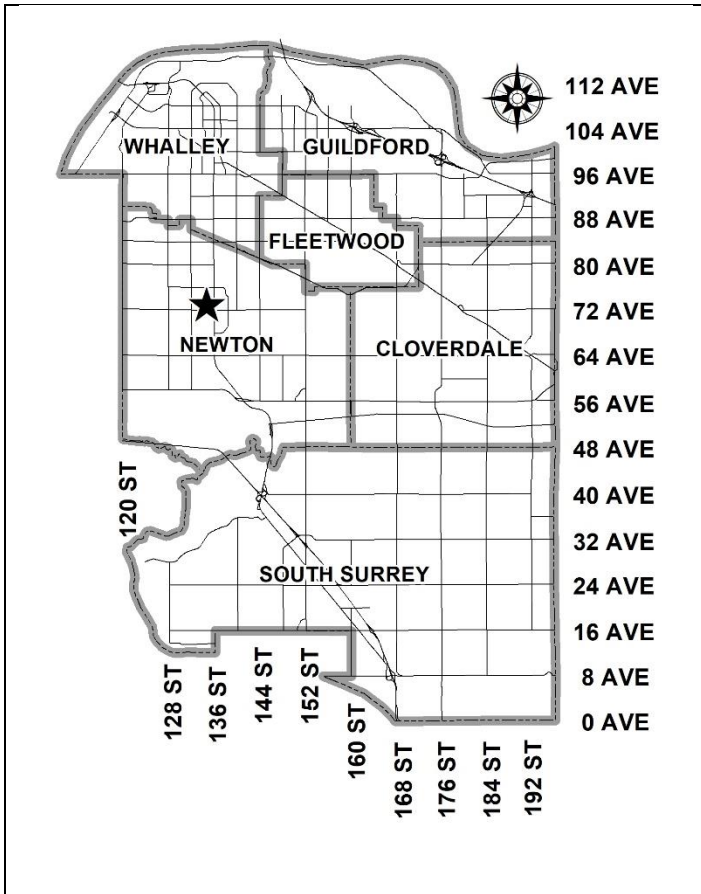


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0071-00

Planning Report Date: July 10, 2023



PROPOSAL:

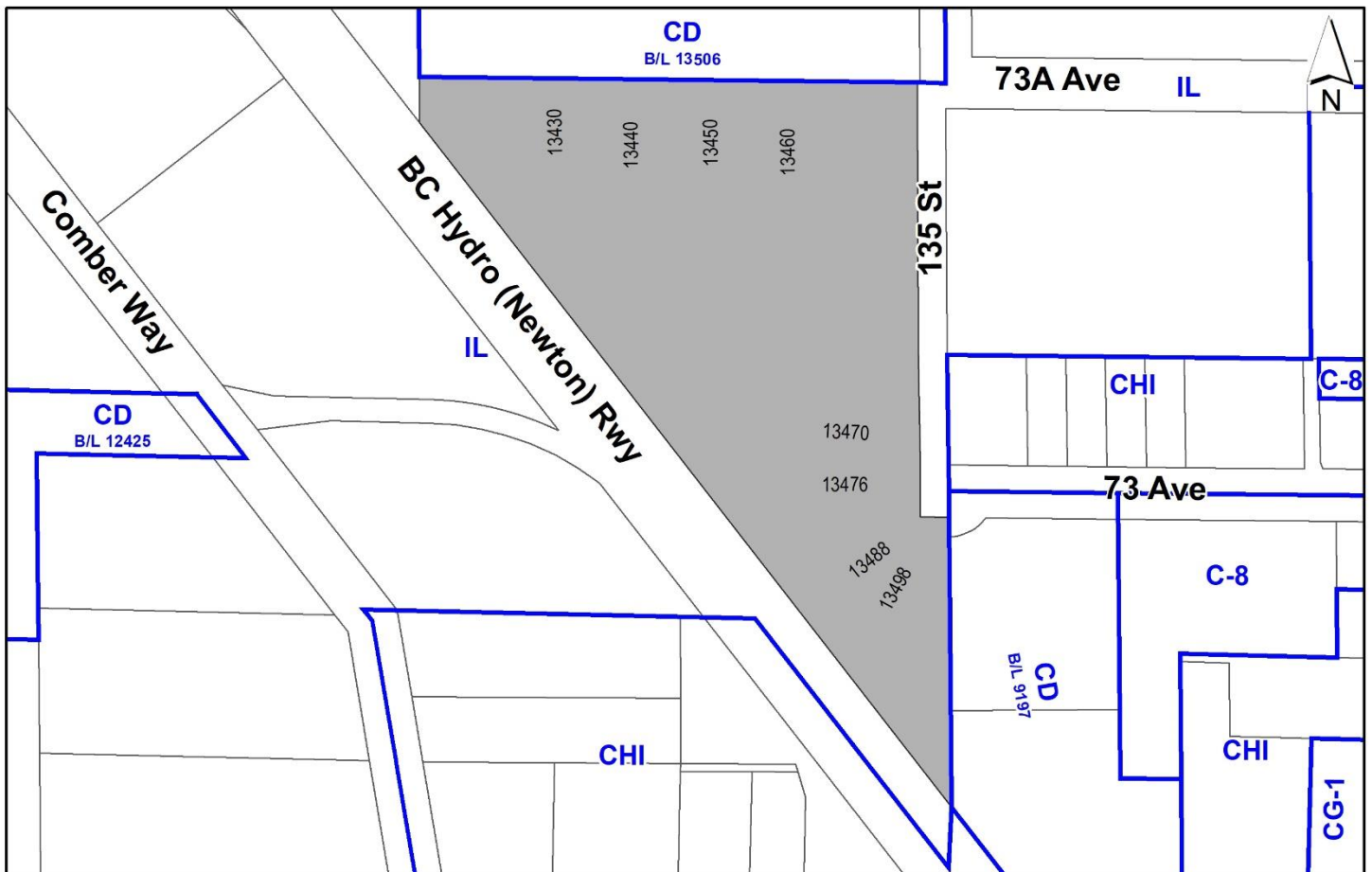
- Development Permit
- Development Variance Permit

to permit the development of a 10,549.6 square metre industrial building and for modifications to the on-site parking configuration.

LOCATION: 13498 - 73 Avenue
 (13430, 13440, 13450, 13460, 13470, 13476, 13488 - 73 Avenue)

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit No. 7919-0071-00 for Form and Character.
- Approval for Development Variance Permit No. 7919-0071-00 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary Part 5 Off-Street Parking and Loading/Unloading of the Zoning By-law to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres and to permit required parking spaces in front of overhead doors of self-storage units.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, modern materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed variance recognizes the nature and needs of a self-storage facility.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7919-0071-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7919-0071-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres; and
 - (b) to permit standard parking spaces in front of overhead loading doors of individual self-storage units, and that these be considered towards the calculation of required off-street parking spaces.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Self-Storage Warehouse	Industrial	IL
North:	NAV Canada	Mixed Employment	CD
East (Across 135 Street):	Industrial, Auto-Oriented Retail	Mass Merchandising, Auto-Oriented Commercial (Newton Town Centre Plan)	IL, CHI, CD
West/Southwest (Across BC Hydro (Newton) Railway):	Auto-Oriented and Industry Retail	Mass Merchandising (Newton Town Centre Plan), Mixed Employment, Industrial	CHI, IL

Context & Background

- The subject property is 2.8 hectares (6.96 acres) in area, located on the west side of 135 Street, abuts the BC Hydro Railway, and is situated amongst light impact industrial and auto-oriented commercial uses. The site is not within a Secondary Plan area but is directly adjacent to the Newton Town Centre Plan area.
- The property is designated “Industrial” in the Official Community Plan (OCP) and currently zoned “Industrial Light Impact (IL) Zone”.
- The existing self-storage development is comprised of six (6) buildings.
- The subject application is for a new three-storey self-storage and warehouse building on the northeast portion of the lot and for modifications to the on-site parking configuration. The proposed building contains 7,980 square metres of self-storage including internal and external facing units, as well as a 2,162 square metre unit, which is intended to accommodate a record management warehouse with ancillary office space.

DEVELOPMENT PROPOSAL**Planning Considerations**

- The applicant is proposing a Development Permit for Form and Character for the new building and a Development Variance Permit to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres and permit standard parking spaces in front of overhead loading doors. The proposal will facilitate the construction of a new industrial building on a portion of the site

currently used for parking. The property currently contains five (5) self-storage buildings and one (1) ancillary office building.

- The proposed 10,549.6 square metre building includes 7,980 square metres of self-storage, as well as 2,162 square metres for record management warehousing and the relocation of parking stalls which will be distributed throughout the site.

Proposed	
Lot Area	
Gross Site Area:	2.99 Hectares
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	2.99 Hectares
Number of Lots:	1
Building Height:	14.17 metres (proposed building)
Floor Area Ratio (FAR):	0.89
Floor Area (proposed building)	
Self-Storage:	7,980.1 square metres
Warehousing:	2,161.8 square metres
Office:	407.7 square metres
Total:	10,549.6 square metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Surrey Fire Department: No Concerns.

Transportation Considerations

- The subject site is currently accessed via three driveways off 135 Street to the east, one at the north end of the site which connects to 73A Avenue, one connecting to 73 Avenue and one at the center of the site. The central access, fence, and gate will be removed upon the completion of this development, and the City boulevard will be restored.
- A new pedestrian connection will be established between the main entrance of the proposed warehouse and 135 Street.
- The applicant proposes a variance to reduce the number of required parking spaces for the Self-Storage use. Refer to the Zoning Bylaw Variance section below for further information.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

- The applicant has provided a high-albedo roof with a minimum SRI value of 75, to reduce the development's impact on the urban heat island.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Industrial" land use designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Industrial" land use designation in the Official Community Plan.

Themes/Policies

- Policy E1.6 – Support the infill and redevelopment of under utilized properties within Commercial, Mixed Employment and Industrial land designations.

The proposed development is an appropriate industrial infill building on under-utilized land.

Zoning By-law

- The applicant has proposed a Development Permit utilizing the existing "Light Impact Industrial Zone (IL)", with a request for a Development Variance Permit to accommodate parking.

Variances

- The applicant is requesting the following variances:
 - to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres; and
 - to allow standard parking spaces to be located in front of overhead loading doors of individual self-storage units, and that these spaces be considered towards the calculation of required off-street parking spaces.
- The owner and operator of the existing self-storage facility has indicated that parking is currently utilized by users of the self-storage facilities, as well as vehicle storage. Of the existing parking, only 50% is typically occupied for both uses. More specifically, 30% is used to store vehicles and 20% accommodates the self-storage use at its height of traffic, which is typically seen during specific times of year, where seasonal changes result in higher usage. It is common for only 10% of parking to be occupied for self-storage, and for short periods of time.
- The Zoning Bylaw requires a total of 154 parking spaces to be provided on site. The applicant is proposing to provide a total of 136 stalls, equivalent to an 11% reduction. Based on the site's

proximity to the Frequent Transit Network, the current on-site parking usage as described above, and the parking demand for the proposed building being anticipated to be similar to that of the existing demand, staff support the proposed reduction.

- Currently, the majority of on-site parking is located at the northeast portion of the site. In order to build out the site and better utilize the industrial land as supported by the Official Community Plan, a self-storage and warehouse building is proposed in this parking lot area, resulting in the need to relocate the required parking spaces. As such, standard parking spaces are proposed throughout the site, including in front of the overhead loading doors of external storage units, which are excess to the principal loading bays provided for internal storage units and the warehouse use. Once the new building is constructed, vehicle storage will no longer occur on the site.
- Locating parking spaces in front of individual storage units is not anticipated to impact the operations of the site, given that these will not serve as typical loading spaces. Principal loading bays are provided for internal storage units at the southeast and southwest corners of the building and at the northwest corner for the warehouse use. These principal loading bays comply with the design standards for off-street loading/unloading spaces and satisfy the intent of the regulations.
- Based on the above rationale, staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on February 21, 2023. To date, staff have not received any responses from neighbouring property owners or residents regarding the proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposal consists of a new three-storey industrial building and the relocation of parking spaces throughout the existing self-storage site. The proposed building includes external self-storage units along the south and west facades, as well as separate entrances for the internal self-storage units and record management warehouse. The entrances are distinct and identifiable, each with an extended parapet.
- The building has been designed with high quality materials and a variety of architectural features, including white vertical posts and insulated red metal panels, which results in strong articulation and visual permeability. A high albedo roof is proposed, with an SRI value of 75 or greater.
- The applicant has worked with staff to adapt on site parking, provide a new pedestrian connection to the site, and to upgrade landscaping.
- The proposed fascia signs are scaled to be discreet and well integrated into the building.

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.

Landscaping

- The applicant has provided modest landscaping along the front yard adjacent to the proposed building, with a bench and pedestrian path that connects the entrance to the street. The applicant has also provided landscape islands every six (6) parking spaces.
- Landscaping generally consists of trees, shrubs, and ground cover.

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The Arborist Assessment states that there are no mature trees on the site or off-site within 4 metres of the property line.
- Currently, there are five (5) undersized trees located on-site which will be replaced along 135 Street. An additional 12 trees are proposed on site, which will consist of Bowhall Red Maple and Pacific Dogwood varieties.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Development Variance Permit No. 7919-0071-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

SA/ar

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT

APPENDIX I

13440 73rd AVE SURREY EXPANSION, BC

DRAWING LIST:

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WEDLER ENGINEERING LLP
10216 128 STREET # 202, SURREY,
BC V13T 2Z5
(tel) 604.588.1919 EXT. 110
LEENA JAYASEKARA
(e-mail) ljayasekara@wedler.com

LANDSCAPE:

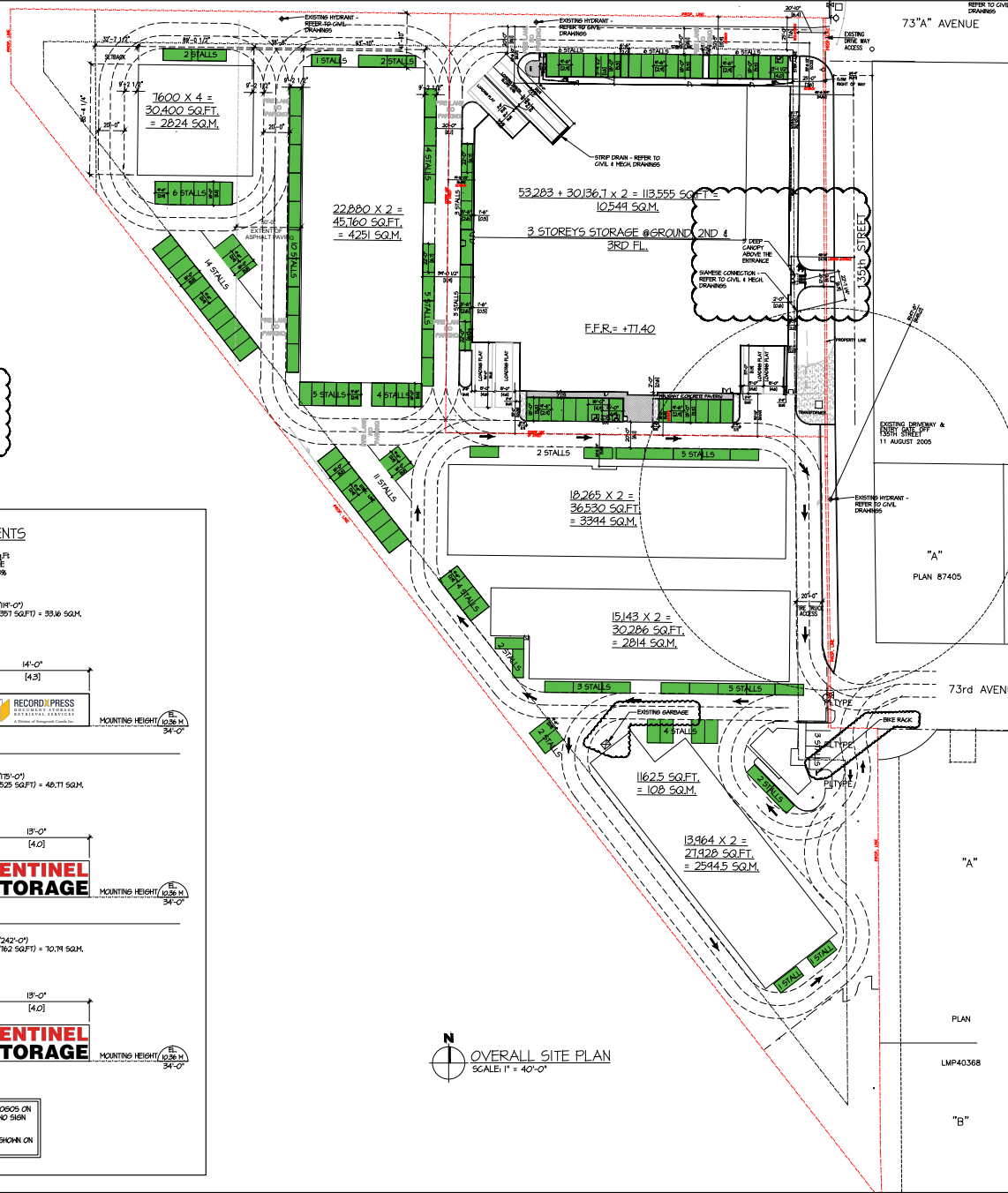
C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA
21308 - 86 AVENUE,
LANGLEY, B.C., V1M 1Z7
(tel) 604-888-2363

A00 COVER SHEET
AS1 OVERALL SITE PLAN & SITE STATISTICS
AS2 PARTIAL SITE PLAN
AS3 PEDESTRIAN LEVEL LINE SECTION
& CANOPY DETAIL
A1.0 GROUND FLOOR PLAN
A1.0a GROUND FLOOR PARTIAL PLAN
A1.0b GROUND FLOOR PARTIAL PLAN
A1.1 SECOND FLOOR PLAN
A1.1a SECOND FLOOR PARTIAL PLAN
A1.1b SECOND FLOOR PARTIAL PLAN
A1.2 THIRD FLOOR PLAN
A1.2a THIRD FLOOR PARTIAL PLAN
A1.2b THIRD FLOOR PARTIAL PLAN
A1.2 ROOF PLAN
A1.3 TRAVEL DISTANCE PLANS
A2.0 ELEVATIONS
A2.0A COLORED ELEVATIONS
A3.0 SECTION A-A

00 FIRE ACCESS PLAN

L-1 LANDSCAPE PLAN

RE-ISSUED FOR DP - JULY 05, 2023



LEGAL DESCRIPTION
 LEGAL DESCRIPTION:
 LOT 109, EXCEPT, PART DEDICATED ROAD ON PLAN LMP40366; SECTION 20 TOWNSHIP 5 N RD PLAN 65727

CIVIC ADDRESS
 13440 13RD AVENUE
 SURREY, B.C.

SITE STATISTICS
 SITE AREA:
 2.91 HECTARES, 302,891.44 SQ. FT. (2,940 SQ. M.)

ZONING:
 L - LIGHT INDUSTRIAL

SITE COVERAGE:
 MAXIMUM ALLOWED: 60%
 170,045 SQ. FT.
 + 53,283 SQ.FT. NEW PROPOSED BUILDING
 152,215 SQ. FT. / 30,136.7 SQ. FT. X 4U %

FAR
 MAX. ALLOWED: 1.0

EXISTING TOTAL FLOOR AREA: 112,066.5 SQ. FT.
 NEW PROPOSED FLOOR AREA:
 53,283 + 30,136.7 X 2 = 86,214 SQ. FT.
 TOTAL GROSS FLOOR AREA: 251,963.64 SQ. FT.
 251,963.64 / 302,891.44 = 0.8

BUILDING HEIGHT
 MAX. ALLOWED: 10 METERS (30'-0")
 PROPOSED: 14.7 METERS (48'-6" HIGH PARAPET)

SET BACKS

SIDE	REQUIRED	PROPOSED
FRONT (EAST)	1.5M (25 FT.)	1.9M (26'-0" (4U))
REAR (WEST)	1.5M (25 FT.)	6.0M (19'-10" (2U))
SIDE (NORTH)	1.5M (25 FT.)	5.0M (15'-0")
SIDE (SOUTH)	1.5M (25 FT.)	4.6M (15'-0")

UNIT 102:
 WAREHOUSE AREA: 23,210 S.F.
 OFFICE AREA: 4,394 S.F.
 TOTAL AREA: 27,604 S.F.
 UNIT 103:
 SELF-STORAGE: 25,624 S.F. X 30,136.7 X 2 = 85,911.4 S.F.
PARKING:

PARKING CALCULATIONS BREAKDOWN

USE	BYLAW RATE	BYLAW REQUIRED STALLS	PROPOSED # STALLS
OFFICE	25 / 100	4071 + 108 + 58.1 / 100 X 25 =	12,841
WAREHOUSE	1 / 100	246,824 / 100 X 1 =	2,468
SELF-STORAGE	05 / 100	(5,955-108 + 178,803 / 100 X 0.05 =	11,228
TOTAL:			16,537

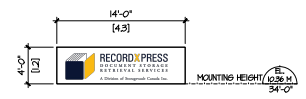
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03	AUG 18 19	RE-ISSUED FOR DP
02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP



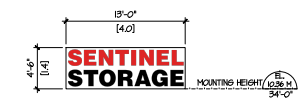
FASCIA SIGNAGE REQUIREMENTS

TOTAL AREA OF FASCIA SIGNS SHALL NOT EXCEED 3 SQ.FT PER LINEAR FOOT OF UNITS HALL SURFACE TO WHICH THE SIGNS ARE ATTACHED. COPY AREA CANNOT EXCEED 50% OF THE AREA OF THAT MAX SIGN AREA.

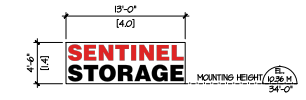
TOTAL LINEAR FRONTAGE (EAST-RECORDXPRESS)+(14'-0") (397 SQ.FT.) = 33.6 SQ.M.
 SIGN AREA PERMITTED
 PROVIDED = (14'-0") X (4'-0") = 56 SQ.FT.



TOTAL LINEAR FRONTAGE (NORTH-SENTINEL STORAGE)+(13'-0") (525 SQ.FT.) = 48.71 SQ.M.
 SIGN AREA PERMITTED
 PROVIDED = (13'-0") X (4'-0") = 58.5 SQ.FT.



TOTAL LINEAR FRONTAGE (SOUTH-SENTINEL STORAGE)+(13'-0") (762 SQ.FT.) = 10.74 SQ.M.
 SIGN AREA PERMITTED
 PROVIDED = (13'-0") X (4'-0") = 58.5 SQ.FT.



ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS/LOGOS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. NO SIGN BOXES ALLOWED.
 ALL SIGNAGE TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.



"A"
 PLAN 87405

73rd AVENUE

"A"

PLAN

LMP40368

"B"

CONSULTANT

CONSULTANT SEAL

CONSULTANT SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION.



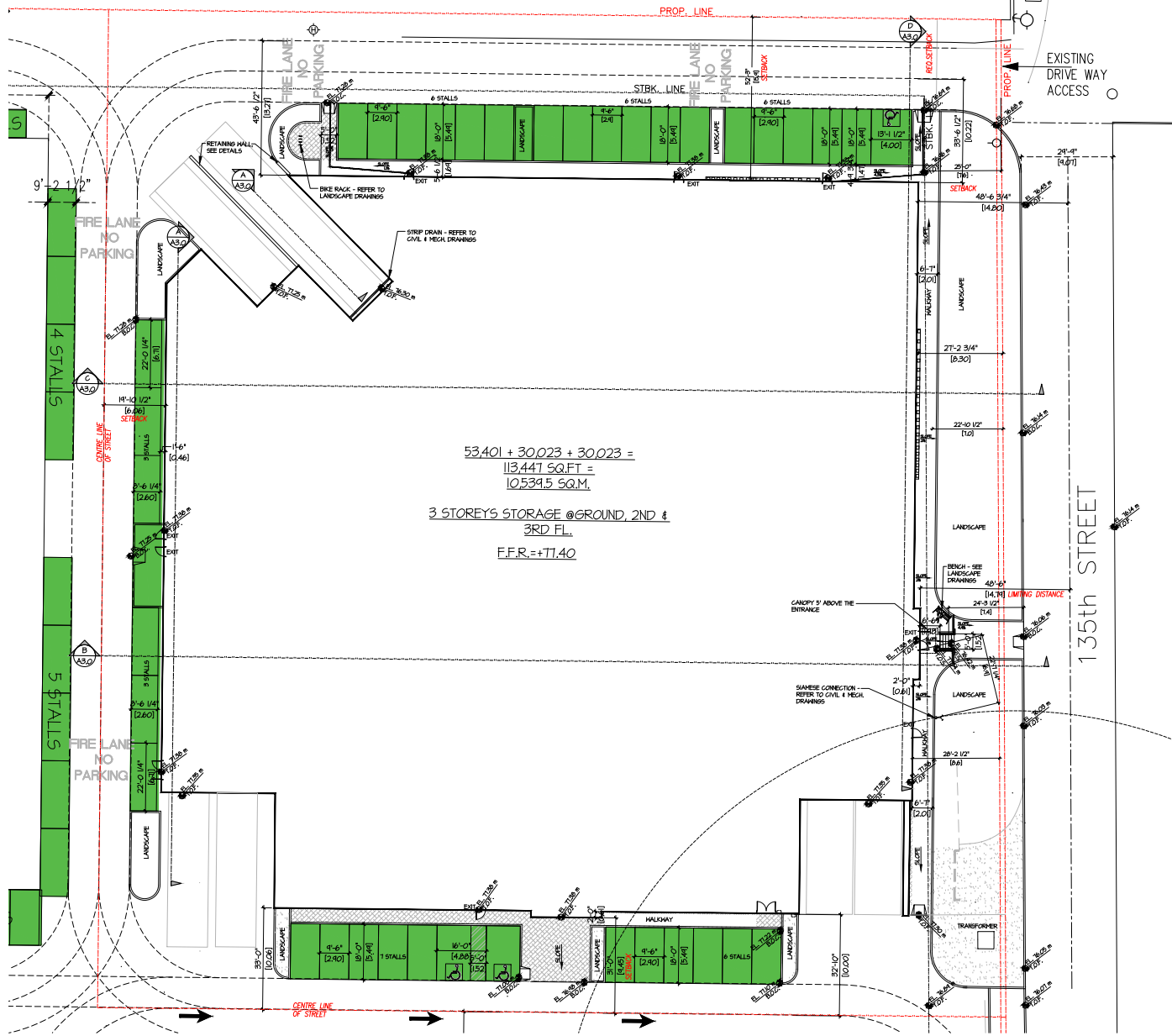
3707 1ST AVENUE
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 AT: LSA
 PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
 13440 13RD Ave Surrey Expansion, BC
 DRAWING: OVERALL SITE PLAN
 PROJECT NUMBER: DRAWING NUMBER:
 17-130 AS1
 SCALE: AS NOTED
 DATE: JULY 30, 2017 REGION: FEB 15 23

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT - 17-073



REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12 25	RE-ISSUED FOR DP
01	SEP 26 22	RE-ISSUED FOR DP
06	MAY 25 22	RE-ISSUED FOR DP
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02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP

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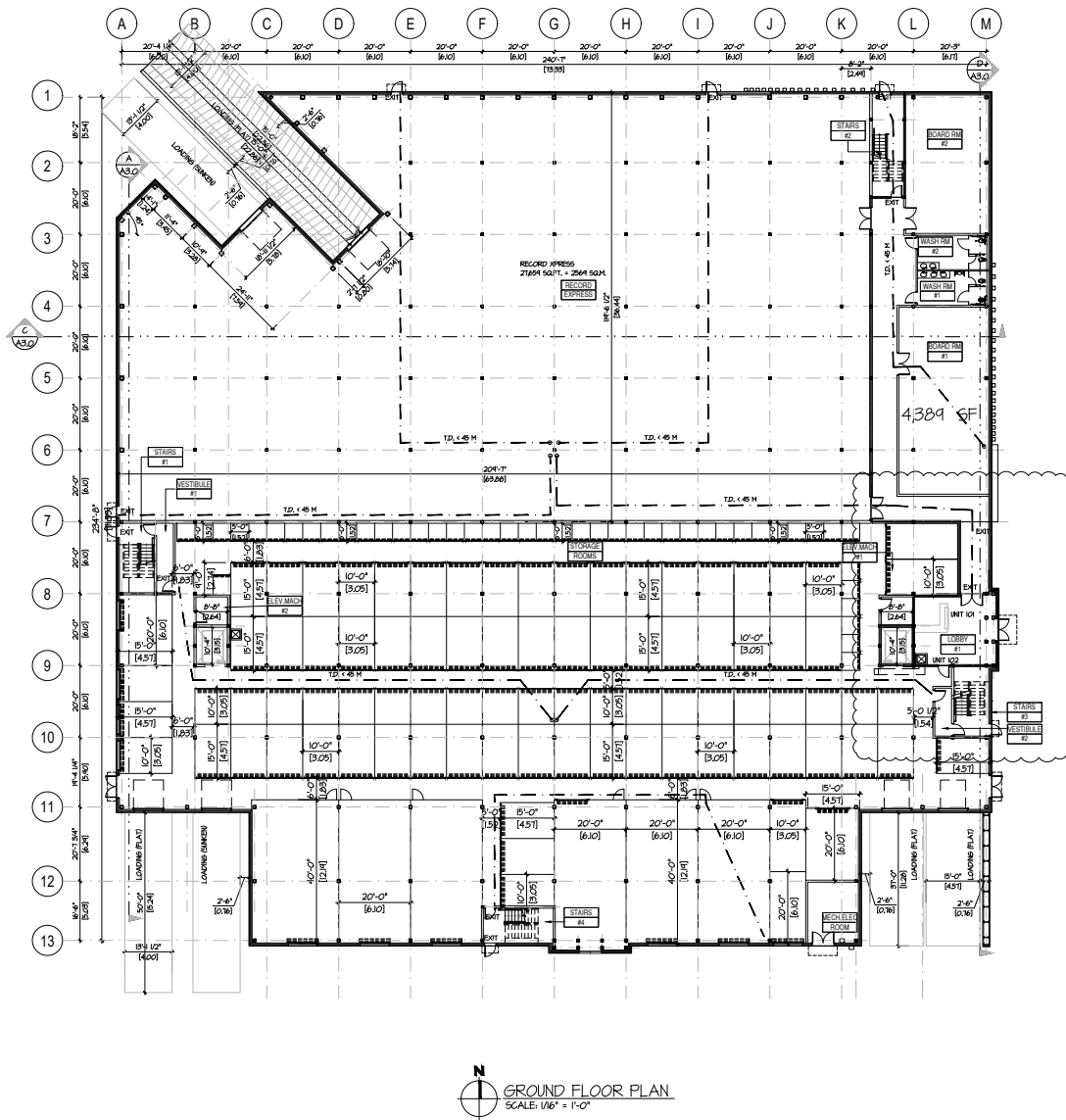
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 PROJECT: STORAGEVAULT C/O ACCESS
 PROPERTY DEVELOPMENT
 13440 13th Ave Surrey Expansion, BC

DRAWING: PARTIAL SITE PLAN

PROJECT NUMBER: I7-130 DRAWING NUMBER: AS2
 SCALE: AS NOTED
 DATE: JULY 30, 2017 REVISION: MAR 21 23

N
 ENLARGED SITE PLAN
 SCALE: 1/16" = 1'-0"

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

LOCKER SCHEDULE

LOCKER'S SIZE	AREA	GROUND FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL NUMBER
20 X 40	800 SQ.FT.	9	-	-	9
25 X 40	1000 SQ.FT.	1	-	-	1
20 X 8	800 SQ.FT.	2	-	-	2
20 X 10	200 SQ.FT.	4	36	36	76
10 X 15	150 SQ.FT.	16	42	42	100
10 X 12	120 SQ.FT.	-	2	2	4
10 X 10	100 SQ.FT.	20	21	21	62
10 X 9'-6"	94 SQ.FT.	-	2	2	4
10 X 5	50 SQ.FT.	-	31	31	62
5 X 5	25 SQ.FT.	48	80	80	208
					507

* TOTAL LOCKERS AREA = 5070 SQ.FT.
 * SELF STORAGE AREA = 06,220 SQ.FT.
 * LOCKERS EFFICIENCY = 64%

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AT

LSA

PROJECT

STORAGEVAULT C/O ACCESS

PROPERTY DEVELOPMENT

13440 15th Ave Surrey Expansion, BC

DRAWING

GROUND FLOOR PLAN

PROJECT NUMBER

DRAWING NUMBER

17-130

A1.0

SCALE

AS NOTED

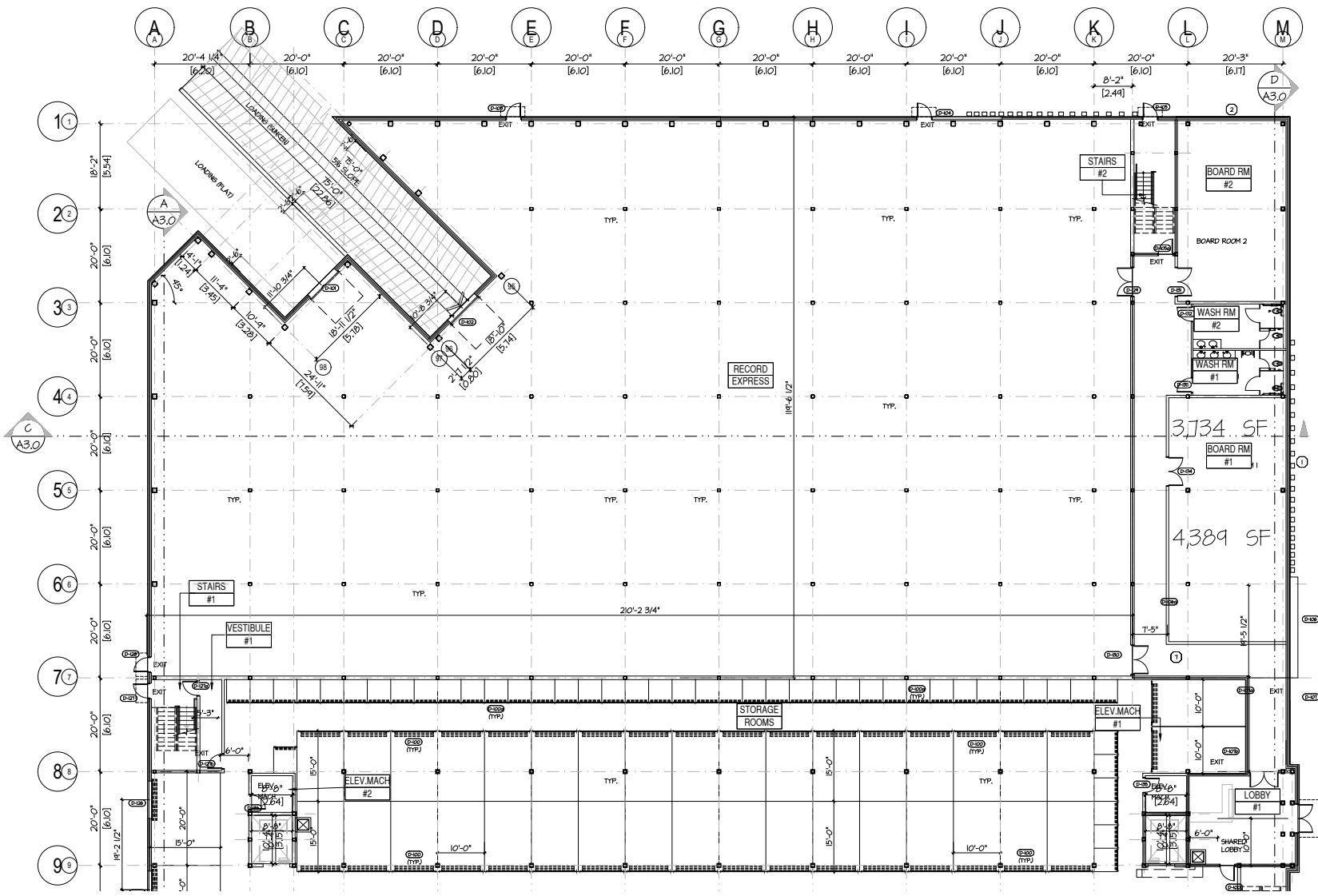
DATE

REVISION

JULY 11, 2017

OCT 31, 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



GROUND FLOOR - PARTIAL PLAN
 SCALE: 1/8" = 1'-0"

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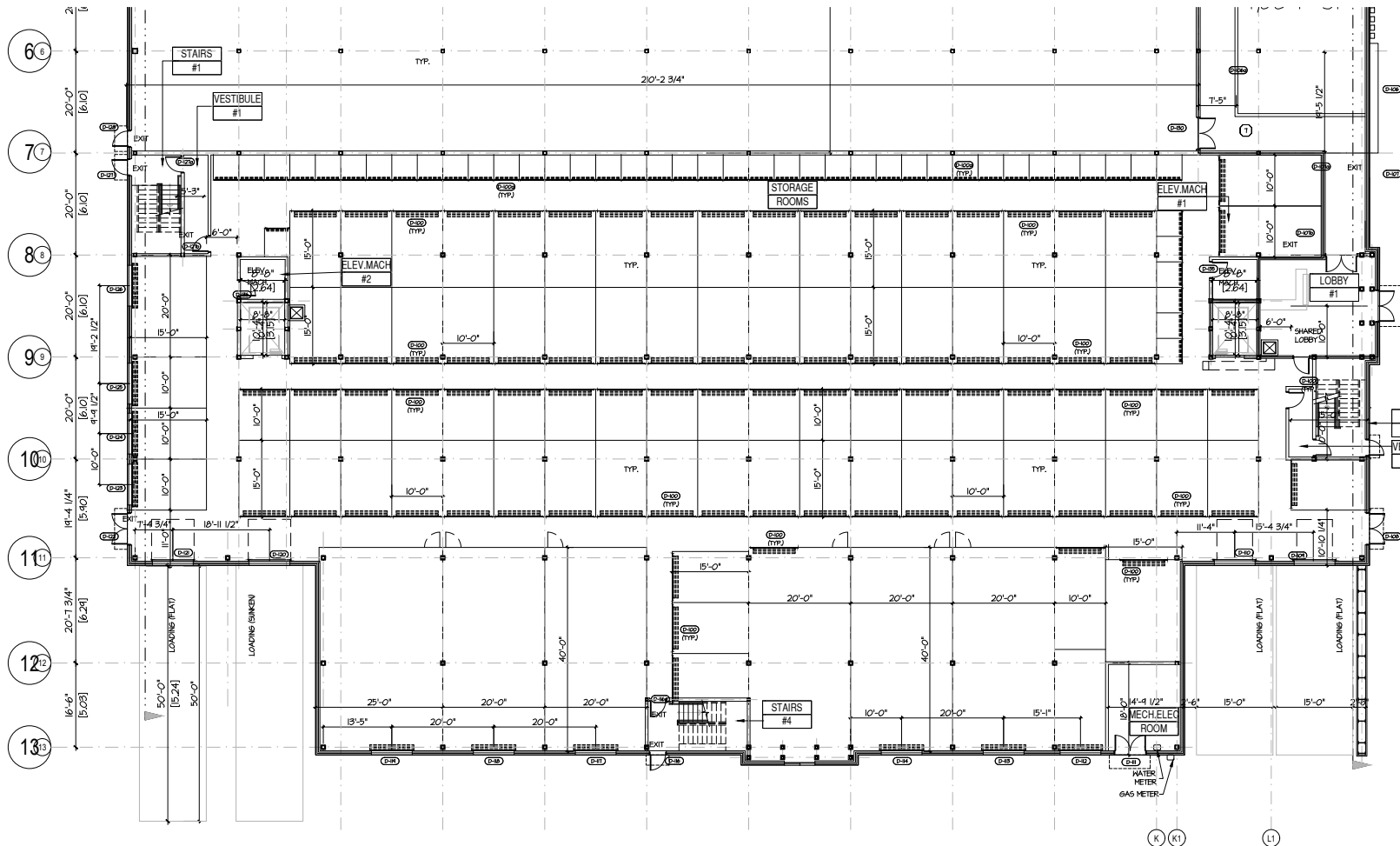
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DRAWN BY: **AT** APPROVED: **LSA**
 PROJECT: **STORAGEVAULT C/O ACCESS**
PROPERTY DEVELOPMENT
 13440 15th Ave Surrey Expansion, BC
 REGION:
 DATE: **JULY 11, 2017** REGION: **SEP 26 22**

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT - 17-073



GROUND FLOOR - PARTIAL PLAN
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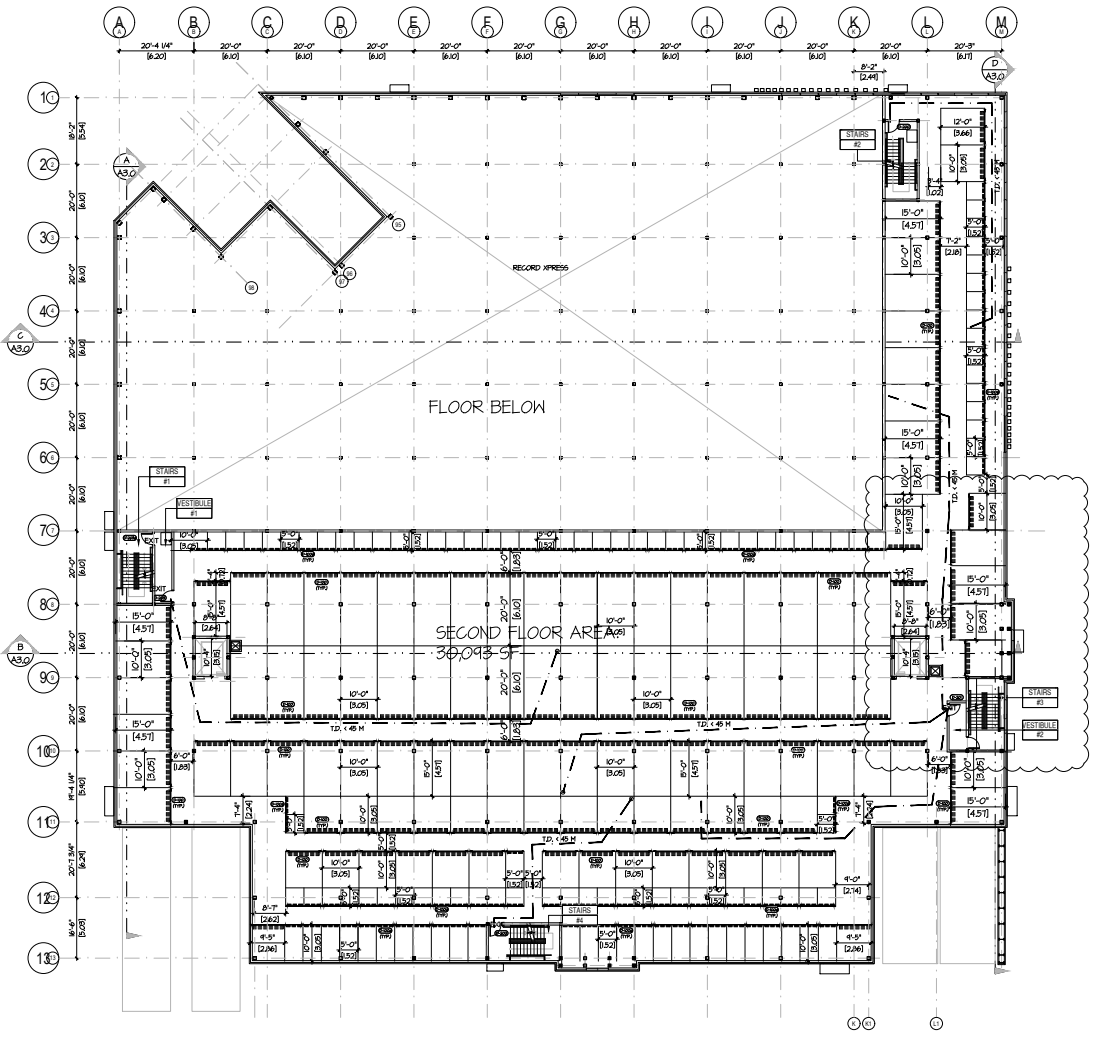
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DRAWN BY	AT	APPROVED	LSA
PROJECT	STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT		
13440 15 th Ave Surrey Expansion, BC			
DRAWING	GROUND FLOOR PARTIAL PLAN		
PROJECT NUMBER	17-130	DRAWING NUMBER	A1.0b
SCALE	AS NOTED		
DATE	JULY 11, 2017	REVISION	SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"

LOCKER SCHEDULE

LOCKER'S SIZE	AREA	GROUND FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL NUMBER
20 X 40	1000 SQFT.	5	-	-	5
28 X 40	1000 SQFT.	1	-	-	1
20 X 8	800 SQFT.	2	-	-	2
20 X 10	200 SQFT.	4	36	36	76
10 X 8	80 SQFT.	59	42	42	142
10 X 12	120 SQFT.	-	2	2	4
10 X 10	100 SQFT.	20	24	24	68
10 X 8-9"	94 SQFT.	-	2	2	4
10 X 5	50 SQFT.	-	9	9	18
5 X 5	25 SQFT.	45	80	80	205
					567

* TOTAL LOCKER'S AREA = 58161 SQFT.
 * SELF STORAGE AREA = 66220 SQFT.
 * LOCKER'S EFFICIENCY = 0.68

REV	DATE	DESCRIPTION

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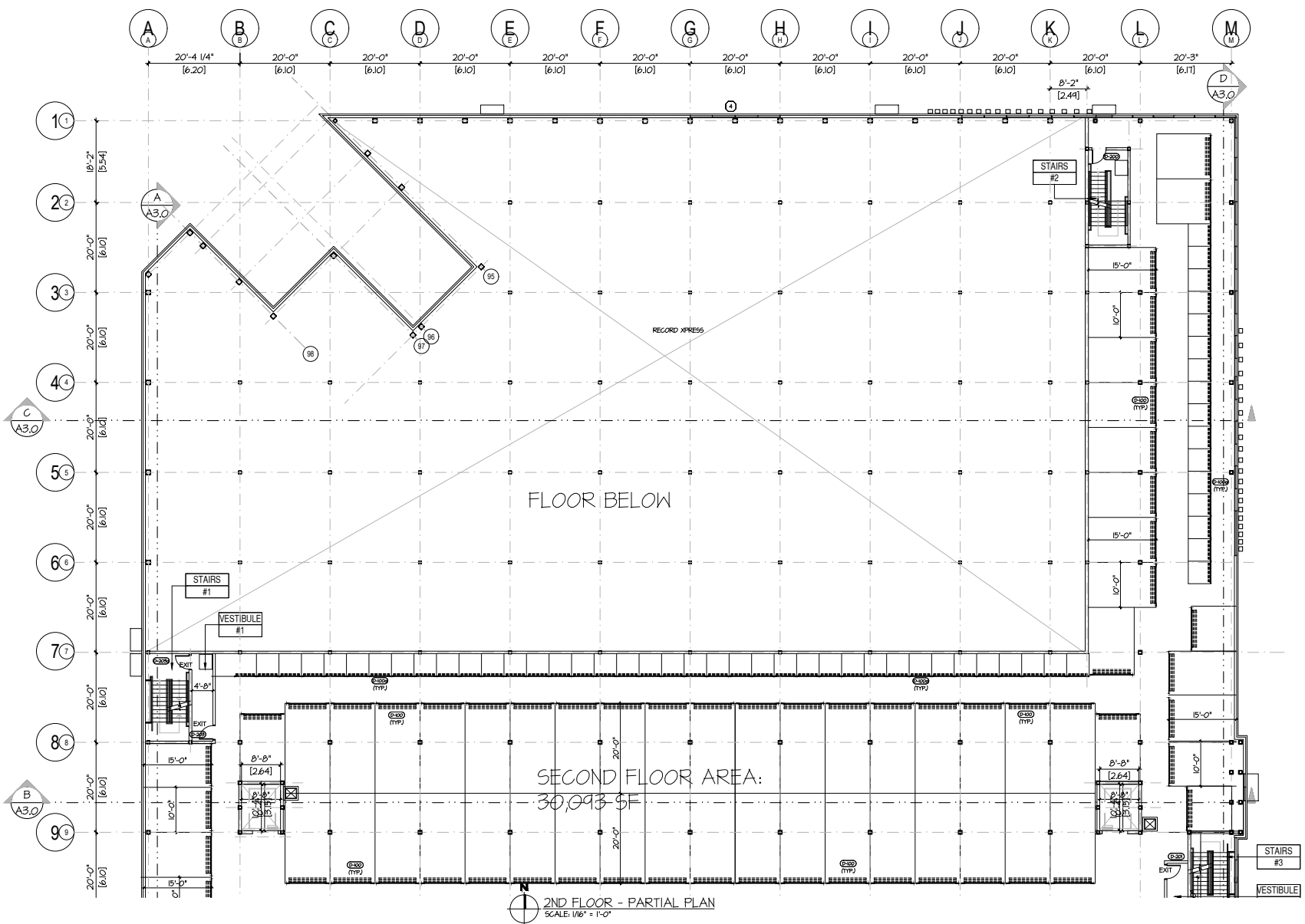
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 PROJECT: 15A
 STORAGEVAULT C/O ACCESS
 PROPERTY DEVELOPMENT
 13440 75th Ave Surrey Expansion, BC
 DRAWING: 2ND FLOOR PLAN
 PROJECT NUMBER: IT-130 DRAWING NUMBER: A1.1
 SCALE: AS NOTED
 DATE: JULY 11, 2017 REVISION: OCT 31, 2022

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



SECOND FLOOR AREA:
30,093 SF

REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12 25	RE-ISSUED FOR DP
07	SEP 26 22	RE-ISSUED FOR DP
06	MAY 25 22	RE-ISSUED FOR DP
05	DEC 29 21	ISSUED FOR CLIENT REVIEW
04	DEC 21 21	ISSUED FOR CLIENT REVIEW
03	AUG 18 21	RE-ISSUED FOR DP
02	JULY 14 21	RE-ISSUED FOR DP
01	NOV 21 19	ISSUED FOR DP

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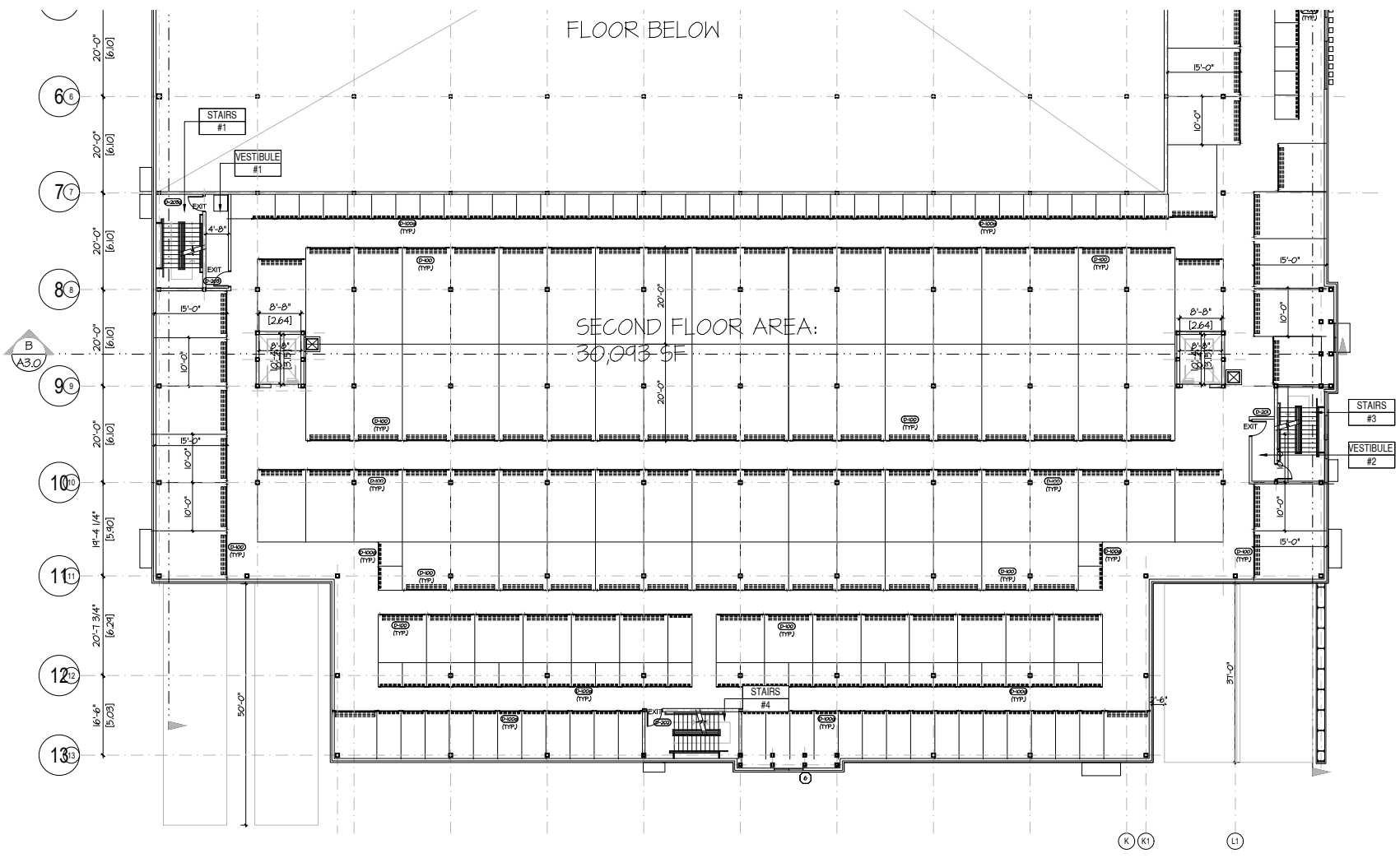
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PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
13440 15th Ave Surrey Expansion, BC
DRAWING: 2ND FLOOR PARTIAL PLAN
PROJECT NUMBER: 17-130 DRAWING NUMBER: A1.1a
SCALE: AS NOTED
DATE: JULY 11, 2017 REGION: SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



N
 2ND FLOOR - PARTIAL PLAN
 SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12 25	RE-ISSUED FOR DP
07	SEP 26 22	RE-ISSUED FOR DP
06	MAY 25 22	RE-ISSUED FOR DP
05	DEC 15 21	ISSUED FOR CLIENT REVIEW
04	DEC 21 19	ISSUED FOR CLIENT REVIEW
03	AUG 13 19	RE-ISSUED FOR DP
02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP

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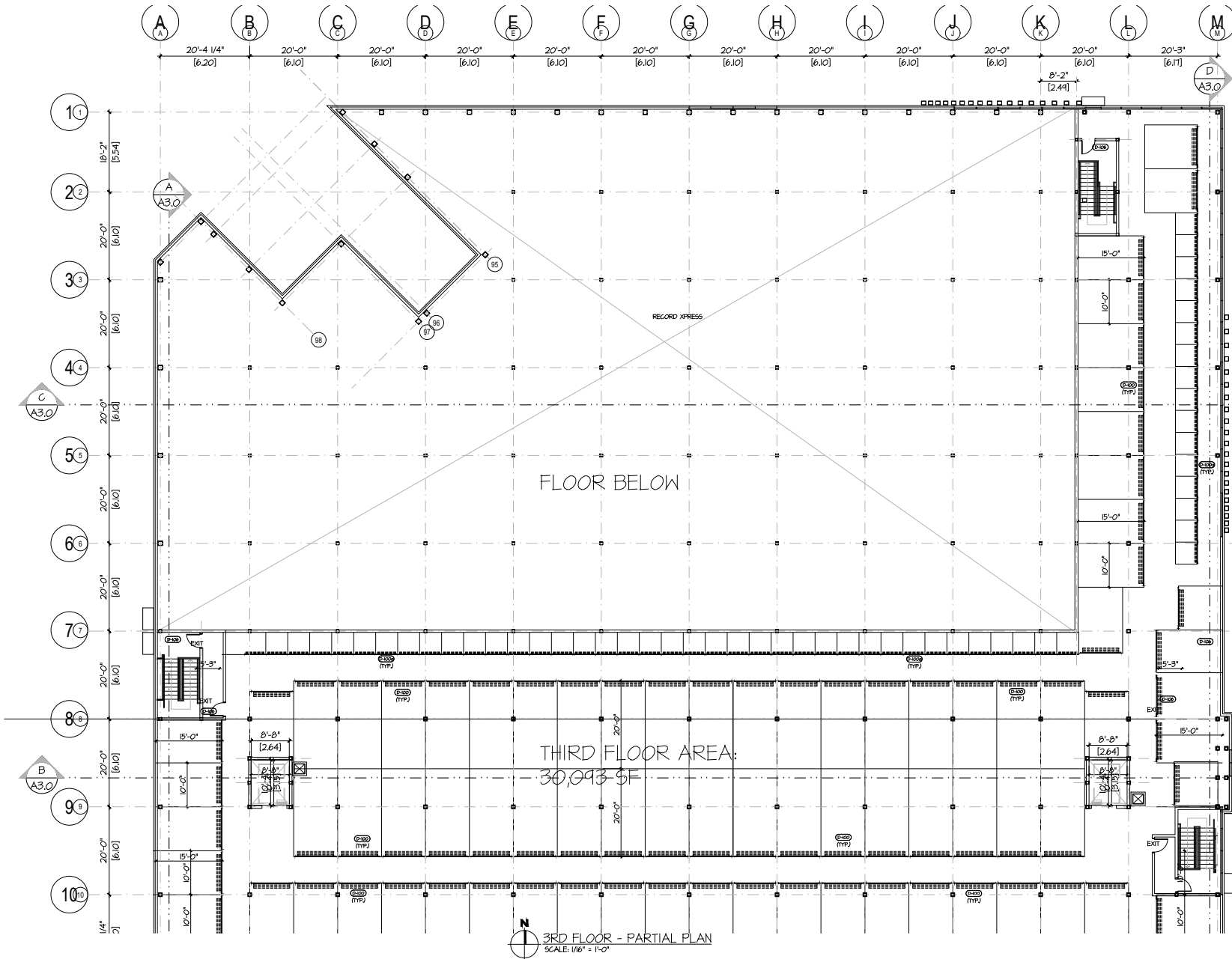
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 STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
 13440 75TH Ave Surrey Expansion, BC
 DRAWING: 2ND FLOOR PLAN
 PROJECT NUMBER: I7-130 DRAWING NUMBER: A1.I
 SCALE: AS NOTED
 DATE: JULY 11, 2017 REGION: SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



3RD FLOOR - PARTIAL PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
01	JUNE 23/22	RE-ISSUED FOR DP
02	MAY 12/22	RE-ISSUED FOR DP
03	SEP 26/22	RE-ISSUED FOR DP
04	MAY 22/22	RE-ISSUED FOR DP
05	DEC 29/21	ISSUED FOR CLIENT REVIEW
04	DEC 21/21	ISSUED FOR CLIENT REVIEW
03	AUG 18/21	RE-ISSUED FOR DP
02	JULY 14/21	RE-ISSUED FOR DP
01	NOV 21/19	ISSUED FOR DP

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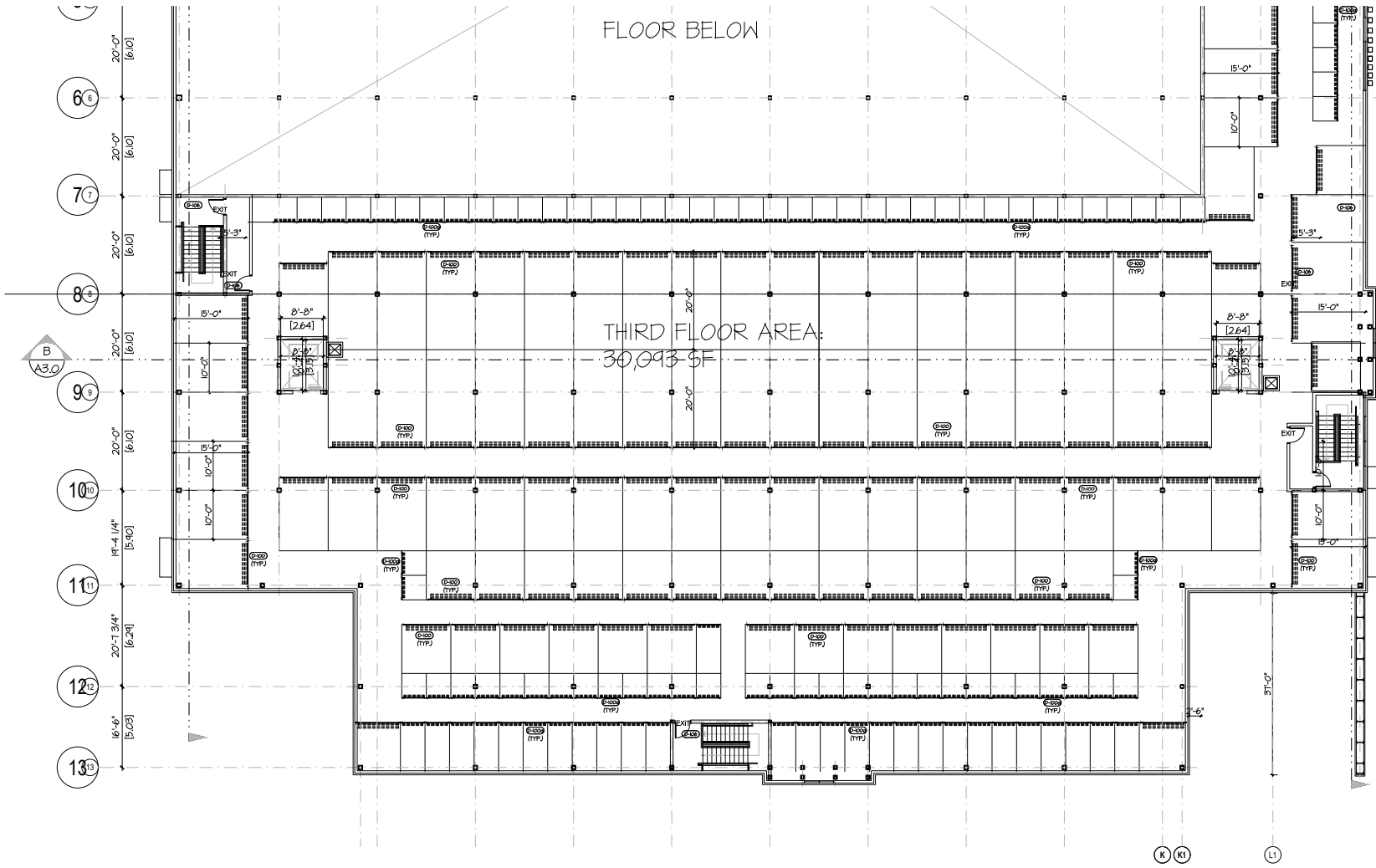
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PROJECT: STORAGE VAULT C/O ACCESS PROPERTY DEVELOPMENT
13440 75th Ave Surrey Expansion, BC
DRAWING: 3RD FLOOR PARTIAL PLAN
PROJECT NUMBER: DRAWING NUMBER: 17-130 A1.2a
SCALE: AS NOTED
DATE: JULY 11, 2017 REGION: SEP 26, 22

STORAGE VAULT C/O ACCESS PROPERTY DEVELOPMENT - 17-073




3RD FLOOR - PARTIAL PLAN
 SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12 25	RE-ISSUED FOR DP
03	SEP 26 22	RE-ISSUED FOR DP
04	MAY 25 22	RE-ISSUED FOR DP
05	DEC 19 21	ISSUED FOR CLIENT REVIEW
04	DEC 21 19	ISSUED FOR CLIENT REVIEW
03	AUG 19 19	RE-ISSUED FOR DP
02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP

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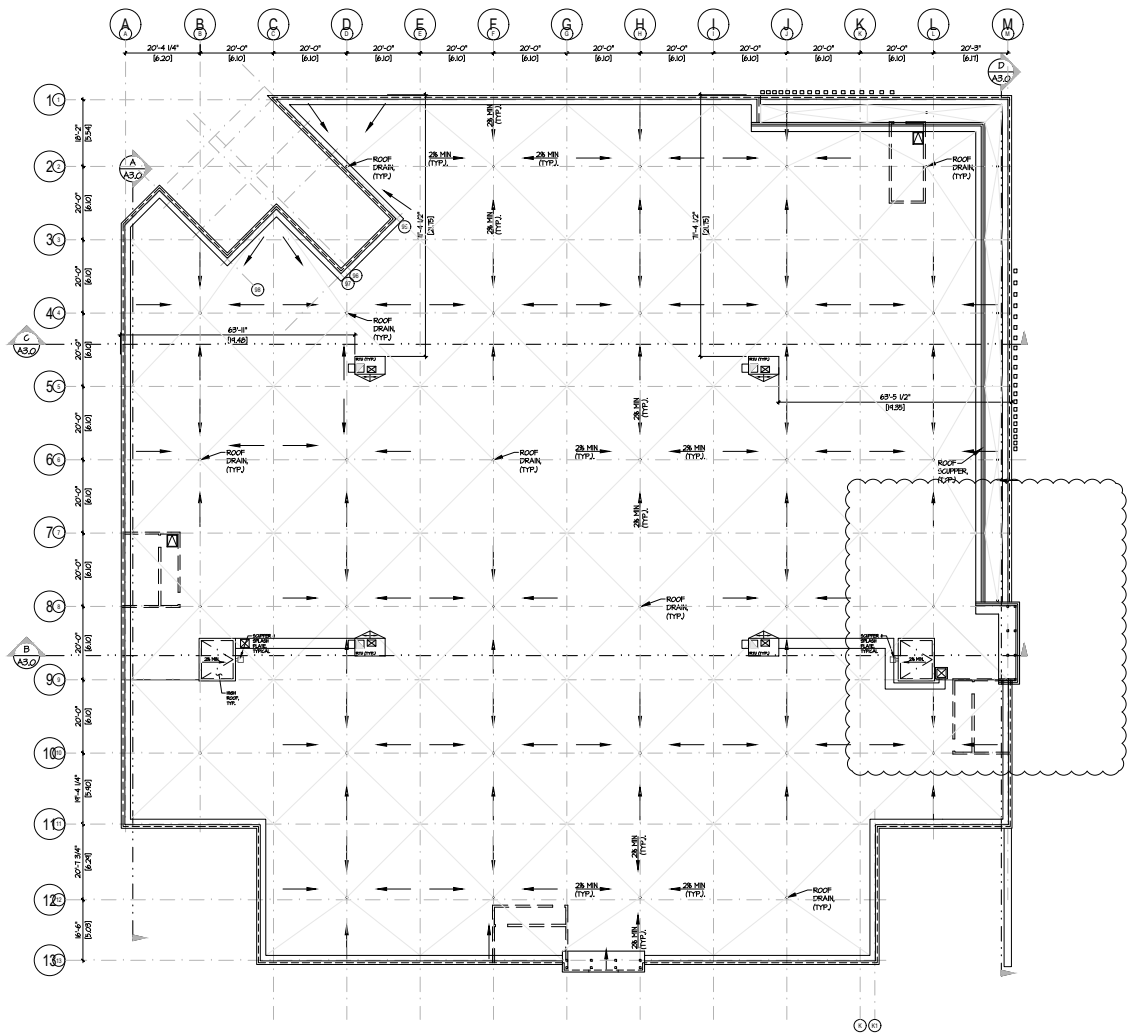


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PROJECT	15A		
STORAGEVAULT C/O ACCESS			
PROPERTY DEVELOPMENT			
13440 15 th Ave Surrey Expansion, BC			
DRAWING	3RD FLOOR PLAN		
PROJECT NUMBER	IT-130	DRAWING NUMBER	A1.2b
SCALE	AS NOTED		
DATE	JULY 11, 2017	REVISION	SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073




ROOF PLAN
 SCALE: 1/6" = 1'-0"

REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12 25	RE-ISSUED FOR DP
01	SEP 26 22	RE-ISSUED FOR DP
06	MAY 25 22	RE-ISSUED FOR DP
05	DEC 19 21	ISSUED FOR CLIENT REVIEW
04	DEC 21 19	ISSUED FOR CLIENT REVIEW
03	AUG 18 19	RE-ISSUED FOR DP
02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP

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DRAWN BY	AT	APPROVED	LSA
PROJECT	STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT		
13440 15 th Ave Surrey Expansion, BC			
DRAWING	ROOF PLAN		
PROJECT NUMBER	17-130	DRAWING NUMBER	A1.3
SCALE	AS NOTED		
DATE	JULY 11, 2017	REVISION	SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073

EXTERIOR FINISHES		
NO.	MATERIAL	COLOR / SPECIFICATION
1	COMPOSITE INSULATED CONCRETE	RED COLOR
2	COMPOSITE INSULATED CONCRETE	WHITE COLOR
3	INSULATED METAL PANEL	RED COLOR
	W/ VERTICAL GROOVE PATTERN	
4	ENTRANCE DOOR	CHARCOAL GRAY
5	METAL DOOR	WHITE COLOR
6	ROLL-UP DOOR	WHITE COLOR
7	METAL GANTRY	CHARCOAL GRAY
8	PANCAFFI FLASHING	TO MATCH TO ADJACENT COLOR
9	SIGNAGE	AS SHOWN ON THE ELEVATION
10	EXTERIOR LIGHT	BLACK COLOR
11	CURTAIN HALL / SPANDREL PANEL	WHITE MILLIONS AND CHARCOAL GRAY SPANDREL PANEL
12	METAL VERTICAL POST	WHITE COLOR
13	INSULATED METAL PANEL	HARCON COLOR
14	GAS METER	HIDDEN BEHIND THE LANDSCAPE & EAST HALL
15	CONCRETE WALL FTD	SMOOTH ARCHITECTURAL FINISH
16	INSULATED METAL PANEL	WHITE COLOR
17	METAL FLASHING	TO MATCH ADJACENT COLOR
18	N/A	
19	COMPOSITE INSULATED CONCRETE	HARCON COLOR
20	MAIN ROOF	- 3/4" PLY TORCH ON SBS MEMBRANE - FULLY ADHERED NOTE: SBS MEMBRANE NEEDS TO BE HIGH ALBEDO VALUE 3/4-0.75
21	SPANDREL PANEL	SPANDREL PANEL WITH REFLECTIVE / MIRROR SURFACE

REV	DATE	DESCRIPTION
05	JUNE 15 25	RE-ISSUED FOR DP
04	SEP 26 22	RE-ISSUED FOUR UP
03	MAY 25 22	RE-ISSUED FOR DP
02	JAN 14 20	ISSUED FOR CLIENT REVIEW
01	NOV 21 19	ISSUED FOR DP

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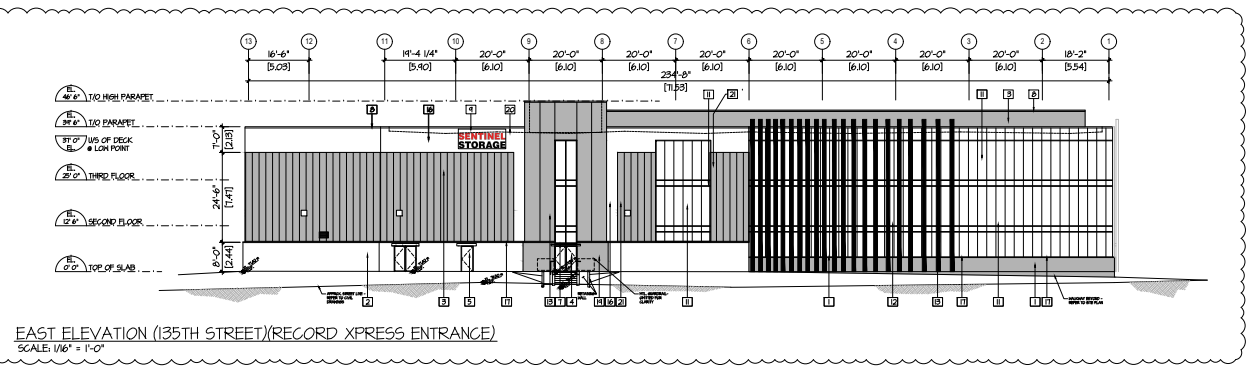


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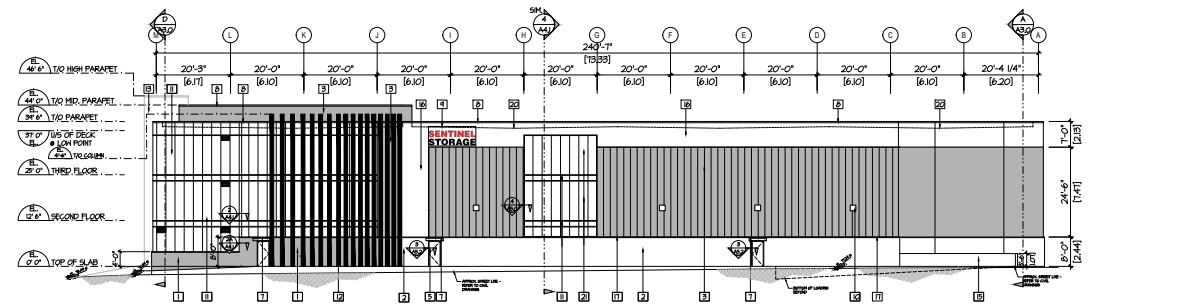
ARCHITECTURAL SEAL

NLS NV-W
ARCHITECTURAL HIGH PERFORMANCE PULL-OFF WALL PANEL

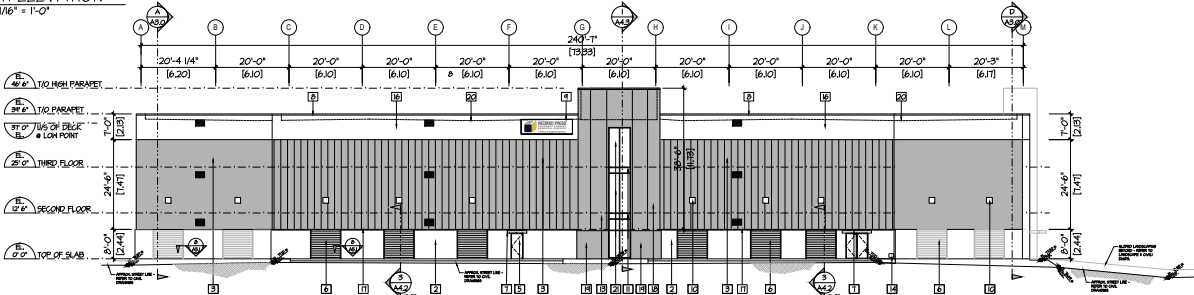
TYPICAL EXTERIOR FIXTURE INFO
SCALE: N.T.S.



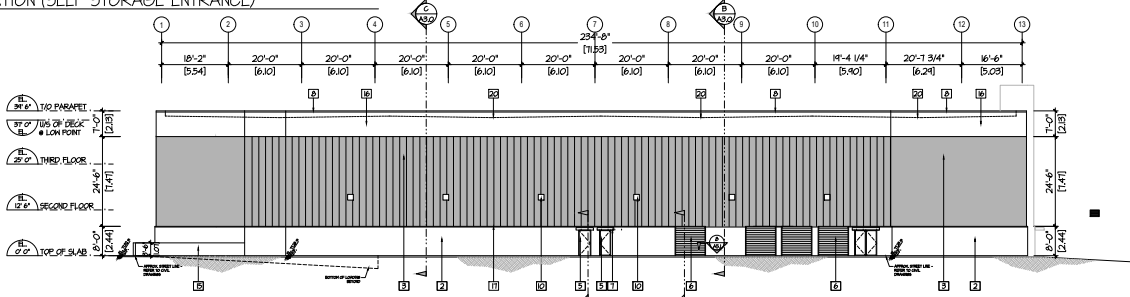
EAST ELEVATION (135TH STREET) / RECORD XPRESS ENTRANCE
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION (SELF STORAGE ENTRANCE)
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"

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APPROVED: VSC
STORAGEVAULT C/O ACCESS
PROPERTY DEVELOPMENT
13440 75th Ave Surrey Expansion, BC
DRAWING: ELEVATIONS
PROJECT NUMBER: IT-130 DRAWING NUMBER: A2.0
SCALE: AS NOTED
DATE: JULY 11, 2017 REGION: SEP 26 22

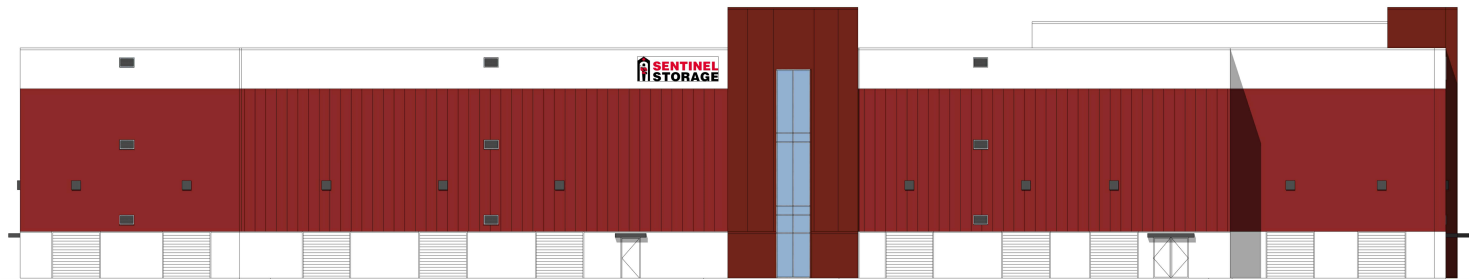
STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT - 17-073



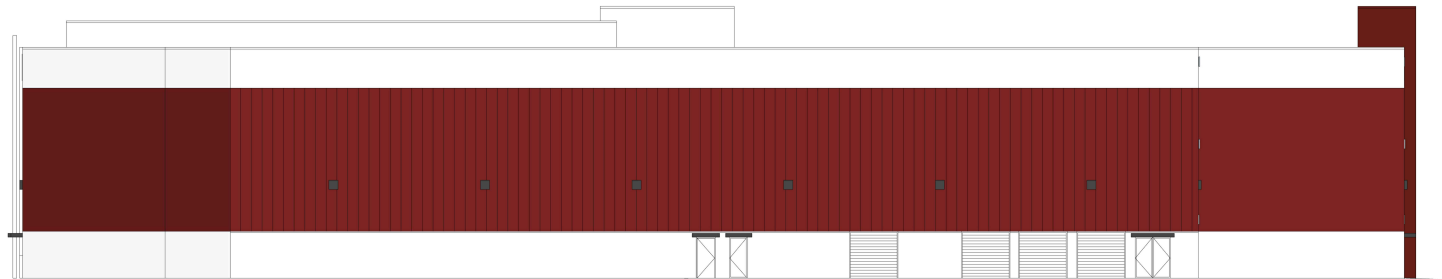
EAST ELEVATION (135TH STREET)(RECORD XPRESS ENTRANCE)
SCALE: N.T.S.



NORTH ELEVATION
SCALE: N.T.S.



SOUTH ELEVATION (SELF STORAGE ENTRANCE)
SCALE: N.T.S.



WEST ELEVATION
SCALE: N.T.S.

REV	DATE	DESCRIPTION
05	JUNE 23 23	RE-ISSUED FOR DP
04	SEP 26 22	RE-ISSUED FOR DP
03	MAY 25 22	RE-ISSUED FOR DP
02	JAN 14 20	ISSUED FOR CLIENT REVIEW
01	NOV 21 19	ISSUED FOR DP

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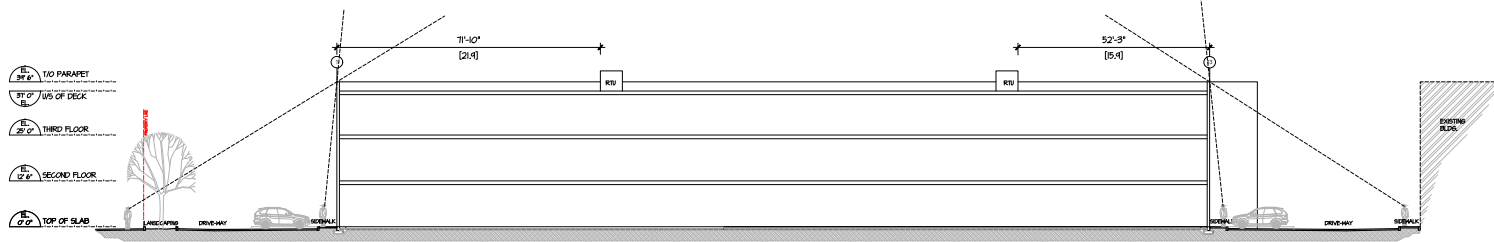
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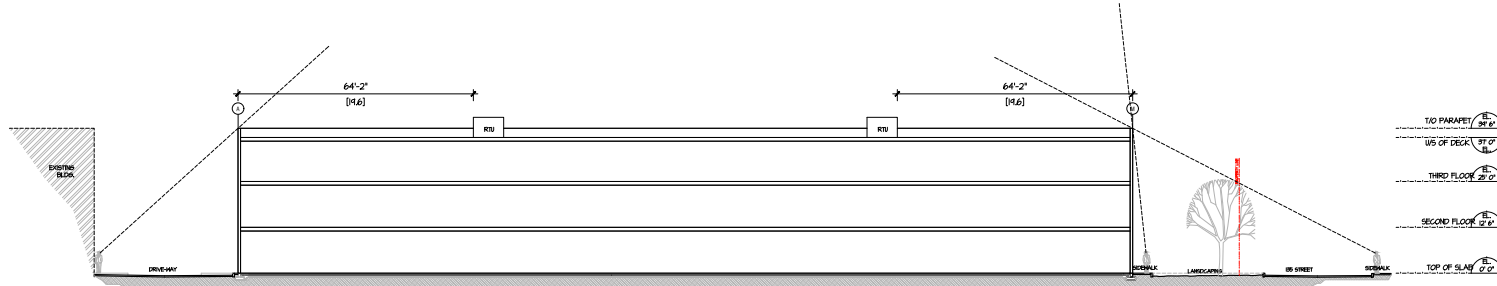
DRAWN BY: APPROVED:
AT: LSA
PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
13440 75th Ave Surrey Expansion, BC
DRAWING: COLOURED ELEVATIONS

PROJECT NUMBER: DRAWING NUMBER:
17-130 A2.0A
SCALE: AS NOTED
DATE: JULY 11, 2017 REVISION: MAY 24 23

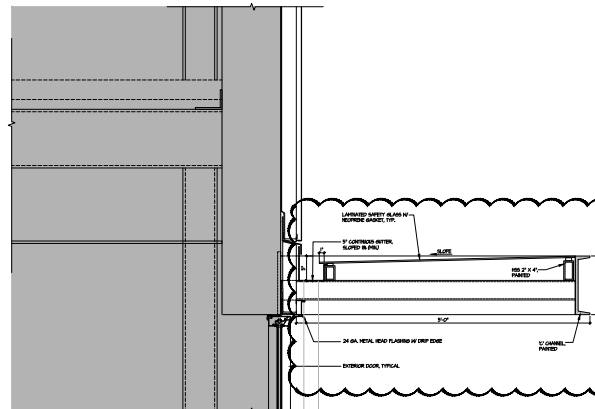
STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



PEDESTRIAN LEVEL LINE SECTION I
SCALE: 1" = 16'-0"



PEDESTRIAN LEVEL LINE SECTION I
SCALE: 1" = 16'-0"



CANOPY DETAIL OVER ENTRANCE DOOR
SCALE: 1/2" = 1'-0"

REV	DATE	DESCRIPTION
08	JUNE 15/23	RE-ISSUED FOR DP
07	SEP 26 22	RE-ISSUED FOR DP
06	MAY 25 22	RE-ISSUED FOR DP
05	DEC 15 21	ISSUED FOR CLIENT REVIEW
04	DEC 23 19	ISSUED FOR CLIENT REVIEW
03	AUG 15 19	RE-ISSUED FOR DP
02	JULY 11 19	RE-ISSUED FOR DP
01	NOV 21 18	ISSUED FOR DP

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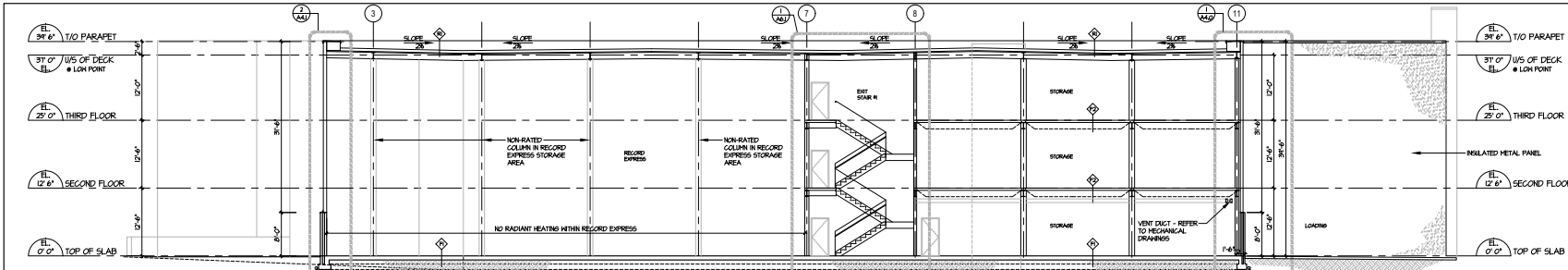
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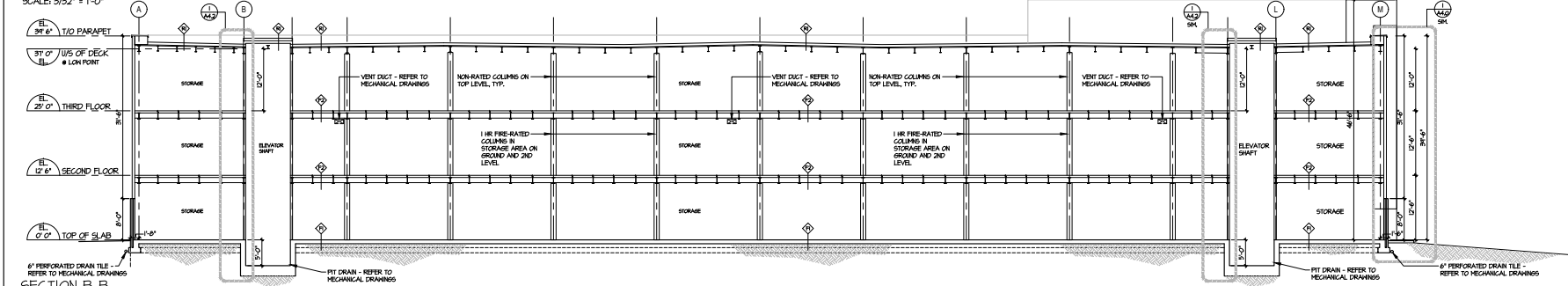
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AT: LSA
PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
13440 15th Ave Surrey Expansion, BC
DRAWING: PEDESTRIAN LEVEL LINE SECTION & CANOPY TYPICAL DETAILS
PROJECT NUMBER: DRAWING NUMBER:
17-130 A53
SCALE: AS NOTED
DATE: JULY 30, 2017 REGION: SEP 26 22

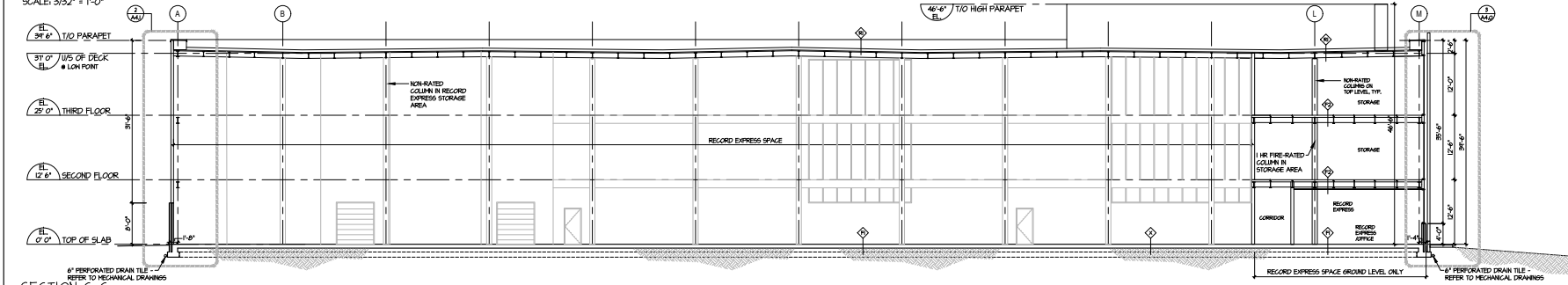
STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



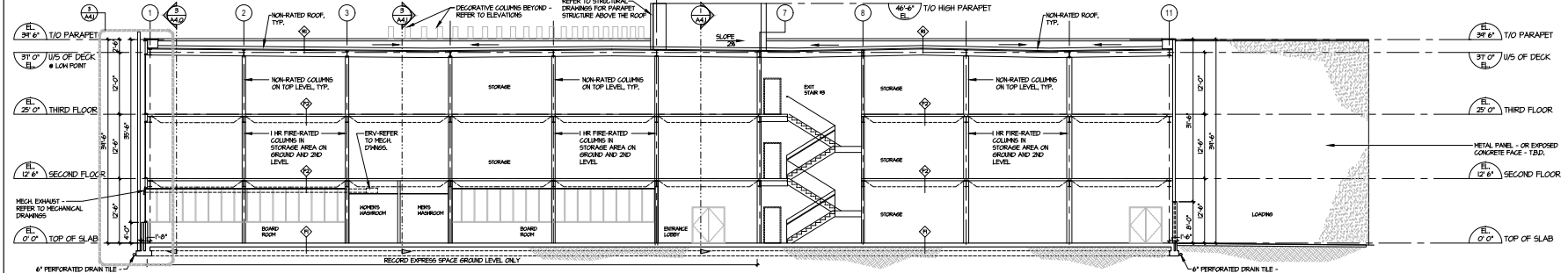
SECTION A-A
SCALE: 3/32" = 1'-0"



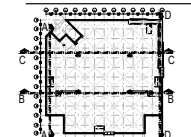
SECTION B-B
SCALE: 3/32" = 1'-0"



SECTION C-C
SCALE: 3/32" = 1'-0"



SECTION D-D
SCALE: 1" = 10'-0"



KEY PLAN
SCALE: N.T.S.

REV	DATE	DESCRIPTION
05	JUNE 15 23	RE-ISSUED FOR DP
04	SEP 26 22	RE-ISSUED FOR DP
03	MAY 25 22	RE-ISSUED FOR DP
02	JAN 14 20	ISSUED FOR CLIENT REVIEW
01	NOV 23 19	ISSUED FOR DP

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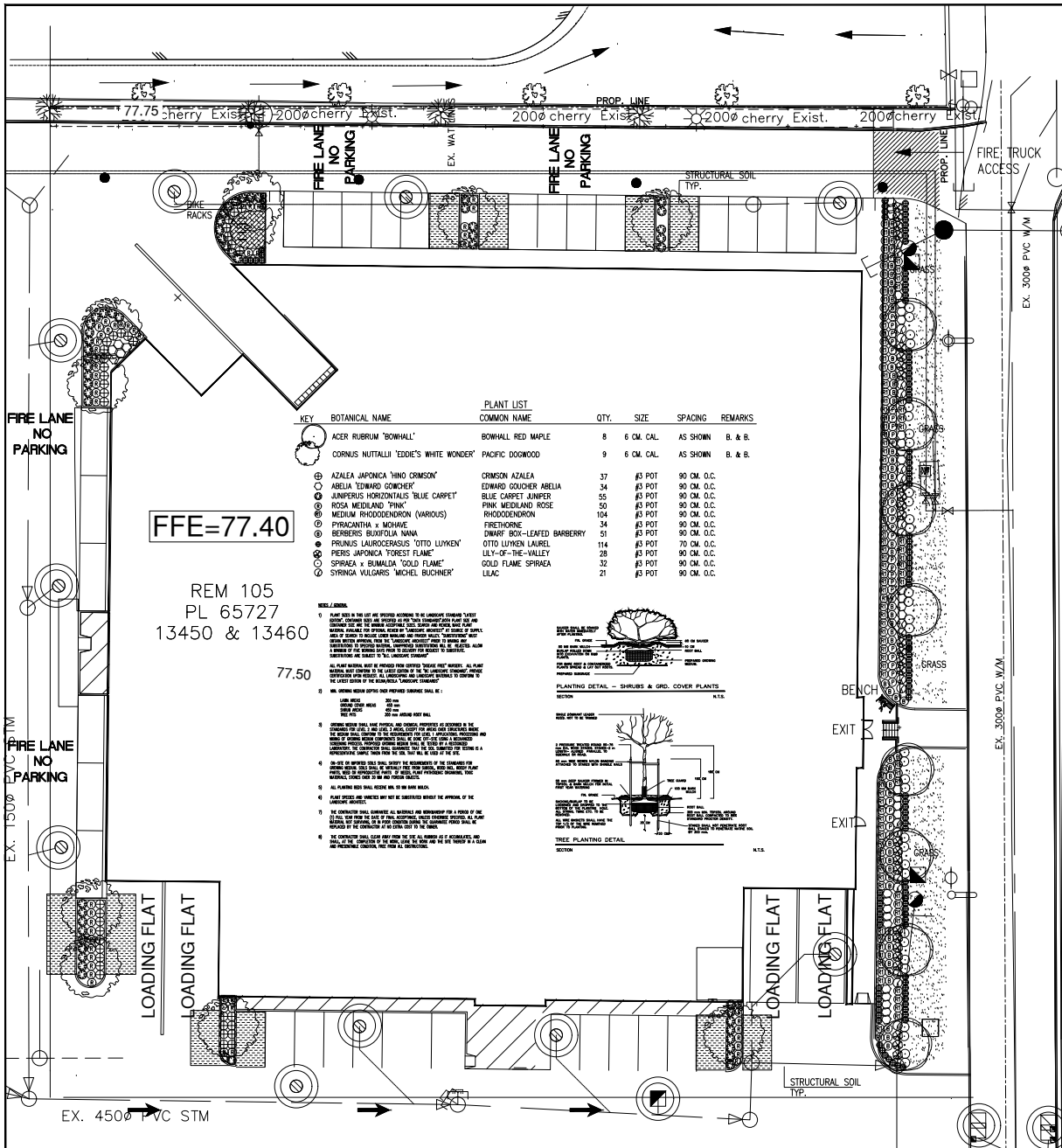
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PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073
DRAWN BY: AT
APPROVED: LSA
PROJECT: STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT
13440 15th Ave Surrey Expansion, BC

DRAWING: BUILDING SECTIONS
PROJECT NUMBER: 17-130 DRAWING NUMBER: A3.0
SCALE: AS NOTED
DATE: JULY 11, 2017 REGION: SEP 26 22

STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT, 17-073



73" AVENUE

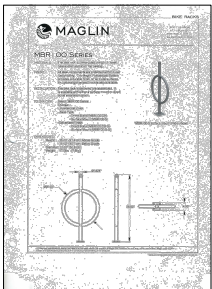
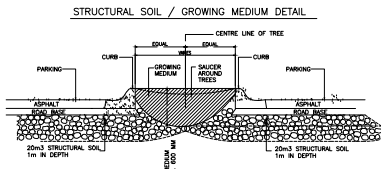
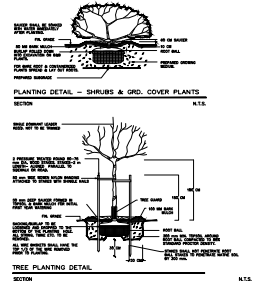
135 STREET

FFE=77.40

REM 105
PL 65727
13450 & 13460

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	8	6 CM. CAL.	AS SHOWN	B. & B.
○	CORNUS NUTTALLII 'EDDIE'S WHITE WONDER'	PACIFIC DOGWOOD	9	6 CM. CAL.	AS SHOWN	B. & B.
○	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	37	#3 POT	90 CM. O.C.	
○	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	34	#3 POT	90 CM. O.C.	
○	JUNIPERUS HORIZONTALIS 'BLUE CARPET'	BLUE CARPET JUNIPER	55	#3 POT	90 CM. O.C.	
○	ROSA MEDIALAND 'PINK'	PINK MEDIALAND ROSE	50	#3 POT	90 CM. O.C.	
○	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	104	#3 POT	90 CM. O.C.	
○	PHYSCANTHUS x MICHAE	FRICTHIONE	34	#3 POT	90 CM. O.C.	
○	BERBERIS BUxFOLIA NANA	DWARF BOX-LEAFED BARBERRY	51	#3 POT	90 CM. O.C.	
○	PRUNUS LAURICERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	114	#3 POT	70 CM. O.C.	
○	PIREUS JAPONICA 'FOREST FLAME'	LILY-OF-THE-VALLEY	28	#3 POT	90 CM. O.C.	
○	SPIRAEA x BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	32	#3 POT	90 CM. O.C.	
○	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	21	#3 POT	90 CM. O.C.	

- NOTES:**
- PLANT SPECIES TO BE USED ARE SHOWN IN THIS LIST. ANY SPECIES NOT LISTED HEREIN SHALL BE APPROVED BY THE ARCHITECT AND LANDSCAPE ARCHITECT BEFORE PROCEEDING. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE PROVINCE OF BRITISH COLUMBIA. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE PROVINCE OF BRITISH COLUMBIA. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE PROVINCE OF BRITISH COLUMBIA.
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DATE	REVISION	NO.
JULY/23	REVISED SITE PLAN	4
APR/23	REVISED SITE PLAN	3
MAY/23	REVISED SITE PLAN	2
SEP/22	REVISED SITE PLAN	1

D.KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA
2462 JENKINS COURT
ABBOTSFORD, B.C.
V3C 3E8
PHONE (604) 857-2376

CLIENT
MR. ALBERTA TARAKOJIAN
LOWK SCOTT ARCHITECTS
3707 FIRST AVENUE
BURNABY, B.C.
V5C 3V6
604-298-3700

TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
SELF-STORAGE WAREHOUSE
13460 - 73 AVENUE
SURREY, B.C.

SCALE	1:200	DATE	FEB/22
DRAFT	DWTS		
ENG.	DWTS		
APP'D	AS BUILT		

PRINTED
JOB NO.
DRAWING NO.
L-1

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 12, 2023** PROJECT FILE: **7819-0071-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 13498 73 Ave**

DEVELOPMENT PERMIT

The following conditions are associated with the Development Permit but can be addressed through Building Permit Process prior to issuance:

- CCTV the existing sanitary service connections. Replace with 150mm if not found adequate or undersized (100mm). Ensure manhole is within City property.
- Reduce to one metered water service connection at the northern end of the site.
- CCTV the existing drainage service connections (if any) and replace/repair if required.
- Follow existing Restrictive Covenant(s) on-title related to storm/drainage management.
- Ensure water quality treatment facilities for new internal drive aisle/parking areas prior to discharging off-site. A Restrictive Covenant is required to ensure owner/operator to maintain water quality/sediment control inlet chamber, if not registered.
- Reinstate City boulevard with proposed access removal along 135 Street.

A Servicing Agreement is not required.



Jeff Pang, P.Eng.
Development Services Manager

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0071-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-665-364

Lot 105 Except: Part Dedicated Road On Plan LMP53810; Section 20 Township 2 New Westminster
District Plan 65727

13498 - 73 Avenue

(the "Land")

3. (a) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Table D.1 of Part 5, Off-Street Parking and Loading/Unloading – to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres; and
 - (b) Section F.1 (a) and (c) of Part 5 Off-Street Parking and Loading/Unloading – to permit standard parking spaces in front of overhead loading doors of individual self-storage units, and that these be considered towards the calculation of required off-street parking spaces.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

SCHEDULE A

LEGAL DESCRIPTION
 LEGAL DESCRIPTION:
 LOT 109, EXCEPT, PART DEDICATED ROAD ON PLAN LMP0300; SECTION 20 TOWNSHIP 5 N RD PLAN 65727

CIVIC ADDRESS
 13440 13RD AVENUE
 SURREY, B.C.

SITE STATISTICS
 SITE AREA:
 2.91 HECTARES, 30,291.44 SQ. FT. (24,900 SQ. M.)

ZONING:
 L - LIGHT INDUSTRIAL

SITE COVERAGE:
 MAXIMUM ALLOWED: 60%
 18,175 SQ. FT.
 + 53,283 SQ. FT. NEW PROPOSED BUILDING
 152,215 SQ. FT. / 30,291.44 SQ. FT. = 4.1 %

FAR
 MAX. ALLOWED: 1.0

EXISTING TOTAL FLOOR AREA: 112,066.5 SQ. FT.
 NEW PROPOSED FLOOR AREA:
 53,283 + 30,136.1 x 2 = 85,911.4 SQ. FT.
 TOTAL GROSS FLOOR AREA: 251,963.4 SQ. FT.

251,963.4 / 30,291.44 = 0.8

BUILDING HEIGHT
 MAX. ALLOWED: 10 METERS (30'-0")
 PROPOSED: 14.17 METERS (46'-6" HIGH PARAPET)

REV	DATE	DESCRIPTION
01	JUNE 23/25	RE-ISSUED FOR DP
02	MAY 12/25	RE-ISSUED FOR DP
01	SEP 26/22	RE-ISSUED FOR DP
06	MAY 25/22	RE-ISSUED FOR DP
05	DEC 19/21	ISSUED FOR CLIENT REVIEW
04	DEC 21/19	ISSUED FOR CLIENT REVIEW
03	AUG 19/19	RE-ISSUED FOR DP
02	JULY 11/19	RE-ISSUED FOR DP
01	NOV 21/19	ISSUED FOR DP

SET BACKS

SIDE	REQUIRED	PROPOSED
FRONT (EAST)	1.5M (25 FT.)	1.5M (26'-0" (14'))
REAR (WEST)	1.5M (25 FT.)	6.06M (19'-10" (12'))
SIDE (NORTH)	1.5M (25 FT.)	5.9M (19'-2")
SIDE (SOUTH)	1.5M (25 FT.)	4.69M (15'-2")

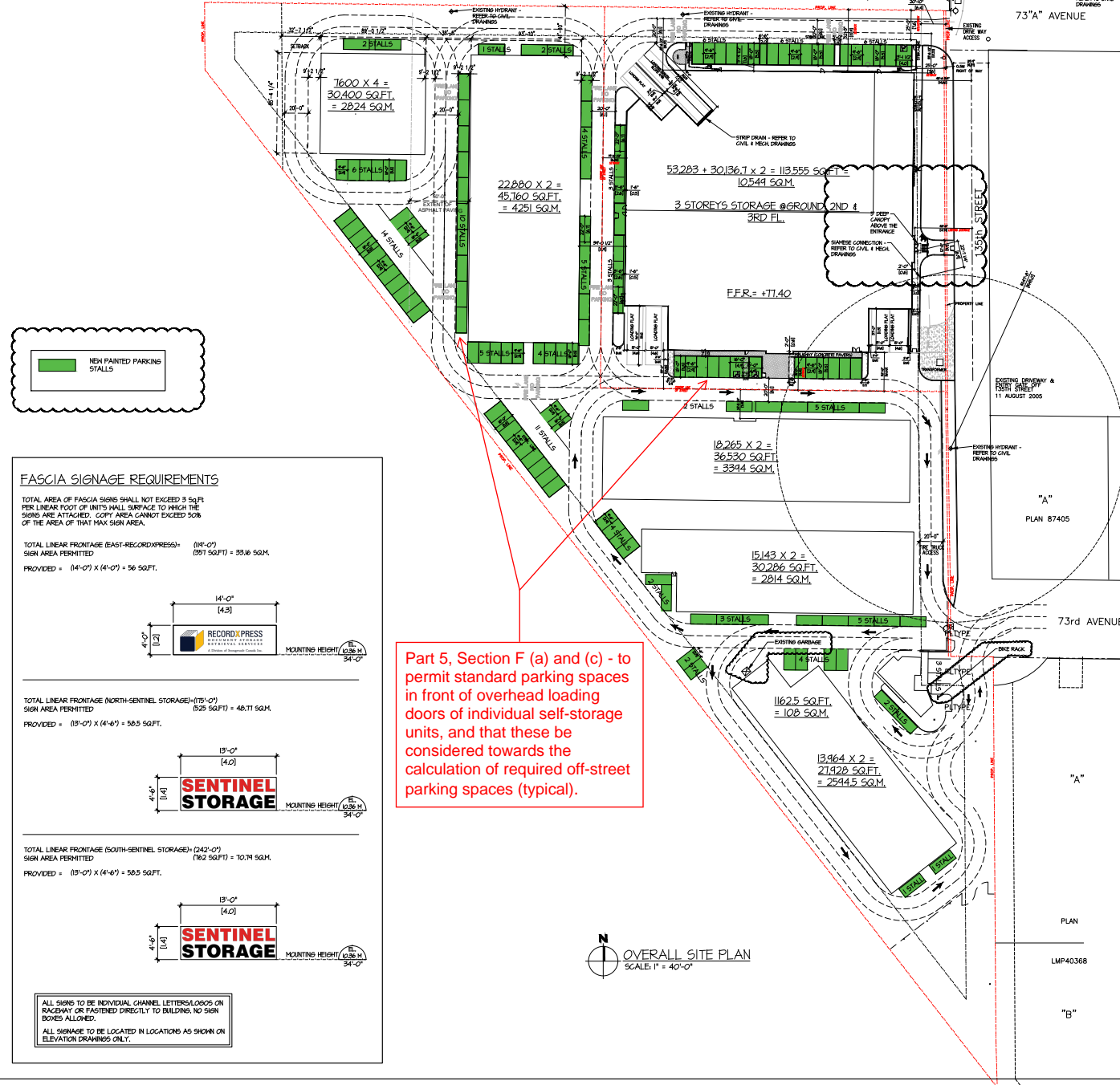
UNIT 101:
 WAREHOUSE AREA: 23,210 S.F.
 OFFICE AREA: 4,394 S.F.
 TOTAL AREA: 27,604 S.F.

UNIT 102:
 SELF-STORAGE: 25,624 S.F. x 30,136.1 x 2 = 85,911.4 S.F.

PARKING:

PARKING CALCULATIONS BREAKDOWN

USE	BYLAW RATE	BYLAW REQUIRED STALLS	PROPOSED # STALLS
OFFICE	25 / 100	4013 + 108 + 58.1 / 100 x 25 =	12,941
WAREHOUSE	1 / 100	246124 / 100 x 1 =	2,461
SELF-STORAGE	05 / 100	(5,955+108 + 17880) / 100 x 0.05 =	118,228
TOTAL:			136,130



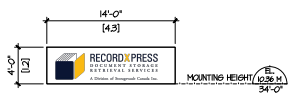
Part 5, Section F (a) and (c) - to permit standard parking spaces in front of overhead loading doors of individual self-storage units, and that these be considered towards the calculation of required off-street parking spaces (typical).

Part 5, Table D.1 - to reduce the parking rate for Self-Storage Warehouse from 0.5 parking spaces per 100 square metres to 0.42 parking spaces per 100 square metres

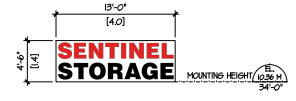
FASCIA SIGNAGE REQUIREMENTS

TOTAL AREA OF FASCIA SIGNS SHALL NOT EXCEED 3 SQ. FT. PER LINEAR FOOT OF UNITS HALL SURFACE TO WHICH THE SIGNS ARE ATTACHED. COPY AREA CANNOT EXCEED 50% OF THE AREA OF THAT MAX SIGN AREA.

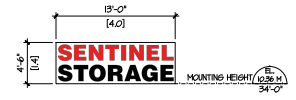
TOTAL LINEAR FRONTAGE (EAST-RECORDXPRESS) = 336.5 SQ.M.
 SIGN AREA PERMITTED (0.4'-0") = 33.6 SQ.M.
 PROVIDED = (4'-0") x (4'-0") = 56 SQ.FT.



TOTAL LINEAR FRONTAGE (NORTH-SENTINEL STORAGE) = 48.71 SQ.M.
 SIGN AREA PERMITTED (0.3'-0") = 5.85 SQ.FT.
 PROVIDED = (3'-0") x (4'-0") = 58.5 SQ.FT.



TOTAL LINEAR FRONTAGE (SOUTH-SENTINEL STORAGE) = 10.74 SQ.M.
 SIGN AREA PERMITTED (0.2'-0") = 1.07 SQ.FT.
 PROVIDED = (3'-0") x (4'-0") = 58.5 SQ.FT.



ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS/LOGOS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. NO SIGN BOXES ALLOWED.

ALL SIGNAGE TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.



CONSULTANT SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SUBJECT TO ARCHITECTURAL SEAL.



3707 1ST AVENUE
 BURNABY, B.C. V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 P: 604 298 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AIA, SAA, MAA & NWTAA

ARCHITECTURAL SEAL

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STORAGEVAULT C/O ACCESS PROPERTY DEVELOPMENT - 17-073