) adjacent to each indoor amenity area; and
 - An urban agriculture area for use by the residents.

Advisory Design Panel

ADP Date: August 27, 2020

- The applicant has generally resolved most of the outstanding items from the ADP review (see Appendix X). The following items have been generally addressed, to the satisfaction of staff:
 - Further consideration and development of the use of materials and colours;
 - Improve the interface between ground floor units (specifically Building A, Unit D2) and the proposed north-south lane at the south-west corner of the subject site; and
 - Further refinement of the proposed outdoor amenity space in order to break up the programmatic spaces.
- The applicant and staff will continue to work on the following:
 - Further refining the design and materials used on the two proposed corner plazas at the intersections of 57A Avenue/58 Avenue and 177B Street; and

- Further design development of corner dwelling units in order to enhance light penetration and reduce "overlook".
- Any additional revisions will be completed prior to Council consideration of Final Adoption of the Rezoning Bylaw, to the satisfaction of the Planning and Development Department.

TREES

- Jason Emery, ISA Certified Arborist of Central Valley Tree & Arborist Services Limited, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Cottonwood Trees			
Cottonwood	1	1	0
Deciduous Trees (excluding Cottonwood Trees)			
Apple	1	1	0
Aspen	2	2	0
Cherry Plum	2	2	0
English Oak	2	2	0
Hawthorn	1	1	0
Horse Chestnut	1	1	0
Coniferous Trees			
Brandon Cedar	3	3	0
Common Juniper	1	1	0
Douglas-fir	10	10	0
Norway Spruce	5	5	0
Western Red Cedar	3	3	0
Total (excluding Cottonwood Tree)	31	31	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		80	
Total Retained and Replacement Trees		80	
Contribution to the Green City Program		No Contribution	

- The Arborist Assessment states that there is a total of 31 protected trees on the site, excluding the Cottonwood tree. One (1) existing tree, approximately 3% of the total trees on the site, is a Cottonwood tree. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for the Cottonwood tree, and a 2 to 1 replacement ratio for all other trees. This will require a total of 63 replacement trees on the site. The applicant is proposing 80 replacement trees, exceeding City requirements.
- Two off-site hedgerows, located on 17707 – 57A Avenue and 17700 – 58 Avenue, are proposed to be retained through the proposed development.
- In addition to the replacement trees, boulevard street trees will be planted on 57A Avenue, 177B Street and 58 Avenue, as well as within a portion of the proposed north/south lane. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Japanese Dogwood, Akebono Cherry and Katsura Tree.
- In summary, a total of 80 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Cloverdale Town Centre Plan
Appendix VI.	Comments from Cloverdale Business Improvement Association (CBIA) and Cloverdale Community Association (CCA)
Appendix VII.	Aerial Photo (COSMOS, April 2020)
Appendix VIII.	ADP Comments and Response
Appendix IX.	Proposed Housing Agreement

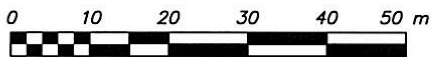
approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CRL/cm

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NO. _____ OF LANE
DEDICATED ON PLAN 9723, SECTION 8,
TOWNSHIP 8, NEW WESTMINSTER DISTRICT**

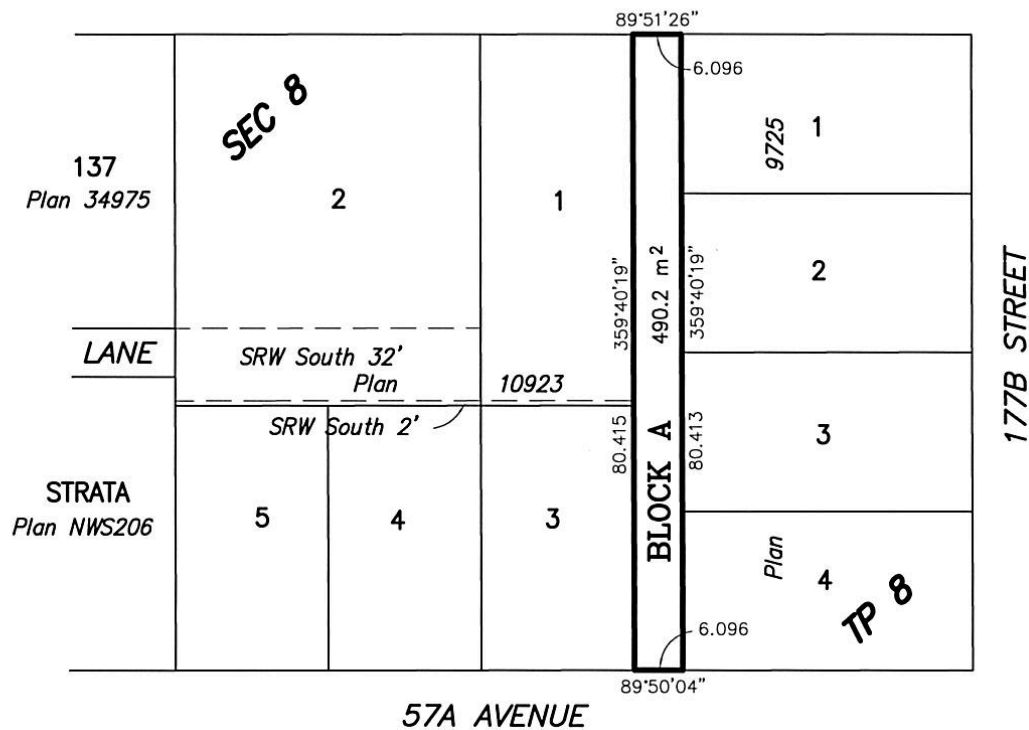
City of Surrey B.C.G.S. 92G.017



SCALE - 1 : 750
All distances are in metres



58th AVENUE



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525 53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 7515-BLOCK



Certified correct to survey dated
this 10th day of September, 2020

Sean Costello, B.C.L.S.

This plan lies within the Metro Vancouver Regional District



58TH AVE. STREET VIEW (NORTH ELEVATION)

BLDG. C ENTRY



57A AVE. STREET VIEW (SOUTH ELEVATION)

BLDG. A ENTRY



Rev	Date	Appr	Description

Rev	Date	Appr	Description

Revisions

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**17722 58TH ST.
 Surrey, BC**

Sheet Title
STREETSCAPES

Scale	Date
NTS	SEPT 2020
Drawn	Checked
KD-GA	ML
Cast File	Sheet No.
	02
Project No.	
WG1908	



SOUTH VIEW - BUILDING A ENTRY



EAST VIEW - BUILDING B ENTRY



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Rev	Date	Appr	Description

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**RENDERING STREET ELEVATIONS
 SOUTH + EAST
 ELEVATIONS**

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KD-GA			ML

Project No.	Sheet No.
WG1908	04



NORTH VIEW - BUILDING C ENTRY



WEST VIEW - LANE PARKING ENTRY



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Client

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**RENDERING STREET ELEVATIONS
 NORTH + WEST
 ELEVATIONS**

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NORTH EAST CORNER VIEW



SOUTH WEST CORNER (LANE)



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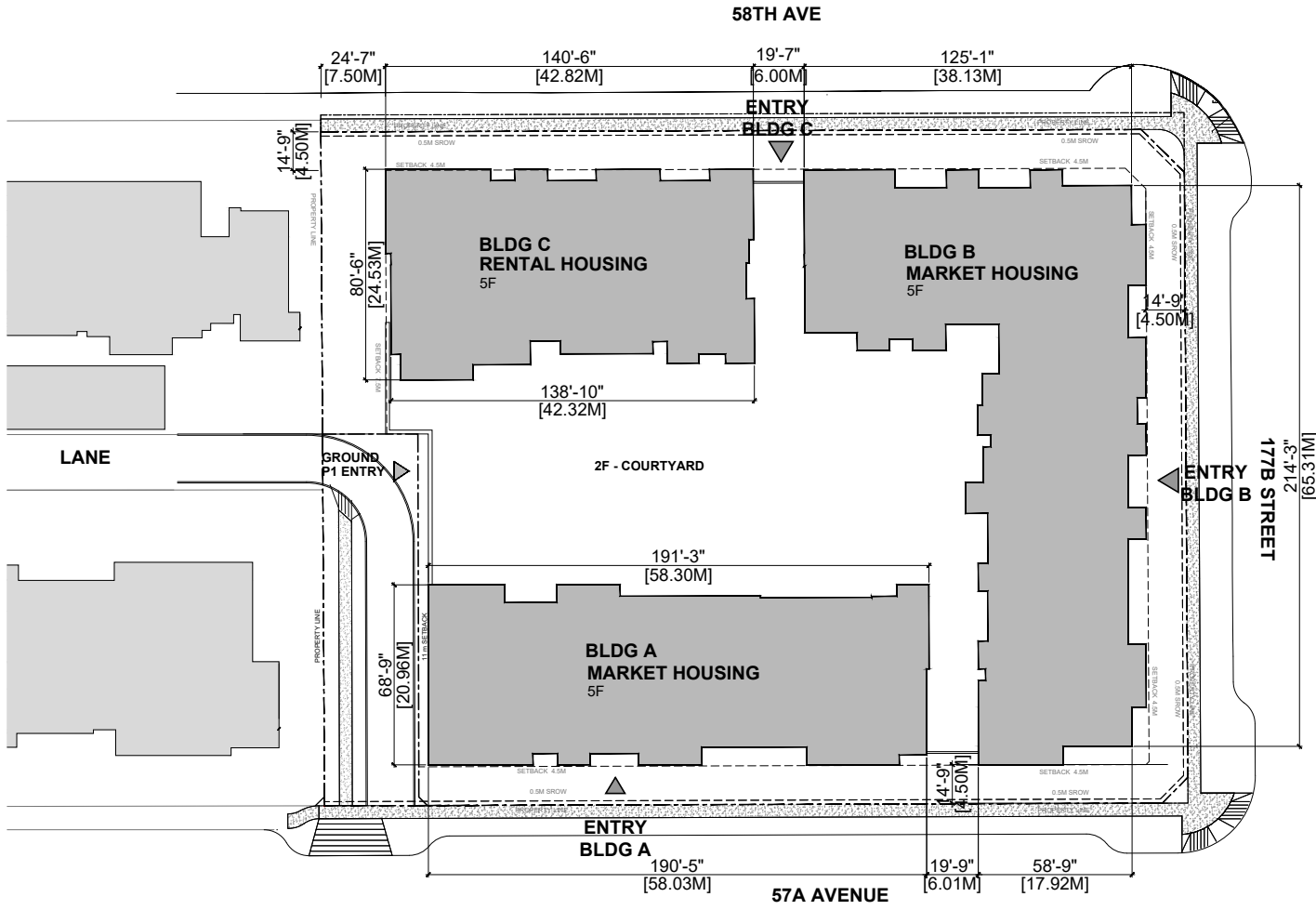
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**RENDERING VIEWS
SOUTHWEST CORNER
NORTHEAST CORNER**

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Project No:	
WG1908	



Issues			
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Revisions			
No.	Date	Appr.	Description

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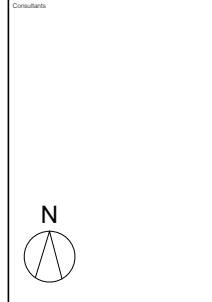
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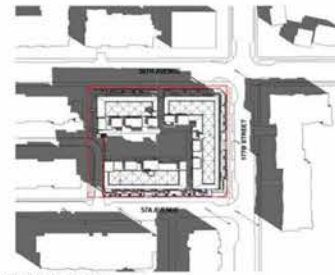
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Sheet Title

CONTEXT PLAN
MASSING PLAN

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Drawn	KD-GA	Checked	ML
Cost File		Sheet No.	08
Project No.	WG1908		



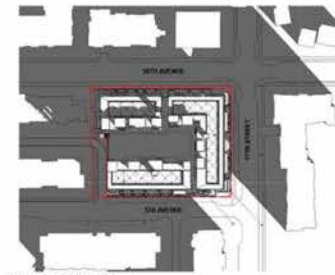
MARCH 21 - 10AM



JUNE 21 - 10AM



SEPTEMBER 21 - 10AM



DECEMBER 21 - 10AM



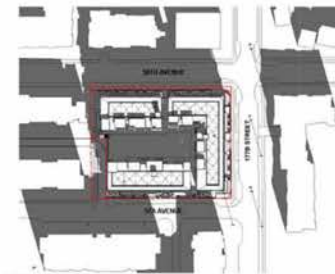
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SEPTEMBER 21 - 12PM



DECEMBER 21 - 12PM



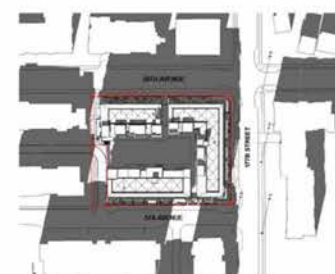
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SEPTEMBER 21 - 2PM



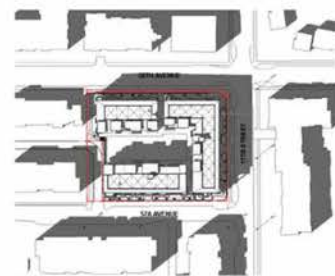
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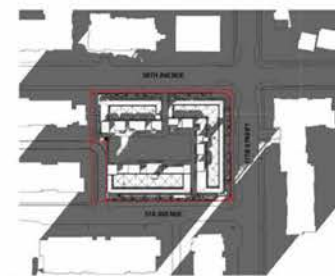
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JUNE 21 - 4PM



SEPTEMBER 21 - 4PM



DECEMBER 21 - 2PM

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Project Title
**17722 58TH ST.
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Sheet Title
SHADOW STUDY

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Drawn KD-GA	Checked ML
Cast File	Sheet No.
Project No. WG1908	09

PROJECT SUMMARY

ADDRESS	17722 58 TH AVENUE SURREY 5777 177B Street 17735 57A AVENUE SURREY
LEGAL DESCRIPTION	LOTS 1 TO 4 PLAN 9723 SECTION 8 TOWNSHIP 8 NWD LOTS 1 TO 5 PLAN 10923 SECTION 8 TOWNSHIP 8 NWD
EXISTING ZONING	RF
PROPOSED ZONING	CD-BASED ON RM-70
OCP / NCP	TBD

LOT AREA	Proposed [SM]	[SF]	REMARKS
Gross Total	8,086.5	87,034.2	
Road Dedication Area	207.7	2,235.5	NORTH
Road Dedication Area	4.5	48.4	SOUTH 3 x 3 CORNER CUT
Lane Dedication Area	475.9	5,122	
Net Total	7,398.4	79,628.4	

BUILDING AREA (SQ.M /SF FT)	PROPOSED (5M)	MAX. ALLOWABLE / REQ. [5M]	
FAR MARKET CONDO	1.49	12072.0	1.5
RENTAL CONDO	0.51	4130.8	0.50
TOTAL FAR	2.0		2.0
TOTAL BUILDABLE AREA (FAR)*		16,203	16173
TOTAL BUILDING AREA (INC. AMN AREA)		16,802	16764
BREAKDOWN			
RESIDENTIAL AREA			
BLDG A MARKET HOUSING		5005.1	Excluded Indoor Amenity
BLDG B MARKET HOUSING		7067.0	Excluded Indoor Amenity
RENTAL			
BLDG C RENTAL HOUSING		4131	Excluded Indoor Amenity
AMENITY AREAS			
OUTDOOR AMENITY AREA	903		591
INDOOR AMENITY AREA	599		591

BLDG. HEIGHT	STOREY	ELEVATION		
STOREY	5			
ELEVATION	17.4 M	57'-0"	MAX HT.	18M

SUITE COUNT.				
TOTAL SUITES	197	100%		
TOWN HOUSE				
STUDIO	1	0.5%		
1BD	76	38.6%	38.6%	1BD
2BD	112	56.9%	60.9%	2 BD and UP
3BD/TH	8	4.1%		

Rev	Date	Appr	Description

Rev	Date	Appr	Description

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Client:

Prime Consultant:

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Sheet Title:
PROJECT INFO

Rev#	Rev
NTS	SEPT 2020
Drawn	Checked
KD-GA	ML
Coord File	Sheet No:
Project No:	A 002
WG1908	

BREAKDOWN

DENSITY	Min. Req'd / Max Allowed	Proposed	
# Units/ha, #Unit/acre (gross)	70 UPA	316 UPH / 128 UPA	
# Units/ha, #Unit/acre (net)	70 UPA	333 UPH / 135 UPA	
FARI (Gross)	2	2.0	
FARI (Net)	2.18	2.18	

AMENITY SPACE (sq.m)	Min. Req'd / Max Allowed (SM)	Proposed (SM)		[SF]
Indoor (3 sq.m per unit)	591	0	599	6,447
Outdoor (3 sq.m per unit)	591	0	903	9720

LOT COVERAGE (% of net lot area)	Min. Req'd / Max Allowed	Proposed		[SM]
BLDG & Structures				
Paved & Hard Surfaced Areas				
Total Site Coverage		100%		

SETBACKS (M)	Min. Req'd / Max Allowed	Proposed (M)		[FT.]
FRONT (S)	7.5	4.5		14.7'
REAR (N)	7.5	4.5		14.7'
Side #1 (E)	7.5	4.5		14.7'
Side #2 (W)	7.5	7.5		24.6'

TOTAL RESIDENTIAL UNITS	Min. Req'd / Max Allowed	Proposed		Remarks
TOWNHOUSE		0		
BACHELOR	1	1%	3	1%
ONE BEDROOM	36	18%	36	18%
ONE BED + Den	40	20%	40	20%
TWO BEDROOM	112	57%	112	57%
THREE BEDROOM	8	4%	8	4%
TOTAL	197	100%	197	100%

PARKING COUNT BREAKDOWN

PARKING	Min. Req'd / Max Allowed	Proposed	Remarks
Residential		280	
1 BD + STUDIO (1.3/ SUITE)	48		
1 BD + Den (1.3/ SUITE)	52		
2 BD (1.5/ SUITE)	168		
3 BD (1.5/ SUITE)	12		
TH / (2/ SUITE)	0		
VISITOR (0.2/ SUITE)	39.4	40.0	
Commercial			
TOTAL # OF PARKING SPACE	319.5	320	REQ. 319.5 ROUND UP TO 320
ACCESSIBLE STALLS (20%)	6.39	7	INCLUDED IN TOTAL PK SPACE
SMALL CAR STALLS	112		35% OF TOTAL PK SPACE
ELEC. CARSTALL	20		INCLUDED IN TOTAL PK SPACE

BLDG A + B (Market housing) PARKING COUNT

PARKING	Min. Req'd / Max Allowed	Proposed	Remarks
Residential			
1 BD + STUDIO (1.3/ SUITE)	57	57	
2 BD (1.5/ SUITE)	146	146	
3 BD (1.5/ SUITE)	6	6	
TH / (2/ SUITE)	0	0	N/A
VISITOR (0.2/ SUITE)	29	29	
ACCESSIBLE STALL			5
TOTAL # OF PARKING SPACE	238	238	

BLDG C (Rental housing) PARKING COUNT

PARKING	Min. Req'd / Max Allowed	Proposed	Remarks
Residential		70	
1 BD + STUDIO (1.3/ SUITE)	22.1		GROUND LEVEL
1 BD + DEN (1.3/ SUITE)	20.8		GROUND LEVEL
2 BD (1.5/ SUITE)	22.5		
3 BD (1.5/ SUITE)	6.0		
TH / (2/ SUITE)	0		
VISITOR (0.2/ SUITE)	10.4	11	
ACCESSIBLE STALL			2
TOTAL # OF PARKING SPACE	81.8	82	3 for 1075sf / 100um 0

BIKE STORAGE

TOTAL # OF BIKE STORAGE SPACE	Min. Req'd / Max Allowed	Proposed		Remarks
RESIDENCE	1.2/UNIT	236	236	
VISITOR	1 VISITOR SPACE PER BLDG	18	18	
TOTAL		254	254	

BLDG. AREA BREAKDOWN

BLDG A - MARKETING HOUSING						
FLOOR	GROSS AREA (SF)	RESIDENTIAL	AMENITY	SELABLE AREA(SF)	EFF %	SUITE COUNT
SUB TOTAL		RESIDENTIAL				
GROUND	6,214	6,214		3,462	55.71%	7
LEVEL 2	12,307	11,236	1,071	9,899	80.43%	13
LEVEL 3	12,310	12,310		10,999	89.35%	15
LEVEL 4	12,310	12,310		10,999	89.35%	15
LEVEL 5	11,710	11,710		10,398	88.80%	15
ROOF	89					2 Elevator machine room
SUB TOTAL	54,940	53,780	1,071			
GRAND TOTAL FAR	53,809					65

BLDG B - MARKETING HOUSING						
FLOOR	GROSS AREA (SF)	RESIDENTIAL	AMENITY	SELABLE AREA(SF)	EFF %	SUITE COUNT
SUB TOTAL		RESIDENTIAL				
GROUND	12,558	12,405	148	8,283	65.98%	11
LEVEL 2	17,100	15,453	1,647	13,519	79.06%	16
LEVEL 3	17,025	15,990	1,035	14,152	83.12%	17
LEVEL 4	17,025	15,990	1,035	14,152	83.12%	17
LEVEL 5	16,134	16,134		14,287	88.55%	19
ROOF	89					2 Elevator machine room
SUB TOTAL	79,926	79,972	3,865			
GRAND TOTAL FAR	76,061					80

BLDG C - RENTAL HOUSING						
FLOOR	GROSS AREA (SF)	RESIDENTIAL	AMENITY	SELABLE AREA(SF)	EFF %	SUITE COUNT
SUB TOTAL		RESIDENTIAL				
GROUND	6,934	6,934		2,975	42.90%	6
LEVEL 2	9,854	8,343	1,511	7,144	72.50%	10
LEVEL 3	9,913	9,913		8,714	87.90%	12
LEVEL 4	9,913	9,913		8,714	87.90%	12
LEVEL 5	9,267	9,267		8,068	87.06%	12
ROOF	89					Elevator Machine room
SUB TOTAL	45,970	44,370	1,511			
GRAND TOTAL FAR	44,459					52

SUITE COUNT BREAKDOWN

BLDG A MARKET HOUSING						
LEVEL	SUITE/FLOOR	STUDIO	1BD	1BD+DEN	2BD+DEN	3BD
GROUND	7	0	1	0	1	0
LEVEL 2	13	0	2	3	7	1
LEVEL 3	15	0	3	5	6	1
LEVEL 4	15	0	3	5	6	1
LEVEL 5	15	0	5	3	6	1
TOTAL	65	0	14	21	26	4
PERCENTAGE	100%	0.0%	21.5%	32.3%	40.0%	6.2%

BLDG B MARKET HOUSING						
LEVEL	SUITE/FLOOR	STUDIO	1BD	1BD+DEN	2BD+DEN	3BD
GROUND	11	0	3	0	8	0
LEVEL 2	16	0	1	0	15	0
LEVEL 3	17	0	0	1	16	0
LEVEL 4	17	0	0	1	16	0
LEVEL 5	19	1	1	1	16	0
TOTAL	80	1	5	3	71	0
PERCENTAGE	100%	1.3%	6.3%	3.8%	88.8%	0.0%

BLDG C RENTAL HOUSING						
LEVEL	SUITE/FLOOR	STUDIO	1BD	1BD+DEN	2BD+DEN	3BD
GROUND	6	0	2	3	1	0
LEVEL 2	10	0	2	4	3	1
LEVEL 3	12	0	3	4	4	1
LEVEL 4	12	0	3	4	4	1
LEVEL 5	12	0	7	1	3	1
TOTAL	52	0	17	16	15	4
PERCENTAGE	100%	0.0%	32.7%	30.8%	28.8%	7.7%

TOTAL						
LEVEL	SUITE/FLOOR	STUDIO	1BD	1BD+DEN	2BD+DEN	3BD
TOTAL	197	1	36	40	112	8
PERCENTAGE	100%	0.5%	18.3%	20.3%	56.9%	4.1%

Revis

Rev	Date	App'd	Description

Revis

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Client

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 Email: mliw@mla.ca

Site

Consultants

Notes

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Written dimensions shall have precedence over scaled dimensions.

Contractor shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be relieved of any liability from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect for approval before proceeding with fabrication.

Project File

17722 58TH ST.
 Surrey, BC

Draw Title

**PROJECT STATS.
 BREAKDOWN**

Rev#

NTS Date: SEPT 2020

Drawn

KD-GA Checked: ML

Client File

Drawn To: A003

Project No.

WG1908

**SUBDIVISION PLAN OF LOTS 1, 2, 3, 4, 5 PLAN 10923;
 LOTS 1, 2, 3, 4 PLAN 9725 AND PARCE A PLAN EPP
 ALL OF SECTION 8 TOWNSHIP 8 NEW WESTMINSTER DISTRICT**

PLAN EPP_____

The City of Surrey B.C.G.S. 92G.017



SCALE - 1 : 500
 All distances are in metres

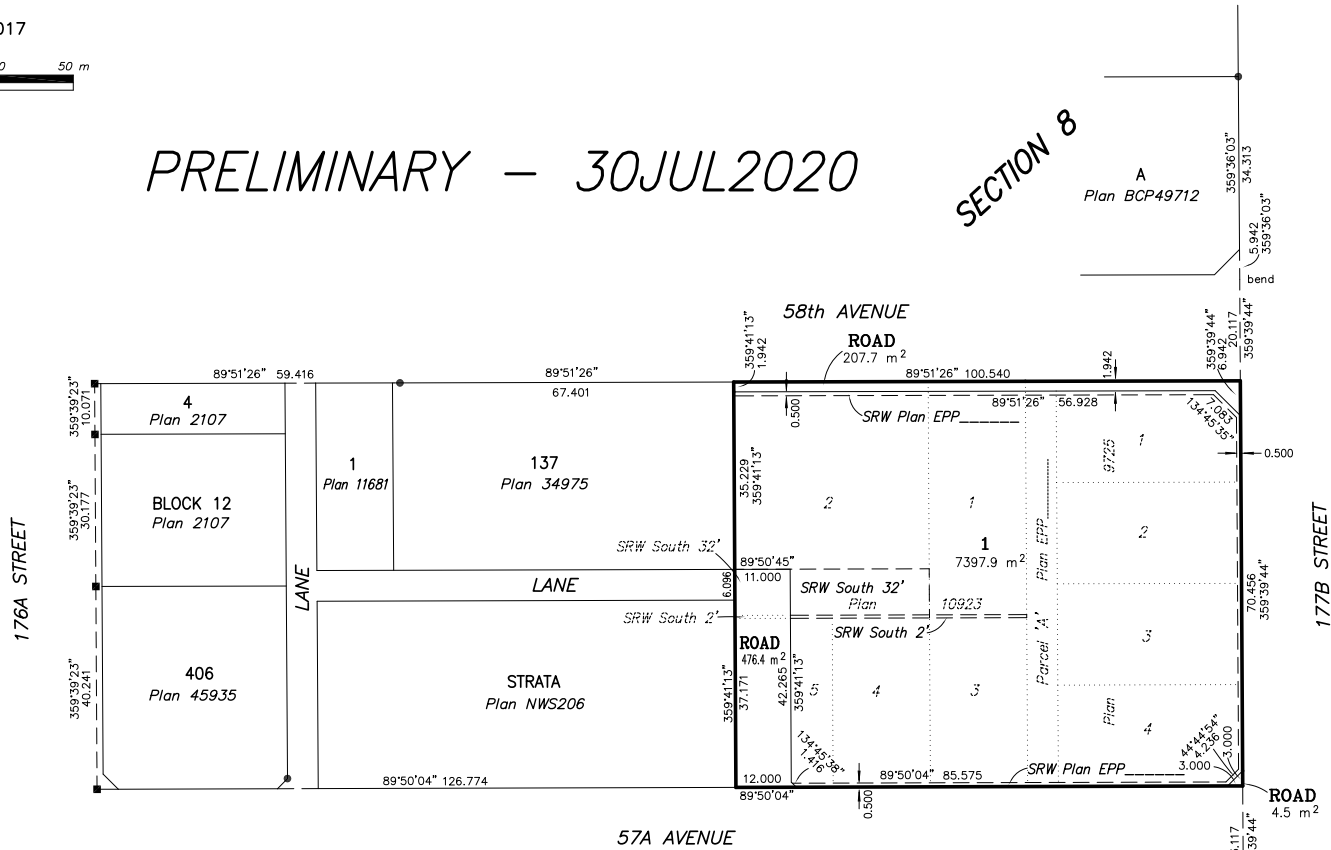
The intended plot size of this plan is 560mm in width by 432mm in height (C Size) when plotted at a scale of 1:500

Legend:

- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- Denotes standard lead plug found

PRELIMINARY - 30JUL2020

SECTION 8



Integrated Survey Area No. 1
 City of Surrey, NAD83 (CSRS) 4.0.0.BC.1.GVRD

Grid Bearings are derived from observations between Control Monuments 5195 and 5854.

The UTM co-ordinates and horizontal positional accuracy achieved have been derived from the Mascot published coordinates for geodetic control monuments 5195 and 5854.

This plan shows horizontal ground-level distances except where otherwise noted. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995971 which has been derived from geodetic control monument 5854.

TOWNSHIP 8

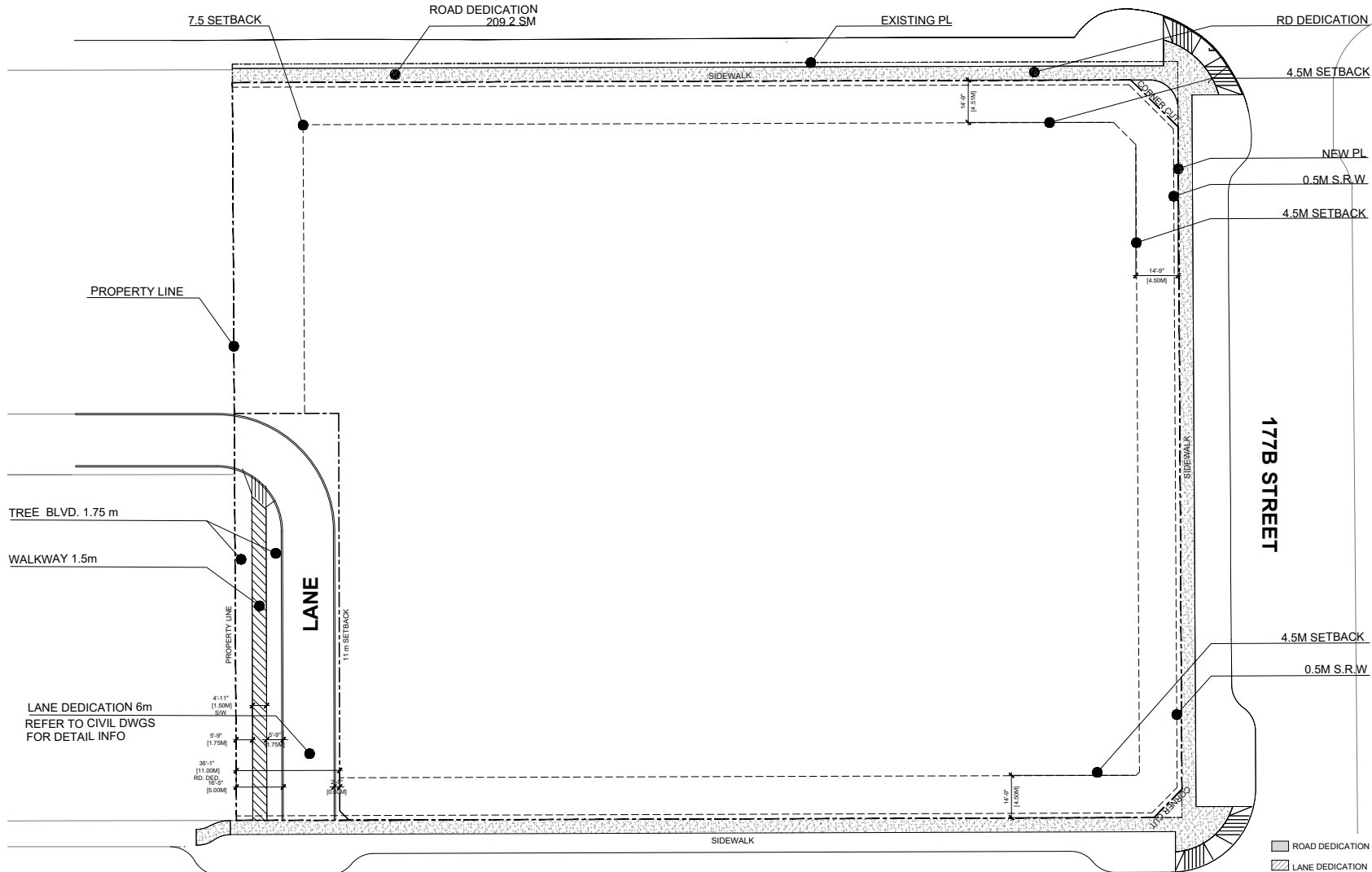
Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 234 - 18525 53rd Avenue
 Surrey, B.C. V3S 7A4
 Phone: 604-597-3777
 File: 7515-SUB

This plan lies within the jurisdiction of the
 Approving Officer for the City of Surrey

This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was
 completed on the ____ day of _____, 2020.
 Sean Costello, B.C.L.S. (900)

58TH AVE



Issues			
No.	Date	Appr.	Description

Revisions			
No.	Date	Appr.	Description

Client

Prime Consultant
MARTIN LEW ARCHITECTURE INC.
 1039 17th AVENUE, SURREY BC
 CANADA V3N 7G3
 Phone: +1 (604) 238-5000
 Email: martin.lew@gmail.com

Scale

Consultants

177B STREET

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 Within dimensions shall have precedence over scaled dimensions.
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Project Title
17722 58TH ST.
 Surrey, BC

Sheet Title
BASE DWG

Scale 1 : 200	Date SEPT 2020
Drawn GA	Checked ML
Case File	Sheet No.
Project No. WG1908	A 006

ROAD DEDICATION	209.2 SM
LANE DEDICATION	424.5 SM

GROSS AREA	7447.7 SM
DEDICATION AREA	633.7 SM
NET AREA	6814.0 SM

57A AVENUE





SOUTH WEST CORNER



SOUTH EAST CORNER



NORTH WEST CORNER



NORTH EAST CORNER

- BUILDING A
- BUILDING B
- BUILDING C

Rev	Date	Appr	Description

Rev	Date	Appr	Description

Client: _____

Prime Consultant:
MARTIN LIEW ARCHITECTURE INC.
 1039 17th Avenue, Surrey BC
 CANADA V3Y 7K5
 Phone: +1 604 593 0588
 Email: mliew1@me.com

Scale: _____

Comments: _____

Notes:
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 Written dimensions shall have precedence over scaled dimensions.
 Corrections shall be made and the responsibility for all dimensions and conditions on the job and the Architect shall be relieved of any liabilities from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to the Architect for approval before proceeding with fabrication.

Project Title:
**17722 58TH ST.
 Surrey, BC**

Show Title:
MASSING AERIAL VIEW

Scale:	DATE:
NTS	SEPT 2020
Drawn:	Checked:
KD-GA	ML
Cast File:	Sheet No:
Project No:	
WG1908	



No.	Date	Appr.	Description
1	2025-06-12		Final Plan Review
2	2025-06-04		Final Plan Review
3	2025-06-12		Final Plan Review

No.	Date	Appr.	Description

Client: _____

Project Consultant:
MARTIN LEWIS ARCHITECTURE INC.
 1008 126 AVENUE, SURREY BC,
 VANCOUVER V3R 1G6
 Phone: +1 604 598 5888
 Email: martin@mla.ca

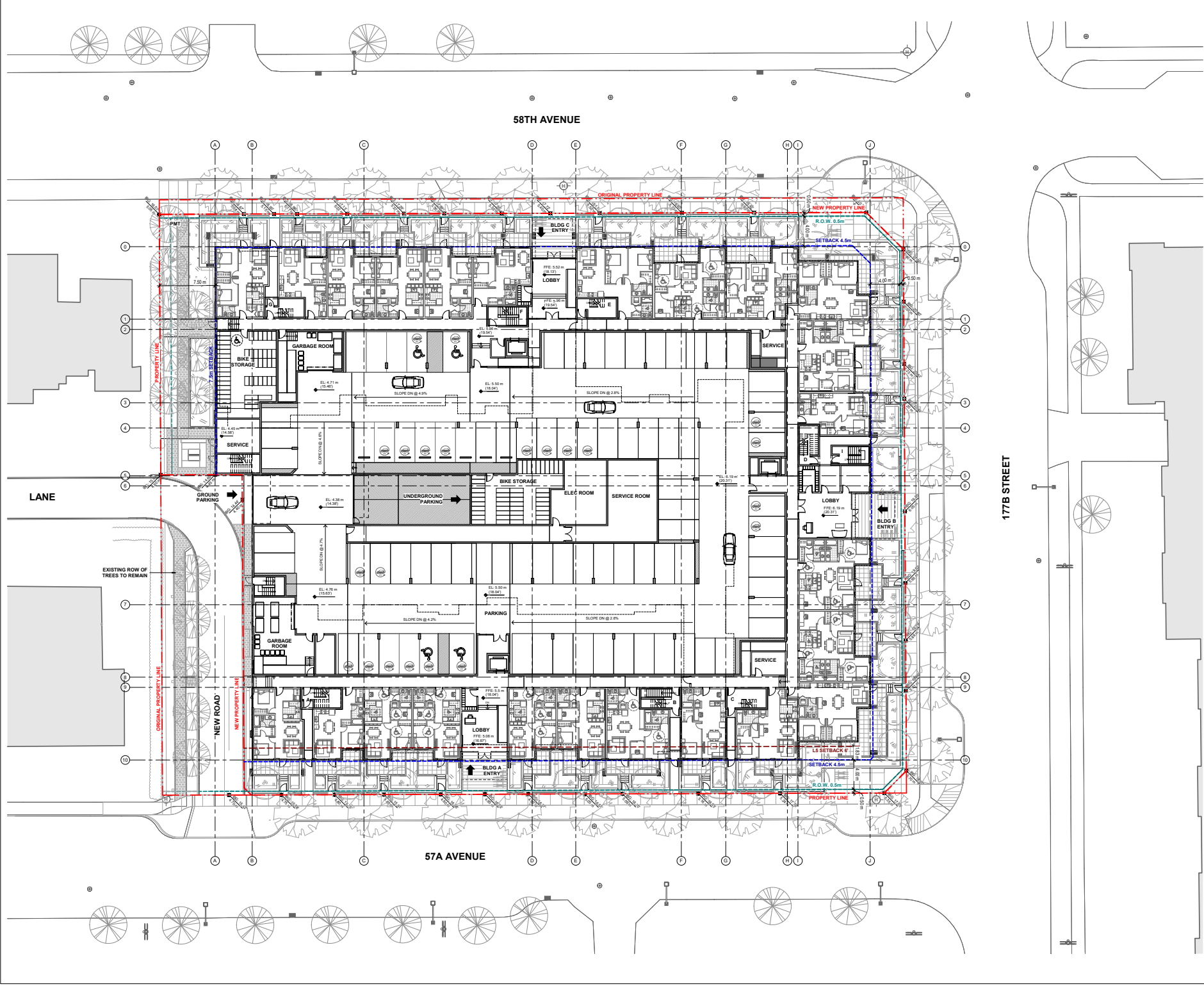
Scale: _____

Comments: _____

Project Title:
CLOVERDALE TOWN CENTRE
 2419 + 2429 168 STREET,
 SURREY BC

Sheet Title:
SITE PLAN

Scale	Date
1:150	2025-06-12
Drawn	Checked
Author	Checker
Def File	Sheet No.
Project No. 1706	A002



Note:
 This drawing, as an instrument of service, is the property of the Architect and shall remain the confidential property of the Architect. It shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in this drawing.

Author: _____
 Checked: _____
 Date: _____



No.	Date	Appr.	Description
1	2025-08-18	Checked	Final Review
2	2025-08-04	Checked	Final Review
3	2025-08-04	Checked	Final Review
4	2025-08-04	Checked	Final Review

PARKING USAGE TYPE		
TYPE	COUNT	%
ACCESSIBLE	1	0.3%
RESIDENTIAL	24	7.2%
VISITOR MARKET CONDO	13	4.1%
VISITOR RENTAL CONDO	2	0.6%
TOTAL	40	12.2%

PARKING TYPE TOTAL		
TYPE	COUNT	%
ACCESSIBLE	8	2.5%
REGULAR	307	80.7%
SMALL	111	28.7%
TOTAL	326	83.9%

PARKING SCHEDULE		
TYPE	COUNT	%
LEVEL 1	326	100.0%
ACCESSIBLE	8	2.5%
REGULAR	307	80.7%
SMALL	111	28.7%
TOTAL	326	83.9%

BIKE STORAGE COUNT		
Type	Count	Percentage
RESIDENTIAL	207	81%
VERTICAL	47	19%
TOTAL	254	78%

Form Consultant:
 MARTIN LEWIS ARCHITECTURE INC.
 1008 15th Avenue, Richmond BC
 Phone: +1 604 278 0888
 Email: martin@mla.ca

PARKING COLOR LEGEND:		
	VISITOR PARKING FOR MARKET CONDO	
	VISITOR PARKING FOR RENTAL	
	ELECTRIC VEHICLE CHARGING STATION	

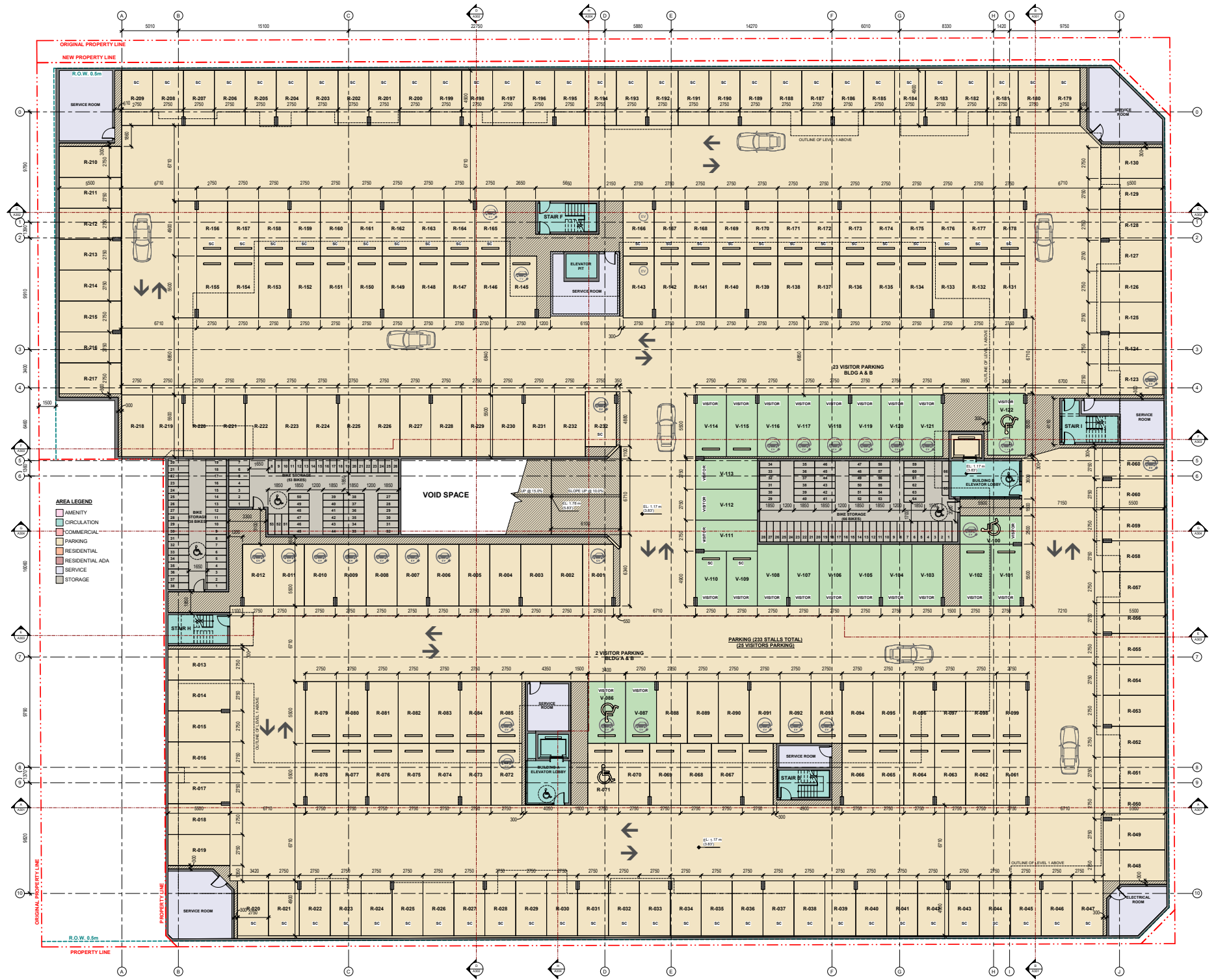


Project Title:
 CLOVERDALE TOWN CENTRE
 2419 + 2429 168 STREET,
 SURREY BC

Sheet Title:
 LEVEL P1

Scale:	1:100	Date:	2025-08-12
Drawn:	Checked:	Author:	Checked:
Def File:	Sheet No.:	Project No.:	1100

A101



AREA LEGEND	
	AMENITY
	CIRCULATION
	COMMERCIAL
	PARKING
	RESIDENTIAL
	RESIDENTIAL ADA
	SERVICE
	STORAGE

VOID SPACE

PARKING (233 STALLS TOTAL)
 (28 VISITORS PARKING)

DATE PLOTTED: 2025-08-12 10:00 AM



Rev	Date	Appr	Description
1	2025-08-18	Approved	Final Review
2	2025-08-04	Approved	Final Review
3	2025-08-04	Approved	Final Review
4	2025-08-04	Approved	Final Review

PARKING USAGE TYPE		
Type	Count	%
ACCESSIBLE	1	0.3%
VISITOR MARKET CONDO	5	1.6%
VISITOR RENTAL CONDO	2	0.6%
REGULAR	146	45.5%
RESIDENTIAL	24	7.3%
VISITOR MARKET CONDO	13	4.1%
VISITOR MARKET CONDO	9	2.8%
VISITOR RENTAL CONDO	5	1.5%
VISITOR RENTAL CONDO	4	1.2%
TOTAL	201	

PARKING TYPE TOTAL		
Type	Count	%
ACCESSIBLE	1	0.5%
REGULAR	201	99.5%
TOTAL	202	

PARKING SCHEDULE		
Type	Count	%
LEVEL 1	202	100%
ACCESSIBLE	1	0.5%
REGULAR	201	99.5%
TOTAL	203	

BIKE STORAGE COUNT		
Type	Count	Percentage
HORIZONTAL	202	81%
VERTICAL	48	19%
TOTAL	250	

Form Consultant:
MARTIN LEWIS ARCHITECTURE INC.
 1008 CH. AVENUE, SUITE 101
 VANCOUVER, BC V6J 1A6
 Phone: +1 604 278 1888
 Email: martin@mla.ca

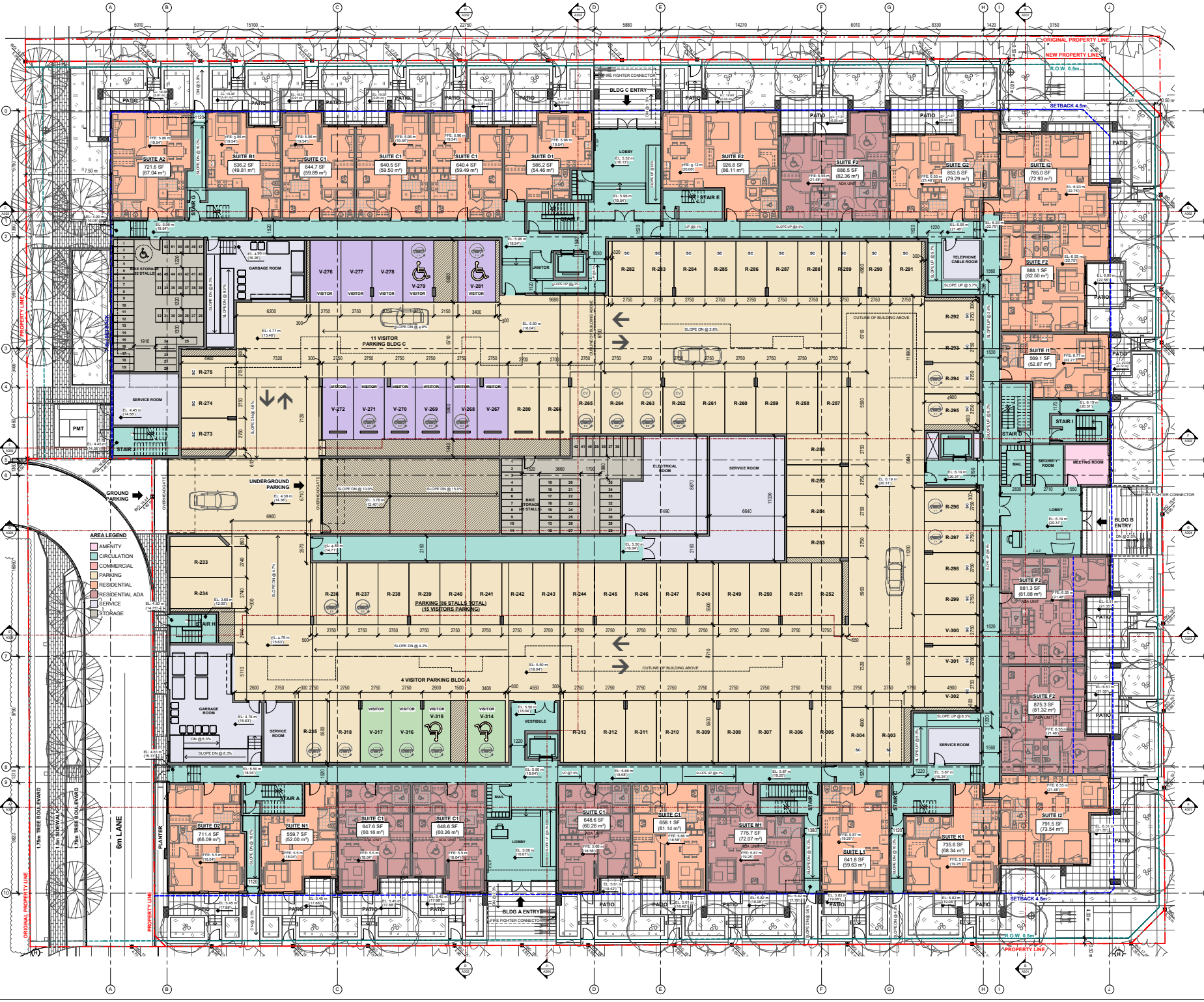
PARKING COLOR LEGEND:		
	VISITOR PARKING FOR MARKET CONDO	
	VISITOR PARKING FOR MARKET RENTAL	
	ELECTRIC VEHICLE CHARGING STATION	

Notes:
 1. This drawing is an addendum to the property of the Applicant and is not to be used for any other project without the written consent of the Applicant.
 2. All dimensions are in millimeters unless otherwise specified.
 3. All areas are in square meters unless otherwise specified.
 4. All areas are rounded to the nearest square meter.
 5. All areas are subject to change without notice.
 6. All areas are subject to change without notice.

Project Name:
CLOVERDALE TOWN CENTRE
 2419 + 2429 168 STREET,
 SURREY BC

Sheet Title:
LEVEL 1

Scale	Date
Scale: 1:100	Date: 2025-08-12
Drawn: [Name]	Checked: [Name]
Author: [Name]	Design: [Name]
Project No: 1190	



AREA LEGEND	
	AMENITY
	CIRCULATION
	COMMERCIAL
	PARKING
	RESIDENTIAL
	RESIDENTIAL ADA
	SERVICE
	STORAGE

17m TREE BOULEVARD
 6m LANE



No.	Date	Appr.	Description
1	2025-08-18	Author	Final Floor Plan
2	2025-08-04	Author	Final Floor Plan
3	2025-08-12	Author	Final Floor Plan

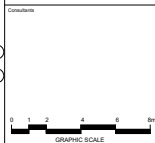
No.	Date	Appr.	Description

Revised:
 Drawn:
 Checked:
 Approved:

Client:

Project Consultant:
MARTIN LEWIS ARCHITECTURE INC.
 1008 12th Avenue, Burnaby BC
 Canada V5A 1S6
 Phone: +1 604 431 5555
 Email: martin@mla.ca

Scale:



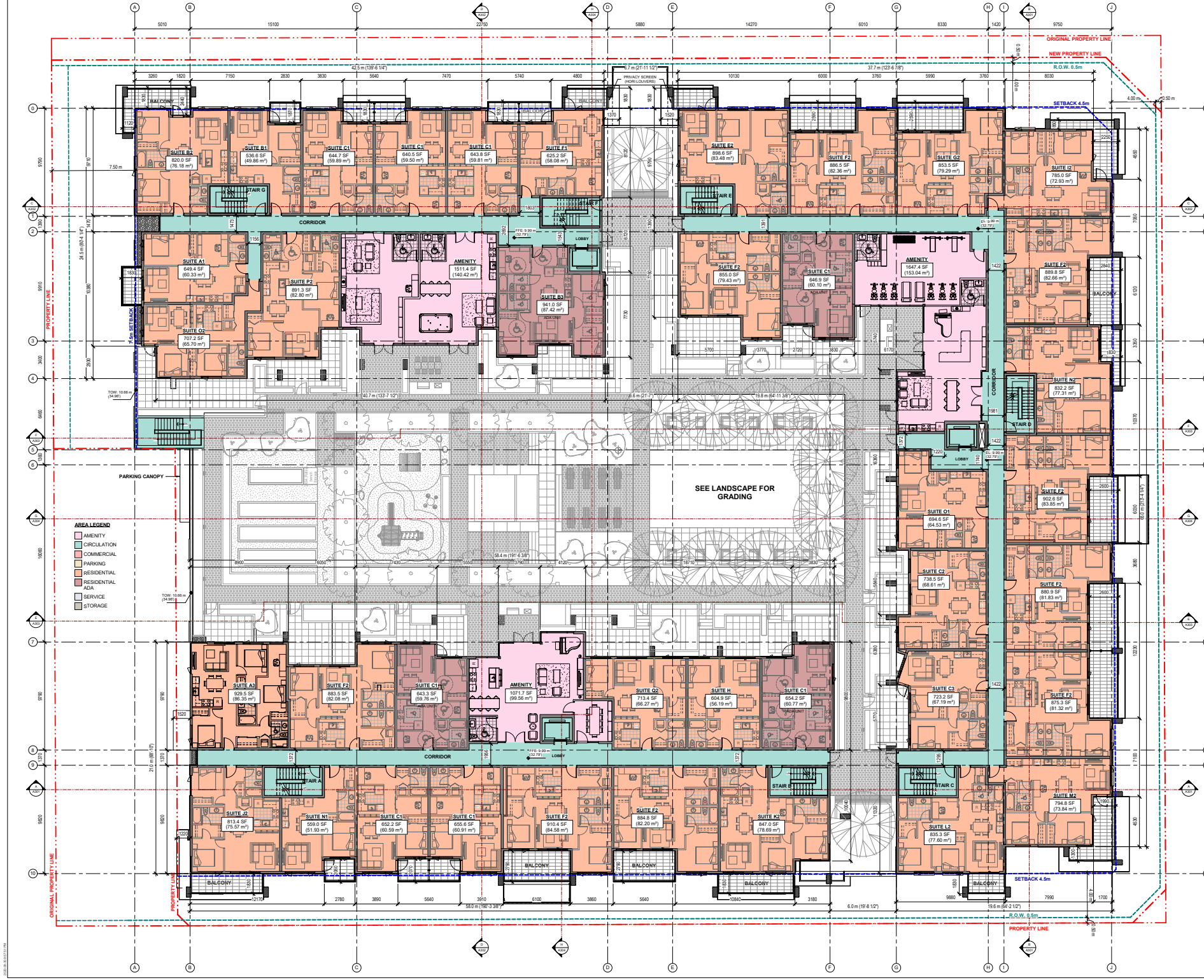
Notes:
 1. This drawing, as an addendum to the project of the Architect and any other documents, shall be read in conjunction with the original contract documents. It shall not be used for any other project or purpose without the written consent of the Architect.
 2. The Architect is not responsible for the accuracy of the information provided by the client or other sources. The client is responsible for the accuracy of the information provided.
 3. The Architect is not responsible for the accuracy of the information provided by the client or other sources. The client is responsible for the accuracy of the information provided.

Project File:
CLOVERDALE TOWN CENTRE
 2419 + 2429 168 STREET,
 SURREY BC

Sheet Title:
LEVEL 2

Scale	Date
1:100	2025-08-12
Drawn:	Checked:
Author:	Checked:
Draw File:	Sheet No.:
Project No.:	1100

A103



AREA LEGEND

	AMENITY
	CIRCULATION
	COMMERCIAL
	PARKING
	RESIDENTIAL
	RESIDENTIAL ADA
	SERVICE
	STORAGE



No.	Date	Appr.	Description
1	2025-08-18	Architect	Issue for Review
2	2025-08-24	Architect	Issue for Approval
3	2025-08-25	Architect	Issue for Construction

No.	Date	Appr.	Description

Revisions

Client

Form Consultant

MARTIN LEWIS ARCHITECTURE INC.

1008 THE AVENUE, SUITE 100
VANCOUVER, BC V6Z 2R6
Phone: +1 604 138 1818
Email: martin@mla.ca

Scale

Grid

Comments

Notes

This drawing is an indication of the proposed construction and is not to be used for construction purposes without the approval of the architect.

Other drawings shall be consulted for details not shown here. Coordinate with the contractor for any changes to the construction.

Project Title

CLOVERDALE TOWN CENTRE

2419 + 2429 168 STREET, SURREY BC

Sheet Title

LEVEL 5

Scale

Date

Drawn

Checked

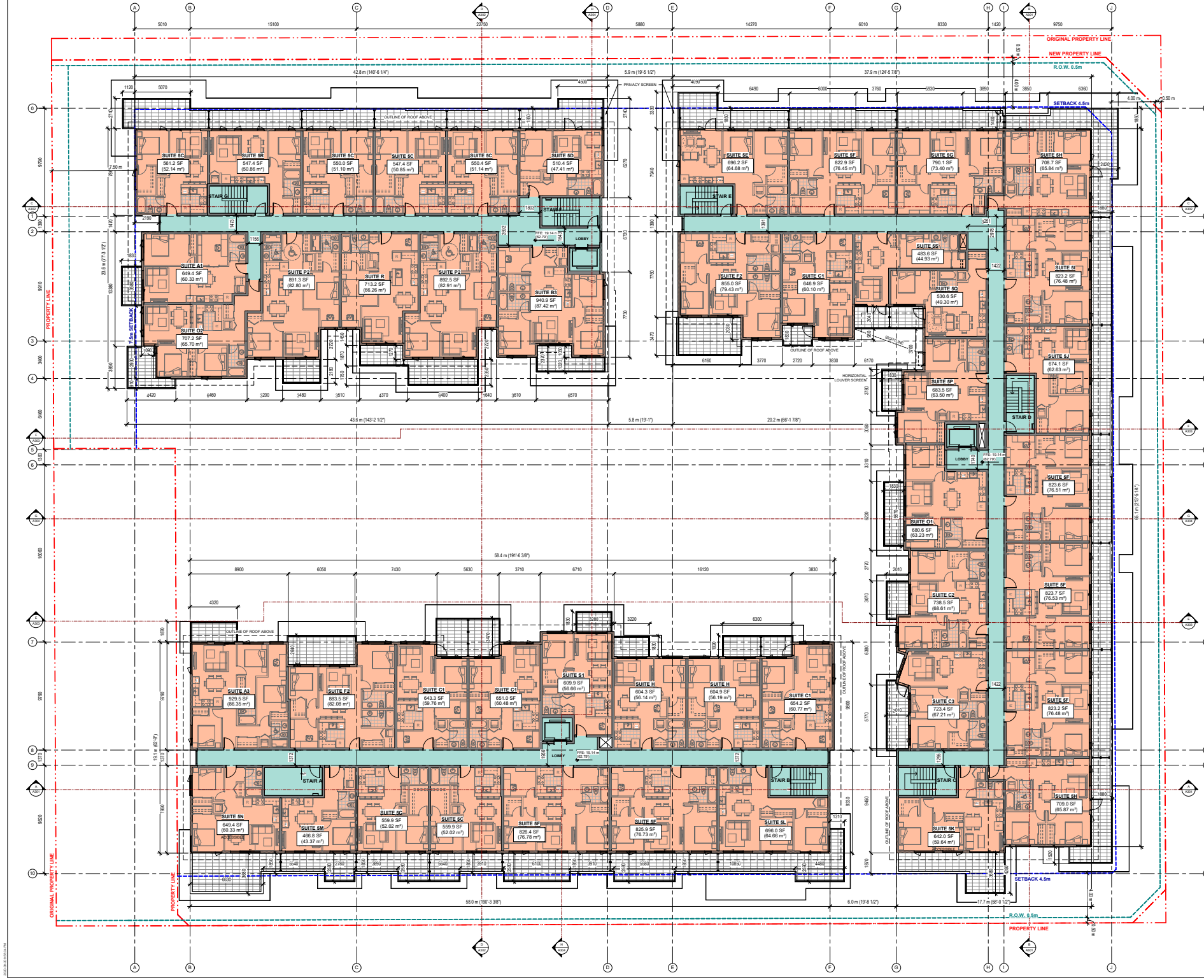
Approved

Design File

Project No.

1100

2025-08-12



MATERIAL BOARD

EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

[PH] HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL [METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR] SEE ELEVATION DWG FOR LOCATION

- LIGHT WARM GREY
- MID TONE GREY
- LIGHT BEIGE
- DARK BLUISH GREY
- MID TONE BROWNISH GREY
- SIDING - CEDAR COLOUR

[MP] METAL COMPOSITE PANEL - MATTE FINISHED PANEL & SURFACE CHANNEL W/ SAME COLOUR

- DARK GREY
- LIGHT BROWN



GLAZING GLASS



SPANDREL GLASS

SL SHADING LOUVER (COMPOSITE MATERIAL) COMPOSITE MATERIAL OR PRETREATED WOOD



02 DOOR: STAINED DARK WALNUT COLOUR



06 SOFFIT: WOOD TEXTURE COMPOSITE PANEL

WALL CLADDING

[M1] BRICK CLADDING - MID TONE GREY MORTAR SEE DWG FOR LOCATION

- MID TONE RED
- GREYISH PINK
- DRAK BROWN
- BEIGE
- PRECAST CONCRETE LITTLE MID TONE GREY

COLUMN

WOOD POST COLUMN CLADDED WITH BRICK

[CB] COLUMN CLADDING (W/ WOOD POST) - BRICK BEIGE COLOUR

[CH] COLUMN CLADDING (W/ WOOD POST) - HARDIE SIDING BEIGE COLOUR W/ CORNER TRIM

WINDOW + DOOR

[W1] DOUBLE GLAZIED THERMALLY BROKEN WINDOW TINTED GREYISH BLUE VINYL/METAL WINDOW FRAME PAINTED DARK GREY SLIDING/ SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR

[W2] GROUND LEVEL LOBBY GLAZING SYSTEM STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING (CLEAR GLAZING) WITH DARK GREY FRAME, MATT FINISHED.

[S01] SPANDREL GLASS WINDOW FRAME COLOUR TO MATCH WITH W1

- MID TONE GREY
- LIGHT GREY

[D1] GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR PAINTED DARK WALNUT

[GG] OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

04 BRICK



DRAK BROWN



MID TONE RED



GREYISH PINK



BEIGE

05 HARDIE PANELS



LIGHT WARM GREY



LIGHT BEIGE



MID TONE GREY



MID TONE BROWNISH GREY



DARK BLUISH GREY



SIDING - CEDAR COLOUR

CONCRETE WALL

[C1] PAINTED CONCRETE WALL WITH WARM MID-TONE GREY 1/2" REVEAL

LOBBY ENTRY CANOPY

[CP] PRE-FINISHED METAL PANEL [1/2" REVEAL] W/ WOOD TEXTURE SOFFIT MID GREY WITH MATT FINISH

SOFFIT

[SFT1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP

[SFT2] LIGHT GREY SOFFIT W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT

FASCIA + FLASHING

[MF] WOOD / COMPOSITE PANEL FASCIA -

- 1: DARK GREY (BALCONY AND FEATURE OVERHANG)
- 2: MID TONE GREY (ROOF FACIAL)

PRE FINISHED METAL FLASHING [COLOUR TO MATCH WITH WALL PANEL

MISC. ITEMS

[GR1] GUARD RAIL - PREFINISHED METAL DARK GREY SIDE MOUNTED WITH MP FASCIA/COVER PLATE

[GR2] PATIO ENTRY GATE SEE LS DWG

[LT] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING

[GP] GUARDRAIL FEATURE PANEL PREFINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL CEDAR COLOUR

[SL] SHADING LOUVER CEDAR COLOUR COMPOSITE PANEL



COMPOSITE PANEL WITH METAL FRAME



00 METAL PANEL CANOPY AT ENTRANCE



03 GUARDRAIL & METAL FACIAL AT BALCONY

EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

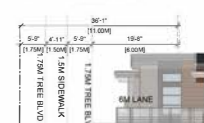
- PF1 HARDBE PANEL - W/ PREF FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR]
SEE ELEVATION DWG FOR LOCATION
- LIGHT WARM GREY
- MID TONE GREY
- LIGHT BEIGE
- DARK BROWN GREY
- MID TONE BROWNISH GREY
- SIDING - CEDAR COLOUR

- WP METAL COMPOSITE PANEL -
MATTER FINISHED PANEL & SURFACE CHANNEL W/ SAME COLOUR
- DARK GREY
- LIGHT BROWN

WALL CLADDING

- WB1 BRICK CLADDING - MID TONE GREY MORTAR
SEE DWG FOR LOCATION
- MID TONE RED
- GREYISH PINK
- DARK BROWN
- BEIGE
- PRECAST CONCRETE LINTEL - MID TONE GREY

PL DEDICATION PL



COLUMN

- WC1 WOOD POST COLUMN GLAZED WITH BRICK
- CB1 COLUMN CLADDING (W/ WOOD POST) - BRICK BEIGE COLOUR
- CB2 COLUMN CLADDING (W/ WOOD POST) - HARDBE SIDING BEIGE COLOUR - W/ CORNER TRIM

CONCRETE WALL

- CD1 PAINTED CONCRETE WALL WITH WARM MIDTONE GREY 1/2" REVEAL

WINDOW + DOOR

- WR1 DOUBLE GLAZED THERMALLY BROKEN WINDOW - TINTED GREYISH BLUE VINYL METAL WINDOW FRAME - PAINTED DARK GREY
- SLIDING/ SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
- WR2 GROUND LEVEL LOBBY GLAZING SYSTEM STORE FRONT WINDOW + ENTRY DOOR
- LOW W/ GLAZING (CLEAR GLAZING) WITH DARK GREY FRAME, MATT FINISHED.

- GC1 SPANREL GLASS WINDOW FRAME COLOUR TO MATCH WITH W1
- MD TONE GREY
- LIGHT GREY
- GD1 GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
- PAINTED DARK WALNUT
- GD2 OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

- CP1 PREF FINISHED METAL PANEL [1/2" REVEAL]
- W1 WOOD TEXTURE SOFFIT
- MID GREY WITH MATT FINISH

SOFFIT

- SP1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- SP2 LIGHT GREY SOFFIT W/ ALUM VENT STRIP. COLOUR TO MATCH WITH SOFFIT

FASCIA + FLASHING

- FP1 WOOD / COMPOSITE PANEL FASCIA -
- 1. DARK GREY (BALCONY AND FEATURE OVERHANG)
- 2. MID TONE GREY (ROOF FACIAL)
- PREF FINISHED METAL FLASHING [COLOUR TO MATCH WITH WALL PANEL]

MISC. ITEMS

- DR1 GUARD RAIL - PREF FINISHED METAL DARK GREY
- SSIC MOUNTED WITH MP FASCIA COVER PLATE
- GR2 PATIO ENTRY GATE - SEE LS DWG
- LT1 CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING
- GF2 GUARDRAIL FEATURE PANEL
- PREFINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL
- CEDAR COLOUR
- R1 SHADING LOUVER
- CEDAR COLOUR COMPOSITE PANEL



57A AVE
↑
SB ROW PL



57 A AVE ELEVATION
SOUTH



177B STREET ELEVATION
EAST

No.	Date	Appr.	Description

Client

Principal Consultant
MARTIN LIEW ARCHITECTURE INC.
2221 178A AVENUE, SURREY BC
CANADA V3R 1Y6
Phone: +1 604 285-0555
Email: martin_liew@mla.ca

Scale

Comments

Notes:
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Project Title:
17722 58TH ST.
Surrey, BC

Sheet Title:
STREET ELEVATIONS
SOUTH + EAST

Scale:
1:150
Date:
JULY 2020
Drawn:
JH-GA-CK
Checked:
ML
Cadd File:
Sheet No.:

Project No.:
WG1908
A 200

EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

CP1 HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL (METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR) SEE ELEVATION DWG FOR LOCATION
 LIGHT WARM GREY
 MID TONE GREY
 LIGHT BEIGE
 DARK BLUEISH GREY
 MID TONE BROWNISH GREY
 SIDING - CEDAR COLOUR

MP METAL COMPOSITE PANEL - MATTE FINISHED PANEL & SURFACE CHANNEL W SAME COLOUR
 DARK GREY
 LIGHT BROWN

WALL CLADDING

WF BRICK CLADDING - MID TONE GREY MORTAR SEE DWG FOR LOCATION
 MID TONE RED
 GREYISH PINK
 DARK BROWN
 BEIGE
 PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

WC WOOD POST COLUMN CLADDED WITH BRICK
CA COLUMN CLADDING (W / WOOD POST) - BRICK BEIGE COLOUR
CD COLUMN CLADDING (W / WOOD POST) - HARDIE SIDING BEIGE COLOUR W/ CORNER TRIM

CONCRETE WALL

CT PAINTED CONCRETE WALL WITH WARM MIDTONE GREY 1/2" REVEAL

WINDOW + DOOR

WD DOUBLE GLAZED THERMALLY BROKEN WINDOW TINTED GREYISH BLUE VINYL METAL WINDOW FRAME PAINTED DARK GREY BUILDING DRIVING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
WD GROUND LEVEL LOBBY GLAZING SYSTEM STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING (CLEAR GLAZING) WITH DARK GREY FRAME, MATT FINISHED.
SG SPANDREL GLASS WINDOW FRAME COLOUR TO MATCH WITH W1 MID TONE GREY LIGHT GREY
DI GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR PAINTED DARK WALNUT
OG OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

CP PRE FINISHED METAL PANEL (1/2" REVEAL) W/ WOOD TEXTURE SOFFIT MID GREY WITH MATT FINISH

SOFFIT

SP1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM VENT STRIP
SP2 LIGHT GREY SOFFIT W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT

FASCIA + FLASHING

WF WOOD / COMPOSITE PANEL FASCIA -
 1. DARK GREY (BALCONY AND FEATURE OVERHANG)
 2. MID TONE GREY (ROOF FACIAL)
 PRE FINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

GR1 GUARD RAIL - PREFINISHED METAL DARK GREY SOFT MOUNTED WITH MP FASCIA COVER PLATE
GR2 PATIO ENTRY GATE - SEE LS DWG
LI CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING
GP GUARDRAIL FEATURE PANEL - PREFINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL CEDAR COLOUR
SL SHADING LOUVER CEDAR COLOUR COMPOSITE PANEL



No.	Date	Appr'd.	Description

No.	Date	Appr'd.	Description

No.	Date	Appr'd.	Description

CONSULTANTS

MARTIN LIEW ARCHITECTURE INC.
 1330 VIB AVE SUITE 205
 CANADA V3R 1M8
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 Email: martin.liew@gmail.com

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Project No: 17722 58TH ST. Surrey, BC

Sheet Title: STREET ELEVATIONS NORTH + WEST

Scale: 1:50	Date: JULY 2020
Drawn: JH-GACK	Checked: ML
Client File:	Sheet No:
Project No: WG1908	A 201

EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

PF1 HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR]
SEE ELEVATION DWG FOR LOCATION
LIGHT WARM GREY
MID TONE GREY
LIGHT BEIGE
DARK ELLISH GREY
MID TONE BROWNISH GREY
SIDING - CEDAR COLOUR

MP METAL COMPOSITE PANEL -
MATTIE FINISHED PANEL & SURFACE CHANNEL W/ SAME COLOUR
DARK GREY
LIGHT BROWN

WALL CLADDING

WT BRICK CLADDING - MID TONE GREY MORTAR
SEE DWG FOR LOCATION
MID TONE RED
GREYISH PINK
DARK BROWN
SERIE
PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

WC WOOD POST COLUMN CLADDED WITH BRICK
CC COLUMN CLADDING (W/ WOOD POST) - BRICK BEIGE COLOUR
CK COLUMN CLADDING (W/ WOOD POST) - HARDIE SIDING BEIGE COLOUR W/ CORNER TRIM

CONCRETE WALL

CA PAINTED CONCRETE WALL WITH WARM MID-TONE GREY
1 1/2" REVEAL

WINDOW + DOOR

WT DOUBLE GLAZED THERMALLY BROKEN WINDOW TINTED GREYISH BLUE
VINYL METAL WINDOW FRAME PAINTED DARK GREY
SLIDING SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
WD GROUND LEVEL LOBBY GLAZING SYSTEM
STONE FRONT WINDOW + ENTRY DOOR
LOW W GLAZING (CLEAR GLAZING)
WITH DARK GREY FRAME, MATT FINISHED.

GG SPANDREL GLASS WINDOW
FRAME COLOUR TO MATCH WITH WT
MID TONE GREY
LIGHT GREY

GT GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
PAINTED DARK WALNUT

GO OVERHEAD GARAGE GATE - PRE-FINISHED DARK GREY

LOBBY ENTRY CANOPY

CP PRE-FINISHED METAL PANEL (1 1/2" REVEAL)
W/ WOOD TEXTURE SOFFIT
MID GREY WITH MATT FINISH

SOFFIT

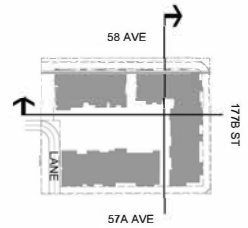
SK1 CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM VENT STRIP
SK2 LIGHT GREY SOFFIT W/ ALUM VENT STRIP, COLOUR TO
MATCH WITH SOFFIT

FASCIA + FLASHING

WF WOOD / COMPOSITE PANEL FASCIA -
1. DARK GREY (BALCONY AND FEATURE OVERHANG)
2. MID TONE GREY (ROOF FACIAL)
PRE-FINISHED METAL FLASHING (COLOUR TO MATCH WITH WALL PANEL)

MISC. ITEMS

GR1 GUARD RAIL - PRE-FINISHED METAL DARK GREY
SIDE MOUNTED WITH MP FASCIA COVER PLATE
GR2 PATIO ENTRY GATE - SEE LS DWG
GP CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING
QR QUADRANT FEATURE PANEL
PRE-FINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL
CEDAR COLOUR
EL SHADING LOUVER
CEDAR COLOUR COMPOSITE PANEL



No.	Date	Appr.	Description

No. Date Appr. Description
Revision
Client

Project Consultant
MARTIN LIEW ARCHITECTURE INC.
2020 17th AVENUE, BURNABY BC,
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Scale
Notes

Consultants

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Project Title
17722 58TH ST.
Surrey, BC

Scale
1:150
Date
JULY 2020
Drawn
JH-GACK
Checked
ML
Client Title
Sheet No.
Project No.
WG1908

EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

- CP1** HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/ PANEL COLOUR]
SEE ELEVATION DWG FOR LOCATION
- LIGHT WARM GREY
- MID TONE GREY
- LIGHT BEIGE
- DARK BLISH GREY
- MID TONE BROWNISH GREY
- SIDING - CEDAR COLOUR

- WP** METAL COMPOSITE PANEL -
MATT FINISHED PANEL & SURFACE CHANNEL W/ SAME COLOUR
- DARK GREY
- LIGHT BROWN

WALL CLADDING

- WT** BRICK CLADDING - MID TONE GREY MORTAR
- SEE DWG FOR LOCATION
- MID TONE RED
- GREYISH PINK
- DARK BROWN
- BEIGE
- PRECAST CONCRETE LINTEL MID TONE GREY

COLUMN

- WOOD POST COLUMN CLADDED WITH BRICK
- CC1** COLUMN CLADDING (W/ WOOD POST) - BRICK BEIGE COLOUR
- CC2** COLUMN CLADDING (W/ WOOD POST) - HARDIE SIDING BEIGE COLOUR W/ CORNER TRIM

CONCRETE WALL

- CC1** PAINTED CONCRETE WALL WITH WARM MID TONE GREY
1/2" REVEAL

WINDOW + DOOR

- WR1** DOUBLE GLAZED THERMALLY BROKEN WINDOW TINTED GREYISH BLUE
- VINYL METAL WINDOW FRAME PAINTED DARK GREY
- SLIDING SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
- WR2** GROUND LEVEL LOBBY GLAZING SYSTEM
- STORE FRONT WINDOW + ENTRY DOOR
- LOW W GLAZING (CLEAR GLAZING)
- WITH DARK GREY FRAME, MATT FINISHED.
- SC1** SPANDREL GLASS WINDOW
- FRAME COLOUR TO MATCH WITH WT
- MID TONE GREY
- LIGHT GREY

- GD1** GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
- PAINTED DARK WALNUT
- GD2** OVERHEAD GARAGE GATE - PRE-FINISHED DARK GREY

LOBBY ENTRY CANOPY

- CP** PRE-FINISHED METAL PANEL (1/2" REVEAL)
- W/ WOOD TEXTURE SOFFIT
- MID GREY WITH MATT FINISH

SOFFIT

- SP1** CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM VENT STRIP
- SP2** LIGHT GREY SOFFIT W/ ALUM VENT STRIP COLOUR TO
MATCH WITH SOFFIT

FASCIA + FLASHING

- WF** WOOD / COMPOSITE PANEL FASCIA -
 - 1: DARK GREY (BALCONY AND FEATURE OVERHANG)
 - 2: MID TONE GREY (ROOF FACIAL)
- PRE-FINISHED METAL FLASHING [COLOUR TO MATCH WITH WALL PANEL]

MISC. ITEMS

- GR1** GUARD RAIL - PRE-FINISHED METAL DARK GREY
- SIDE MOUNTED WITH MP FASCIA COVER PLATE
- GR2** PATIO ENTRY GATE SEE LS DWG
- LT** CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING
- LP** GUARDRAIL FEATURE PANEL
- PRE-FINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL
- CEDAR COLOUR
- SL** SHADING LOUVER
- CEDAR COLOUR COMPOSITE PANEL



**COURTYARD ELEVATION
NORTH - BUILDING A**

Issues			
No.	Date	Appr.	Description

Revision			
No.	Date	Appr.	Description

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Scale 1:150	
Date JULY 20	
Drawn JH-GACK	Checked ML
Date Pld (Sheet No.)	(Sheet No.)
Project No. 17722 58TH ST. Surrey, BC	A 203

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EXTERIOR FINISHES LEGEND

COMPOSITE / METAL PANEL

- PH HARDIE PANEL - W/ PRE-FINISHED METAL CHANNEL
[METAL CHANNEL COLOUR TO MATCH W/PANEL COLOUR.]
SEE ELEVATION DWG FOR LOCATION
LIGHT WARM GREY
MID TONE GREY
LIGHT BEIGE
DARK BURNISH GREY
MID TONE BROWNISH GREY
SIDING - CEDAR COLOUR

- MF METAL COMPOSITE PANEL
MATT FINISHED PANEL & SURFACE CHANNEL W/ SAME COLOUR
DARK GREY
LIGHT BROWN

WALL CLADDING

- HT BRICK CLADDING - MID TONE GREY MONTAR
SEE DWG FOR LOCATION
MID TONE RED
GREYISH PINK
DARK BROWN
BEIGE
PRE-CAST CONCRETE LINTEL - MID TONE GREY

COLUMN

- WOOD POST COLUMN CLADDED WITH BRICK
- CB COLUMN CLADDING (W/ WOOD POST) - BRICK BEIGE COLOUR
- CC COLUMN CLADDING (W/ WOOD POST) - HARDIE SIDING BEIGE COLOUR W/ CORNER TRIM

CONCRETE WALL

- CA PAINTED CONCRETE WALL WITH WARM MID-TONE GREY
1/2" REVEAL

WINDOW + DOOR

- WF DOUBLE GLAZED THERMALLY BROKEN WINDOW TINTED GREYISH-BLUE
VINYL/METAL WINDOW FRAME PAINTED DARK GREY
SLIDING/SWING DOOR FRAME TO MATCH WITH WINDOW FRAME COLOUR
- WC GROUND LEVEL LOBBY GLAZING SYSTEM
STORE FRONT WINDOW + ENTRY DOOR
LOW-GLAZING (CLEAR GLAZING)
WITH DARK GREY FRAME, MATT FINISHED.

- WG SPANDREL GLASS WINDOW
FRAME COLOUR TO MATCH WITH W1
MID TONE GREY
LIGHT GREY

- WD GROUND LEVEL TOWNHOUSE/SUITE ENTRY DOOR
PAINTED DARK WALNUT

- WG OVERHEAD GARAGE GATE - PREFINISHED DARK GREY

LOBBY ENTRY CANOPY

- CC PRE-FINISHED METAL PANEL [1/2" REVEAL]
W/ WOOD TEXTURE SOFFIT
MID GREY WITH MATT FINISH

SOFFIT

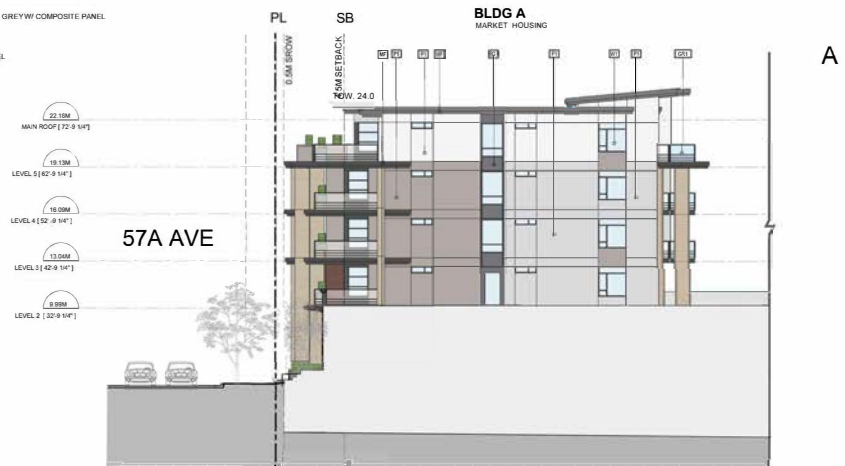
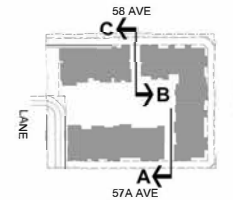
- SFT CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- SFT LIGHT GREY SOFFIT W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT

FASCIA + FLASHING

- WF WOOD / COMPOSITE PANEL FASCIA -
1: DARK GREY (BALCONY AND FEATURE OVERHANG)
2: MID TONE GREY (ROOF FACIAL)
PRE-FINISHED METAL FLASHING [COLOUR TO MATCH WITH WALL PANEL]

MISC. ITEMS

- GRD GUARD RAIL - PREFINISHED METAL DARK GREY
SIDE MOUNTED WITH MP FASCIA/ COVER PLATE
- GRD PATIO ENTRY GATE - SEE LS DWG
- LT CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING
- GP GUARDRAIL FEATURE PANEL
PREFINISHED METAL FRAME DARK GREY W/ COMPOSITE PANEL
CEDAR COLOUR
- SL SHADING LOUVER
CEDAR COLOUR COMPOSITE PANEL



No.	Date	Appr.	Description

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Checked
ML

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Project Title
**17722 58TH ST.
Surrey, BC**

Sheet Title
INTERNAL ELEVATIONS

Scale 1:150	Date JULY 2020
Drawn JH GACK	Checked ML
Proj. No. WG1908	Sheet No. A 204

PROJECT INFORMATION

SURREY PROJECT NUMBER: 18-0063

DRAWINGS PREPARED BY: Durante Kreuk Ltd.
LANDSCAPE ARCHITECT: Dylan Chernoff

DRAWING LIST

- L100 LANDSCAPE COVER SHEET
- L101 LEVEL 1 LANDSCAPE MATERIALS AND GRADING PLAN
- L102 LEVEL 1 PLANTING PLAN
- L103 LEVEL 1 SOIL DEPTH PLAN
- L104 LEVEL 2 LANDSCAPE MATERIALS AND GRADING PLAN
- L105 LEVEL 2 PLANTING PLAN
- L106 LEVEL 2 SOIL DEPTH PLAN
- L201 LANDSCAPE SECTIONS
- L301 LANDSCAPE DETAILS
- L302 LANDSCAPE DETAILS
- L303 LANDSCAPE DETAILS

LANDSCAPE NOTES

- Refer to Architectural package for overall plan, survey information and dimensioned site plan.
- For hard landscape details attached to the building - REFER TO ARCHITECTURAL.
- For parking layout and number of spaces - REFER TO ARCHITECTURAL.
- For hard landscape grading information - REFER TO ARCHITECTURAL.
- For drainage information - REFER TO MECHANICAL.
- Lighting plan to be prepared with future submission.
- Planting plan to be prepared with future submission.
- ALL STREET TREES install 8' x 18" Deep Root Barrier centred on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
- ALL STREET TREES to be installed to the City of Surrey standards.
- All ground level patios to be provided with a hose bib at each unit.











PLANTING NOTES

- All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Current Edition of the Canadian Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- All trees to be staked in accordance with CSLA Standards.




IRRIGATION NOTES

- Irrigation to be provided for all 'Soft Landscape Areas' shown on the drawing.
- Irrigated areas to be installed as a design build irrigation system from the stub outs provided. Provide submittals of design to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
- The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
- Planters and Plant pots to be irrigated with a high efficiency irrigation system.
- Separate zone and required sleeves to be provided for spray irrigation of the boulevard.
- All irrigation valve boxes to be equipped with quick couplers.
- Irrigation valve boxes to be integrated into building design or base of planter.

MATERIALS LEGEND

-  Unit concrete paver Walkways Standard - running bond Colour = Charcoal
-  Hydropressed Slabs (24"x24" Typical, unless otherwise noted) Type = Light shot blast finish. Colour = Charcoal. Decorative River rock
-  Hydropressed Slabs (18"x18" With grass between) Type = Light shot blast finish. Colour = Charcoal. Decorative River rock
-  Slip resistant CT to match interior lobby Final material to be coordinated with interior design
-  Gravel Strip 3/4" washed rounded drain rock
-  Playground Surface Engineered Wood Safety Surface
-  Shrub Planting Refer to planting plan and plant list
-  CIP Concrete paving (Natural Colour) Light Broom Finish with control joints to City Standards.
-  Sod Lawn Non-netted sand based turf
-  Irrigation Stub out 50 PSI @ 50 GPM unless otherwise noted







SITE FURNITURE LEGEND

-  Potential locations for outdoor furniture Tables, Chairs and loungers by strata (Shown for info)
-  Bike Racks Stainless Steel loops
-  Benches - Wood Slat with Concrete base

LIGHTING LEGEND

-  Step Light
-  Bollard Light

PLANT LIST - ALL LEVELS

TREES	QTY	Botanical Name	Common Name	Size/ Comments
 15	Acer palmatum	Japanese maple	10' Ht.	B&B Specimen (3 Stem)
 35	Cornus k. 'chinensis'	Japanese Dogwood	10' Ht.	B&B Specimen (3 Stem)
 10	Prunus 'Akebono'	Akebono Cherry	2' Cal.	B&B Specimen
 20	Cercidiphyllum japonicum	katsura tree	3' cal.	B&B Specimen
 5	Lane Trees (Cercidiphyllum j.)	katsura to match SRW	3' cal.	B&B Specimen
 32	Street Trees (As per City of Surrey standards and specifications)		3' Cal.	B&B Specimen

SHRUBS / PERENNIALS / GRASSES / GROUNDCOVERS	QTY	Botanical Name	Common Name	Size/ Comments
A1	289	Azalea 'Fashion Pink'	Fashion Pink Azalea	#2 Pot 24" O.C.
A2	302	Azalea 'Hino White'	Hino White Azalea	#2 Pot 24" O.C.
c	207	Carex o. 'Evergold'	Variiegated Sedge	#1 pot. 12" O.C.
Cv	20	Ceanothus t. 'Victoria'	Victoria California Lilac	#3 Pot 5' O.C. CoCaCa
Ca	20	Clematis armandii	Evergreen Clematis	#3 pot staked
Cs	21	Cornus stolonifera	Red twig dogwood	#2 Pot 24" O.C.
Cd	27	C. dammeri 'Coral Beauty'	Cotoneaster	#2 Pot 36" O.C.
Gs	314	Gaultheria shallon	Salal	#2 Pot. 24" O.C.
Ht	350	Hosta 'Tokudama'	Hosta	#2 Pot. 24" O.C.
I	40	Lavandula s. 'Munstead'	Lavander	#2 Pot 18" O.C.
L	47	Liriope muscari 'Big Blue'	Liyurf	#2 Pot 18" O.C.
Nd	49	Nandina d. 'Moon Bay'	Heavenly Bamboo	#2 Pot 3' O.C.
P	129	Pennisetum a. 'Hamelni'	Dwarf Fountain Grass	#2 Pot 18" O.C.
Pn	103	Phyllostachys nigra	Black Bamboo	#2 Pot 24" O.C.
Pm	142	Pyzachium munium	Western Sword Fern	#2 Pot 24" O.C.
R1	97	Rhodo. 'Wojnar's Purple'	Dwarf Purple Rhodo	#2 Pot 24" O.C.
R2	176	Rhodo. 'Anah Kruschke'	Purple Rhododendron	#3 Pot 36" O.C.
S	141	Sarcococca h. 'hookeriana'	Sweet Box	#2 Pot 18" O.C.
T	1160	Taxus media 'Hilli'	Hill's Yew (Male Only)	4' Ht. RB to RB
Vp	12	Vaccinium parvifolium	Red Huckleberry	#3 Pot 36" O.C.

DESIGN RATIONALE

Located in a rapidly densifying neighbourhood, the site is in close proximity to the commercial core and is in walking distance to many community destinations. The street frontages of 57a Avenue, 177b Street and 58b Avenue will be upgraded to City standards with Street trees and a grass boulevard. The street level units will each have a private patio with suite access from the sidewalk. Unit entry gates, low brick clad walls and layered planting will provide a rich pedestrian experience.

A/N/S pathway at the west edge of the site will parallel a new lane that will provide access to the parkade. The tree lined pathway will be planted on either side and illuminated at night for safety. Vines will be planted and a cable system will be used for planting to cover the lower portion of the building along the lane.

Corner plazas will be provided at both the NE and SE corners of the site, with benches to allow for both social interaction and independent seating opportunities. The building entries are located mid-site on each of the three street frontages and will provide a welcoming landscape with bench seating and bike racks. In addition to the required bike parking, bike racks have also been included at each of the corner plazas.

A landscape courtyard with a range of programmatic elements will be provided at level 2 and will be accessible from the common corridors as well as from each of the three amenity rooms. The range of program will include an entertaining area with an outdoor kitchen off each amenity room, an outdoor living room, outdoor fireplaces, a central lawn, children's play garden plots and seating nooks around the central lawn. Units at the courtyard level will each have a private patio with a hedge for privacy and gates that open up onto the pathways.

A perimeter path and network of other pathways will provide options for people to experience the courtyards with smaller, more intimate spaces throughout. An opening to the parking level will allow light below and will anchor the fireplaces and trellis structures in the middle of the courtyard. The design tries to maximize the ability for several people to use the courtyard independently, with opportunities to come together as a community or host large family events. A central lawn area will allow for a flexible range of active and passive uses. Taking advantage of the slab drop, the landscape in the central green will be flush with the walkways, with raised planters to define spaces and elevate garden plots.

A mix of native and adaptive, drought tolerant plant material is proposed for the landscape areas on the podium. Evergreen shrubs, perennials and grasses, will comprise the majority of the plant palette, providing seasonal interest and a variety of habitat.

Site safety will be addressed throughout the site by selecting vegetation at recommended levels to maintain site lines adjacent to public areas and circulation routes. Safety levels of lighting will be provided with a range of light types throughout the site, boulevard.

No.	Date	Appr.	Description
1	20 JUN 17	DC	ISSUED FOR DP
2	20 AUG 27	DC	SUBMISSION FOR ADP
3	20 SEP 29	DC	ADP COMMENTS
4	20 DEC 01	DC	ISSUED FOR PLR

No.	Date	Appr.	Description
Revision			
Client			

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Scale

NTS

Drawn: RS/DC

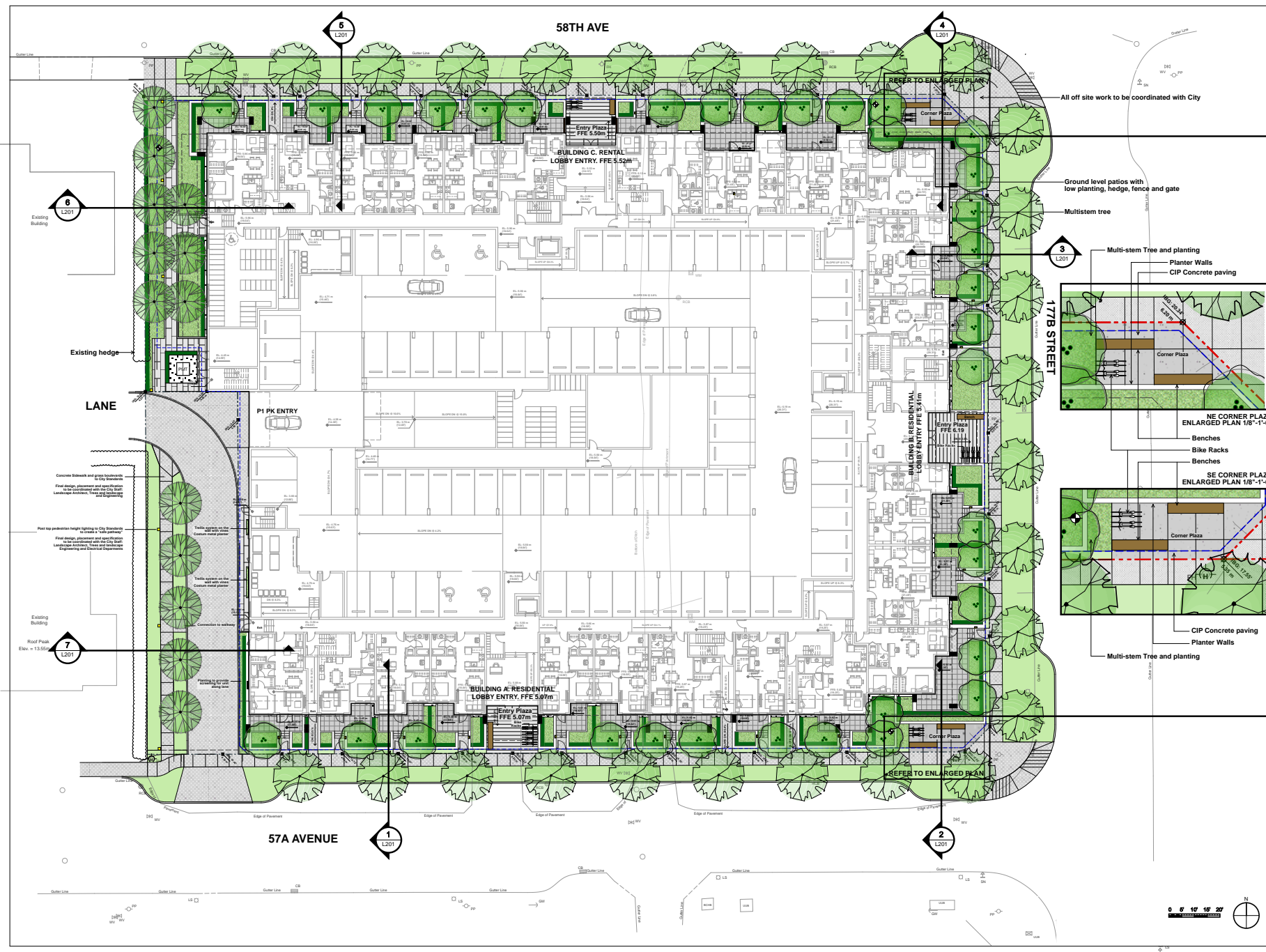
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Project No: 19084

Date: 20 JANUARY 2020

Sheet No: **L100**



Issue No.	Date	Appr'd	Description
1	20 JAN 20	DC	ISSUED FOR RZ / DP
2	20 JUN 17	DC	ISSUED FOR DP COORD
3	20 AUG 27	DC	SUBMISSION FOR ADP
4	20 SEP 29	DC	ADP COMMENTS
5	20 DEC 01	DC	ISSUED FOR PLR

No.	Date	Appr'd	Description
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Prime Consultant
MARTIN LEW ARCHITECTURE INC.
 7038 17th Avenue, Burnaby BC, Canada V5H 1R6
 Phone: +1 (604) 298-2056
 Email: martin.lew@mla.ca

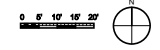
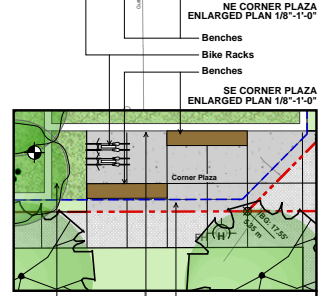
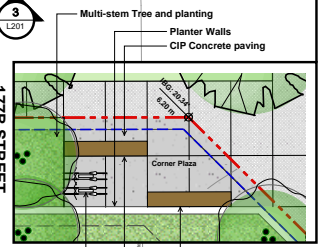
Consultants
DURANTE OENIK LTD. LANDSCAPE ARCHITECTS
 102 - 1637 West 5th Avenue, Vancouver B.C. V6J 1T6
 P: 604-684-4611 | F: 604-684-5577 | www.dol.ca

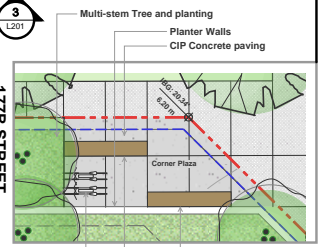
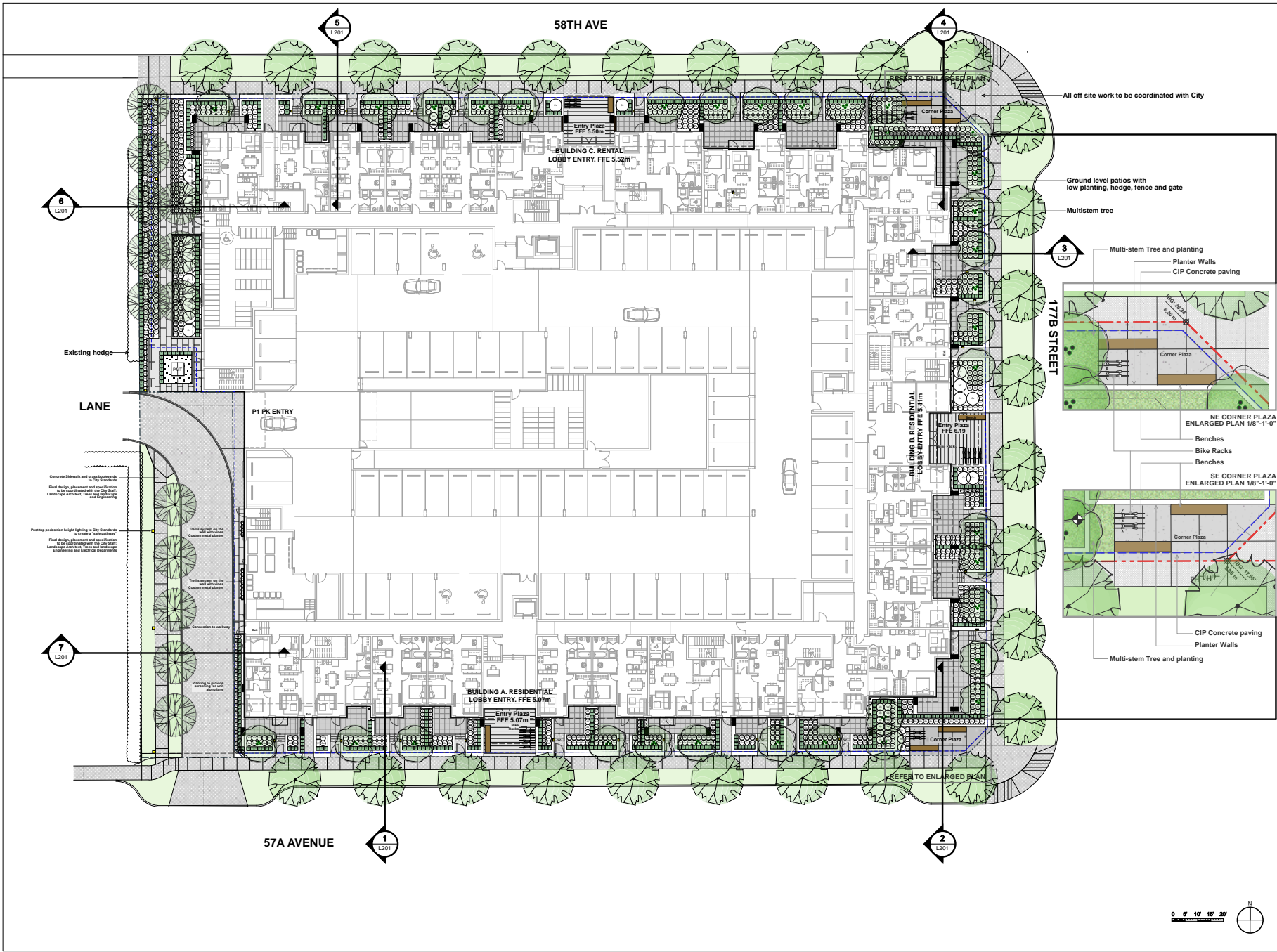
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Project Title
CLOVERDALE TOWN CENTRE
 17722 58TH ST.
 SURREY, BC

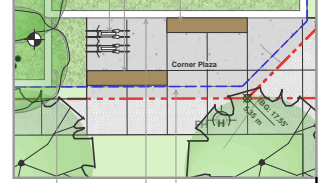
Sheet Title
LEVEL 1 LANDSCAPE MATERIALS AND GRADING PLAN

Scale: 1/16" = 1'-0"	Date: 30 JANUARY 2020
Drawn: RS / DC	Checked: DC
Coord File:	Sheet No.:
Project No: 19084	L101





- NE CORNER PLAZA ENLARGED PLAN 1/8"-1'-0"
- Benches
- Bike Racks
- Benches



- SE CORNER PLAZA ENLARGED PLAN 1/8"-1'-0"
- CIP Concrete paving
- Planter Walls
- Multi-stem Tree and planting

Issue No.	Date	Appr.	Description
1	20 JAN 20	DC	ISSUED FOR RZ / DP
2	20 JUN 17	DC	ISSUED FOR DP COORD
3	20 AUG 27	DC	SUBMISSION FOR ADP
4	20 SEP 29	DC	ADP COMMENTS
5	20 DEC 01	DC	ISSUED FOR PLR

No.	Date	Appr.	Description

Prime Consultant
MARTIN LEW ARCHITECTURE INC.
 7038 27th Avenue, Burnaby BC, Canada V5H 1R6
 Phone: +1 604 288-2056
 Email: martin.lew@mla.com

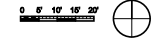
Client
DURANTE DEVELOPMENT LTD. LANDSCAPE ARCHITECTS
 102 - 1037 West 5th Avenue, Vancouver BC, V6J 1T6
 P: 604-684-4611 | F: 604-684-5577 | www.dlra.ca

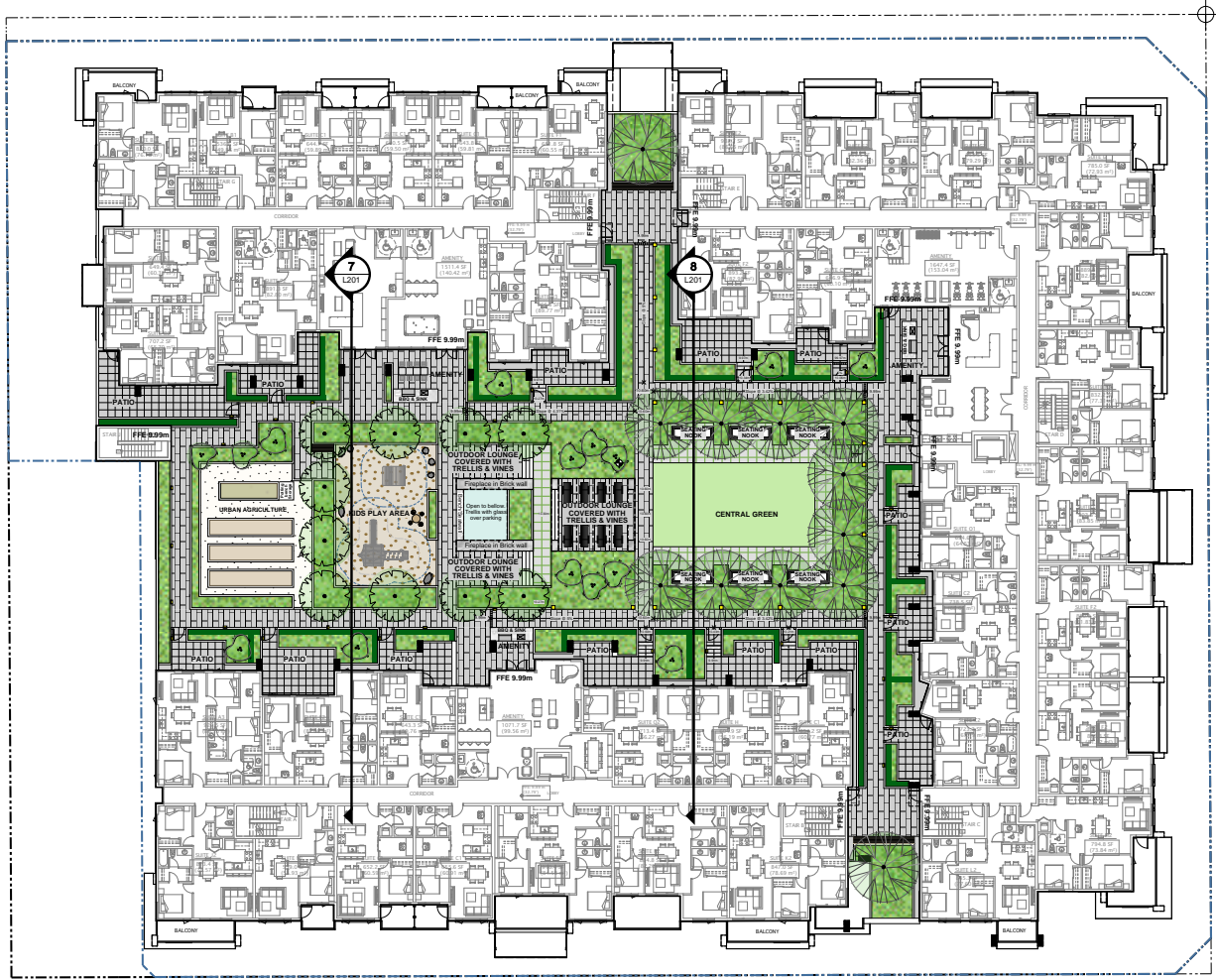
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Project Title
CLOVERDALE TOWN CENTRE
 1722 58TH ST.
 SURREY, BC

Sheet Title
LEVEL 1 PLANTING PLAN

Scale 1/16" = 1'-0"	Date 20 JANUARY 2020
Drawn RS / DC	Checked DC
Coord File	Sheet No.
Project No. 19084	L102





No.	Date	Appr.	Description
1	20 JAN 20	DC	ISSUED FOR RZ / DP
2	20 JUN 16	DC	ISSUED FOR DP COORD
3	20 AUG 27	DC	SUBMISSION FOR ADP
4	20 SEP 29	DC	ADP COMMENTS

No.	Date	Appr.	Description

Prime Consultant
MARTIN LEW ARCHITECTURE INC.
 7038 17th AVENUE SURREY BC
 CANADA V3R 1R6
 Phone +1 604 283-2006
 Email martin.lew@mla.ca

Seal

Consultants



DURANTE ENRUK LTD. LANDSCAPE ARCHITECTS
 102 - 1637 West 58th Avenue, Vancouver B.C. V6J 1T6
 P 604-684-4611 | F 604-684-6577 | www.dnla.ca

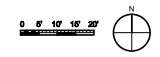
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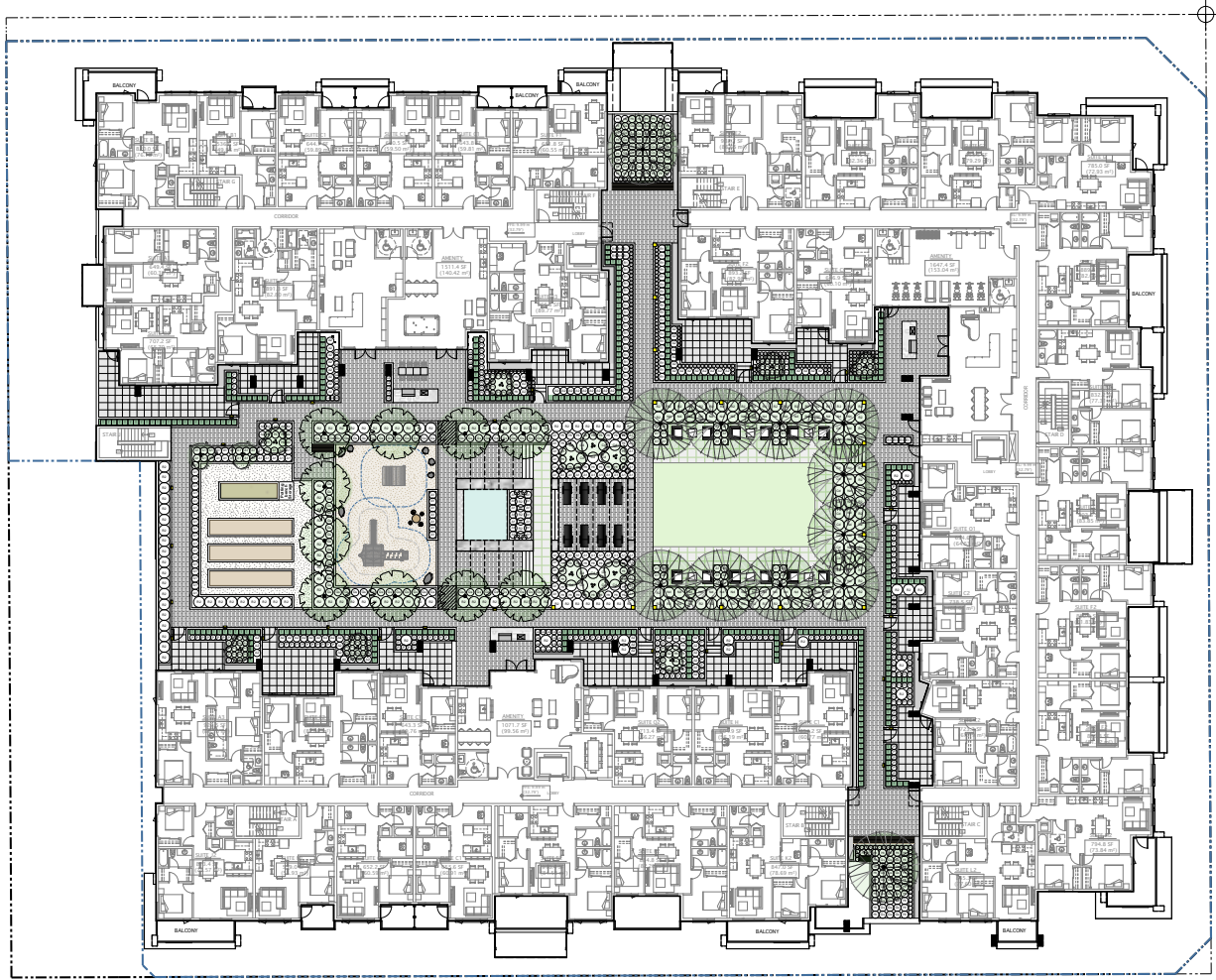
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Project Title
CLOVERDALE TOWN CENTRE
 17722 58TH ST.
 SURREY, BC

Sheet Title
**LEVEL 2
 LANDSCAPE MATERIALS
 AND GRADING PLAN**

Scale 1/16" = 1'-0"	Date 20 JANUARY 2020
Drawn RS / DC	Checked DC
Chief File	Sheet No.
Project No. 19084	L104





Issues			
No.	Date	Appr.	Description
1	20 JAN 20	DC	ISSUED FOR R2 / DP
2	20 JUN 17	DC	ISSUED FOR DP
3	20 AUG 27	DC	SUBMISSION FOR ADP
4	20 SEP 29	DC	ADP COMMENTS

Revision			
No.	Date	Appr.	Description

Client

Prime Consultant
MARTIN LEW ARCHITECTURE INC.
 7038 17th AVENUE SURREY BC
 CANADA V3R 1R6
 Phone +1 604 283-2006
 Email martin.lew@mla.com

Seal

Consultants

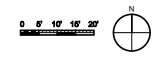
DURANTE ENRLE LTD. LANDSCAPE ARCHITECTS
 102 - 1637 West 58th Avenue Vancouver B.C. V6J 1T6
 P 604-684-4811 | F 604-684-5577 | www.dela.ca

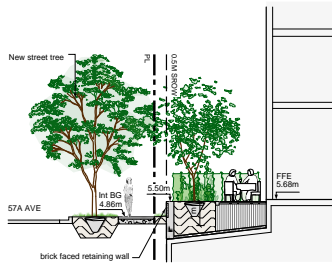
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Project Title
CLOVERDALE TOWN CENTRE
 17722 58TH ST.
 SURREY, BC

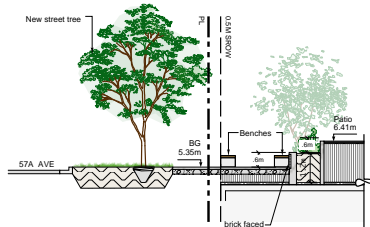
Sheet Title
**LEVEL 2
 PLANTING PLAN**

Scale 1/16" = 1'-0"	Date 20 JANUARY 2020
Drawn RS / DC	Checked DC
Case File	Sheet No.
Project No. 19084	L105

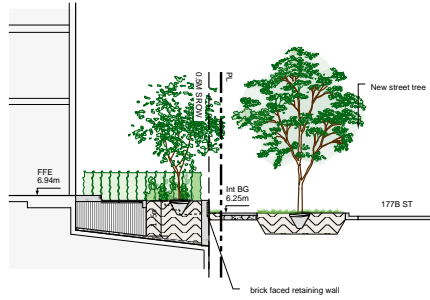




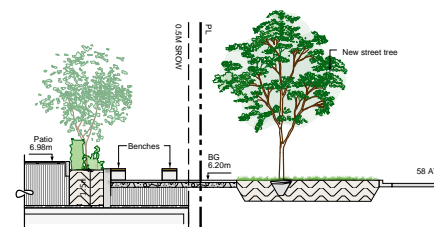
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SCALE = 1/8" = 1'-0"



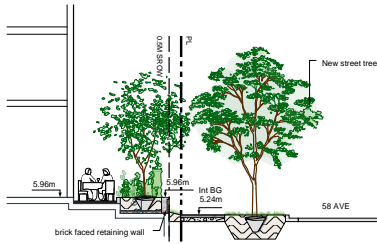
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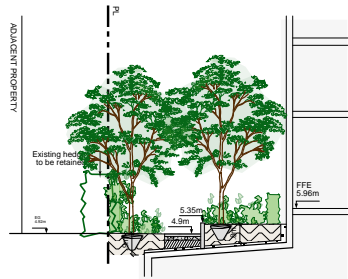
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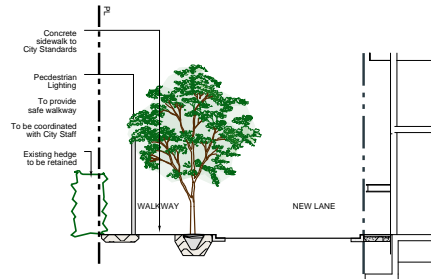
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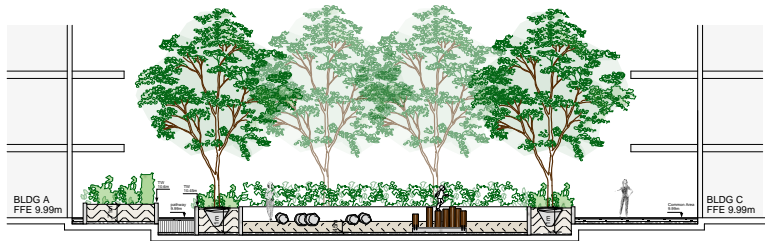
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SCALE = 1/8" = 1'-0"



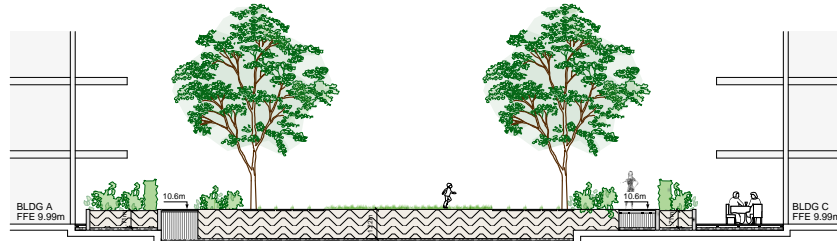
6
SECTION THROUGH LANDSCAPE ALONG EAST PL.
SCALE = 1/8" = 1'-0"



7
SECTION THROUGH NEW LANE
SCALE = 1/8" = 1'-0"



8
SECTION THROUGH AMENITY PODIUM - KIDS PLAY AREA
SCALE = 1/8" = 1'-0"



9
SECTION THROUGH AMENITY PODIUM - CENTRAL GREEN
SCALE = 1/8" = 1'-0"

No.	Date	Appr.	Description
1	20 JUN 17	DC	ISSUED FOR R2 / DP
2	20 AUG 21	DC	SUBMISSION FOR ADP
3	20 SEP 29	DC	ADP COMMENTS
4	20 DEC 01	DC	ISSUED FOR PLR

No.	Date	Appr.	Description

Prime Consultant
MARTIN LIEW ARCHITECTURE INC.
7038 57th Avenue, Burnaby BC, V5J 1N5
Phone: +1 604 238-2006
Email: martin.liew@mla.com

Scale

Consultants



DURANTE KRELUK LTD. LANDSCAPE ARCHITECTS
1102 - 1637 West 8th Avenue, Vancouver B.C. V6J 1N5
P: 604 684-4011 | F: 604 684-0577 | www.dkbc.ca

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Project Title
COVERDALE TOWN CENTRE
17722 58TH ST.
SURREY, BC

Sheet Title
LANDSCAPE SECTIONS

Scale 1/8" = 1'-0"	Date 20 JANUARY 2020
Drawn RS/DC	Checked DC
Coord File	Sheet No.
Project No. 19084	L201



TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Revised Oct.29,2020** PROJECT FILE: **7819-0063-00**
April 20, 2020

RE: **Engineering Requirements**
Location: 17722/17734 58 Avenue, 17715/17725/17735 57A Avenue,
5765/5771/5779/5789 177B Street

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m along the 58 Avenue frontage for the 24.0 m Collector Road Standard.
- Dedicate 5.0 x 5.0 m corner cut at the intersection of 58 Avenue and 177B Street.
- Dedicate 3.0 x 3.0 m corner cut at the intersection of 177B Street and 57A Avenue.
- Dedicate 11.0 m for the proposed unique north/south Lane.
- Dedicate 5.5 x 5.5 m corner cut at the intersection of the east/west and north/south Lanes.
- Dedicate 1.0 x 1.0 m corner cut at the intersection of the north/south lane and 57A Avenue.
- Provide 0.5 m Statutory Rights-of-Ways along the 58 Avenue, 177B Street, and 57A Avenue road frontages.

Works and Services

- Construct 58 Avenue and 177B Street frontages to the Collector Road standard.
- Construct 57A Avenue to the Through Local Road standard.
- Construct proposed north/south lane to a 11.0 m Unique Lane standard.
- Construct speed humps along both the proposed north/south lane and the east/west lane at the developers cost to address the neighboring properties concerns.
- Construct a watermain along 177B Street from 57A Avenue to 58 Avenue.
- Construct sanitary mains along 58 Avenue, 177B Street, and 57A Avenue to allow for the abandonment of the existing sanitary main with the existing north/south lane which is to be consolidated with the development.
- Construct storm mains to service the development.
- Provide water, storm, and sanitary service connections to service the development.
- Provide on-lot stormwater control measures per the Cloverdale-McLellan ISMP.
- Register applicable Statutory Rights-of-Way and restrictive covenants as determined through detailed design.

A Servicing Agreement is required prior to Rezone and subdivision.

DEVELOPMENT PERMIT

There are no Engineering Requirements associated with the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.
Development Services Manager

CE4



August 13, 2020

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 19 0063 00

SUMMARY

The proposed 196 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	12
Secondary Students:	10

September 2019 Enrolment/School Capacity

Martha Currie Elementary	
Enrolment (K/1-7):	87 K + 547
Operating Capacity (K/1-7)	76 K + 535
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1640
Capacity (8-12):	1400

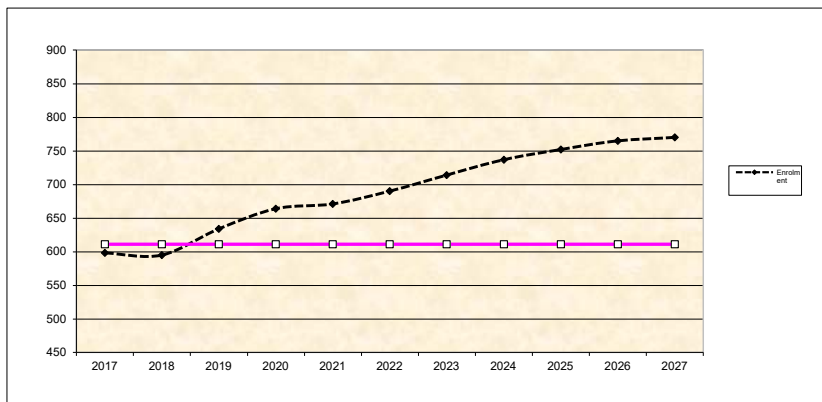
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

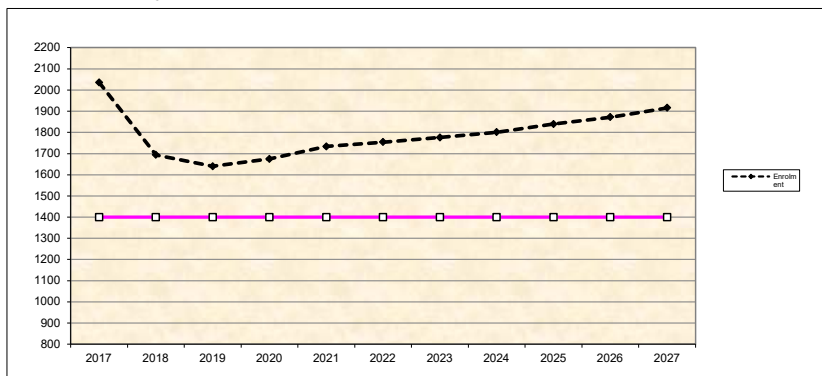
Martha Currie Elementary is in a maturing neighbourhood. The 10 year enrolment projections are showing that enrolment growth is continuing. By 2028 the school is anticipated to be operating at 129% capacity. The District has asked for an addition at Martha Currie in the 2021/2022 Five Year Capital Plan. As of this report, the Ministry of Education has yet to approve funds for the project. Until the addition is built, growth will be managed by using portables.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary.

Martha Currie Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



Tree Preservation Summary

Project Location:	17722 58th Avenue, Surrey, BC
Applicant/Developer:	1158343 BC Ltd
Consultant:	Jason Emery PN-8228A/TRAQ

Summary Of Proposed Trees Retained, Removed and Replaced

On-Site Trees		Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)		32
Protected Trees to be Removed		32
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)		0
Total Replacement Trees Required:	<i>Alder & Cottonwood Trees at 1:1 Replacement Ratio</i>	1
	<i>All other Trees Requiring 2:1 Replacement Ratio</i>	31
Replacement Trees Proposed		63
Replacement Trees in Deficit		*
Protected Trees to be Retained in Proposed [Open Space/Riparian Areas]		0

Off-Site Trees		Number of Trees
Protected Off-Site Trees to be Removed		0
Total Replacement Trees Required:	<i>Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio</i>	0
	<i>All other Trees Requiring 2:1 Replacement Ratio</i>	0
Replacement Trees Proposed		0
Replacement Trees in Deficit		*

* Unknown at this Time to be Advised by The City of Surrey

Summary Proposed and Submitted by:

Jason Emery
 Certified Arborist PN-8228A
 Qualified Tree Risk Assessor

Date: December 2, 2020

58 AVENUE

Protective fence placed 2.7 meters off outer edge of trunk for the length of hedge

58th Avenue



Client:
158343 BC LTD.

Site:
17722 58 Ave, Surrey BC

CENTRAL VALLEY
TREE & ARBORIST SERVICES LTD.

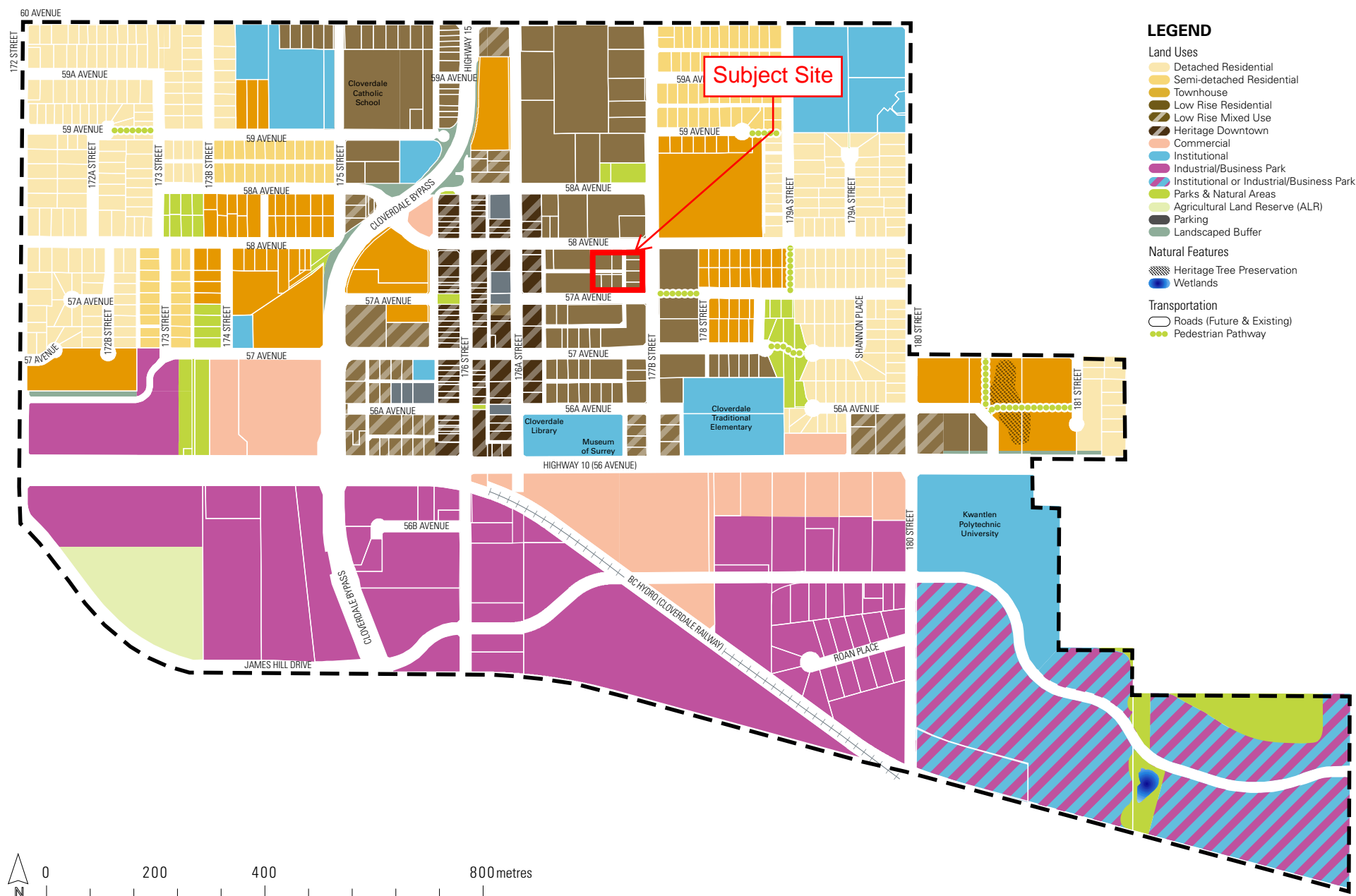
604-853-1986

- 32 ✖ Total onsite or City trees to be removed
- 4 ✖ Total under bylaw sized trees to be removed
- 2 Off site hedge rows
- Tree protection fence placement

CERTIFIED ARBORIST
Jason Emery
ISA Certified Arborist
PN - 8228A

Dec.1,2020

Figure 3.1: Land Use Map





CLOVERDALE

Business Improvement Association

September 15, 2020

CITY OF SURREY

Attn: CHRISTOPHER LUMSDEN | PLANNER

Planning & Development Department

13450 104th Ave, Surrey, BC, Canada V3T 1V8

File: 7919-0063-00

Dear Mr Lumsden:

The BIA board of directors have reviewed some emails you have sent regarding a proposed development of 3 residential apartment buildings at 177B St between 58 Ave and 57 Ave. Our board believes that it is short sighted to give a developer permanent access to 3 Apartment buildings via a commercial lane on the east side of 176A St between 57 Ave and 58 Ave. Just as the Anxin Canada's proposal to remove their own alley and consolidate several properties does provide an opportunity for more residential density, **it should rely on its own driveways from the public roads not an alley.**

The BIA board was not informed of this development in a timely manner and was not even given an opportunity to discuss the developer's initial idea of adding some commercial space in its initial proposal that was turned down by a residents community association for Cloverdale.

In several emails you have indicated that you were awaiting a Traffic Impact Study from the developer which you have not shared with us nor your decision to continuing to support residential traffic making its way through a commercial lane to get to a residential alley. Parking and traffic flow are critical for the successful growth of the Cloverdale Town Centre.

Yours sincerely

Dean Moore
Cloverdale BIA President

cc Douglas McLeod, Transportation Planning Mgr

A good place to grow, since 1870



Cloverdale Community Association

Website: www.cloverdalecommunity.org

June 18, 2020

Christopher Lumsden
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7919-0063-00 / 17722 & 17734-58 Avenue, 5766, 5771, 5779 & 5789-177B Street and 17715, 17725 & 17735-57A Avenue

Dear Mr. Lumsden:

The Cloverdale Community Association (CCA) has received the revised preliminary notice for the proposed development noted above.

Our association was contacted by the developer last year and a number of discussions have taken place since then. We were also recently contacted by the local residents who had concerns about the back-lane being accessible to the residents of this new development. After having further discussions with the residents and the developer, we can now confirm that the residents accept the site layout below which will result in this proposed development not having access to the existing back-lane located to the west.

We are satisfied and fully support this project based on the maximum unit counts and site layout they have provided below:

The revised unit count as below:

Entire Development (BLDG. A,B & C)

Total Unit	200	100%
------------	-----	------

Breakdown

1 BD.	80	40%
-------	----	-----

2 BDs & above (inc. Junior 2)	120	60%
---------------------------------	-----	-----

Market Housing (BLDG A & B)

Total Unit	149	100%
------------	-----	------

Breakdown

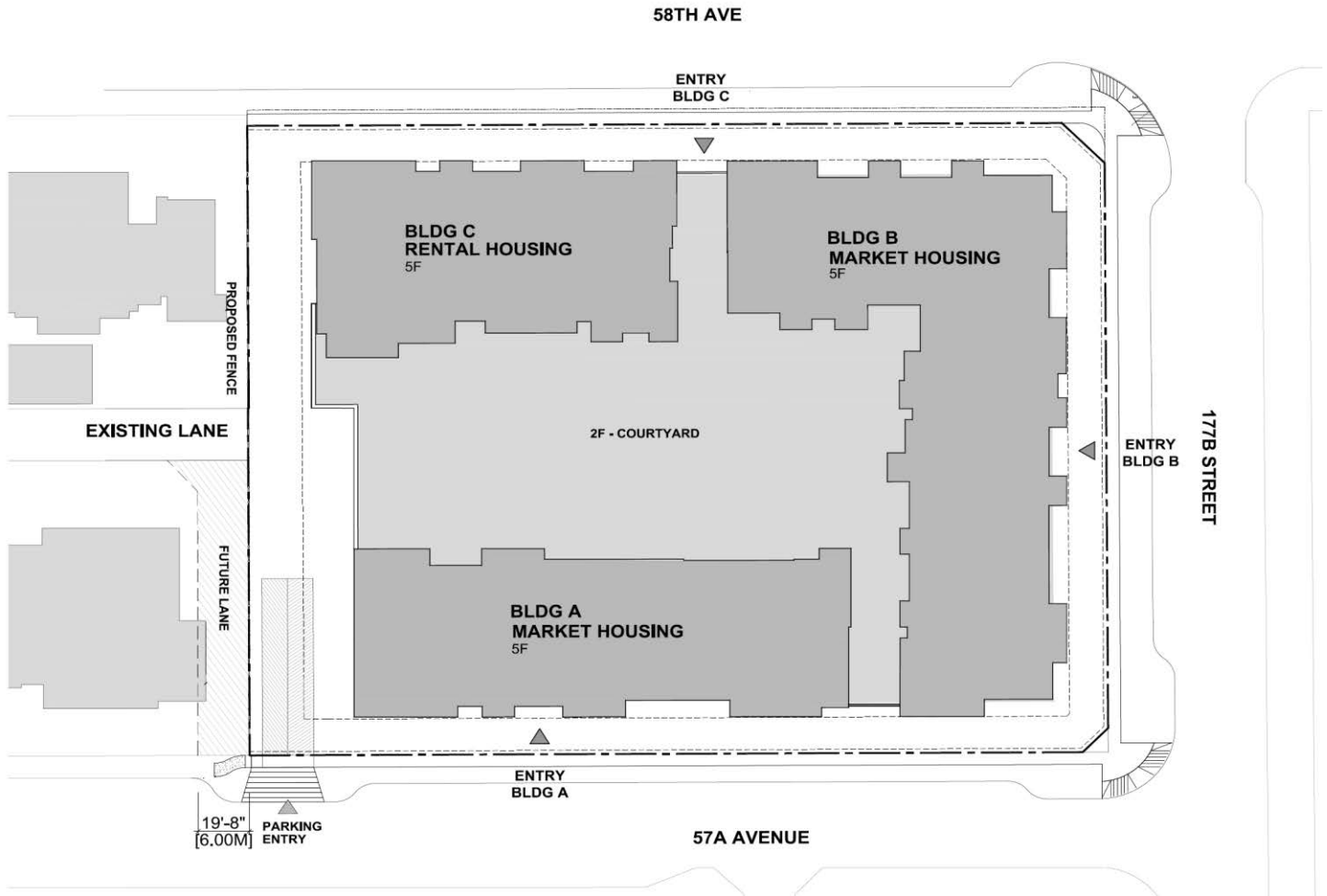
1 BD.	52	35%
-------	----	-----

2 BDs and above (Inc. Junior 2)	97	65%
---------------------------------	----	-----



Cloverdale Community Association

Website: www.cloverdalecommunity.org



We wish the applicant success with their project.

Please keep us informed with any changes which may occur after this letter has been received by you. Any changes require our support/approval again otherwise we reserve the right to rescind our letter.

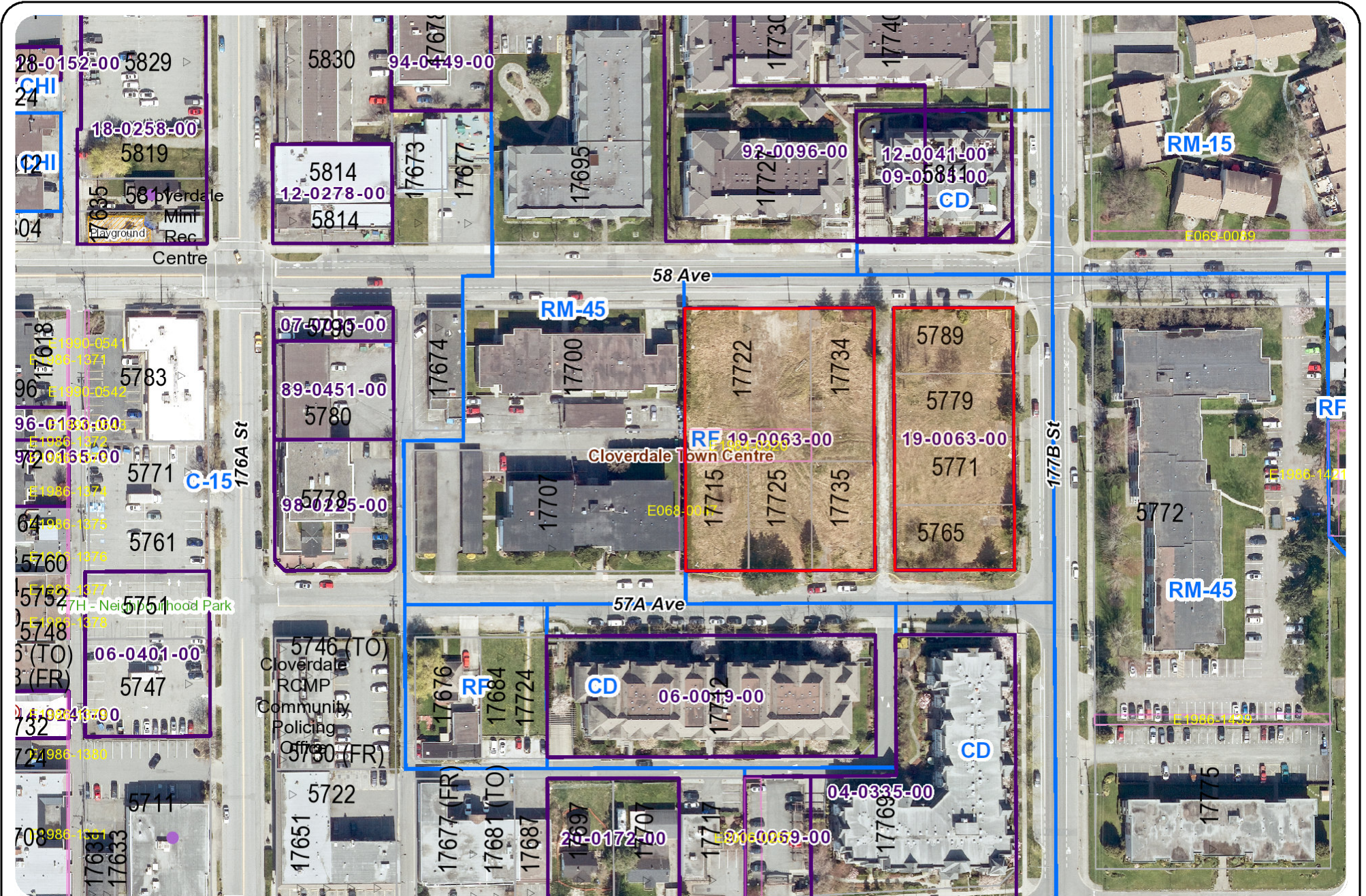
We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

Mike Bola
President
Cloverdale Community Association
604-318-0381

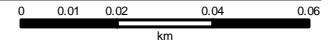
Cc: Board of Directors



Aerial Photo (Cosmos, April 2020)

Scale: 1:1,573

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2020-11-30



Advisory Design Panel Minutes

Location: Virtual
Thursday, August 27, 2020
Time: 3:00 pm

Present:

Panel Members:
R. Drew, Chair
I. MacFadyen
L. Mickelson
M. Patterson
R. Dhall
W. Chong

Guests:

Anxin Projects Limited, Kelvin Pan
Caelan Griffiths, PMG Landscape Architects
Dylan Chernoff, Durante Kreuk Limited
Eric Poxleitner, Architect AIBC & Kate Robertson, Intern
Architect, AIBC, Keystone Architecture & Planning Ltd.
Lance Barnett, Barnett Dembek Architects Inc.
Martin Liew, Martin Liew Architect Inc.
Ryan Jenkins, Tien Sher
Sachin Jhanghu, YoungEarth Developments (Clayton)
Limited
Travis Martin, BCSLA, Van der Zalm + Associates Inc.

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
C. Eagles, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by M. Patterson
Seconded by W. Chong
That the minutes of the Advisory Design
Panel meeting of August 13, 2020 be received.
Carried

B. NEW SUBMISSIONS

- 1. Time: 4:35 p.m.**
- File No.: 7919-0063-00
Address: 17715/17725/17735 - 57A Avenue; 5765/5771/5779/5789 -
177B Street; 17722/17734 - 58 Avenue
- New or Resubmit: New
Last Submission Date: N/A
Description: Rezoning (RF to CD, based on RM-70), Consolidation
from nine (9) lots into one (1), including the closure and
consolidation of the existing north-south lane, and
Development Permit to permit the development of a 5-
storey building containing 196 dwelling units (144
market strata and 52 secured market rental) in
Cloverdale Town Centre.
- Developer: Anxin Projects Limited, Kelvin Pan
Architect: Martin Liew, Architect AIBC, Martin Liew Architect Inc.
Landscape Architect: Dylan Chernoff, BCSLA, Durante Kreuk Limited
Planner: Christopher Lumsden
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff have no specific issues and requested comment with regard to architectural expression and public realm interfaces.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by R. Dhall
Seconded by W. Chong
That the Advisory Design Panel (ADP)

SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and recommend that the landscaping submission return to staff for further development.

Carried

Key Points:

- Consider reconciling the amount of accessible parking stalls with the 5% adaptable suite targets.
Implemented. See Ground and 2nd Level Plans.
- Consider reducing, if feasible, the number of cross paths in the courtyard.
Implemented. See Landscape Plans (L104-L106)
- Consider increasing the landscaping buffer between lane and adjacent bedroom.
Implemented. See Landscape Plans (L102)
- Consider providing demarcation at the pedestrian crossing at the lane.
Subject to additional discussions with the City's Engineering Department and to be reviewed through Project Scoping/Detailing.
- Consider further review of privacy issues between 5th storey indoor amenity and adjacent two suites.
Implemented. The 5th floor indoor amenity space (Building B) has been converted into a studio dwelling unit (see DWG A106) and the project Architect will continue to work with City staff to address privacy/overlook concerns.
- Consider further development of the use of materials and colours. The floor plans for all three buildings are indistinguishable. The only way to differentiate the buildings is through colour or materials. The variations are visually subtle. Consider either further accentuating the differences between the three buildings, or more consistency between them.
An additional brick colour (greyish pink) has been added to the east elevation of Building B, so that each building has its own distinctive colour while maintaining the overall colour scheme within a historical colour palette.

Site

- Consider post top down light along lane instead of bollards.
Pedestrian-scale post top lighting to enhance publicly accessible pathway security will be discussed with the project Electrical Engineer and Landscape Architect in consultation with City staff.
- Consider a change of material or a crosswalk to ensure safe pedestrian crossing at the north south pedestrian walkway and the lane. Provide lighting at this location to ensure it is well lit.
Subject to additional discussions with the City's Engineering Department and to be reviewed through Project Scoping/Detailing.

Form and Character

- Consider measures to differentiate the buildings. Consider further development of the use of materials and colours.
An additional brick colour (greyish pink) has been added to the east elevation of Building B, so that each building has its own distinctive colour while maintaining the overall colour scheme within a historical colour palette.
- Recommend increasing side corner amenity (eliminating suite 5Q) and further consideration to privacy issues between 5th storey indoor amenity and adjacent two suites.
Implemented. The 5th floor indoor amenity space (Building B) has been converted into a studio dwelling unit (see DWG A106) and the project Architect will continue to work with City staff to address privacy/overlook concerns.
- Consider a shared use of the building interior amenities to limit repetition of amenity elements and sharing indoor and outdoor amenities with all residents.
This is a strata management issue to decide how to utilize the program of the various amenity facilities. The proposed amenity spaces have flexibility to accommodate different programs and uses for the residents and sufficient amounts have been provided in each of the three buildings.

Landscape

- Consider a landscape/planted separation between the unit at the south west corner and the walkway/vehicular lane to provide privacy to the bedroom.
A hedge and low planting has been included along the east side of the lane in order to screen the unit and soften the entry.
- Consider a shared use of the building interior and exterior amenities to limit repetition of amenity elements.
See above response.
- Consider breaking up plots in the courtyard.
The garden plots have been reconfigured and a planter was added along the west edge to break up the urban agriculture from the circulation and function more effectively. The planters at the north edge of the garden plots have been consolidated to expand the urban agriculture and simplify the circulation.

- Consider reducing, if feasible, the number of cross paths in the courtyard. One cross path has been eliminated, but the remainder were retained for circulation, universal access, and passive play opportunities. The paths at the urban agriculture area have also been simplified as discussed above.

CPTED

- No specific issues were identified.
Noted.

Sustainability

- Great to see the energy model being carried out early to understand potential impacts. Integrating mech design early (HVAC in suites).
Noted.

Accessibility

- Recommend that the outdoor amenities be accessible.
The proposed outdoor amenities will be accessible.
- Consider 5% adaptable suite targets.
Implemented. See Ground and 2nd Level Plans.
- Recommend 4 designated disabled parking stalls in the residential and 2 accessible parking stalls in the rental parking.
The current number of accessible parking stalls meets the requirements of the Surrey Zoning Bylaw.
- Recommend that entrance doors be power operated.
The proposed development will comply with BCBC 2019 accessible requirements, including the said consideration for powered entrance doors.
- Recommend that pathways be a minimum of 2 meters wide.
The proposed development will comply with BCBC 2019 accessible requirements. 2.0-metre wide pathways will be implemented on the outdoor spaces.
- Consider the elevator and entrance call button panel to be placed horizontally.
The proposed development will comply with BCBC 2019 accessible requirements, including the said consideration.
- Consider emergency call buttons in the parking lobbies.
The proposed development will comply with BCBC 2019 accessible requirements, including the said consideration.

C. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, September 10, 2020.

D. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:52 p.m.

Jennifer Ficocelli, City Clerk

Robert Drew, Chair

HOUSING AGREEMENT
(Section 483, *Local Government Act*)

THIS AGREEMENT is made on the ____ day of _____, 2020

AMONG:

CITY OF SURREY, a municipal Corporation having its municipal offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

AND: **1169467 B.C. LTD** a corporation having its offices at 1195 Renton Place, West Vancouver, British Columbia V7S 2K8

(the “**Owner**”)

WHEREAS:

- A. The Owner is the legal and beneficial owner of the Lands (as hereinafter defined).
- B. The Owner submitted an application to the City to rezone the Lands (the “**Rezoning Application**”) from RF (Single Family Residential) to CD (Comprehensive Development) based on the RM-70 (Multiple Residential 70) to permit a development on the Lands consisting of three, 5-storey apartment buildings with a shared one (1) storey podium (the “**Apartment Building**”), consisting of 145 residential apartment dwelling units (collectively, the “**Market Strata Units**”) and 52 secured market rental units (collectively, the “**Market Rental Units**”), and containing at-grade parking within the building envelope over one (1) level of underground parking (the “**Parkade**”). The Apartment Building contains approximately 6,447-square feet of indoor amenity space, distributed amongst the three, 5-storey apartment buildings and approximately 9,720-square feet of shared outdoor amenity space located on the roof of the shared one-storey podium (the “**Amenity Space**”).
- C. The Owner must make arrangements to the satisfaction of the City to enter into a housing agreement pursuant to section 483 of the *Local Government Act* to ensure that, during the Term:
 - a. the Market Rental Units are used only for Rental Housing;
- D. Section 483 of the *Local Government Act* permits the City to enter into and, by legal notation on title, note on title to lands, housing agreements; and

- E. As a condition of the Rezoning By-law (defined herein) to permit the development of the Lands in the manner aforesaid, the Owner has agreed to enter into this Agreement with the City.

NOW THIS AGREEMENT WITNESSES that for good and valuable consideration, the receipt and sufficiency of which the parties hereby acknowledge and agree to and will not be denied, the Owner and the City covenant and agree as follows:

ARTICLE I. DEFINITIONS

Section 1.01 Definitions

- (a) **“Agreement”** means this Housing Agreement;
- (b) **“Apartment Building”** has the meaning given to it in Recital B;
- (c) **“Amenity Space”** has the meaning given to it in Recital B;
- (d) **“City Personnel”** means any and all of the elected and appointed officials, and officers, employees, agents, nominees, delegates, permittees, contractors subcontractors, and volunteers of the City from time to time;
- (e) **“Commencement Date”** means the date that is the first day of the month after the final inspection of the building has been issued by the City;
- (f) **“Development”** means the development of the on the Lands described in Recital B in accordance with the Development Permit;
- (g) **“Development Permit”** means Development Permit No. 7919-0063-00 issued by the City authorizing development on the Lands, as amended from time to time;
- (h) **“Land Title Act”** means the *Land Title Act*, R.S.B.C., 1996, c. 250, as amended, replaced, restated, or re-enacted from time to time;
- (i) **“Lands”** means the lands and premises legally described as:

Parcel Identifier: 009-437-142
Legal: Lot 5 Section 8 Township 8 New Westminster District Plan 10923
Civic: **17715 – 57A Avenue**
Parcel Identifier: 001-391-305
Legal: Lot 4 Section 8 Township 8 New Westminster District Plan 10923
Civic: **17725 – 57A Avenue**
Parcel Identifier: 009-437-134
Legal: Lot 3 Section 8 Township 8 New Westminster District Plan 10923
Civic: **17735 – 57A Avenue**
Parcel Identifier: 011-437-316
Legal: Lot 4 Section 8 Township 8 New Westminster District Plan 9723
Civic: **5765 – 177B Street**
Parcel Identifier: 011-437-294
Legal: Lot 3 Section 8 Township 8 New Westminster District Plan 9723
Civic: **5771 – 177B Street**

Parcel Identifier: 011-437-286
Legal: Lot 2 Section 8 Township 8 New Westminster District Plan 9723
Civic: **5779 – 177B Street**
Parcel Identifier: 011-437-260
Legal: Lot 1 Section 8 Township 8 New Westminster District Plan 9723
Civic: **5789 – 177B Street**
Parcel Identifier: 009-437-126
Legal: Lot 1 Section 8 Township 8 New Westminster District Plan 10923
Civic: **17734 – 58 Avenue**
Parcel Identifier: 004-247-132
Legal: Lot 2 Section 8 Township 8 New Westminster District Plan 10923
Civic: **17722 – 58 Avenue**

- (j) “**Land Title Office**” means the New Westminster Land Title Office;
- (k) “**Local Government Act**” means the *Local Government Act*, R.S.B.C. 2015, c. 1, as amended, replaced, restated, or re-enacted from time to time;
- (l) “**Losses**” means any and all damages, losses, fines, penalties, costs (including legal costs on a solicitor and own client basis), actions, causes of action, claims, demands, liabilities, indirect or consequential damages (including loss of profit and loss of use and damages arising out of delays) and expenses of every nature or kind whatsoever;
- (m) “**Market Rental Rate**” means the average rental rate per square foot for the Market Rental Units, as determined from time to time by the Owner;
- (n) “**Rental Housing**” means Rental Housing that is rented at market rates, as the same may be determined from time to time by the Owner;
- (o) “**Market Rental Units**” has the meaning given to it in Recital B;
- (p) “**Apartment Building**” has the meaning given to it in Recital B;
- (q) “**Notice**” has the meaning given to it in Section 2.02;
- (r) “**Occupancy Permit**” means a permit issued by the City authorizing the use and occupation of any building, development or partial development on the Lands, whether such permit is temporary, conditional or final;
- (s) “**Owner**” has the meaning ascribed to it on Page 3 hereof and such Owner’s respective successors in title from time to time as the registered or beneficial owner from time to time of any portion of the Lands;
- (t) “**Parkade**” has the meaning given to it in Recital B;
- (u) “**Rental Housing**” means a dwelling unit that is not occupied by the registered or beneficial owner of the same, but which is made available by such owner to the general public at arms’ length, for use as residential rental accommodation on a month-to-month or longer basis, excluding rentals for purposes of Tourism Accommodation (as such term is defined in the Zoning By-law) and excluding

- rentals for any less than 30 consecutive days, in accordance with this Agreement, reasonably prudent landlord-tenant practice for rental residential accommodation, and any and all laws applicable thereto, including, without limitation, residential tenancy and human rights legislation in British Columbia;
- (v) “**Residential Tenancy Act**” means the *Residential Tenancy Act*, S.B.C. 2002, c. 78, as amended, replaced, restated, or re-enacted from time to time;
 - (w) “**Rezoning Application**” has the meaning given to it in Recital B;
 - (x) “**Rezoning By-law**” means the City of Surrey Zoning Amendment Bylaw No. _____ enacted as a result of the Rezoning Application;
 - (y) “**Term**” has the meaning ascribed thereto in Section 2.01; and
 - (z) “**Zoning By-law**” means the City’s Zoning By-law, 1993, 12000, as amended, replaced, or replaced from time to time.

ARTICLE II. TERM AND NOTICE

Section 2.01 Term

The term (the “**Term**”) of this Agreement will commence on the Commencement Date and will end twenty (20) years from the date when an Occupancy Permit is issued for the originally constructed Rental Units.

Section 2.02 Notice of Housing Agreement

The Owner acknowledges that the City may file in the Land Title Office on title to the Lands a notice (the “**Notice**”) of this Agreement and any amendments made thereto from time to time in accordance with Section 5.07.

ARTICLE III. RESTRICTIONS ON AND CONDITIONS OF USE

Section 3.01 Owner’s Covenants

The Owner covenants and agrees that throughout the Term:

- (a) the Lands and the Market Rental Units, will not be used in any way that is inconsistent with the terms of this Agreement;
- (b) the Market Rental Units must be used only as Rental Housing in accordance with the Rezoning By-law, the Development Permit and the requirements of this Agreement;
- (c) All the Market Rental Units must be owned by the same Owner;
- (d) Subject to Section 3.01(c), throughout the Term, the Owner will not suffer, cause or permit the beneficial or registered title to or any interest in and to the Market Rental Units or any portion thereof, to be sold or otherwise transferred unless the transferee(s) of the registered and beneficial title or interest, as applicable to the interest transferred, prior to and as a condition of closing enters into an assumption

- agreement satisfactory to the City whereby such transferee agrees to be and thereafter remain bound by each and every term and condition of this Agreement applicable to the Owner;
- (e) the Owner will insure, or cause to be insured, the Apartment Building, and all parts thereof to the full replacement cost against perils normally insured against in the City by reasonable and prudent owners of similar buildings and lands;
 - (f) unless and until the City consents otherwise in writing by way of an amendment to this Agreement on request of the Owner, the Owner will keep and maintain the Market Rental Units in good repair and in a safe, clean, neat and tidy condition, reasonable wear and tear excepted, and fit for human habitation and consistent with the general standards required by the *Residential Tenancy Act* and all other applicable statutes, regulations, bylaws, and rules in effect from time to time for residential rental buildings of similar age and character in the City of Surrey from time to time and will comply with the same, including health and safety standards applicable to the Market Rental Units; and
 - (g) except as contemplated in Section 2.01, the Owner will not demolish the Apartment Building or any portion thereof without the prior written consent of the City and, in any case, without a demolition permit therefor issued by the City in the City's sole discretion.

ARTICLE IV. INDEMNITY, RELEASE, DEFAULT AND REMEDIES

Section 4.01 Indemnity

The Owner will and does hereby indemnify and save harmless the City and the City Personnel of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reasons of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement.

Section 4.02 Release

Provided that the City is in compliance with the terms and conditions of this Agreement, the Owner hereby releases and forever discharges the City and the City Personnel of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Covenantor now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by this Agreement.

Section 4.03 Remedies

The Owner covenants and agrees with the City that, in addition to any other remedies available to the City under this Agreement or at law or equity, if the Owner materially defaults under the terms of this Agreement, including without limitation omitting, failing or neglecting to carry out any of its material obligations contained in this Agreement and doing or carrying out a material act contrary to the Owner's obligations contained in this Agreement:

- (a) the Owner shall rectify such material default within 45 days after receipt of written notice of such material default to the Owner by the City;
- (b) if the Owner fails to take such positive action as the City considers necessary to rectify any material default as provided for herein, the City may apply to court for a mandatory or prohibitive order requiring the Owner to take such action; and
- (c) the Owner shall pay to the City, on written demand, the costs (including actual solicitor's fees, disbursements and taxes thereon) incurred by the City to obtain a court order pursuant to Section 4.03(b), and if the Owner fails to pay such amounts to the City within 30 days from the date the Owner receives any such written demand from the City, any and all arrears will bear interest from the date of demand to the date of payment at the prime rate of the Bank of Nova Scotia plus 3% per annum.

Section 4.04 Survival of Release and Indemnity

The release and indemnity in this Article IV will remain effective, and will survive any modification, discharge or partial discharge of any or all of the covenants created by this Agreement, and the termination of this Agreement, whether by fulfillment of the covenants contained in this Agreement or otherwise.

ARTICLE V. GENERAL PROVISIONS

Section 5.01 Interpretation.

In this Agreement:

- (a) Any reference to a party herein will be deemed to include the heirs, executors, administrators, successors, assigns, employees, servants, agents, officers, contractors, licensees and invitees of such parties wherever the context so permits or requires.
- (b) Wherever the singular or masculine or neuter is used in this Agreement, the same will be construed to mean the plural or the feminine or body corporate or politic, and vice versa as the context or the parties so require.
- (c) The captions and headings appearing in this Agreement have been inserted as a matter of convenience and for reference only and in no way define, limit or enlarge the scope or meaning of this Agreement or any of the provisions hereof.
- (d) References to the or this "Agreement" and the words "hereof", "herein" and similar words refer to this Agreement as a whole and not to any section or subsection or other subdivision hereof and any reference in this Agreement to a designated Recital, Article, Section, subsection or other subdivision is a reference to the designated Recital, Article, Section, subsection or subdivision hereof.

Section 5.02 Records

The Owner will keep accurate records pertaining to the use and occupancy of the Market Rental Units as necessary to reasonably demonstrate compliance by the Owner with the

requirements of this Agreement, such records to be to the satisfaction of the City, acting reasonably. At the request of the City, from time to time, the Owner will make such records available for inspection and copying by the City. The City will comply with the Owner's statutory obligations with respect to privacy of such information.

Section 5.03 Legislation.

Any reference to a law or statute herein includes and is a reference to such law or statute and to the regulations made pursuant thereto, with all amendments made thereto and as in force from time to time, and to any law or statute or applicable regulation amending, replacing, or superseding any of the same.

Section 5.04 Time.

Time shall be of the essence of this Agreement and each part of it. If any party expressly or impliedly waives this requirement, that part may reinstate it by delivering notice to the other party(ies). If a time is specified in this Agreement for observing or performing any obligation, such time shall be Pacific Standard Time.

Section 5.05 No Effect on Rights.

Nothing contained or implied herein will prejudice the rights and powers of the City in the exercise of its functions under any public and private statutes, bylaws, orders and regulations, all of which may be fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and this Agreement does not impose on the City any legal duty or obligation, including any duty of care or contractual or other legal duty or obligation, to enforce this Agreement, nor does this Agreement relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Lands.

Section 5.06 Benefit of City.

The City is a party to this Agreement for the purpose only of receiving the covenants, promises and agreements as provided in the terms of this Agreement and is not intended to protect the interests of the Owner, any tenant, or any future owner, lessee, occupier or user of the Lands, the Apartment Building, including the Market Rental Units or any portion thereof, and the City may at any time execute a release for the discharge of the Notice of this Agreement without liability to anyone for doing so, and without obtaining the consent of the Owner.

Section 5.07 Agreement Runs with the Lands.

Following the filing of the Notice in the Land Title Office, this Agreement and, if applicable, any amendments thereto, will be binding on all persons who acquire an interest in the land affected by this Agreement, as amended if applicable. It is further expressly agreed that this Agreement may be modified or amended from time to time, by consent of the Owner and a bylaw duly passed by City Council and thereafter if an amendment is signed by the City and the Owner.

Section 5.08 Limitation on Owner's Obligations.

The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered and/or beneficial owner of the Lands or such applicable portions thereof, provided however that notwithstanding that the Owner is no longer the registered nor beneficial owner of the Lands or any portion thereof, the Owner will remain liable for breaches of this Agreement that occurred while the Owner was the registered and/or beneficial owner of the Lands or such portions thereof, as the case may be.

Section 5.09 Partial Discharge.

The Owner and the City acknowledge and agree that this Agreement and the Notice are only intended to apply to the Market Rental Units and not to any of the Market Strata Units in the Apartment Building, the Amenity Building or the Parkade. The City covenants and agrees that concurrently with the registration of any subdivision plan (including an airspace subdivision plan, or a strata plans pursuant to the *Strata Property Act* (British Columbia)) that creates a separate legal parcel or parcels for any of the Market Strata Units in the Apartment Building, the Amenity Space or the Parkade, the City will execute in registrable form and deliver to the Owner for filing in the applicable land title office, a discharge of this Agreement and the Notice from title to the parcel so created that does not include any of the Rental Units or any portion thereof.

Section 5.10 Enurement.

his Agreement will enure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.

Section 5.11 Further Assurances.

The parties will do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement.

Section 5.12 Governing Law.

This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

Section 5.13 Severability.

If any part of this Agreement is held to be invalid, illegal or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.

Section 5.14 Waiver.

An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver of a breach of this Agreement does not operate as a waiver of any other breach of this Agreement.

Section 5.15 No Fiduciary Relationship.

Nothing contained in this Agreement will be deemed in any way, or for any purpose, to constitute the City a partner, agent or legal representative of the Owner in the conduct of any business or otherwise, or a member of a joint venture or joint enterprise with the Owner, or to create any fiduciary relationship between the City and the Owner.

Section 5.16 Joint and Several.

If the Owner consists of more than one person, firm, or corporation, from time to time, the Owner's obligations under this Agreement shall be joint and several.

Section 5.17 Survival.

Notwithstanding anything contained herein, the Owner covenants and agrees that the obligations of the Owner, including without limitation those set out in Article IV, shall survive termination or release of this Agreement.

Section 5.18 Notice.

Whenever it is required or desired that either party will deliver or serve a notice on the other, delivery or service will be deemed to be satisfactory if and deemed to have occurred when:

- (a) the Clerk of the City or the Owner, or its successor in title, or a director of the Owner or successor in title, if applicable, has been served personally, on the date of service; or
- (b) mailed by prepaid registered mail, on the date received or on the sixth day after receipt of mailing by any Canada Post office, whichever is the earlier, so long as the notice is mailed to, in the case of the City, at the address provided in this Agreement, or in the case of the Owner, or its successor in title, at the address noted on the Certificate of Title for the Lands, or to whatever address a party may from time to time provide to the other party.

Section 5.19 Owner's Representations and Warranties.

The Owner represents and warrants to and covenants and agrees with the City that:

- (a) the Owner has the full and complete power, authority, and capacity to enter into, execute, and deliver this Agreement and the bind all legal and beneficial interests in the title to the Lands with the interests in lands created hereby;
- (b) upon execution and delivery of this Agreement and the filing of the Notice, the interests in land created hereby will encumber all legal and beneficial interests to the title to the Lands;
- (c) this Agreement will be fully and completely binding upon the Owner in accordance with its terms and the Owner will perform all of its obligations under this Agreement in accordance with its terms; and

- (d) the foregoing representations, warranties, covenants, and agreements will have force and effect notwithstanding any knowledge on the part of the City whether actual or constructive concerning the status of the Owner with regard to the Lands or any other matter whatsoever.

Section 5.20 Counterparts.

This Agreement may be executed and delivered by the parties hereto in one or more counterparts.

IN WITNESS WHEREOF, each of the parties has duly executed this Agreement on the Form C – General Instrument to which this Agreement is attached as of the date first written above.

1169467 B.C. LTD by its authorized signatory:

CITY OF SURREY, by its authorized signatories:

Name:
Title:

Doug McCallum
Mayor

Name:
Title:

Jennifer Ficocelli
City Clerk

Name:
Title: