

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0334-00

Planning Report Date: June 15, 2020

PROPOSAL:

- **Development Variance Permit**

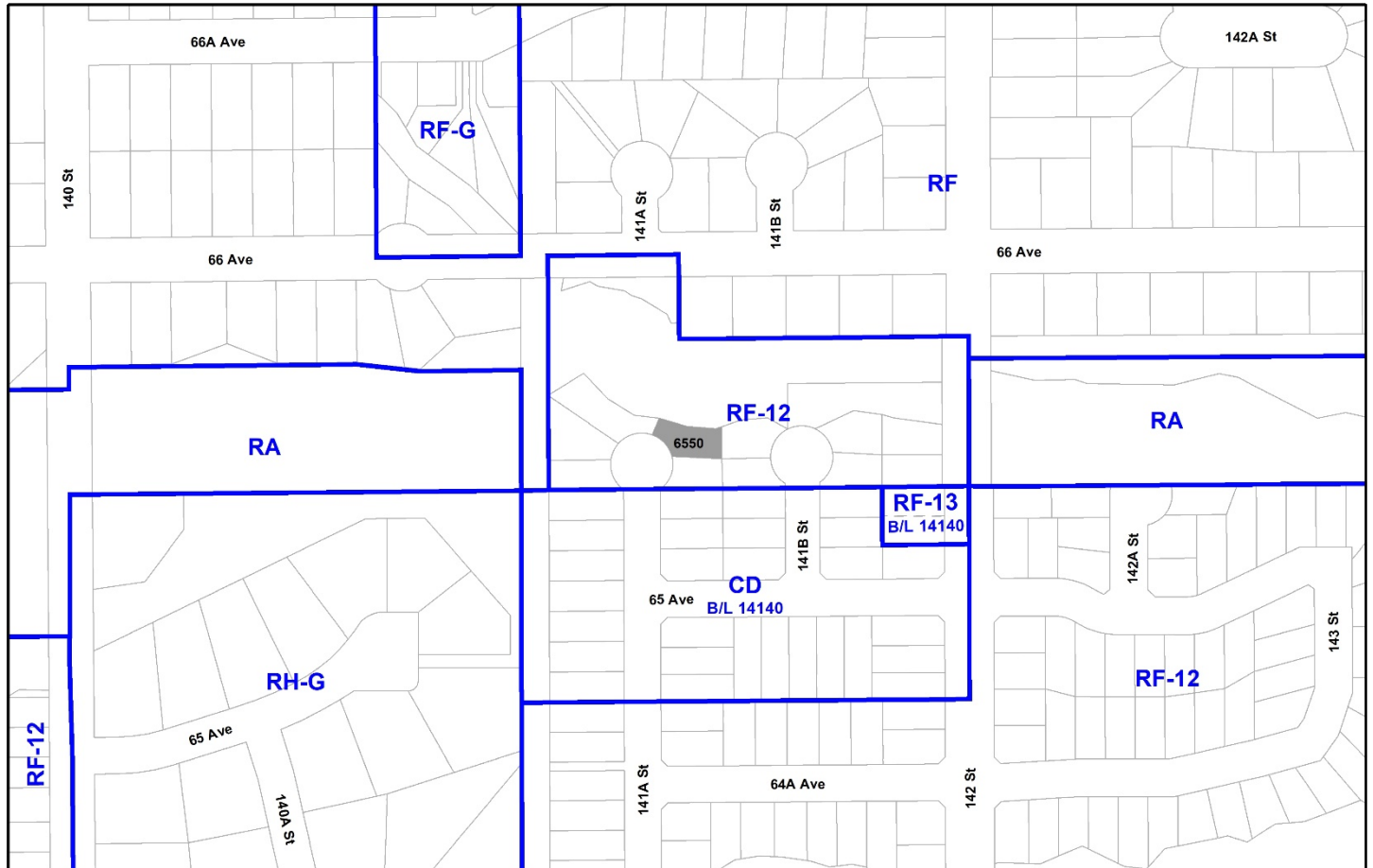
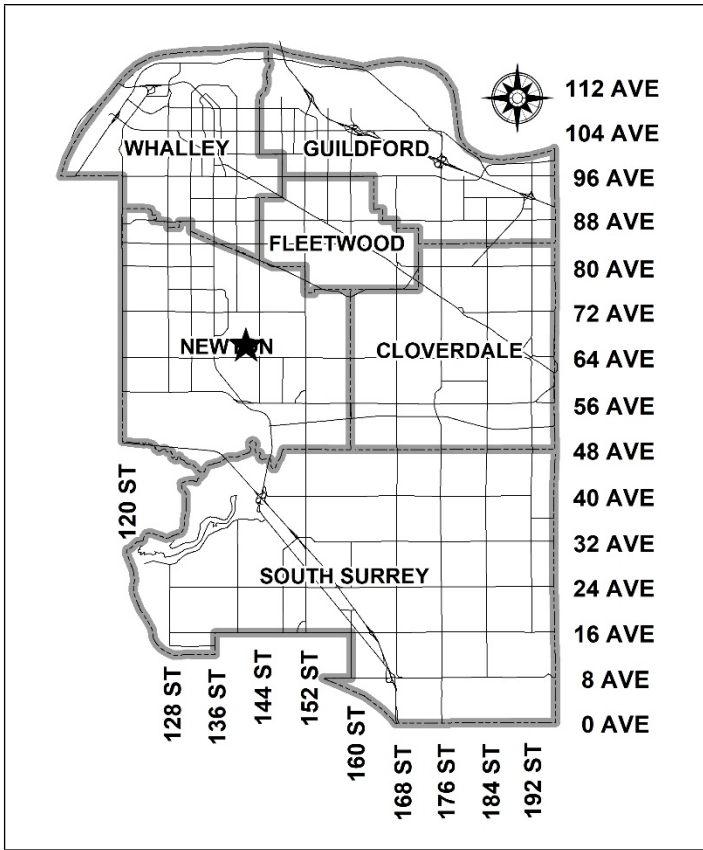
to reduce the front yard and rear yard setback to permit the development of a single-family dwelling.

LOCATION: 6550 - 141A Street

ZONING: RF-12

OCP DESIGNATION: Urban

NCP DESIGNATION: Small Lot Single Family



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking a Development Variance Permit to reduce the minimum front yard setback of the "Single Family Residential (12) Zone (RF-12)".

RATIONALE OF RECOMMENDATION

- The proposal complies with the Single-Family Small Lot designation in the South Newton Neighbourhood Concept Plan (NCP).
- Applying the building setback requirements of Zoning By-law No. 12000, will not allow for a standard single-family dwelling to be constructed on the lot. The irregular shape and depth of the lot does not allow for a functional building footprint. The reduction to the front and rear yard setbacks will allow the applicant to design a more functional floor plan while achieving a similar house size relative to the existing adjacent dwellings.
- The setback reduction that is proposed should not have a significant visual impact on the streetscape or neighboring properties.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7919-0334-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback of the RF-12 Zone from 4.0 metres to 3.0 metres for 50% of the width of the front of the principal building;
 - (b) to reduce the minimum front yard setback of the RF-12 Zone from 2.0 metres to 1.5 metres for the veranda; and
 - (c) to reduce the minimum rear yard setback of the RF-12 Zone from 7.5 metres to 6.0 metres for the full width of the rear of the principal building.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single Family	Single Family Small Lots	RF-12
North:	Hyland Creek Park	Creeks & Riparian Setbacks	RF-12
East:	Single Family	Single Family Small Lots	RF-12
South:	Single Family	Single Family Small Lots	RF-12
West (Across 141A Street):	Single Family	Single Family Small Lots	RF-12

Context & Background

- The subject property is 392 square metres in size and located on the east side of 141A Street at the end of a cul-de-sac. The property is designated Urban in the Official Community Plan (OCP), Small Lot Single Family in the South Newton Neighbourhood Concept Plan (NCP) and zoned "Single Family Residential 12 (RF-12) Zone". The property abuts a riparian area to the north, and single family to the east and south.
- The property was created through Development Application No. 7905-0145-00. The subdivision created the subject lot fronting 141A Street while transferring a 6,560 square metres sized lot to the City for park.
- The property to the south at 6540 141A Street (under Development Application No. 7919-0358-00), and properties to the west at 6545 & 6550 141A Street (under Development Application No. 7920-0005-00 and 7920-0031-00_ also proposes reduced setbacks under Development Application No. 7919-0358. This application is anticipated to be presented for Council's consideration shortly

- A Statutory Building Scheme and Building Scheme Restrictive Covenant were registered on title of the subject property under Development Application No. 7905-0145-00 to ensure that any future single-family dwelling would align with house designs in the surrounding neighborhood.

DEVELOPMENT PROPOSAL

The applicant is proposing a Development Variance Permit (DVP) to reduce the minimum front yard and rear yard setback requirements of the RF-12 zone in order to permit a single-family dwelling.

Referrals

Engineering: The Engineering Department has no objection to the project.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

The subject property is designated Urban in the Official Community Plan (OCP). The proposed single-family house with a secondary suite complies with the Urban designation.

Zoning By-law

- The applicant is requesting the following variances:
 - (a) to reduce the minimum front yard setback of the RF-12 Zone from 4.0 metres to 3.0 metres for 50% of the width of the front of the principal building;
 - (b) to reduce the minimum front yard setback of the RF-12 Zone from 2.0 metres to 1.5 metres for the unenclosed and unhabitable veranda; and
 - (c) to reduce the minimum rear yard setback of the RF-12 Zone from 7.5 metres to 6.0 metres for the full width of the rear of the principal building.
- The proposed lot is irregularly shaped with a reduced depth of 22.4 metres and is located at the end of a cul-de-sac bulb. There should be no impact on any adjacent users to the north as this frontage backs onto park space. The property to the south at 6540 141A Street also proposes reduced setbacks under Development Application No. 7919-0358. This application is anticipated to be presented for Council's consideration shortly.
- Applying the building setback requirements of Zoning By-law No. 12000, would not allow for a standard single-family dwelling on the lot.

- The irregular shape and depth of the lot does not allow for a functional building footprint. The reduction to the front and rear yard setbacks will allow the applicant to design a more functional floor plan while achieving a similar house size relative to the existing adjacent dwellings.
- On-site parking will not be affected by the proposed setback variances. The lot will be able to accommodate a minimum of three (3) off-street parking spaces, including a 6.0-metre (20 ft.) wide driveway, meeting the requirement of the Zoning By-law.
- The proposed reduced rear yard of 6.0 metres will allow for a functional rear yard.
- Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Site Plan
Appendix II. Development Variance Permit No. 7919-0334-00

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

HS/cm

RF -12 ZONE TYPE II

ZONING ANALYSIS RF-12 TYPE II

SURREY PROJECT NUMBER: 05-0145-00
 LOT NUMBER: 04 | LOT AREA = 391.80 m²
 ADDRESS: 6550 141A STREET, SURREY, BC
 SINGLE FAMILY RESIDENTIAL (1/2) ZONE (RF-12 TYPE II)

SECTION B. PERMITTED USES

SINGLE FAMILY RESIDENTIAL DWELLING: YES
 SECONDARY SUITE ALLOWED: YES

SECTION D. DENSITY (FLOOR AREA)

MAXIMUM EXISTING GROUND FLOOR AREA: 137.9 m²
 MAXIMUM FLOOR AREA PERMITTED ON THIS LOT: 282.10 m²
 FLOOR AREA CAP = 282 m² (BASED ON 50% LOT COVERAGE)
 EXISTING FLOOR AREA: 285 m²

PROPOSED FLOOR AREA: 102 | SQ. FT. 1093.75
 MIN. FLOOR AREA EXCLUDING DECKS: 109.51 | 1164.75
 UPPER DECK AREA: 115.91 | 1247.53
 FLOOR TO BE BUILT IN EXCESS OF 18.0 m²: 0.00 | 0.00
 OUTDOOR SPACE > 1.8 m HIGH: 30.00 | 320.00
 GARAGE AREA (COUNT MIN. 39 m²): 30.00 | 320.00
 TOTAL: 181.51 | 1913.23

MAX. EXTENDED HEIGHT > 16 FEET (EXCEPT STAIRS OR CHIMNEYS)
 (EXCEPT FOR SIZE OF MAX. FLOOR AREA OF WHICH 10% MUST BE RESERVED FOR A PORCH OR VERANDA)

SECTION E. LOT COVERAGE

MAX. LOT COVERAGE: 70% | 274.26 m²

PROPOSED LOT COVERAGE: 100% | 391.80 m²

SECTION F. YARDS AND SETBACKS

TYPE	REQUIRED	ACTUAL
FRONT SETBACK TO GARAGE	4.00	4.13
FRONT SETBACK TO DWELLING	3.00/0.00/1.00	3.13
FRONT SETBACK TO VERANDA	1.00	1.13
REAR SETBACK TO 7.5m SIDE & 6.0m	6.00/0.00	6.00
REAR SETBACK TO MAX. 14.0m DECK	4.50	5.00
RIGHT SIDE INTERIOR SETBACK	1.20	1.50
LEFT SIDE INTERIOR SETBACK	1.20	1.50
LANDSCAPE SETBACK DWELLING	2.40	N/A

SECTION G. HEIGHT OF BUILDINGS

TYPE	REQUIRED	ACTUAL
PRINCIPAL DWELLING	11.00	11.00
PRINCIPAL DWELLING	11.00	11.00
ACCESSORY DWELLING	11.00	N/A
LANDSCAPE SETBACK	4.00	0.00

SECTION H. OFF-STREET PARKING

1) DRIVEWAY PERMITTED ONLY FROM LANE (UNLESS SIGN) OK
 2) MINIMUM 3 OFF-STREET PARKING SPACES OK
 3) DRIVEWAY WITH MAXIMUM 6.0 m OK
 4) NO DRIVEWAY GARAGE ON LOT < 13.4m WIDE UNLESS GARAGE AT REAR OR DRP ALLOWED DOUBLE GARAGE OK

SECTION I. LANDSCAPING

MINIMUM POROUS SURFACE AREA	REQUIRED	ACTUAL
MIN. YR. OF DRIVEWAY AREA THAT IS NOT COVERED BY DRIVEWAY OR DRIVEWAY	166.68	180.42
IF DRIVEWAY IN THE FRONT, MIN. YR. OF DRIVEWAY AND MIN. YR. OF DRIVEWAY COVERED BY DRIVEWAY IS 20 PERCENT	55.25	63.73
IF DRIVEWAY IN THE FRONT AND MIN. YR. OF DRIVEWAY COVERED BY DRIVEWAY IS 20 PERCENT	0.00	N/A
IF DRIVEWAY IN THE FRONT AND MIN. YR. OF DRIVEWAY COVERED BY DRIVEWAY IS 20 PERCENT	0.00	N/A

SECTION J. SPECIAL REGULATIONS

RESIDENT ENTRY WALL IN REAR YARD OR IN REAR HALF OF SECONDARY ONLY

MAX. AREA INCLUDING STAIRS (m ²)	MAXIMUM	ACTUAL
1	6.00	6.00

SECTION L. OTHER REGULATIONS:

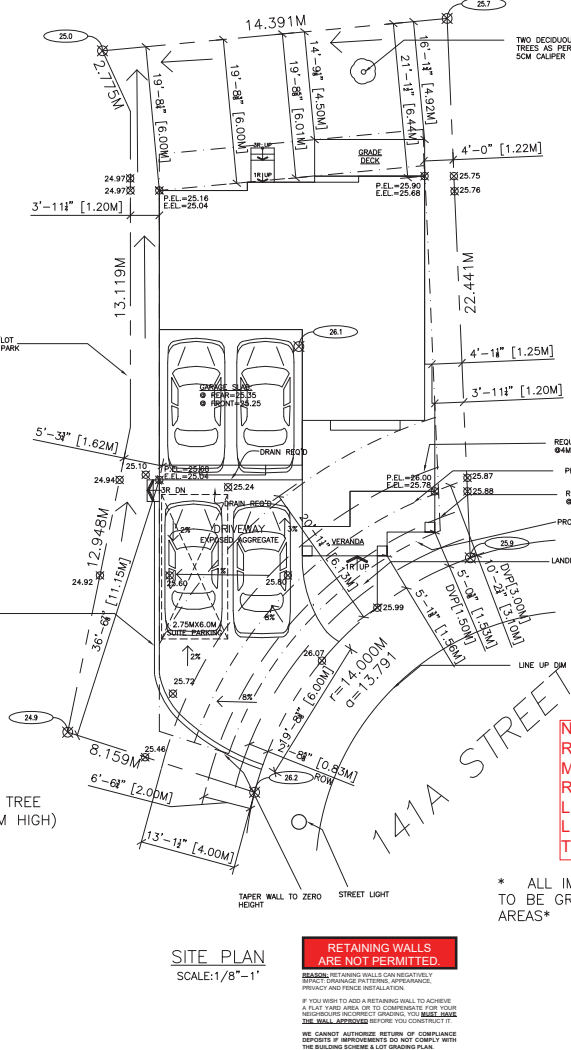
FRONT SETBACK IS MEASURED FROM THE MORE RESTRICTIVE OF THE FRONT LOT LINE OR FROM THE CENTRELINE OF THE ULTIMATE HIGHWAY ALLOWANCE. (SEE SCHEDULE K, SUBURB 1985 NO. 883)

TREES AND SHRUBS

DECIDUOUS TREES: These trees have bare in winter, lose most or all the leaves during the growing season. They are the most common trees in the landscape.

CONIFERS: These trees have needles or scales in winter and lose most or all the leaves during the growing season. They are the most common trees in the landscape.

SHRUBS: These plants are smaller than trees and have woody stems. They are the most common plants in the landscape.



TWO DECIDUOUS TREES AS PER TREE PLAN SCM CALIPER

LOT #4
 6550 141A STREET
 SURREY, B.C.

MAIN FLOOR=26.20
 TOP FLOOR=29.59
 AVG. BLDG. GR.=25.39
 MSE=25.90
 (SLAB ON GRADE)

Driveways

- The expansion control joint at the centre of the driveway is to be located in one continuous line starting at the centre of the driveway letdown, and ending at the centre of the garage door.
- Sides of the driveway should be located exactly the same distance from the control joint at the centreline of the driveway.
- Driveway width for double garages shall not exceed 8 metres. Driveway width for triple garages shall not exceed 9 metres.
- Sidewalks cannot be added to the width of the driveway.
- ANY change to driveway design requires specific approval in advance, from the design consultant.

REQUIRED YARD SET BACK
 @M AS PER RF12

PROPOSED DWP @3M

REQUIRED YARD SET BACK
 @2M AS PER RF12

PROPOSED DWP @1.5M

LANDING AT 26.00

NOTE: DRIVEWAY LOCATION ILLUSTRATED REQUIRES DRIVEWAY LETDOWN TO BE MOVED TO 1.2m FROM SIDE LOT LINE. OWNER RESPONSIBLE FOR REMOVAL OF EXISTING LETDOWN AND INSTALLATION OF NEW LETDOWN AND REMEDIATION OF BOULEVARD TO FULL CITY STANDARD

* ALL IMPERVIOUS AREAS TO BE GRADED TO LANDSCAPE AREAS*

RETAINING WALLS ARE NOT PERMITTED

FENCE DETAIL
 SCALE:1/4"-1"

NOTES:

- WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE. LATEST EDITION.
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3A231 LATEST EDITION.
- CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
- ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
- WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
- ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA D121 LATEST EDITION.
- OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

Appendix I



Tygran Consulting Ltd.
 13659 - 108th Avenue, Surrey, B.C. V3T 2K6
 Tel: (604)581-5722 Fax: (604)581-4922

These plans conform to the Building Design Guidelines registered on this lot.

Michael E. Tyman

Michael E. Tyman
 License of Designer: Plans are reviewed for performance with the registered building scheme. Plans are not reviewed for structural, or for performance with the BC Building Code, or for performance with zoning bylaws.

June 5, 2020 Key 15438962

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE

Dhillon Designs Ltd.

TITLE	DWNS	DRAWING NO.	THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.
PROPOSED RESIDENCE FOR JASVIR SANCHA LOT-4, 6550 141A STREET SURREY, B.C.	NS SCALE: 1/8"=1' DATE: JUN.14.2019 CHND: PHDME: 778-847-9128	DD19-8026-P1	DHILLON DESIGNS LTD. UNIT 218-1280-BOTH AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0334-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-934-621
 Lot 4 Section 16 Township 2 New Westminster District Plan EPP72052
 6550 - 141A Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

In Section F Yards and Setbacks of Part 17(a) "Single Family Residential (12) Zone", the minimum front yard setback of the principal building is reduced from 4.0 metres to 3.0 metres for 50% of the width of the front of the principal building.

In Section F Yards and Setbacks of Part 17(a) "Single Family Residential (12) Zone", the minimum front yard setback of the principal building is reduced from 2.0 metres to 1.5 metres for the veranda.

In Section F Yards and Setbacks of Part 17(a) "Single Family Residential (12) Zone", the minimum rear yard setback of the principal building is reduced from 7.5 metres to 6.0 metres for the full width of the rear of the principal building.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



RF -12 ZONE
TYPE II

SCHEDULE A

ZONING ANALYSIS RF-12 TYPE II

SURREY PROJECT NUMBER : 05-0145-00
LOT NUMBER : 04 LOT AREA = 391.80 m²
ADDRESS : 6550 141A STREET, SURREY, BC

SINGLE FAMILY RESIDENTIAL (1/2) ZONE (RF-12 TYPE II)

SECTION B. PERMITTED USES

SINGLE FAMILY DETACHED DWELLING : YES
SECONDARY SUITE REQUIRED : YES

SECTION D. DENSITY (FLOOR AREA)

MAXIMUM EXISTING GROUND AROUND PRINCIPAL DWELLING : 25.24 + 25.24 + 25.24 + 25.24 / 4 = 25.24
BASEMENT HEIGHT (CLAS TO SURFUS) : N/A
BASEMENT HEIGHT (CLAS TO GRADE) : N/A
BASEMENT IS 0.000 S. BELOW A.M.C. EXISTING GRADE (THEREFORE BASEMENT AREA NOT COUNTED)

MAX. FLOOR AREA (M2) (F.A.) = 1.77
MAXIMUM FLOOR AREA PERMITTED ON F.A.S. = 282.10 m²
FLOOR AREA CIP = 262 m² (BASE 50 FT)
THEREFORE PLANNED FLOOR AREA = 285 m²

PROPOSED FLOOR AREA	m ²	50 FT.
MAIN F.L.R. AREA EXCLUDING DECKS	198.53	1746.70
UPPER DECK AREA (OPEN TO BELOW)	115.80	1250.00
UPPER DECK AREA (CLOSED TO BELOW)	0.00	0.00
UPPER DECK AREA (OPEN TO BELOW)	0.00	0.00
UPPER DECK AREA (CLOSED TO BELOW)	0.00	0.00
UPPER DECK AREA (OPEN TO BELOW)	0.00	0.00
UPPER DECK AREA (CLOSED TO BELOW)	0.00	0.00
UPPER DECK AREA (OPEN TO BELOW)	0.00	0.00
UPPER DECK AREA (CLOSED TO BELOW)	0.00	0.00

* WHERE EXTENDED HEIGHT > 16 FEET (EXCEPT STAIRS COMPT)
** (EXCEPT FOR SIZE OF MAX. FLOOR AREA OF WHICH 10m² MUST BE RESERVED FOR A PORCH OR VERANDA)

SECTION E. LOT COVERAGE

LOT SIZE = 391.80 m²
MAX. LOT COVERAGE BY SIZE = 100.00 m²

PROPOSED LOT COVERAGE	m ²	50 FT.
AREA OF DWELLING INCL. PORCH	243.07	1546.45
AREA OF DECKS INCLUDING VERANDA	5.00	53.98
AREA OF DETACHED GARAGE	0.00	0.00
AREA OF 3.0M WIDE EXISTING GARAGE	0.00	0.00
COVER > 3.0M WIDE EXIST GARAGE	0.00	0.00
TOTAL	153.77	1603.43

SECTION F. YARDS AND SETBACKS

FRONT SETBACK TO GARAGE	REQUIRED	ACTUAL
FRONT SETBACK TO DWELLING	4.00	4.13
FRONT SETBACK TO VERANDA	1.50	1.50
FRONT SETBACK TO DRIVEWAY	1.50	1.50
FRONT SETBACK TO SIDE YARD	0.00	0.00
FRONT SETBACK TO MAX 14m ² DECK	4.50	4.50
FRONT SETBACK TO DRIVEWAY	1.50	1.50
FRONT SETBACK TO DRIVEWAY	1.50	1.50
FRONT SETBACK TO DRIVEWAY	1.50	1.50
FRONT SETBACK TO DRIVEWAY	1.50	1.50

ACCESSORY STRUCTURE :	REQUIRED	ACTUAL
FRONT SETBACK	N/A	N/A
REAR SETBACK	1.50	0.00
REAR SETBACK	1.50	0.00
OPPOSITE REAR SETBACK	0.00	0.00
CLADDING SETBACK	0.00	0.00
MINIMUM SEPARATION BETWEEN REAR GARAGE	REQUIRED	ACTUAL
MINIMUM SEPARATION REQUIRED	3.0	N/A
MIN. SPAN BETWEEN 14m ² DECK AND GAR.	3.0	N/A

SECTION G. HEIGHT OF BUILDINGS

NOTE: SEE CLADDING PERMITS FOR DETAILS

PRINCIPAL DWELLING	REQUIRED	ACTUAL
PRINCIPAL DWELLING	3.0	3.0
ACCESSORY DWELLING	0.00	N/A
ACCESSORY DWELLING	0.00	0.00

SECTION H. OFF-STREET PARKING

- 1) DRIVEWAY PERMITTED ONLY FROM LANE (UNLESS SHOWN OTHERWISE)
- 2) MINIMUM 3 OFF-STREET PARKING SPACES
- 3) NO DRIVEWAY CHANGES
- 4) DRIVEWAY WITH MAXIMUM 6.0 m
- 5) NO DRIVEWAY CHANGES ON LOT < 15.24 m WIDE UNLESS CHANGED AT REAR, OR DRIVEWAY ALLOWED DOUBLE GARAGE

DRIVEWAY DIMENSIONS (m ²)	REQUIRED	ACTUAL
MINIMUM DRIVEWAY WIDTH	2.0	2.0
MINIMUM DRIVEWAY WIDTH	0.30	0.10
MINIMUM DRIVEWAY WIDTH	0.10	0.10
MINIMUM DRIVEWAY WIDTH	30.0	37.14

SECTION I. LANDSCAPING

MINIMUM PORCHES SURFACE AREA :
MIN. AREA OF DRIVE AND WALKWAY THAT IS NOT COVERED BY DRIVEWAY OR PORCH :
IF DRIVEWAY IN THE FRONT AND WALKWAY IN THE FRONT AND WALKWAY IN THE FRONT :
COVERED BY THE DRIVEWAY OR PORCH :
IF DRIVEWAY IN THE FRONT AND WALKWAY IN THE FRONT AND WALKWAY IN THE FRONT :
COVERED BY THE DRIVEWAY OR PORCH :
IF DRIVEWAY IN THE FRONT AND WALKWAY IN THE FRONT AND WALKWAY IN THE FRONT :
COVERED BY THE DRIVEWAY OR PORCH :

SECTION J. SPECIAL REGULATIONS

BASEMENT ENTRY SHALL BE REAR WALK OR IN REAR HALF OF SECONDARY ONLY

DRIVEWAY ENTRY WALL	REQUIRED	ACTUAL
MAX. AREA INCLUDING STAIRS (m ²)	MAXIMUM	5.00
DRIVEWAY DATE :	REQUIRED	ACTUAL
FLOOR AREA CAP FOR DRIVEWAY	NO. M ²	37.15
MAX. USE OF DRIVEWAY (FLOOR AREA)	NO. M ²	1.00

SECTION L. OTHER REGULATIONS :

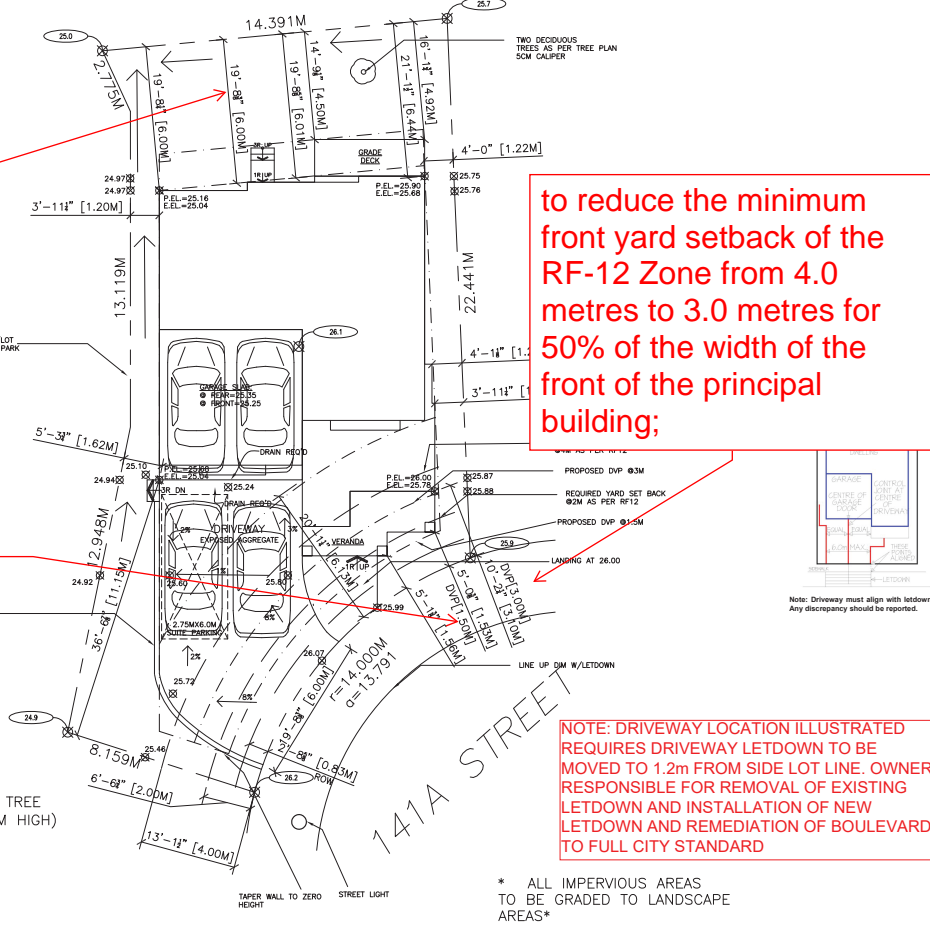
FRONT SETBACK IS MEASURED FROM THE NARE RESTRICTION OF THE FRONT LOT LINE OR FROM THE CENTRELINE OF THE ULTIMATE HIGHWAY ALLOWANCE, (SEE SCHEDULE K, SUBURB 1985 NO. 883)

To reduce the rear yard setback from 7.5 metres to 6.0 metres for the full width of the rear of the principal building.

to reduce the minimum front yard setback of the RF-12 Zone from 2.0 metres to 1.5 metres for the unenclosed and unhabitable veranda.

to reduce the minimum front yard setback of the RF-12 Zone from 4.0 metres to 3.0 metres for 50% of the width of the front of the principal building;

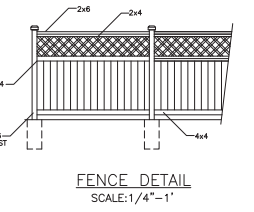
NOTE: DRIVEWAY LOCATION ILLUSTRATED REQUIRES DRIVEWAY LETDOWN TO BE MOVED TO 1.2m FROM SIDE LOT LINE. OWNER RESPONSIBLE FOR REMOVAL OF EXISTING LETDOWN AND INSTALLATION OF NEW LETDOWN AND REMEDIATION OF BOULEVARD TO FULL CITY STANDARD



Note: Driveway must align with letdown. Any discrepancy should be reported.

Tyran Consulting Ltd.
13659 - 108th Avenue, Surrey, B.C. V3T 2K4
Tel: (604)581-5722 Fax: (604)581-4822
These plans conform to the Building Design Guidelines registered on this lot.
Michael E. Tyran
June 5, 2020 Key 15438962

- NOTES:**
- FENCES ARE NOT REQUIRED, BUT WHERE USED:
01. THE FENCE IS CONSTRUCTED OF TREATED MATERIAL AND SUITABLY STAINED.
 02. FENCES ON THE SIDE OF THE SINGLE FAMILY DWELLING ARE LOCATED AT LEAST 1.8 METERS (6.0 FEET) BEHIND THE FRONT FACE OF THE SINGLE FAMILY DWELLING.
 03. THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS.



- NOTES:**
1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
 3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION.
 4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3A231 LATEST EDITION.
 5. CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
 6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
 7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
 8. WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
 9. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA 0121 LATEST EDITION.
 10. OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
 11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

* CONIFER REPLACEMENT TREE AS PER TREE PLAN (3.0M HIGH)
* MIN 450mm TOPSOIL (ALL YARDS)
*SOD TO STREET
*MIN 17 SHRUBS OF MIN 3 GAL POTS

* ALL IMPERVIOUS AREAS TO BE GRADED TO LANDSCAPE AREAS*

SITE PLAN
SCALE: 1/8"=1'

RETAINING WALLS ARE NOT PERMITTED

REGULATORY REQUIREMENTS SHALL CONFORM TO THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION. APPROVED, PRIVACY AND FENCE INSTALLATION.
IF YOU WISH TO ADD A RETAINING WALL TO ACHIEVE A FLAT YARD AREA, OR TO CONFORM TO YOUR OWNERS REQUIREMENTS, YOU MUST OBTAIN THE WALL APPROVAL BEFORE YOU CONSTRUCT IT.
WE CANNOT AUTHORIZE RETURN OF COMPLIANCE CERTIFICATES IF IMPROVEMENTS DO NOT CONFORM WITH THE BUILDING SCHEME & LOT GRADING PLAN.

TREES AND SHRUBS

EXISTING TREES SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED ON THE SITE PLAN. TREES SHALL BE APPROPRIATELY MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TREES AND SHRUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES AND SHRUBS THAT ARE REMOVED OR DAMAGED DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TREES AND SHRUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES AND SHRUBS THAT ARE REMOVED OR DAMAGED DURING THE CONSTRUCTION PERIOD.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



PROPOSED RESIDENCE FOR
JASVIR SANCHA
LOT-4, 6550 141A STREET
SURREY, B.C.

TITLE	OWNER	SCALE	DATE	DRAWING NO.	DESIGNER
PROPOSED RESIDENCE FOR JASVIR SANCHA LOT-4, 6550 141A STREET SURREY, B.C.	NS	1/8"=1'	JUN 14, 2019	DD19-8026-P1	DHILLON DESIGNS LTD. UNIT 218-12830-ROTH AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 550-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.