

City of Surrey
PLANNING & DEVELOPMENT REPORT
Application No.: 7919-0315-00

Planning Report Date: April 20, 2020

PROPOSAL:

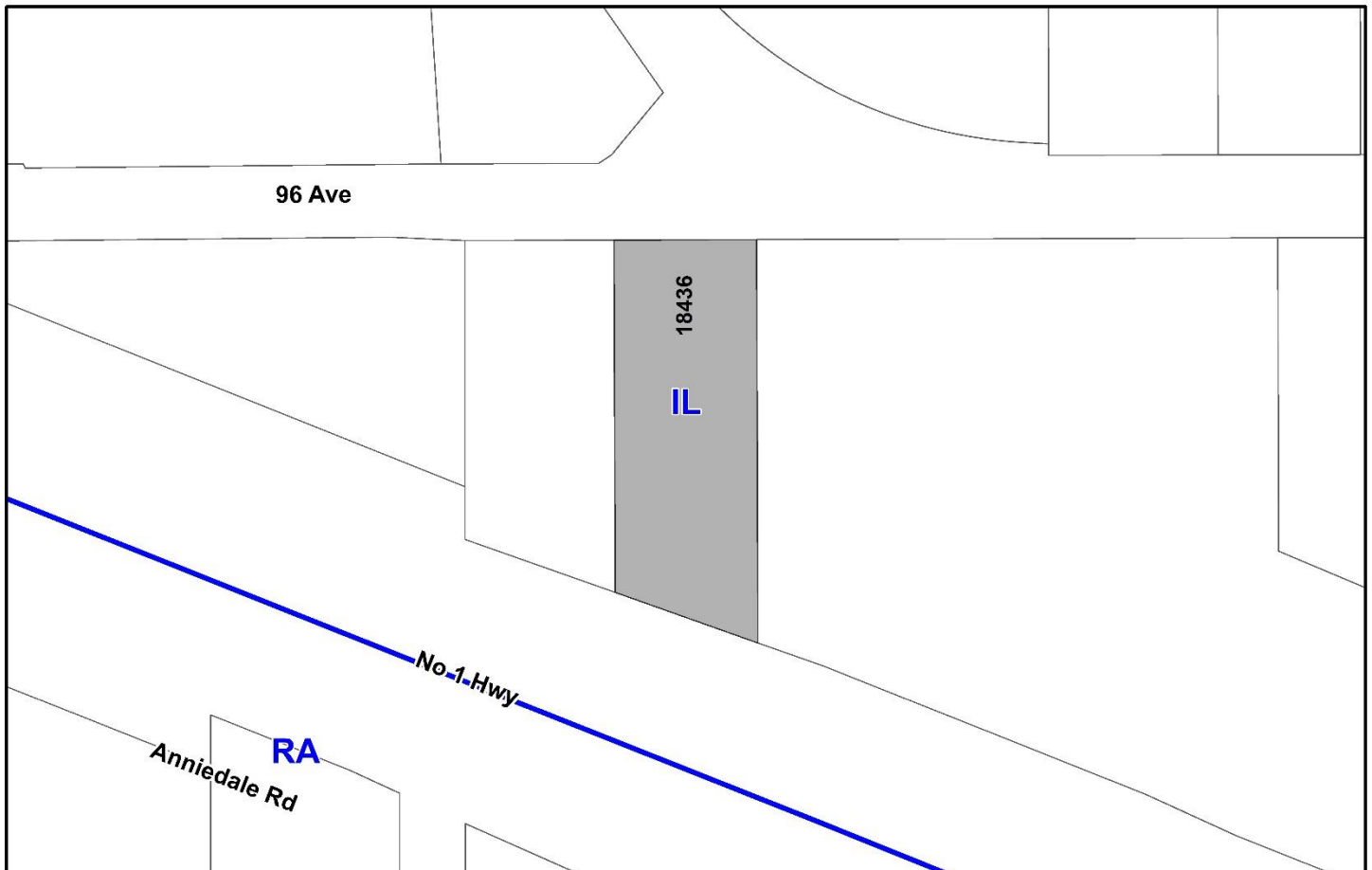
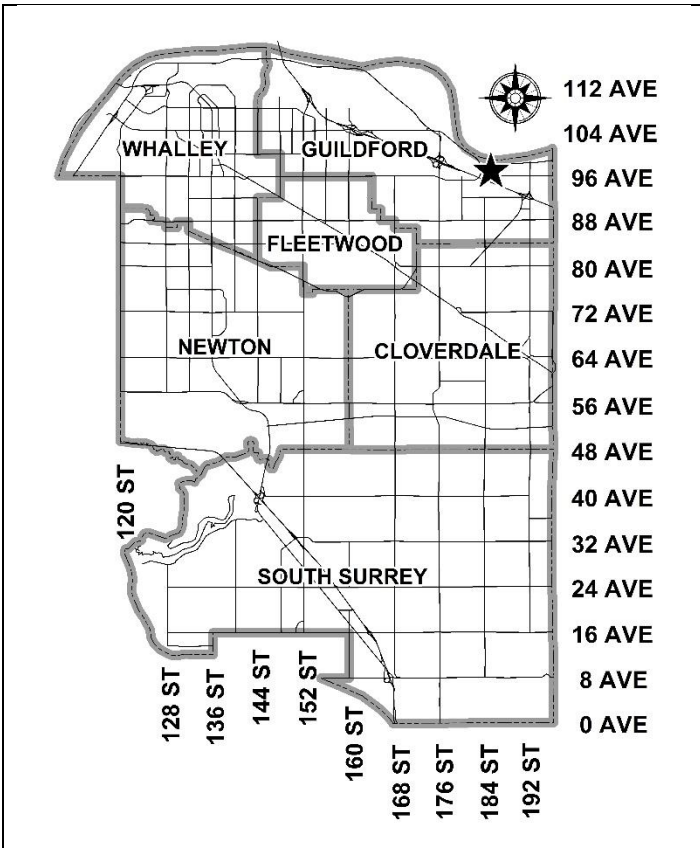
- **Development Permit**

to permit the development of a multi-tenant industrial building.

LOCATION: 18436 - 96 Avenue

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal supports the City's Employment Lands Strategy through the intensification and efficient use of employment designated land and encourages the full utilization and efficient use of these lands in order to maximize jobs and economic activity.
- The design of the site and building is of high quality, with an attractive, durable building material palette and substantial glazing facing 96 Avenue. The use of substantial retaining walls enables construction of a multi-tenant industrial building, with appropriate parking, on a site with approximately 10-metres of grade change. Retaining walls are softened through tiered landscape treatments.
- The site is the last remaining vacant industrial lot on the south side of 96 Avenue in the subject area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7919-0315-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix I).
2. Council instruct staff to resolve the following issues prior to issuance:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) input from the Ministry of Transportation & Infrastructure;
 - (c) resolution of all urban design issues, including relocation of fascia signage from above the first storey on the east elevation and details on a free-standing sign, to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space.
 - (h) submission of a finalized Geotechnical Report to the satisfaction of City staff;
 - (i) registration of a Section 219 Restrictive Covenant to ensure that the proposed building and site are constructed in accordance with the Geotechnical Report; and
 - (i) discharge of the existing landscape buffer Restrictive Covenant on the lot and registration of a replacement Section 219 Restrictive Covenant for installation and maintenance of a landscape buffer.

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | OCP Designation | Existing Zone |
|--------------|--------------|-----------------|---------------|
| Subject Site | Vacant lot | Industrial | IL |

| Direction | Existing Use | OCP Designation | Existing Zone |
|--|---|-------------------|---------------|
| North (Across 96 Avenue and Golden Ears Connector intersection): | Treed vacant lots | Industrial | IL |
| East: | Industrial building | Industrial | IL |
| South (Across Hwy. No. 1): | Treed vacant lot | Mixed Employment. | RA |
| West: | Industrial building with a shared access easement with the subject site | Industrial | IL |

Context & Background

- The subject site, which is located at 18436 – 96 Avenue in Port Kells, is zoned Light Impact Industrial Zone (IL) and is designated Industrial in the OCP. The site is double fronting, being located between 96 Avenue to the north and Highway No. 1 to the south.
- There is approximately 10 metres of grade change across the site with the southern end being higher than the northern end. The subject site is the only vacant industrial lot on the south side of 96 Avenue in the subject area.
- A previous Development Permit application on the site was made in 2016 (Application No. 7916-0266-00) but never proceeded to Council and the file was subsequently closed.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Form and Character Development Permit to allow for a 2,028 square metre, 4-unit, industrial building. The proposed building complies fully with the IL Zone. Specific details on the proposal are provided in the table below:

| | Proposed |
|--------------------------------|---------------------|
| Lot Area | |
| Gross Site Area: | 5,056 square metres |
| Road Dedication: | N/A |
| Undevelopable Area: | N/A |
| Net Site Area: | 5,056 square metres |
| Number of Lots: | 1 |
| Building Height: | 9.75 metres |
| Lot Coverage: | 40.1% |
| Floor Area Ratio (FAR): | 0.48 FAR |
| Floor Area | |
| Industrial: | 1,622 square metres |

| | Proposed |
|---------------------------|---------------------|
| Office/Mezzanine: | 406 square metres |
| Currently Proposed Total: | 2,028 square metres |

Referrals

| | |
|---|--|
| Engineering: | The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II. |
| Ministry of Transportation & Infrastructure (MOTI): | MOTI has no concerns with the development and the proposed retaining wall adjacent to Highway No. 1. |
| Surrey Fire Department: | No concerns. |

Transportation Considerations

- The proposed development has a single access from 96 Avenue with portions of the driveway having a grade of up to 12.6%.
- Due to existing site grades, the applicant is proposing up to 6.7% cross slopes across portions of the internal drive aisle. Both the Fire Department and Transportation Engineering staff have no concerns with the cross-slope.
- A shared access easement has already been secured with the neighboring property to the west at 18412 – 96 Avenue. The applicant has provided documentation that the neighbouring property owner supports the proposed development and grading of the shared access easement.
- Transit stops exist approximately 300 metres to the east of the site and are served by 2 bus lines (including the 501 bus).

Sustainability Considerations

- The applicant has met all the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The site has an Industrial designation in the Regional Growth Strategy, which the proposed development complies with.

Official Community Plan

Land Use Designation

- The subject site is designated Industrial in the OCP, and the proposed industrial building and existing IL Zone complies with this designation.

Themes/Policies

- The proposed building encourages the full utilization and efficient use of industrial and employment lands in order to maximize jobs and economic activity.

PUBLIC ENGAGEMENT

- A Development Proposal Sign was installed on-site on March 9, 2020. Staff received no responses to the proposal.

DEVELOPMENT PERMITS

Grading and Retaining Walls

- A geotechnical report, prepared by Calum Buchan, *P. Eng.*, of GeoWest Engineering and dated February 13, 2020, was peer reviewed by John Carter, *P. Eng.*, of GeoWest Engineering and found to be generally acceptable by the peer reviewer. The report was also reviewed by MOTI staff due to the proximity of the proposed 6-metre high retaining wall adjacent to Highway No. 1 and they deemed it acceptable. The finalized geotechnical report will be incorporated into the Development Permit and also be required for construction of the retaining walls which will require building permits.
- The registration of a Section 219 Restrictive Covenant that requires the owner to construct the site in accordance with the conditions in the geotechnical report is required as a condition of final DP issuance.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building and retaining wall plans comply with the recommendations in the geotechnical report.
- The entire building has a proposed main floor elevation of 28.40 metres geodetic, which is approximately 4 metres above the elevation of 96 Avenue and 6 metres below an earth berm along Highway No. 1. Substantial retaining walls are required throughout the site.
- Staff explored a split slab building design to allow for better grading transition, however, the applicant prefers to keep the single slab level design as it allows for more flexibility and functionality in the future, if a single industrial tenant requires the whole building.
- Along the 96 Avenue frontage a series of 3 retaining walls are required to transition the 2.5 metre grade differential. A second series of retaining walls are required to provide the approximate 1.3 metres transition from the lower to upper parking lots.

- Along the northern portion of the eastern property line an approximate 1.5-metre-high retaining wall is required. The proposed building itself will act as a retaining wall and existing retaining walls on the neighbouring property will be used along the remainder of the eastern property line.
- The applicant proposes an approximate 6-metre high retaining wall along the rear of the site that transitions along the southern portions of both the west and east property lines. The proposed retaining wall is required to render the site flatter. Both MOTI and City staff have reviewed the geotechnical report for the retaining walls to ensure it contains the necessary content, and it was peer reviewed by a second geotechnical engineer.

Form and Character Development Permit Requirements

- The proposed industrial development is subject to a Development Permit for Form and Character.
- The proposed development is of high quality and generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to address slope and retaining wall issues.
- The west building elevation of the building faces the internal driveway and has the entrances and loading bays for all 4 industrial units. Loading doors and canopies are orange and the concrete tilt-up is painted white with black metal panel. An orange canopy for weather protection runs along the majority of the elevation.
- The north building elevation faces 96 Avenue and is primarily black metal panels with substantial glazing to provide an attractive streetscape.
- The east building elevation is flush to the property line and consist of black and white metal panels.
- The south building elevation faces Highway No. 1 but will not be visible from Highway No. 1 due to the grade change (the Highway is higher than the building walls). This elevation consists primarily of black and white metal panels with glazing.
- The applicant proposes mechanical equipment screening on the roof of the building to screen the rooftop equipment from Highway No. 1.

Signage

- The applicant proposes a total of 5 fascia signs for the 4 industrial units. All fascia signage consists of illuminated backlit channelized letters. Four of the proposed signs, facing the interior drive aisle will be along the main floor and one sign, facing 96 Avenue, will be along the second floor. The proposed signage concept complies with the Sign By-law. Signage details will be refined prior to final Development Permit issuance.
- The applicant is contemplating a free-standing sign in accordance with the Sign By-law. Should a free-standing sign be proposed, it will be included in the final Development Permit design package prior to issuance.

Site Layout, Access and Parking

- The proposed building is located with an approximate 18-metre setback from 96 Avenue and a 20-metre setback from Highway No. 1.
- The applicant proposes 39 parking spaces in total. A lower parking lot contains 8 parking spaces and is separated from the upper parking lot and unit entrances by a set of 10 stairs. The proposed parking supply meets the Zoning By-law requirements for the industrial uses proposed.
- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The applicant does not currently anticipate additional mezzanine space in the future and has agreed to register a Section 219 Restrictive Covenant restricting the mezzanine space to be constructed to avoid a situation where there may be insufficient parking in the future. Mezzanine space will be restricted to a maximum of 22% of the ground floor building area.

Landscaping

- An existing Restrictive Covenant for a landscape buffer along the rear of the site is currently registered against the property. The applicant is proposing that the existing RC be discharged, and a new RC be registered to reflect the updated design of the landscape buffer.
- Due to the complex grading on the site and since the building will not be visible from Highway No. 1, the applicant is proposing a row of 6 Norway spruce trees, and shrubbery, along the top of the retaining wall interfacing with Highway No. 1. As the trees and shrubs will be planted at the top of the 6 metre retaining wall, maintenance of the trees/shrubs will need to be sorted out prior to Development Permit issuance. A pathway access option is currently under review.
- The applicant proposes 5 trees between the retaining walls at the front of the site and 10 trees within the parking islands of the parking lot.
- Throughout the site the applicant proposes 325 shrubs and ground covers.
- Landscaping is proposed between the tiered retaining walls fronting 96 Avenue, which will help to soften the look of these retaining walls.

Outdoor Amenity

- A small outdoor area for employees is proposed within the northeast portion of the front yard close to the east property line. The area includes a shade tree and seating area.

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|--|-----------------|---------------|---------------|
| Alder and Cottonwood Trees | | | |
| Alder | 9 | 9 | 0 |
| Cottonwood | 1 | 1 | 0 |
| Coniferous Trees | | | |
| Grand Fir | 4 | 4 | 0 |
| Total (excluding Alder and Cottonwood Trees) | 4 | 4 | 0 |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | | 21 | |
| Total Retained and Replacement Trees | | 21 | |
| Contribution to the Green City Program | | nil | |

- The Arborist Assessment states that there is a total of 4 mature trees on the site, excluding Alder and Cottonwood trees. Ten (10) existing trees, approximately 71% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 18 replacement trees on the site. The applicant is proposing 21 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 96 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Cherry, Japanese Zelkova and Norway Spruce.
- In summary, a total of 21 trees are proposed to be replaced on the site with no contribution to the Green City Fund.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/cm



18436 - 96th Avenue Industrial

18436 - 96th Avenue, Surrey

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT
1952 BRACKMAN WAY
SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA

BUILDING DESIGN

KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P: 604.853.8831

CONTACT: MIKE VAN LAAR

CIVIL

KM CIVIL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
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CONTACT: STUART MCGREGOR

LANDSCAPE

KD PLANNING & DESIGN LTD.
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CONTACT: SHAN TENNYSON

| NO. | DATE | YMD | DESCRIPTION |
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| 4 | 2019/11/04 | | ISSUED FOR CLIENT REVIEW |
| 5 | 2019/11/05 | | ISSUED FOR DP |
| 6 | 2020/03/05 | | RE-ISSUED FOR DP |

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PROJECT NAME

18436 - 96th Avenue Industrial

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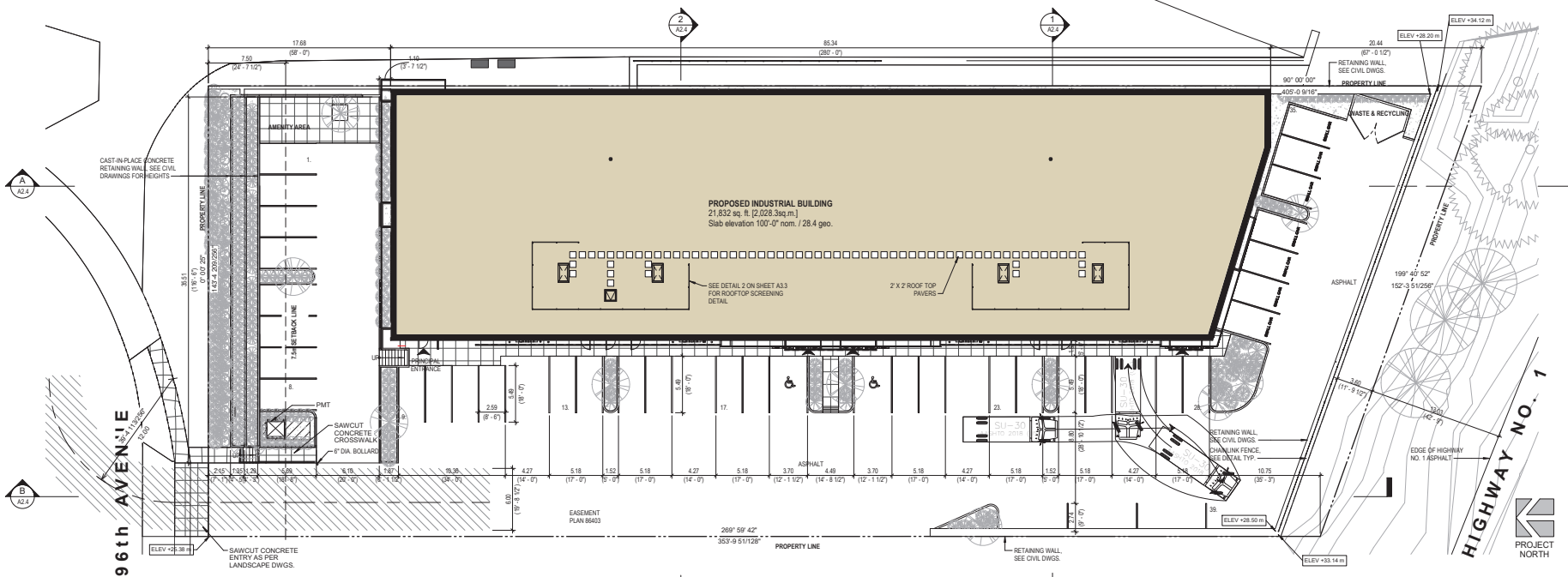
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1 SITE PLAN
SCALE: 1/16" = 1'-0"

PROPERTY INFORMATION:

CIVIC ADDRESS: 18436 - 96th Avenue, Surrey, BC
LEGAL ADDRESS: LOT 2, DISTRICT LOT 98, PLAN NMP8402ND
PID: 016.354.030
SITE AREA:
ZONING: IL - LIGHT IMPACT INDUSTRIAL

ZONING BYLAW ANALYSIS (IL):

DENSITY: MAXIMUM 1.0 FLOOR AREA RATIO
PROPOSED: 0.48

LOT COVERAGE: MAXIMUM 60%
PROPOSED: 40.1

SETBACKS:
FRONT (NORTH) - 7.5m
REAR (SOUTH) - 7.5m
SIDE YARD (EAST) - 0.9m*
SIDE YARD (WEST) - 7.5m

*ONE SIDE YARD SHALL BE 7.5m OR 0.9m IF SAID SIDE YARD ADJUTS LAND WHICH IS COMMERCIAL, MIXED EMPLOYMENT OR INDUSTRIAL

BUILDING HEIGHT: MAXIMUM 18.0m [60ft]
PROPOSED: 9.75m [32'-0"]

OFF-STREET PARKING ANALYSIS:

PARKING STALL DESIGN:

STANDARD STALLS: 2.9m [9'6"] WIDE x 5.5m [18'] LONG WITH A 6.1m [20'] WIDE DRIVE AISLE
2.75m [9'1"] WIDE x 5.5m [18'] LONG WITH A 6.7m [22'] WIDE DRIVE AISLE
3.5m [11'6"] WIDE x 5.5m [18'] LONG WITH A 7.0m [23'] WIDE DRIVE AISLE

ACCESSIBLE STALLS: 3.7m [12'] WIDE x 5.5m [18'] LONG WITH A 6.1m [20'] WIDE MIN. DRIVE AISLE

SMALL CAR STALLS: LENGTH MAY BE REDUCED TO 4.5m [15ft] FOR A MAXIMUM OF 35% OF REQUIRED STALLS

PARKING REQUIREMENT:

LIGHT IMPACT INDUSTRIAL: 1 PARKING SPACE PER 100 sq. m. [1,075 sq. ft.] OF GROSS FLOOR AREA
2.5 PARKING SPACES PER 100 sq. m. [1,075 sq. ft.] OF GROSS FLOOR AREA

PARKING CALCULATIONS: INDUSTRIAL SPACE - 17,466 sq. ft. 21,832 17,466 / 1,075 = 16.2 STALLS
OFFICE SPACE - 4,366 sq. ft. (20% main floor) 4,366 / 1,075 x 2.5 = 10.1 STALLS
FUTURE MEZZANINE ALLOWANCE - 4,366 sq. ft. (20% of main floor space) 4,366 / 1,075 x 2.5 = 10.1 STALLS

TOTAL PARKING STALLS REQUIRED: 37 [38.4] STALLS
TOTAL PARKING STALLS PROVIDED: 39 STALLS



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| 6 | 2020/03/05 | | RE-ISSUED FOR SP | |

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192 BRADSHAW WAY NORTH VANCOUVER, B.C. V6L 2C2

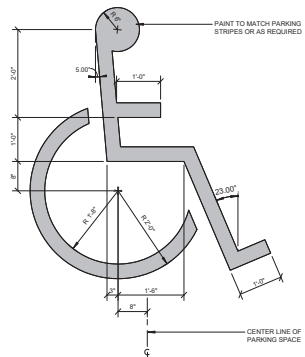
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18436 - 96th Avenue Industrial

PROJECT ADDRESS:
18436 - 96th Avenue, Surrey

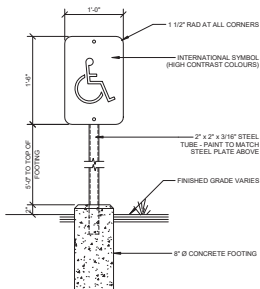
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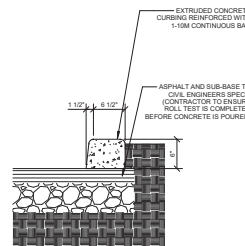
1 ACCESSIBLE PAINTED SIGN
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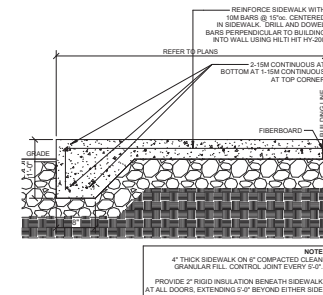
NOTE:

1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 12" CLEAR.
3. MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION
4. WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPER.

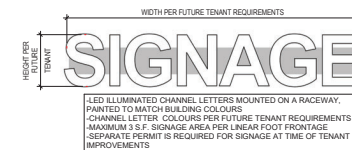
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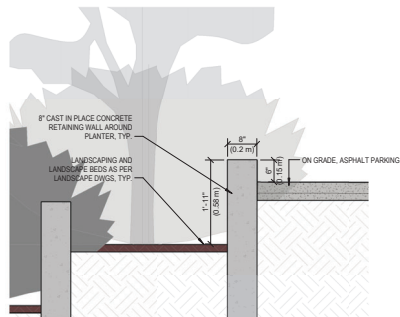
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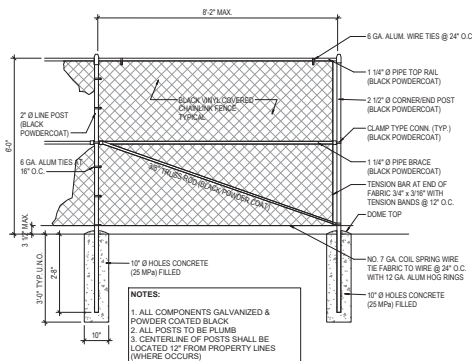
4 SIDEWALK DETAIL
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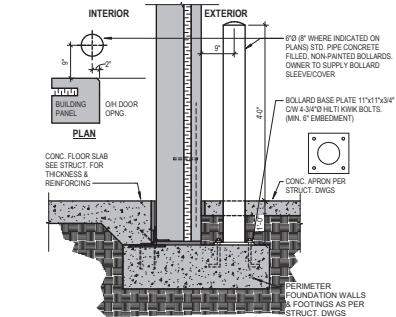
5 TYPICAL BUILDING FASCIA SIGNAGE
SCALE: 3/32" = 1'-0"



8 TYP. CONCRETE PLANTER WALL
SCALE: 3/4" = 1'-0"



7 CHAINLINK FENCE
SCALE: 1/2" = 1'-0"

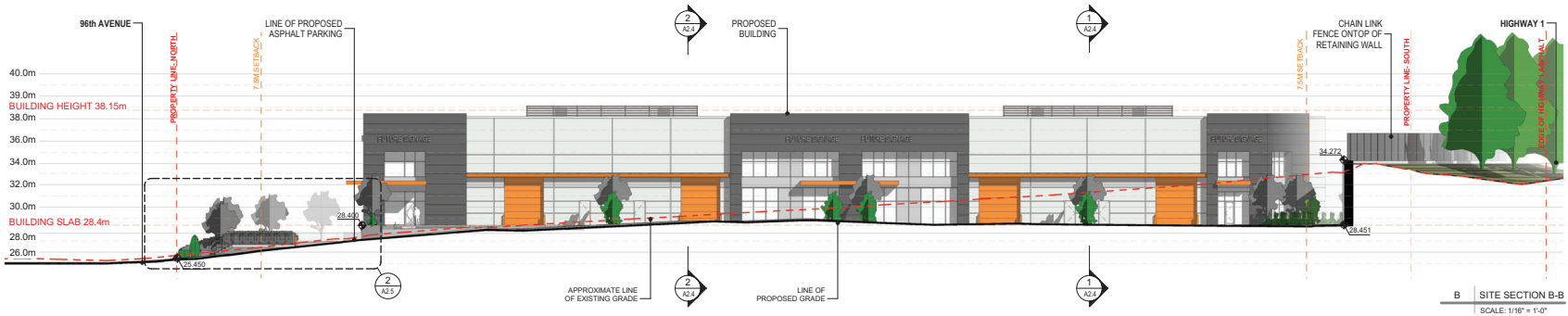
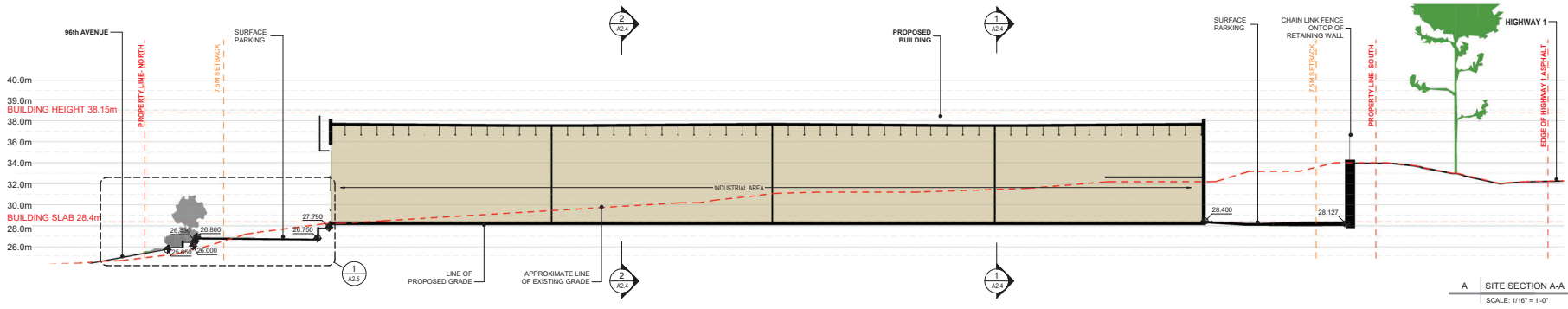


6 BOLLARD AT BUILDING
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| 5 | 2019/11/05 | | ISSUED FOR DP |
| 6 | 2020/02/20 | | RE-ISSUED FOR DP |

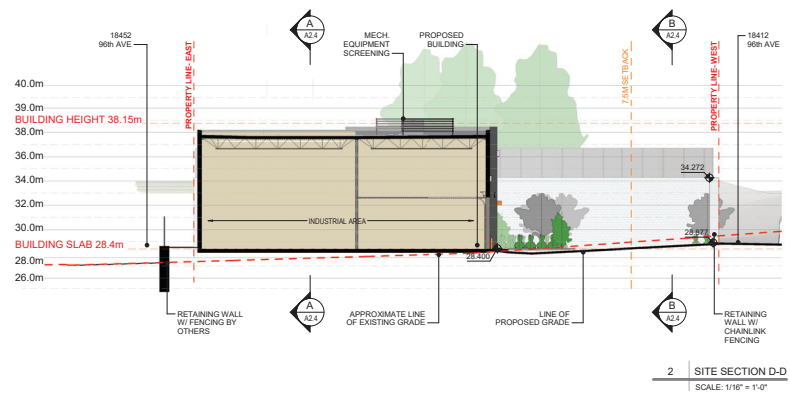
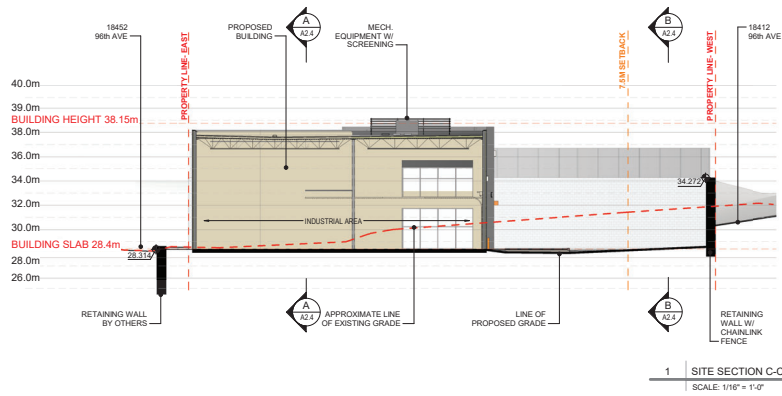
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| 5 | 2019/11/05 | ISSUED FOR FP | |
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PROJECT NAME
18436 - 96th Avenue Industrial

PROJECT ADDRESS
18436 - 96th Avenue, Surrey

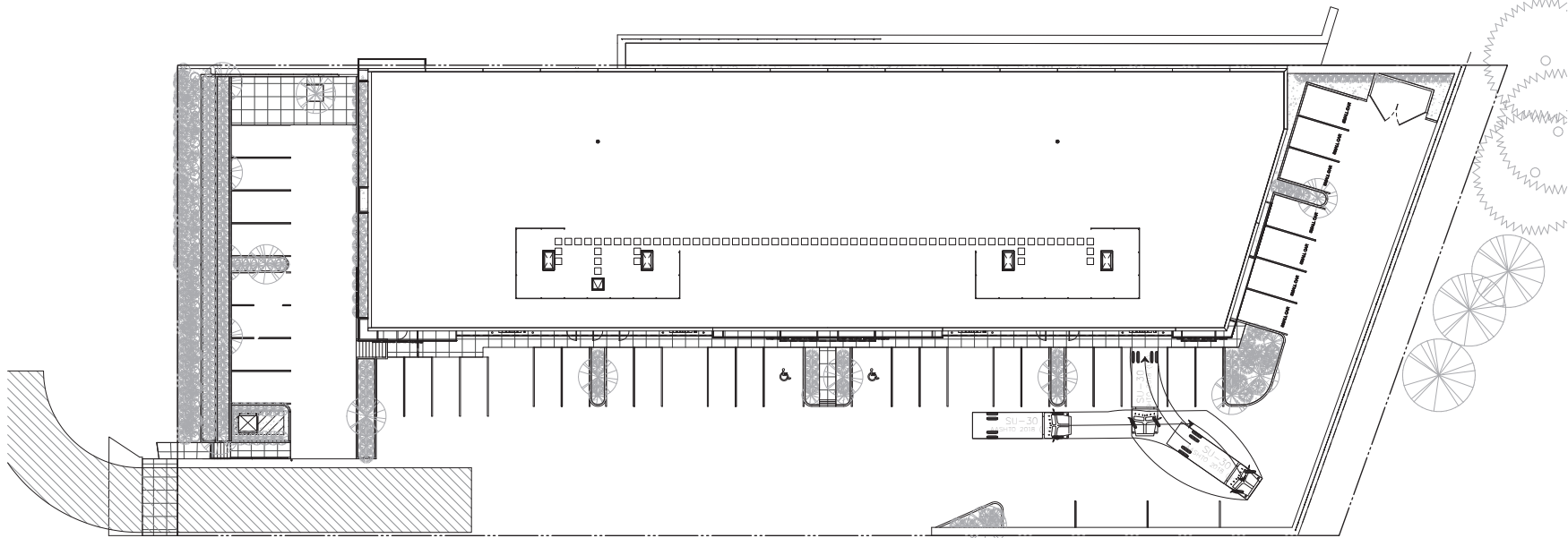
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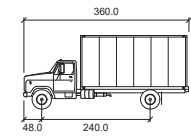
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1 SITE PLAN - TRUCK TURNING
SCALE: 1/16" = 1'-0"



SU-30

| | |
|-------------------|--------|
| | inches |
| Width | : 96.0 |
| Track | : 96.0 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 31.8 |

2 TRUCK TURNING PROFILE
SCALE: 3/32" = 1'-0"

| NO. | DATE | Y/M/D | DESCRIPTION |
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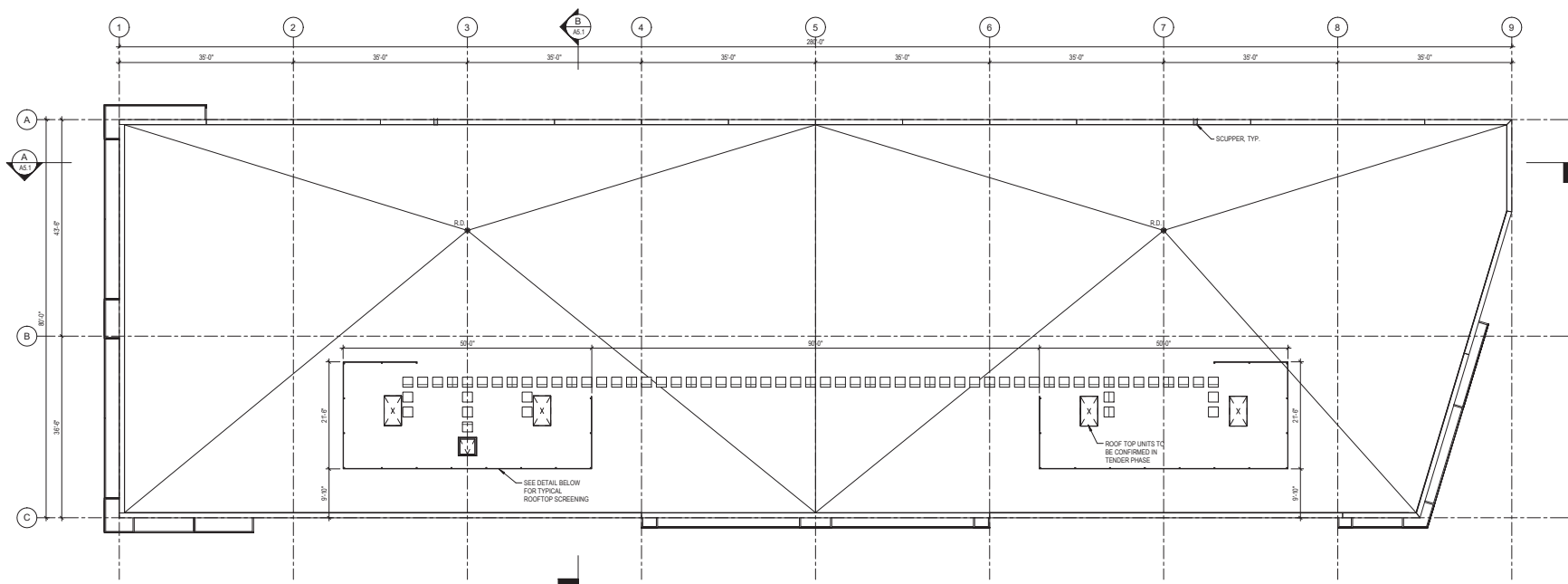
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18436 - 96th Avenue, Surrey

DRAWING TITLE
SITE TRUCK TURNING

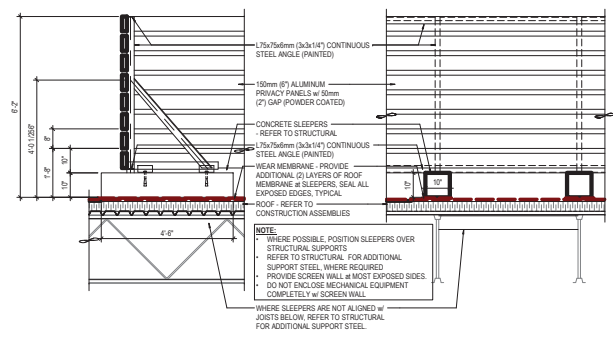
| | |
|-------------|--------------|
| SCALE | As indicated |
| DRAWN | Author |
| CHECKED | Checker |
| PROJECT NO. | 180465 |
| DRAWING NO. | |

A2.6

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1 ROOF PLAN
SCALE: 3/32" = 1'-0"



2 ROOFTOP EQUIPMENT SCREEN WALL
SCALE: 1/2" = 1'-0"

| NO. | DATE | Y/M/D | DESCRIPTION |
|-----|------------|-------|---------------|
| 1 | 2020/10/20 | | ISSUED FOR DP |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
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| 14 | | | |
| 15 | | | |
| 16 | | | |
| 17 | | | |
| 18 | | | |
| 19 | | | |
| 20 | | | |

larry podhora|architecture inc
192 BRADSHAW WAY NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME
18436 - 96th Avenue Industrial

PROJECT ADDRESS
18436 - 96th Avenue, Surrey

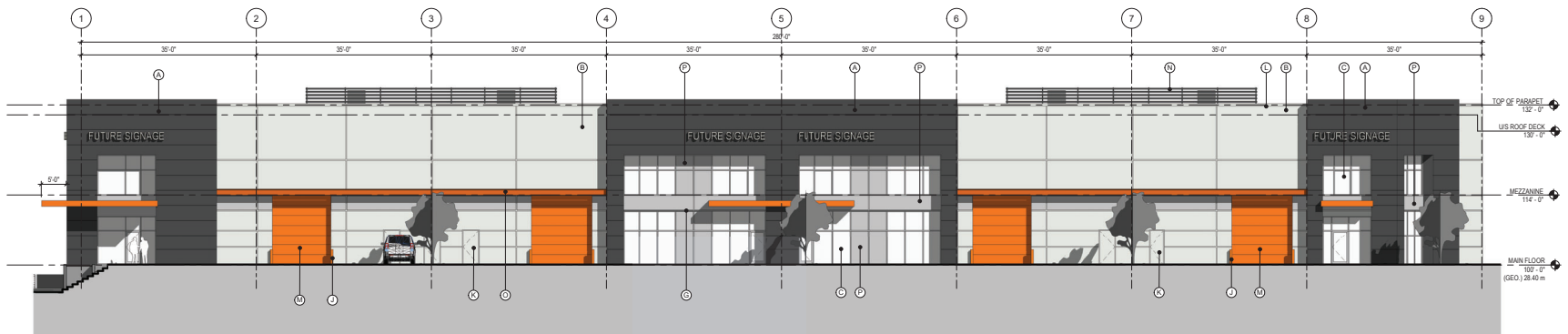
DRAWING TITLE
ROOF PLAN

SCALE: As indicated
DRAWN: Author
CHECKED: Checker
PROJECT NO.: 18436
DRAWING NO.:

A3.3

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C:\Users\larry\Documents\18436\18436-96th Avenue Industrial\18436-96th Avenue Industrial.dwg



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND:

| | | |
|--|---|--|
| A. METAL PANEL PAINTED: | B.M. 2135.10 BLACK TOP | |
| B. CONCRETE TILT UP PANEL PAINTED: | B.M. OC.64 PURE WHITE | |
| C. GLAZING | LIGHT GREY GLASS | |
| D. C.I.P. CONCRETE | --- | |
| E. CONCRETE FOUNDATION | BOARDFORM | |
| F. STEEL GUARD RAIL PRE-FINISHED: | NATURALLY ANODIZED | |
| G. ALUMINUM MULLION PRE-FINISHED: | NATURALLY ANODIZED 'CLEAR' | |
| H. CONCRETE PAINTED: | B.M. 2016.20 CITRUS ORANGE | |
| J. PAINTED BOLLARD PAINTED: | TO MATCH PAINTED CONCRETE B.M. 2016.20 CITRUS ORANGE | |
| K. HOLLOW STEEL DOOR PAINTED: | B.M. OC.64 PURE WHITE | |
| L. PREFINISHED CAP FLASHING | PAINTED TO MATCH WALL BELOW | |
| M. STEEL OVERHEAD DOOR PAINTED: | B.M. 2016.20 CITRUS ORANGE | |
| N. FUTURE ROOF SCREENING | B.M. 2135.10 BLACK TOP | |
| O. STEEL CHANNEL | GB.M. 2016.20 CITRUS ORANGE | |
| P. METAL PANEL: NATURALLY ANODIZED, TO MATCH ALUMINUM MULLIONS | | |
| Q. CONCRETE TILT UP PANEL PAINTED: | B.M. 2135.10 BLACK TOP | |

| NO. | DATE | Y/M/D | DESCRIPTION |
|-----|------------|-------|---------------------------|
| 1 | 2019/01/10 | | ISSUED FOR CONCEPT REVIEW |
| 2 | 2019/01/29 | | ISSUED FOR CLIENT REVIEW |
| 3 | 2019/08/09 | | ISSUED FOR CITY REVIEW |
| 4 | 2019/11/04 | | ISSUED FOR CLIENT REVIEW |
| 5 | 2019/11/05 | | ISSUED FOR DP |
| 6 | 2020/02/05 | | RE-ISSUED FOR DP |

ISSUES AND REVISIONS

SCALE

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PROJECT NAME
18436 - 96th Avenue Industrial

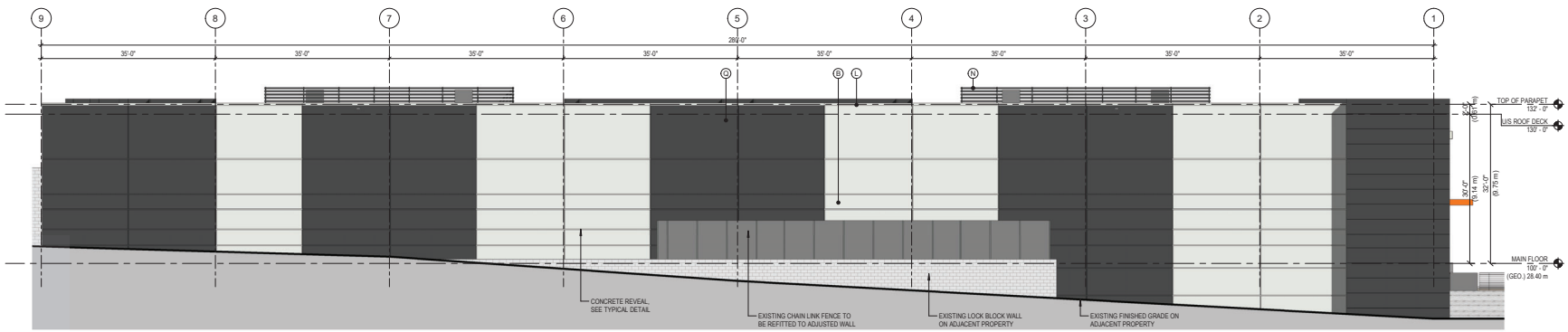
PROJECT ADDRESS
18436 - 96th Avenue, Surrey

DRAWING TITLE
ELEVATIONS

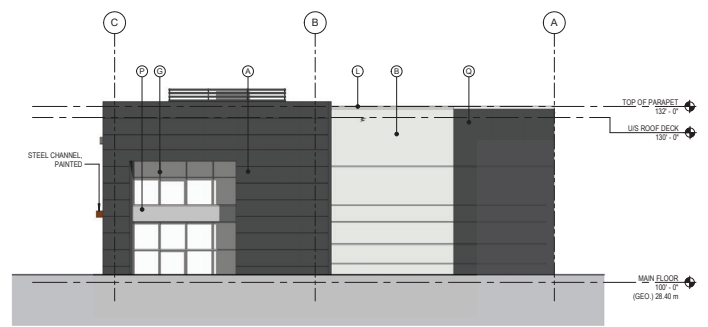
SCALE: As indicated
DRAWN: Author
CHECKED: Checker
PROJECT NO.: 180465
DRAWING NO.

A4.1

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2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND:

| | | |
|------------------------------------|--|--|
| A. METAL PANEL PAINTED: | B.M. 2135.10 BLACK TOP | |
| B. CONCRETE TILT UP PANEL PAINTED: | B.M. OC 64 PURE WHITE | |
| C. GLAZING | LIGHT GREY GLASS | |
| D. C.I.P. CONCRETE | --- | |
| E. CONCRETE FOUNDATION | BOARDFORM | |
| F. STEEL GUARD RAIL PRE-FINISHED: | NATURALLY ANODIZED | |
| G. ALUMINUM MULLION PRE-FINISHED: | NATURALLY ANODIZED 'CLEAR' | |
| H. CONCRETE PAINTED: | B.M. 2016.20 CITRUS ORANGE | |
| J. PAINTED BOLLARD PAINTED: | TO MATCH PAINTED CONCRETE B.M. 2016.20 CITRUS ORANGE | |
| K. HOLLOW STEEL DOOR PAINTED: | B.M. OC 64 PURE WHITE | |
| L. PREFINISHED CAP FLASHING | PAINTED TO MATCH WALL BELOW | |
| M. STEEL OVERHEAD DOOR PAINTED: | B.M. 2016.20 CITRUS ORANGE | |
| N. FUTURE ROOF SCREENING | B.M. 2135.10 BLACK TOP | |
| O. STEEL CHANNEL | GB.M. 2016.20 CITRUS ORANGE | |
| P. METAL PANEL: | NATURALLY ANODIZED, TO MATCH ALUMINUM MULLIONS | |
| Q. CONCRETE TILT UP PANEL PAINTED: | B.M. 2135.10 BLACK TOP | |

| NO. | DATE | Y/M/D | DESCRIPTION |
|-----|------------|-------|---------------------------|
| 1. | 2019/01/10 | | ISSUED FOR CONCEPT REVIEW |
| 2. | 2019/01/29 | | ISSUED FOR CLIENT REVIEW |
| 3. | 2019/05/09 | | ISSUED FOR CITY REVIEW |
| 4. | 2019/11/04 | | ISSUED FOR CLIENT REVIEW |
| 5. | 2019/11/05 | | ISSUED FOR SP |
| 6. | 2020/02/03 | | RE-ISSUES FOR SP |

ISSUES AND REVISIONS

SEAL

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192 BRADSHAW WAY NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME

18436 - 96th Avenue Industrial

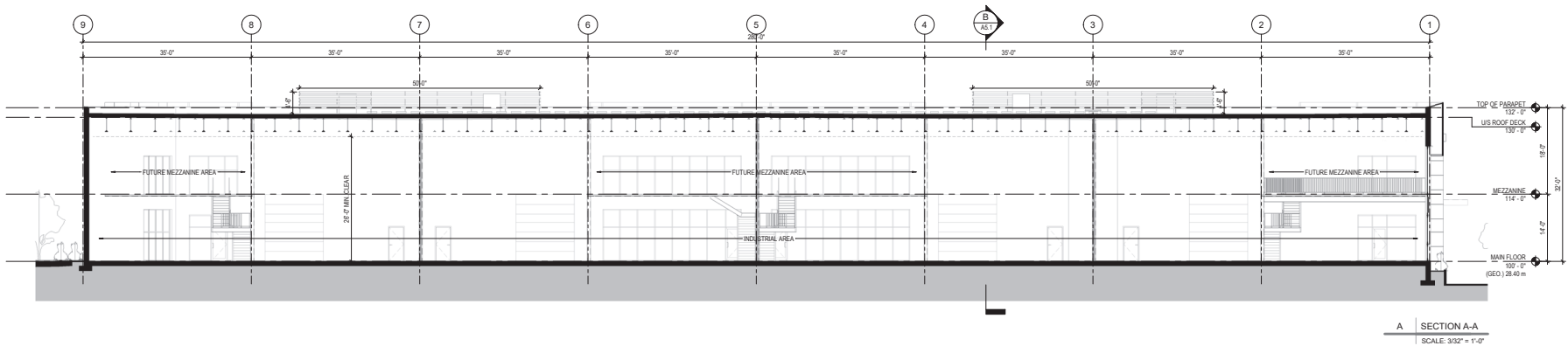
PROJECT ADDRESS
18436 - 96th Avenue, Surrey

DRAWING TITLE
ELEVATIONS

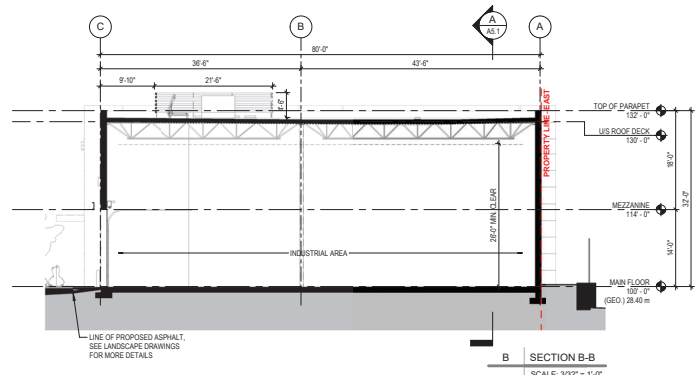
| | |
|-------------|--------------|
| SCALE | As indicated |
| DRAWN | Author |
| CHECKED | Checker |
| PROJECT NO. | 18065 |
| DRAWING NO. | |

A4.2

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A SECTION A-A
SCALE: 3/32" = 1'-0"



B SECTION B-B
SCALE: 3/32" = 1'-0"

| NO. | DATE | Y/M/D | DESCRIPTION |
|-----|------------|-------|---------------------------|
| 1 | 2019/01/10 | | ISSUED FOR CONCEPT REVIEW |
| 2 | 2019/01/29 | | ISSUED FOR CONCEPT REVIEW |
| 3 | 2019/05/30 | | ISSUED FOR CITY REVIEW |
| 4 | 2019/11/04 | | ISSUED FOR CLIENT REVIEW |
| 5 | 2019/11/05 | | ISSUED FOR DP |
| 6 | 2020/02/05 | | RE-SUBJECT FOR DP |

ISSUES AND REVISIONS

SEAL

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192 BRADSHAW WAY NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME
18436 - 96th Avenue Industrial

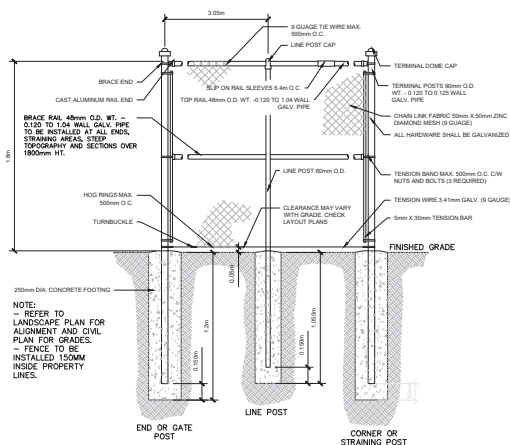
PROJECT ADDRESS
18436 - 96th Avenue, Surrey

DRAWING TITLE
BUILDING SECTIONS

SCALE: 3/32" = 1'-0"
DRAWN: Author
CHECKED: Checker
PROJECT NO.: 180465
DRAWING NO.:

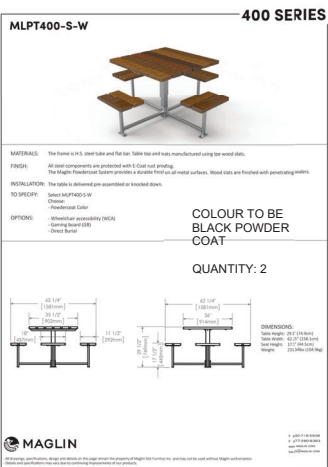
A5.1

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D1 CHAINLINK FENCING

N.T.S.



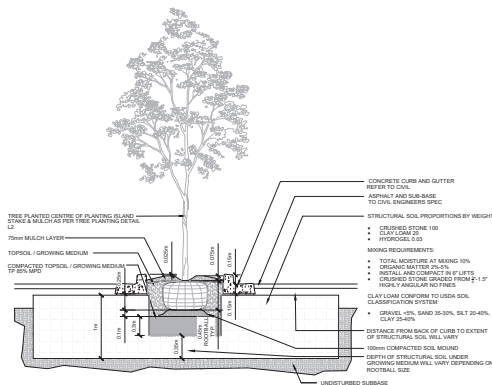
D2 CLUSTER SEATING

N.T.S.



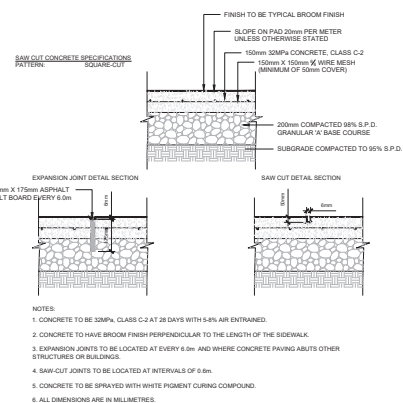
D3 BIKE RACK

N.T.S.



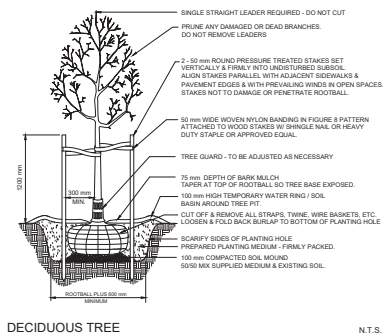
D4 STRUCTURAL SOIL

N.T.S.



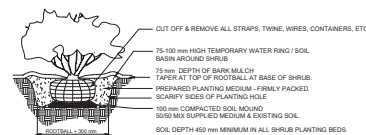
D5 SAW-CUT CONCRETE

N.T.S.



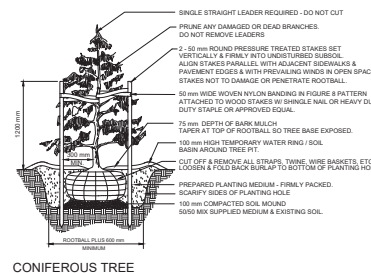
DECIDUOUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.



CONIFEROUS TREE

N.T.S.

PROJECT NAME:

18436 - 96 AVENUE INDUSTRIAL

PROJECT ADDRESS:

18436 96 AVENUE SURREY, BC

DRAWING TITLE:

DETAIL & NOTES

SCALE: AS NOTED

DRAWN: RM

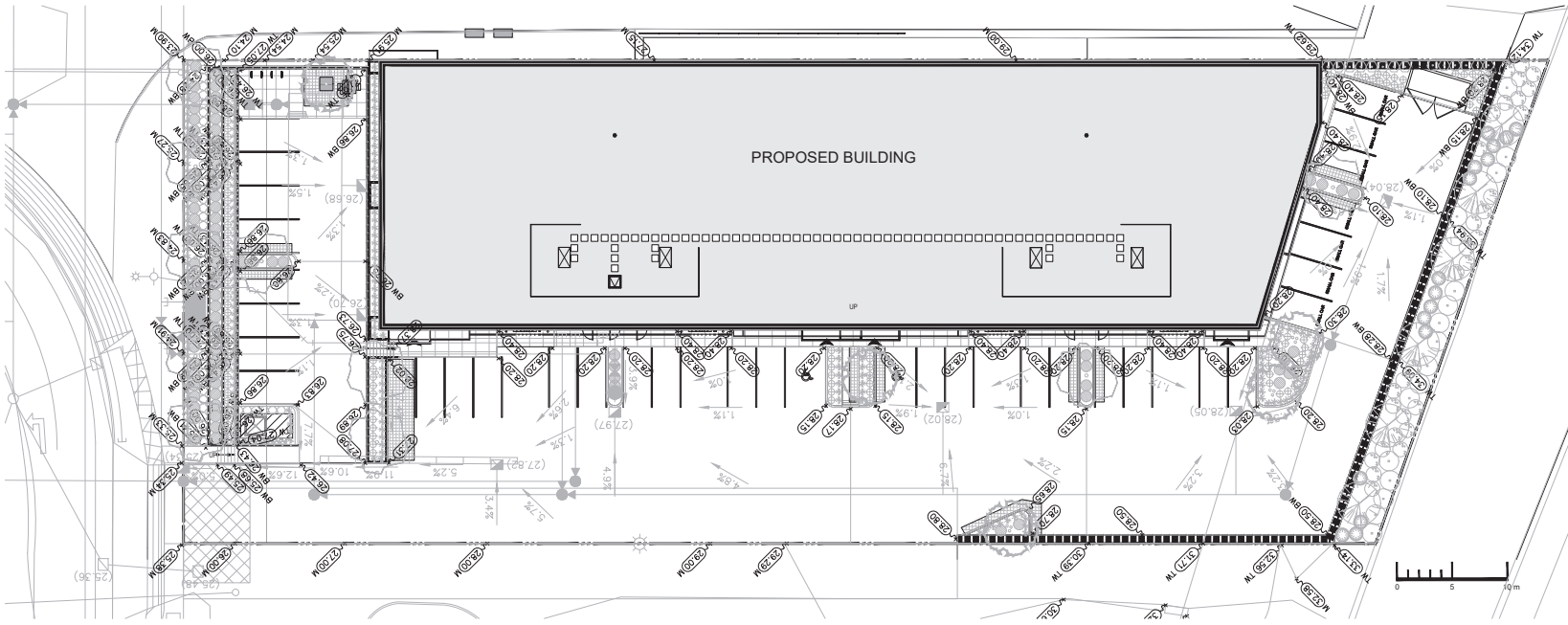
CHECKED: ST

PROJECT NO: 184654

DRAWING NO:

L2

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 401-1107 GLADYS AVE. ABSTRACTORS, BC V5S 2E8
 T: 604.863.8862 F: 604.863.1585 www.krahn.com
 VANCOUVER OFFICE
 220-1131 HASTINGS ST. VANCOUVER, BC V6K 4Y3
 T: 604.264.8862 F: 604.264.8865 www.krahn.com



- LEGEND**
- TURF GRASS
 - CONCRETE SIDEWALK PAVING
 - CLUSTER SEATING

| | | |
|--------------------|--------------|-------------------|
| 4 | 140220 | RE-ISSUED FOR DP |
| 3 | 241019 | RE-ISSUED FOR DP |
| 2 | 190319 | ISSUED FOR REVIEW |
| 1 | 250119 | ISSUED FOR DP |
| NO. | DATE (MM/YY) | DESCRIPTION |
| ISSUES & REVISIONS | | |

REAL
 B.C.S.L.A. #565



PROJECT NAME:
18436 - 96 AVENUE INDUSTRIAL

PROJECT ADDRESS:
18436 96 AVENUE SURREY, BC

DRAWING TITLE:
LANDSCAPE GRADING PLAN

| | |
|--------------|---------|
| SCALE: | 1:200 |
| DRAWN: | RM |
| CHECKED: | ST |
| PROJECT NO.: | 18465-L |

DRAWING NO. **L3**

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BUILDING HEIGHT 38.15m

PROPERTY LINE NORTH

7.5M SETBACK

BUILDING SLAB 28.4m

PLANT MATERIAL REFER TO LANDSCAPE PLAN

2.2m

C.I.P. CONCRETE WALL REFER TO CIVIL DRAWINGS

PARKING AREA

PLANT MATERIAL REFER TO LANDSCAPE PLAN

(25.86)

(26.43)

(25.65)

(27.79)

(26.75)

S1 SECTION 1

1:50

TOP OF PARAPET 132'-0"

US ROOF DECK 130'-0"

MEZZANINE 114'-0"

MAIN FLOOR 100'-0" (GEO) 28.40m

PLANT MATERIAL REFER TO LANDSCAPE PLAN

C.I.P. RETAINING PLANTER WALL REFER TO CIVIL DRAWINGS

DRIVE AISLE/PARKING

11.2 cu.m. OF STRUCTURAL SOIL ADJACENT TO ISLAND

(28.40)

(28.40)

(21.71)

(25.89)

2.88m

S2 SECTION 2

1:50



ABBOTSFORD OFFICE
400 - 3077 GLADYS AVE. ABBOTSFORD, BC V3G 2E8
T: 604.853.8851 F: 604.853.1585 www.krahn.com
VANCOUVER OFFICE
225 - 1313 HASTINGS ST. VANCOUVER, BC V6K 4Y3
T: 604.204.6952 F: 604.204.6953 www.krahn.com



| NO. | DATE | BY | DESCRIPTION |
|-----|----------|----|-------------------|
| 4 | 14/02/20 | | RE-ISSUED FOR DP |
| 3 | 24/10/19 | | RE-ISSUED FOR DP |
| 2 | 19/03/19 | | ISSUED FOR REVIEW |
| 1 | 25/01/19 | | ISSUED FOR DP |

ISSUES & REVISIONS:
REAL
B.C.S.L.A. #565



PROJECT NAME:

18436 - 96 AVENUE INDUSTRIAL

PROJECT ADDRESS:

18436 96 AVENUE SURREY, BC

DRAWING TITLE:

LANDSCAPE SECTIONS

SCALE: AS NOTED

DRAWN: RM

CHECKED: ST

PROJECT NO: 18446-L

DRAWING NO:

L4

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TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **April 9, 2020** PROJECT FILE: **7819-0315-00**

RE: **Engineering Requirements (Industrial)
Location: 18436 96 Avenue**

DEVELOPMENT PERMIT

The following issues are to be addressed as condition of Development Permit issuance:

- Confirm no encroachment into shared access easement with neighbouring property.
- Confirm watercourse classification along south property line, additional riparian setbacks may be required.
- Confirm dedication requirements with the Ministry of Transportation and Infrastructure.

BUILDING PERMIT

The following issues are to be addressed as condition of Building Permit issuance:

- Upgrade the south half of 96 Avenue for the site frontage to collector road standard.
- Construct concrete letdown for shared access.
- Implement onsite low impact development storm water management features.
- Extend water main to service the site.
- Install water, storm and sanitary sewer connections to service the site.

A Servicing Agreement is to be executed as condition of Building Permit.



Jeff Pang, P.Eng.
Development Engineer

KMH

Tree Preservation Summary

Surrey Project No:
Address: 18436 96th Ave Surrey
Registered Arborist: Glenn Murray

| On-Site Trees | Number of Trees |
|---|-----------------|
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 14 |
| Protected Trees to be Removed | 14 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 10 </u> X one (1) = 10 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 4 </u> X two (2) = 8 | 18 |
| Replacement Trees Proposed | 0 |
| Replacement Trees in Deficit | 18 |
| Protected Trees to be Retained in Proposed [Open Space / Riparian Areas] | |

| Off-Site Trees | Number of Trees |
|---|-----------------|
| Protected Off-Site Trees to be Removed | 0 |
| Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> </u> X two (2) = 0 | 0 |
| Replacement Trees Proposed | |
| Replacement Trees in Deficit | 0 |

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

15-Oct-19

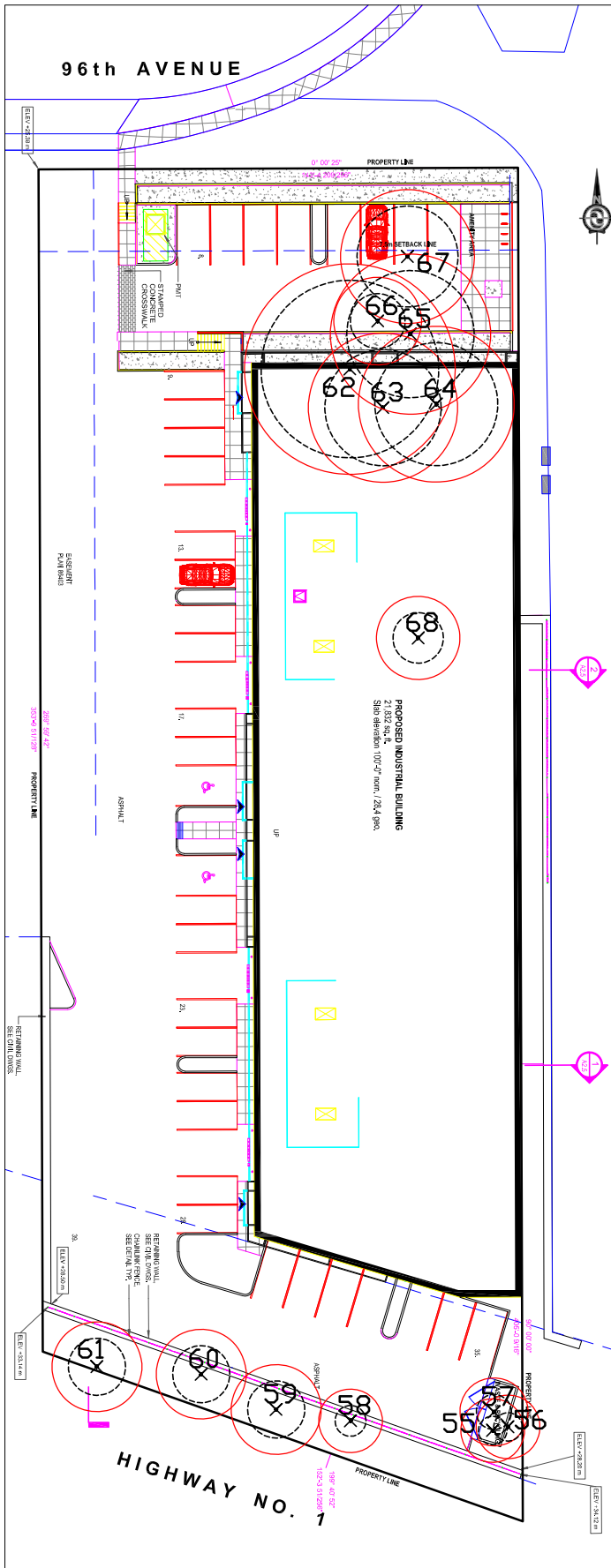
 Date

96th AVENUE

TREE REMOVAL PLAN



SCALED TO FIT
 2.5 0 5 10
 ALL DISTANCES ARE IN METRES



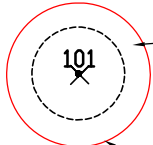
TREE INVENTORY

| # | Type | Action | DBH | TPZ |
|----|------------|--------|------------|------|
| 55 | Grand Fir | Remove | 15cm | 1.3m |
| 56 | Grand Fir | Remove | 15cm | 1.3m |
| 57 | Grand Fir | Remove | 24cm | 1.4m |
| 58 | Grand Fir | Remove | 18cm | 1.3m |
| 59 | Cottonwood | Remove | 16/15/10cm | 2.4m |
| 60 | Cottonwood | Remove | 14/14/12cm | 2.4m |
| 61 | Cottonwood | Remove | 20/20cm | 2.4m |
| 62 | Cottonwood | Remove | 45/40/40cm | 7.5m |
| 63 | Cottonwood | Remove | 42/40cm | 4.9m |
| 64 | Cottonwood | Remove | 37/25/24cm | 5.2m |
| 65 | Cottonwood | Remove | 35/30/25cm | 5.4m |
| 66 | Cottonwood | Remove | 38cm | 2.3m |
| 67 | Red Alder | Remove | 38/35cm | 4.3m |
| 68 | Cottonwood | Remove | 20/15cm | 2.1m |

DBH-trunk diameter, TPZ-protection zone

LEGEND

TREE PROPOSED FOR REMOVAL



PROTECTION ZONE (TPZ) FROM OUTSIDE OF TRUNK

NO BUILD ZONE (NBZ)

NOTES:
 1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING

2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.

3. ALL MEASUREMENTS ARE METRIC

Froggers Creek
 Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4
 Telephone: 604-721-6002 Fax: 604-437-0970

18436 96th Ave. SURREY, BC

TREE REMOVAL PLAN
 THE DRAWING PLOTS ALL TREES, PROPOSED FOR REMOVAL AND THEIR PROTECTION ZONES IN RELATION TO PROPOSED LAYOUT

October 15, 2019