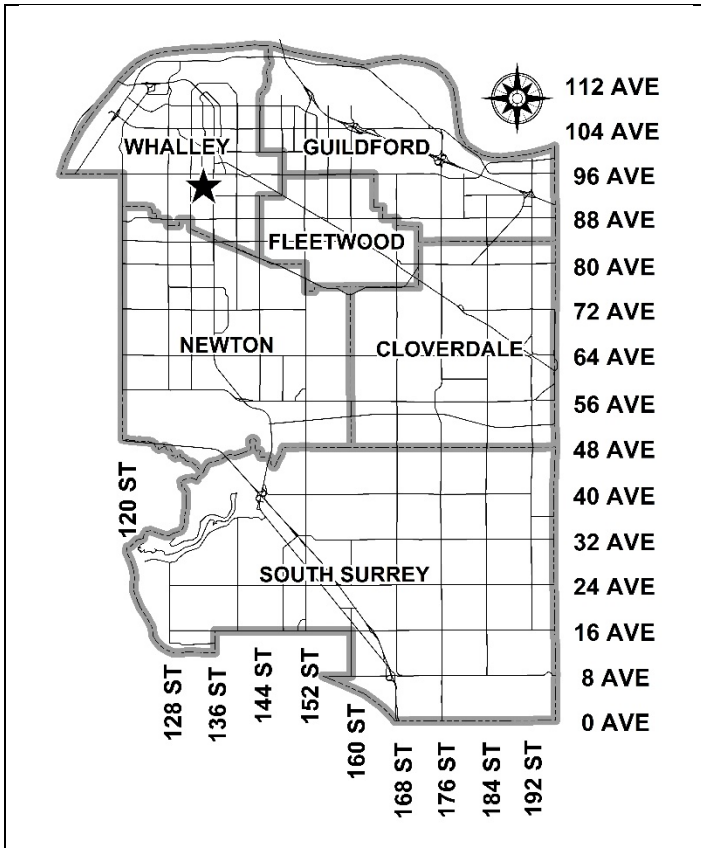


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7919-0370-00

Planning Report Date: January 11, 2021



PROPOSAL:

- **Development Variance Permit**

to vary the definition of "bond" in the Surrey Subdivision and Development Bylaw to include the use of a Surety Bond for the servicing agreement associated with a 6-storey apartment development on the site.

LOCATION:

- 9458 - 134 Street
- 9444 - 134 Street
- 13437 - 94A Avenue
- 13445 - 94A Avenue

ZONING:

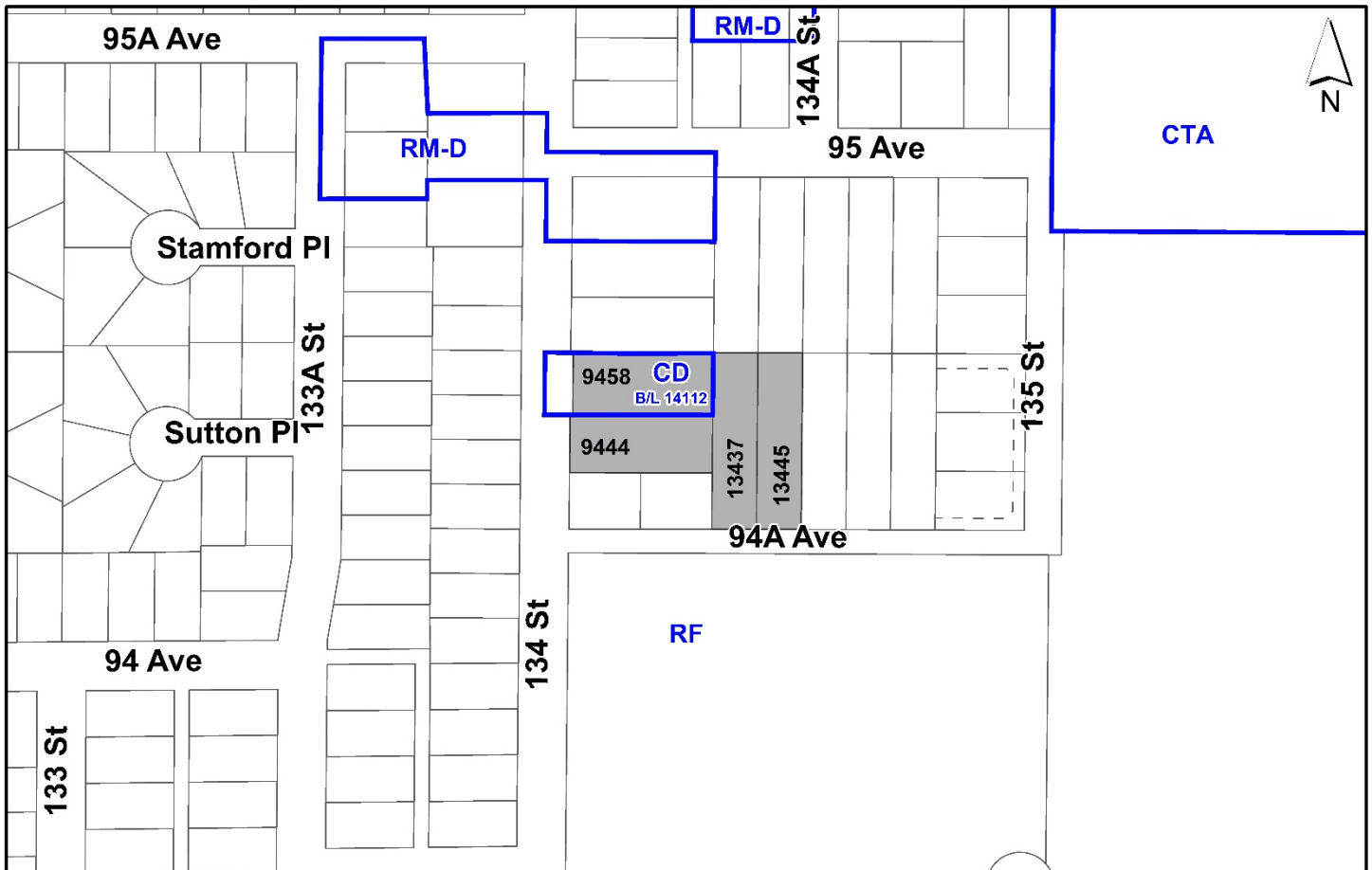
RF and CD (Bylaw No. 14112)

OCP DESIGNATION:

Multiple Residential

CITY CENTRE PLAN DESIGNATION:

Residential Low to Mid Rise 2.5 FAR



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to vary the definition of "bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of a Surety Bond for Servicing Agreement No. 7819-0370-00.

RATIONALE OF RECOMMENDATION

- A pilot program was introduced in 2016 for the use of Surety Bonds as an alternate form of security for Servicing Agreements. A Surety Bond is a three-party agreement between the City, the Developer, and the Surety Bond Company, which obligates the Surety to pay the City if the Developer defaults in completing the off-site engineering servicing works for the land development project in the pilot program.
- The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7819-0370-00.
- On December 21, 2020, Council granted Third Reading to rezoning Bylaw No. 20239 to permit the development of a 6-storey apartment building on the subject site. Council also authorized staff to draft the corresponding Development Permit No. 7919-0370-00 for the project on December 7, 2020. The subject variance will allow for the use of a Surety Bond for the servicing agreement for this project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7919-0370-00 (Appendix I) to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, in include the use of Surety Bond for Servicing Agreement No. 7819-0370-00, to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Single Family Dwellings & Child Care Centre	Residential Low to Mid Rise up to 2.5 FAR	RF & CD (Bylaw No. 14112)
North:	Single Family Dwellings	Residential Low to Mid Rise up to 2.5 FAR	RF
East:	Single Family Dwellings	Residential Low to Mid Rise up to 2.5 FAR	RF
South (Across 94A Avenue):	Queen Elizabeth Meadows Park	Park	RF
West (Across 134 Street):	Single Family Dwellings	OCP: Urban	RF

Context & Background

- The subject site is approximately 5,500 square metres in size and is comprised of four lots near the corner of 134 Street and 94A Avenue in City Centre.
- The subject properties are designated Multiple Residential in the Official Community Plan (OCP) and Residential Low to Mid Rise 2.5 FAR in the City Centre Plan. Three of the properties are zoned Single Family Residential Zone (RF) and the fourth is zoned Comprehensive Development Zone (CD Bylaw No. 14112).
- On December 21, 2020, Council granted Third Reading to rezoning Bylaw No. 20239 to permit the development of a 6-storey apartment building on the subject site. Council also authorized staff to draft the corresponding Development Permit No. 7919-0370-00 for the project on December 7, 2020.

DEVELOPMENT PROPOSAL

Planning Considerations

- In relation to the proposed redevelopment of the site, the applicant is proposing a Development Variance Permit to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, in order to include the use of Surety Bond for the Servicing Agreement (No. 7819-0370-00) associated with the development application.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0370-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-341-858

Parcel "12" (Reference Plan 15257), Except: Part on Plan LMP49568 Lot 25 Section 32
Township 2 New Westminster District Plan 8668

9458 – 134 Street

Parcel Identifier: 000-766-623

Lot 13 Section 32 Township 2 New Westminster District Plan 18174

9444 – 134 Street

Parcel Identifier: 010-341-757

Lot 15 Section 32 Township 2 New Westminster District Plan 18175

13437 – 94A Avenue

Parcel Identifier: 010-341-765

Lot 16 Section 32 Township 2 New Westminster District Plan 18175

13445 – 94A Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

- (a) In Part 1 – Interpretation – Definitions, "Bond" means cash, an irrevocable Letter of Credit, or a Surety Bond in favour of the City.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

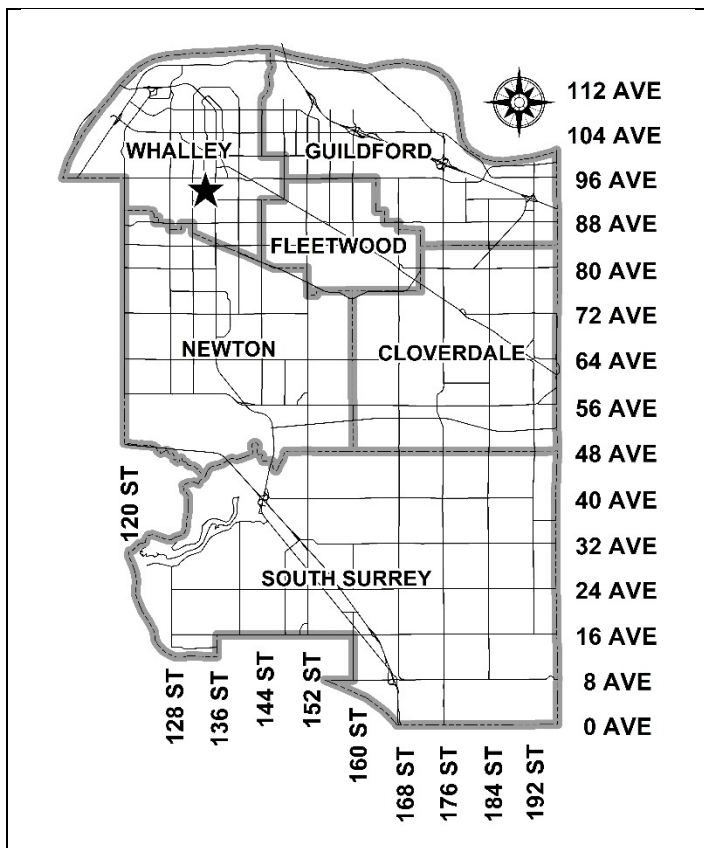
Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0370-00

Planning Report Date: December 7, 2020



PROPOSAL:

- **Rezoning** from RF and CD (Bylaw No. 14112) to CD (based on RM-70)
- **Development Permit**

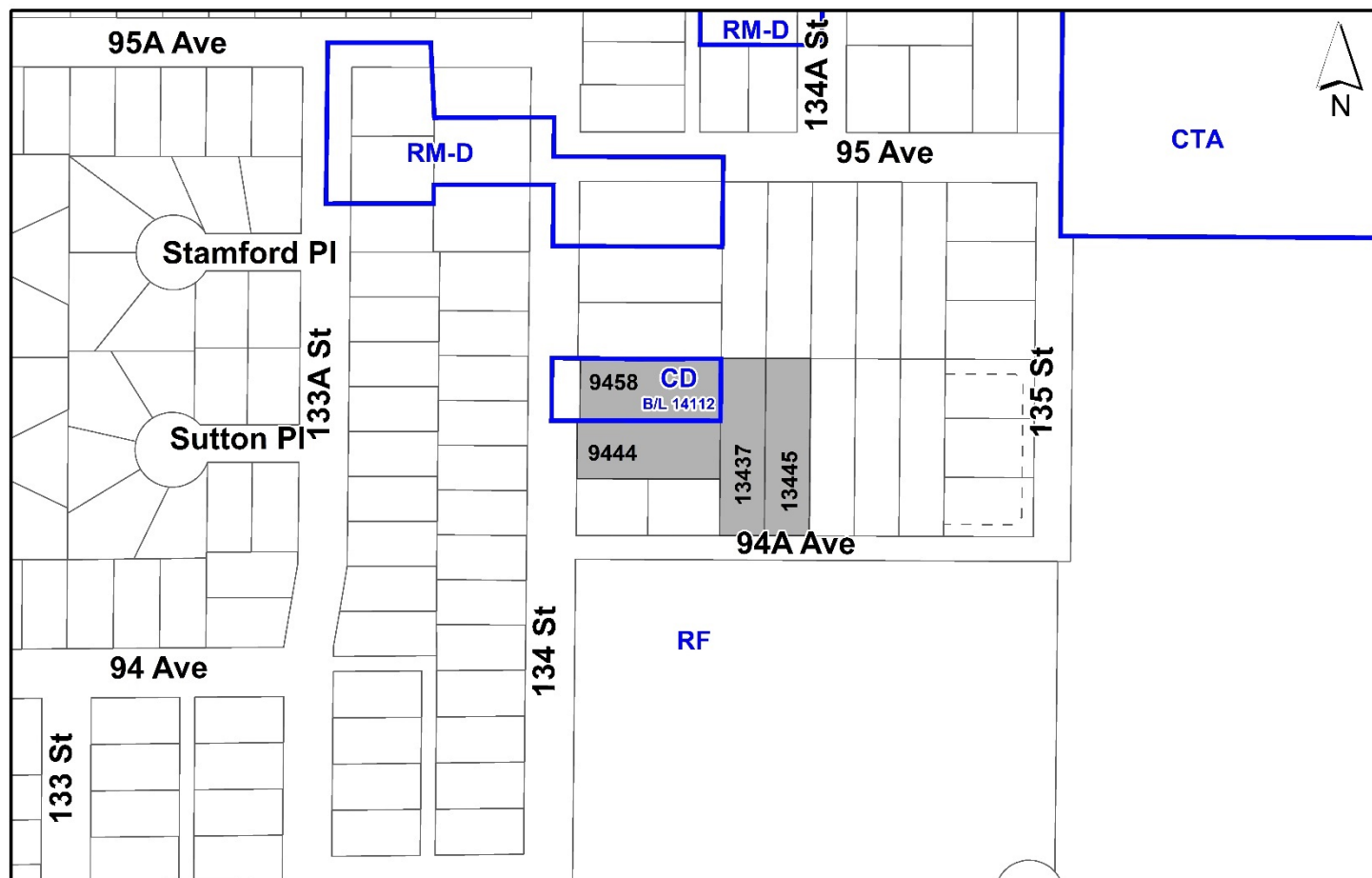
to permit the development of a 6-storey apartment building in City Centre

LOCATION: 9458 - 134 Street
 9444 - 134 Street
 13437 - 94A Avenue
 13445 - 94A Avenue

ZONING: RF and CD (Bylaw No. 14112)

OCP DESIGNATION: Multiple Residential

CITY CENTRE PLAN DESIGNATION: Residential Low to Mid Rise 2.5 FAR



RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Low to Mid Rise 2.5 FAR designation in the Surrey City Centre Plan
- The proposed density and 6-storey building form are appropriate for this part of City Centre.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character and the design guidelines in the City Centre Plan.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal retains a portion of the subject site for future redevelopment with the neighbouring lots to the southwest (9432 – 134 Street and 13427 – 94A Avenue), to ultimately complete the redevelopment of the block in accordance with the City Centre Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "Single Family Residential Zone (RF)" and "Comprehensive Development Zone (CD)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7919-0370-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (i) registration of a Section 219 Restrictive Covenant for "no build" on proposed Lot 2 until future consolidation and development with 9432 – 134 Street and 13427 – 94A Avenue;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Single Family Dwellings & Child Care Centre	Residential Low to Mid Rise up to 2.5 FAR	RF & CD (Bylaw No. 14112)
North:	Single Family Dwellings	Residential Low to Mid Rise up to 2.5 FAR	RF
East:	Single Family Dwellings	Residential Low to Mid Rise up to 2.5 FAR	RF
South (Across 94A Avenue):	Queen Elizabeth Meadows Park	Park	RF
West (Across 134 Street):	Single Family Dwellings	OCP: Urban	RF

Context & Background

- The subject site is approximately 5,500 square metres in size and is comprised of four lots near the corner of 134 Street and 94A Avenue.
- The subject properties are designated Multiple Residential in the Official Community Plan (OCP) and Residential Low to Mid Rise 2.5 FAR in the City Centre Plan. Three of the properties are zoned Single Family Residential Zone (RF) and the fourth is zoned Comprehensive Development Zone (CD Bylaw No. 14112).
- The site slopes downwards by approximately 4.0 metres from west to east.
- The applicant was unable to come to an agreement with the owners of the two lots to the southwest of the subject site, at 9432 – 134 Street and 13427 – 94A Avenue, to purchase their properties to include in the subject application. Therefore, the applicant has agreed to place a no build covenant on a portion of the subject site to allow for future consolidation with these two lots to ensure sufficient buildable area if they are to develop in the future.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey apartment building with 174 dwelling units, the applicant is proposing the following:
 - Rezoning the site from RF and CD (Bylaw No. 14112) to CD (based on RM-70);
 - Subdivision (consolidation) of four lots into two lots; and
 - Development Permit for Form and Character.
- CD Bylaw No. 14112 is in order to be repealed as all of the lands will be regulated by the new CD Bylaw for the site.

	Proposed
Lot Area	
Gross Site Area:	5,511 square metres
Road Dedication:	1,160 square metres
No Build Area:	330 square metres
Net Site Area:	4,021 square metres
Number of Lots:	2
Building Height:	21.0 metres
Floor Area Ratio (FAR):	2.36 gross FAR; 3.24 net FAR
Floor Area	
Residential:	13,017 square metres
Commercial:	N/A
Total:	13,017 square metres
Residential Units:	
Studio:	9
1-Bedroom:	97
2-Bedroom:	61
Townhouse:	7
Total:	174

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has provided the following projections for the number of students from this development:**

9 Elementary students at Cindrich Elementary School
9 Secondary students at Queen Elizabeth Secondary School

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2023.

Parks, Recreation & Culture: Stumps to remain in-situ for any trees removed within 2 metres of the TPZ on any tree to be retained; no trees or vegetation to be removed from Parkland without pre-approval by Parks; any trees proposed to be removed within Queen Elizabeth Park will require full compensation.

Surrey Fire Department: West Building to be addressed off 134 Street; East Building to be addressed off 94A Avenue. No other concerns, however, there are some items that will be required to be addressed as part of the Building Permit application.

Advisory Design Panel: The proposal was considered at the ADP meeting on September 24, 2020 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The applicant will provide the following road dedication as part of the current rezoning application:
 - Varying widths between 2.442 metres and 3.442 metres along 134 Street;
 - 4.942 metres along 94A Avenue;
 - Minimum 6.0 metres for green lane for a total ultimate width of 12.0 metres;
 - 4.0 metres for walkway along the eastern edge of the site for a total ultimate width of 8.0 metres; and
 - Corner cut at 134 Street and green lane.
- Parking for the development is proposed to be located in a two-level underground parkade, which will be accessed from the green lane along the north property line.
- The subject site is located approximately 300 metres from King George Boulevard, which is an existing Frequent Transit Network (FTN) and future rapid transit corridor, and approximately 1.3 kilometres from the King George Skytrain Station.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - High efficiency in-suite energy recovery ventilator (ERV) systems;
 - Low emitting materials;
 - Increased airtightness;
 - High performance building enclosure for reduced thermal transmittance through the building envelope;
 - Efficient lighting, hot water heating, and low-flow plumbing fixtures;
 - On-site rainwater detention; and
 - High efficiency irrigation system to reduce water consumption.
- This project will be required to meet a minimum of Step 2 of the BC Energy Step Code, and possibly higher based upon the date of Building Permit issuance. The applicant has indicated the project will meet Step 3 of the BC Energy Step Code.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The subject site is designated Multiple Residential in the Official Community Plan (OCP). The proposed development complies with the OCP designation.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Growth Priorities: Accommodate urban land development first in City Centre and Town Centre location well-served by local services, infrastructure, and transit.
 - Accommodating Higher Density: Direct residential and mixed-use development into Surrey's City Centre, Town Centres, along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - Centres, Corridors and Neighbourhoods
 - Healthy Neighbourhoods: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.
 - Urban Design
 - Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

Secondary Plans

Land Use Designation

- The proposal complies with the Residential Low to Mid Rise 2.5 FAR designation in the Surrey City Centre Plan.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Encourage Housing Diversity: by providing a variety of housing forms and a range of unit sizes and types.
 - Create Vibrant Urban Spaces: with high quality architectural aesthetics and amenities such as plazas to encourage people to interact with the public realm.

CD Bylaw

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey apartment building on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio:	1.50	3.24
Lot Coverage:	33%	61%
Yards and Setbacks		
North (green lane):	7.5 m	4.5 m
East (walkway):	7.5 m	5.0 m
South (94A Avenue):	7.5 m	4.5 m
South (internal):	7.5 m	3.4 m
West (134 Street):	7.5 m	4.5 m
West (internal):	7.5 m	3.5 m
Principal Building Height:	50.0 m	21.0 m
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Child care centres 	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings
Amenity Space		
Indoor Amenity:	3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit	The proposed 433 square metres [+ CIL of \$48,000] meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit	The proposed 574 square metres meets the Zoning Bylaw requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential Ground-Oriented:	6	6
Residential:	150	150
Residential Visitor:	18	18
Total:	174	174
Bicycle Spaces		
Residential Secure Parking:	209	215
Residential Visitor:	6	12

- The floor area ratio (FAR) has been increased from 1.5 FAR in the RM-70 Zone to 3.24 net FAR in the CD Zone. The proposed density complies with the City Centre Plan.

- The maximum lot coverage has been increased from 33% in the RM-70 Zone to 61% in the CD Zone to accommodate the built form, which is generally consistent with other similar 6-storey apartment developments in the City Centre Plan area.
- The reduced setbacks along the frontages (138 Street and 94A Avenue), the lane, and walkway achieve a more urban, pedestrian-oriented streetscape, consistent with the goals and objectives of the City Centre Plan.
- The minimum parking requirement of 156 residential parking spaces and 18 visitor parking spaces, for a total of 174 parking spaces, is being met.
- The proposed bicycle parking complies with the minimum requirement.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance (\$1,500 per unit if completed by December 31, 2021; and \$2,000 per unit if completed after January 1, 2022).
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 28, 2020, and the Development Proposal Signs were installed on April 29, 2020.
- To date, staff have not received any responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant is proposing a 6-storey apartment building containing 174 units, consisting of 9 studio units, 97 one-bedroom units, 61 two-bedroom units, and 7 two-bedroom townhouse units. The units' range in size from 40 square metres to 120 square metres.
- The proposed building consists of a west wing fronting 134 Street and an east wing fronting 94A Avenue. An outdoor amenity area is situated south of the building in the centre of the site.
- The proposed project is designed as an L-shaped building to frame three frontages; 134 Street to the west, the green lane to the north, and Multi Use Pathway (MUP) to the east.
- The overall building is designed to create two distinct, but related building wings with a defined architectural break connecting them.
- The west wing incorporates a palette of warm, earth-toned brick, grey fibre-cement panels, and blue-grey fibre cement lap siding. Warm wood-toned horizontal cladding is used at the break between the two wings along the lane to soften the colour palette and massing of the overall building, while expressing a west coast character. Wood soffits, which are also highly visible from the pedestrian realm, are proposed to enhance the building scale and pedestrian realm.
- Ground-oriented townhouse units facing 134 Street and 94A Avenue will have their own front door and useable, semi-private outdoor patio space.
- The applicant has worked with staff to address ADP and staff comments favorably. In particular the applicant has worked to resolve issues around appropriate setbacks from streets, public realm interfaces, ground-oriented interfaces with the public sidewalks, indoor and outdoor amenity connections, architectural scale within the context, and providing a no-build area allowing future development to the south of the side.

Landscaping

- The proposed landscaping for the site includes a mix of trees, shrubs, and groundcover, along with hardscaping, site lighting, fencing, and site furnishings.
- The landscaping concept centres around four areas, an entrance amenity area adjacent to each of the west building entrance and the east building entrance, the outdoor amenity courtyard to the south of the building, and a rooftop amenity area on the sixth floor between the east and west wings of the building.
- Pathways provide for pedestrian circulation around the site and provide access to the outdoor amenity courtyard from 134 Street and 94A Avenue.
- At grade units have patio spaces with feature paving, trees, shrubs, and fencing with gates to create semi-private outdoor spaces for residents.

Indoor Amenity

- The required indoor amenity is 528 square metres, while the applicant is proposing to provide 433 square metres of indoor amenity space on site, requiring cash-in-lieu for the shortfall in accordance with City policy.
- The indoor amenity space is located on the first level of the west wing of the building facing 138 Street.
- The indoor amenity space consists of a gym, games rooms, lounge areas, a kitchen, and washrooms.
- The kitchen opens up onto the outdoor amenity courtyard.

Outdoor Amenity

- The required outdoor amenity is 528 square metres. The applicant is proposing 574 square metres of outdoor amenity, exceeding the minimum requirement.
- The proposed outdoor amenity is organized into four areas.
- Each of the west and east wings of the building have a small amenity area with feature paving, bike racks for visitors, planters with trees and flowering shrubs, and areas with seating.
- The outdoor amenity courtyard to the south of the building consists of an outdoor seating area adjacent to the indoor amenity area, a barbeque station and a dining area with tables and chairs, community garden plots, a potting table, children's play area, and benches for seating.
- The rooftop amenity area on the sixth floor is located between the two wings of the building and consists of a barbeque station, bistro dining tables and chairs, a small lounge seating area, a larger lounge seating area, and culinary herbs in low planters.

Outstanding Items

- The project was considered at the Advisory Design Panel (ADP) meeting on September 24, 2020 and received conditional support. The Panel provided comments to guide the refinement of the proposed apartment building and associated landscaping.
- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, as follows:
 - Resolution of the public realm interfaces, and further clarification of landscape details at site edges; and
 - Resolution of westerly elevation to reduce the blank wall on the 4th floor.

TREES

- Dean Bernasch, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	1	0
Cherry	2	2	0
Holly	1	1	0
Hornbeam	2	2	0
Maple	1	1	0
Oak	3	3	0
Coniferous Trees			
Douglas Fir	2	2	0
Pine	1	1	0
Spruce	2	2	0
Total (excluding Alder and Cottonwood Trees)	15	15	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		54	
Total Retained and Replacement Trees		54	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there is a total of 15 mature trees on the site, excluding Alder and Cottonwood trees. Four existing trees, approximately 21% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 34 replacement trees on the site. The applicant is proposing 54 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 134 Street and 94A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Saskatoon Serviceberry, Seiryu Japanese Maple, Celestial Dogwood, Yulan Magnolia, and Japanese Snowball.
- In summary, a total of 54 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VI for location). The District Energy System consists of three primary components:
 - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to providing service to this project; however, the pipe network may not be available in this area in time for occupancy. Therefore, the subject application may be serviced by a temporary in-building boiler that will be installed and operated by the City until such a time as a direct piped connection to the DE network is available in this area.

- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - To prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	ADP Comments and Response
Appendix VI.	District Energy Map

approved by Ron Gill

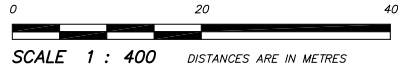
Jean Lamontagne
General Manager
Planning and Development

CB/cm

**SUBDIVISION PLAN OF:
 PARCEL "12" (REFERENCE PLAN 15257),
 EXCEPT: PART ON PLAN LMP49568
 LOT 25 PLAN 8668,
 LOT 13 PLAN 18174, AND
 LOTS 15 AND 16 PLAN 18175
 ALL OF SECTION 32 TOWNSHIP 2
 NEW WESTMINSTER DISTRICT**



BCGS 92G.016



THE INTENDED PLOT SCALE OF THIS PLAN IS 560 mm IN WIDTH BY 432 mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:400.

INTEGRATED SURVEY AREA No. 1, SURREY
 NAD83(CSRS) 4.0.0.BC.1.MVRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 78H8426 AND 80H2080 AND ARE REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 10.

THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM THE MASCOT PUBLISHED COORDINATES FOR GEODETIC CONTROL MONUMENTS 78H8426 AND 80H2080.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS OTHERWISE SPECIFIED, TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9995940 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL MONUMENTS 78H8426 AND 80H2080.

LEGEND

- FOUND PLACED
- ⊙ DENOTES CONTROL MONUMENT
 - □ DENOTES LEAD PLUG
 - ○ DENOTES STANDARD IRON POST
 - Fd DENOTES FOUND
 - NF DENOTES NOTHING FOUND
 - Wl DENOTES WITNESS
 - m² DENOTES SQUARE METRES
 - ha DENOTES HECTARES

NOTE: THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNER(S).

80H2080
 Datum: NAD83(CSRS) 4.0.0.BC.1.MVRD
 UTM Zone 10
 UTM Northing: 5446804.667 m
 UTM Easting: 510822.497 m
 Absolute accuracy 0.02 m

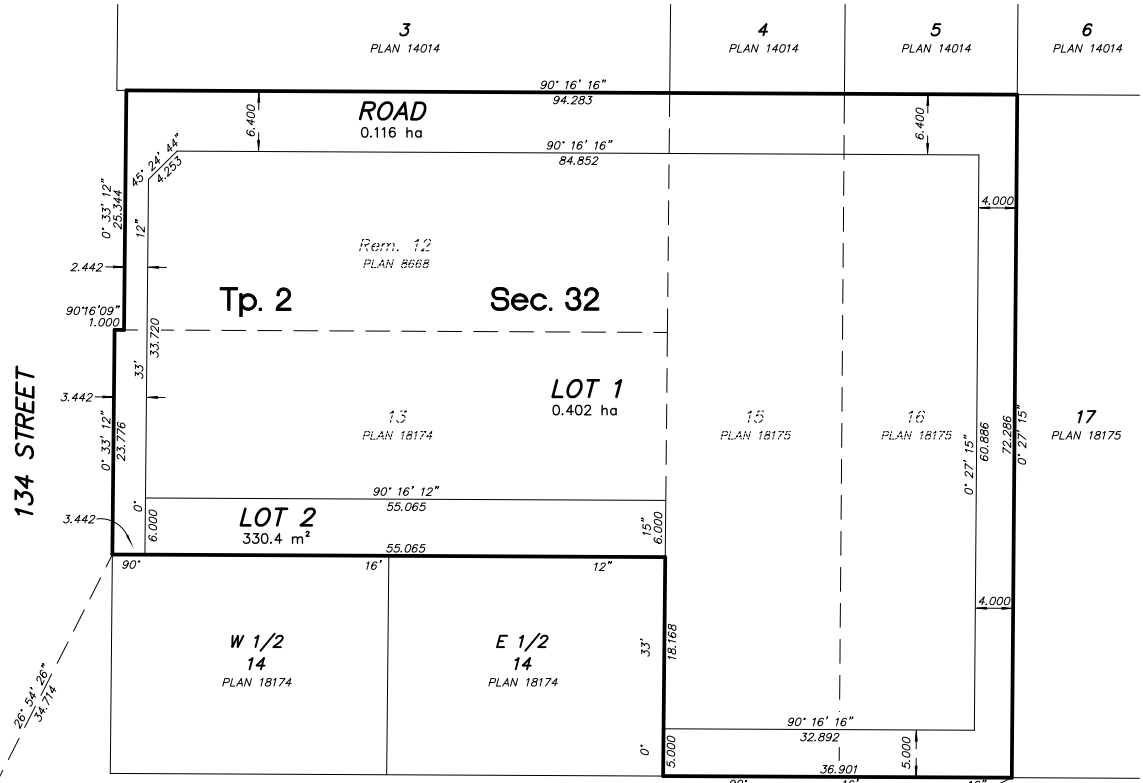
78H8426
 Datum: NAD83(CSRS) 4.0.0.BC.1.MVRD
 UTM Zone 10
 UTM Northing: 5446363.268 m
 UTM Easting: 510823.632 m
 Absolute accuracy 0.02 m

NOVEMBER 25, 2020

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY.

THE FIELD SURVEY IS REPRESENTED BY THIS PLAN WAS COMPLETED ON THE X DAY OF xxx, 202X
 JESSIE TOWN, B.S.L.S. (880)
 E.O.P.

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT



QUINN APARTMENTS

9444 & 9458 134 ST. &
13437 & 13445 94A Ave, Surrey BC

ISSUE 5.0 - FIRST READING

November 26, 2020

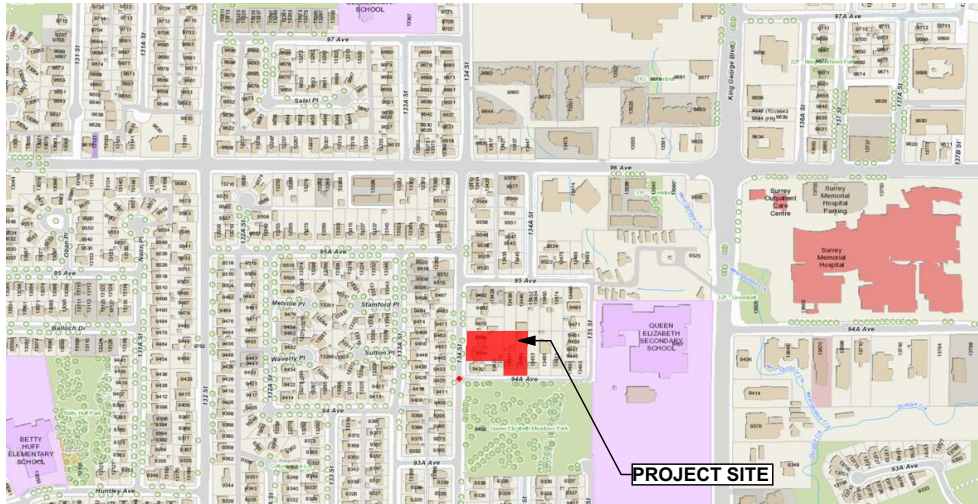
DRAWING INDEX - DOCUMENTATION

ARCHITECTURAL

Ⓢ A-0.00	COVER SHEET	NA
Ⓢ A-0.01	PROJECT DATA	NA
Ⓢ A-0.10	SURVEY	1:375
Ⓢ A-0.11	CIVIL	1/32" = 1'-0"
Ⓢ A-0.20	CONTEXT PHOTOS / OCP	NA
Ⓢ A-0.30	PRECEDENT IMAGES	NA
Ⓢ A-0.40	SITE ANALYSIS	NA
Ⓢ A-1.10	BASE PLAN	1:375
Ⓢ A-1.00	SITE PLAN	1:375
Ⓢ A-1.01	ULTIMATE BUILDOUT	1:750
Ⓢ A-1.02	FIRE ACCESS PLAN - LEVEL 1	1:350
Ⓢ A-1.03	FIRE ACCESS PLAN - LEVEL 2	1:350
Ⓢ A-1.10	SITE PLAN ORPHAN LOT	1:375
Ⓢ A-1.11	SITE PLAN ORPHAN LOT LEVELS P1-L1	1:350
Ⓢ A-1.12	SITE PLAN ORPHAN LOT LEVELS L2-ROOF	1:350
Ⓢ A-1.30	SECTION ELEVATION - ORPHAN LOT EXISTING	1/32" = 1'-0"
Ⓢ A-2.00	P3 PARKING PLAN	1/32" = 1'-0"
Ⓢ A-2.01	P2 PARKING PLAN	1:300
Ⓢ A-2.02	P1 PARKING PLAN	1:300
Ⓢ A-2.03	LEVEL 1 PLAN	1:300
Ⓢ A-2.03.01	AMENITY FLOOR PLAN	1:300
Ⓢ A-2.04	LEVEL 2 PLAN	1:300
Ⓢ A-2.05	LEVEL 3 PLAN	1:300
Ⓢ A-2.06	LEVEL 4 PLAN	1:300
Ⓢ A-2.07	LEVEL 5 PLAN	1:300
Ⓢ A-2.08	LEVEL 6 PLAN	1:300
Ⓢ A-2.09	ROOF PLAN	1:300
Ⓢ A-2.10	LOT COVERAGE	1:300
Ⓢ A-3.00	UNIT PLANS	1:100
Ⓢ A-3.01	UNIT PLANS	1:100
Ⓢ A-3.02	UNIT PLANS	1:100
Ⓢ A-3.03	UNIT PLANS	1:100
Ⓢ A-3.04	UNIT PLANS	1:100
Ⓢ A-3.05	UNIT PLANS	1:100
Ⓢ A-3.06	UNIT PLANS	1:100
Ⓢ A-3.07	UNIT PLANS	1:100
Ⓢ A-3.08	UNIT PLANS	1:100
Ⓢ A-3.09	UNIT PLANS	1:100
Ⓢ A-3.010	UNIT PLANS	1:100
Ⓢ A-3.011	UNIT PLANS	1:100
Ⓢ A-3.012	UNIT PLANS	1:100
Ⓢ A-4.00	ELEVATIONS	1:250
Ⓢ A-4.10	ELEVATIONS	1:250
Ⓢ A-4.12	ELEVATIONS	1:250
Ⓢ A-4.13	ELEVATIONS	1:250
Ⓢ A-5.00	SECTIONS	1:250
Ⓢ A-5.01	SECTIONS	1:250
Ⓢ A-5.02	SECTIONS	1:250
Ⓢ A-5.03	SECTIONS	1:250
Ⓢ A-5.04	SECTIONS	1:250
Ⓢ A-5.05	SECTIONS	1:250
Ⓢ A-8.10	PERSPECTIVE VIEW	NA
Ⓢ A-8.11	PERSPECTIVE VIEW	NA
Ⓢ A-8.12	PERSPECTIVE VIEW	NA
Ⓢ A-8.13	PERSPECTIVE VIEW	NA
Ⓢ A-8.14	PERSPECTIVE VIEW	NA
Ⓢ A-8.15	PERSPECTIVE VIEW	NA
Ⓢ A-8.16	PERSPECTIVE VIEW	NA
Ⓢ A-8.20	SHADOW STUDIES	NA
Ⓢ A-8.21	SHADOW STUDIES	NA
Ⓢ A-8.22	MASSING	NA
Ⓢ A-8.30	MATERIALS & COLOURS	NA
Ⓢ A-8.31	MATERIALS & COLOURS	NA

1.0 DEC 14/20 REDLINING SUBMISSION
2.0 JAN 14/20 REDLINING SUBMISSION
3.0 JUNE 12/20 REDLINING SUBMISSION
4.0 NOV 03/20 RESPONSE TO ADP
5.0 NOV 20/20 FIRST READING

Discipline	Company	Contact	Phone / Fax	Address	Email
Client	Porte Communities	Craig Marcyniuk	T 604.732.7651 x124	#100 - 33 East 8th Ave Vancouver, BC V6T 1R5	cr@pc.com.ca
Authority Having Jurisdiction	City of Surrey	Louise Kwan	T 604.591.4011	13450 - 104 Avenue Surrey BC, Canada	louise@city.ca
Architect	Integra Architecture Inc.	Steve Watt	T 604.688.4220	2330 - 203 Granville Street Vancouver BC V6C 1S4	steve@integra-arch.com
Surveyor	Butler Sundick		T 604.513.9611	64 - 19099 14th Ave Surrey, BC V4N 3S4	
Civil	Core Consulting Group	Cormac Nolan	T 604.299.0605	320-8888 Fraserden Court Burnaby, BC V5A 5R8	chnolan@coreconsulting.com
Landscape	ETA	Amer Abi Rafeh	T 604.863.1456	1690 W 2nd Ave Vancouver, BC V6J 1H4	amer@etata.ca
Arboret	Diamond Head Consulting	Loner Corbett	T 604.442.5380	3559 Commercial Street Vancouver, V5N 4E8	loner@diamondheadconsulting.com



LOCATION MAP

PACKAGE ONLY TO SCALE WHEN PRINTED ON 11" x 17" SHEETS



Integra

ARCHITECTURE INC.

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Vancouver, BC, V6C 1S4
www.integra-arch.com
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(PROJECT TEAM)



2020.11.27 (CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St &
13437 & 13445 94A Ave
Surrey, BC

(TITLE)

Cover Sheet

(PROJECT)

18441

(SCALE)

Friday, November 27, 2020 (DATE)

(ISSUE)

ISSUE # 5 - FIRST READING

(DRAWING)

A-0.00

PROJECT SUMMARY

PROJECT NAME: Quinn Apartments
PROJECT OWNER/DEVELOPER: Porte Communities
 1100 - 33 East 8th Avenue, Vancouver, BC, V5T 1R5
 T: 604-752-1651
PROJECT ARCHITECT: Steve Wolf Architect ABC ANAB MRAC, Integra Architecture Inc., 2330 - 200 Granville Street, Vancouver, BC, V6C 1S4
 T604 688 4220
PROJECT ADDRESS: 944 & 945B 134 Street & 13437 & 13445 94A Avenue, Surrey, BC
LEGAL DESCRIPTION: Lot 13, Block 25, Section 32, Township 2, Plan NMP18174 NMD Part NE 14
 Section 32, Township 2, Plan NMP8688 NMD Partial 12, except Plan LMP49568, Ref PL 15257
 Lot 15 & Lot 16, Section 32, Township 2, Plan NMP18175 NMD

ZONING:
Existing Zoning: RF
Proposed Zoning: Comprehensive Development (Based on RM-70)
NCP Designation: None in NCP
OCP Designation: Multiple Residential
Applicable Plans: Surrey City Centre Plan L

Site Area	Area	Total	SF	m ²
Site area	1.36 Acres	Total	59,329.6 SF	5511 m ²
Estimated Deductions*	0.28 Acres	Total	12,141.4 SF	1128 m ²
No-build zone area 944 & 134 Street**	0.88 Acres	Total	3,516.4 SF	322 m ²
*Topsoil Management Ordinance				
**Based on current property lines - To be confirmed by owner				
Net site area**	1.80 Acres	Total	43,671.8 SF	4052 m ²
Hard Surfaces	34,983.78 SF			

Building	No. Res. Units	GROSS FLOOR AREA (SF)	GROSS FLOOR AREA (m ²)	COMMON AREAS (m ²)	FIRE WALL AREA (m ²)	INDOOR AMENITY AREAS (m ²)	DATE FLOOR AREA NET (m ²)
LEVEL PZ	0	40,307.38	3,744.68	0.00	0.00	0.00	3,744.68
LEVEL P1	0	40,477.10	3,754.92	0.00	0.00	0.00	3,754.92
TOTAL AREA BELOW GRS	0	80,784.48	7,499.61	0.00	0.00	0.00	7,499.61
LEVEL 1	25	25,097.15	2,312.01	102.22	0.00	0.00	2,414.23
LEVEL 2	25	25,059.39	2,305.93	121.68	7.44	0.00	2,435.05
LEVEL 3	25	24,564.31	2,282.10	241.43	4.14	0.00	2,527.67
LEVEL 4	25	24,438.98	2,270.41	243.93	4.38	0.00	2,517.72
LEVEL 5	25	24,438.98	2,270.43	243.87	4.38	0.00	2,517.72
LEVEL 6	25	23,777.15	2,203.11	250.02	0.11	0.00	2,453.24
TOTAL AREA ABOVE GRS	174	144,776.81	13,450.19	1,673.80	25.87	432.77	11,317.80

84.1% Efficiency excluding amenity
 87.4% Efficiency including amenity

DENSITY - FLOOR AREA RATIO: (based off of TOTAL AREA ABOVE GROSS)	RF	WF
Quinn Total Area Proposed	144,776.8	13,450.19
FAR Exclusions	4,603.3	432.77
Proposed FAR (Based on Net Site Area)	3.21 FAR	146,173.5 SF
Permitted FAR Maximum (Based on Net Site Area)	2.50 FAR	109,629.5 SF
Proposed FAR (Based on Gross Site Area)	2.36 FAR	146,173.5 SF
Permitted FAR Maximum (Based on Gross Site Area)	2.50 FAR	146,209.1 SF
Proposed FAR (Based on Gross Site Area Less No-Build)	2.51 FAR	146,173.5 SF
Permitted FAR Maximum (Based on Gross Site Area Less)	2.50 FAR	126,263.1 SF

Lot Coverage	174 UPA	2484.2
% of Gross Site Area	40%	
% of Net Site Area	61%	

Unit Types	1st	2nd	3rd	4th	5th	6th	Total	Unit Area	% of all Units	balcony area
STUDIO										
A1	1	0	0	0	0	0	1	517.30	48.12	3,107.70
A2	0	0	0	0	0	0	0	517.30	48.12	517.30
A3	1	0	0	0	0	0	1	563.00	55.17	563.00
A4	0	0	0	0	0	0	0	563.00	55.17	563.00
1 BEDROOM										
A5	0	0	0	0	0	0	0	693.80	65.17	2,275.80
A6	0	0	0	0	1	0	1	593.00	55.17	1,187.00
A7	1	1	1	1	1	1	6	693.80	65.17	2,269.50
A8	0	0	0	0	0	0	0	610.51	58.72	3,463.18
A9	0	1	0	0	0	0	1	487.00	45.24	2,435.00
A10	0	0	0	0	0	0	0	439.00	40.78	439.00
B5	0	0	0	1	1	0	2	488.00	45.15	1,458.00
B6	0	0	0	1	1	0	2	510.00	47.38	1,530.00
B7	0	0	0	1	1	0	2	622.00	59.20	1,887.00
B8	0	0	0	0	0	0	0	598.30	55.40	598.30
B9	0	0	0	0	0	0	0	627.70	59.35	627.70
B1*	1	1	1	1	1	1	6	680.33	62.08	3,381.98
B1*	0	1	0	0	0	0	1	680.33	62.08	1,019.78
B2	0	1	0	0	0	0	1	680.33	62.08	1,019.78
B3	0	1	1	1	1	1	6	674.34	62.37	4,028.04
1 BED + DEN										
A8	0	0	1	1	1	0	4	598.70	54.88	2,792.70
A9	0	1	0	0	0	0	1	679.00	63.09	2,716.38
A10	0	0	0	0	0	0	0	617.21	58.15	1,539.28
B6	0	0	0	0	0	0	0	641.83	59.83	641.83
B8*	0	0	0	0	0	0	0	641.83	59.83	598.83
B1*adj	2	2	2	2	2	0	10	664.58	61.78	4,654.48
H1	0	1	1	1	1	0	4	699.48	64.98	2,797.84
H2	0	1	0	0	0	0	1	699.48	64.98	2,047.48
2 BEDROOM										
A4*	0	0	1	0	0	0	1	805.21	75.98	4,281.00
A7	0	0	0	0	0	0	0	803.74	74.87	803.74
A8	0	0	0	0	0	0	0	795.24	73.89	795.24
A9	0	0	0	0	0	0	0	1,182.17	109.87	718.27
B0	1	1	1	1	1	0	5	968.10	89.85	4,340.80
B1	0	0	0	0	0	0	0	1,094.62	100.27	799.62
B1*	1	1	1	1	1	1	6	877.15	81.49	5,282.50
B2A	0	0	0	1	1	0	2	1,417.84	131.91	1,417.84
B2A*	0	0	0	1	1	0	2	844.73	78.48	2,634.25
B2A**	0	0	0	0	0	0	0	801.21	74.44	801.21
B4	0	1	1	1	1	1	6	1,148.41	105.25	788.45
B4*	0	1	1	1	1	1	6	791.47	73.53	4,748.82
B1	0	1	1	1	1	0	4	1,134.24	104.50	5,006.44
B1*	0	1	1	1	1	0	4	879.94	81.75	4,399.70
B1*	0	0	0	0	0	0	0	827.23	76.84	1,174.48
FP	0	0	0	0	0	0	0	823.40	76.50	823.40
H3	0	1	0	0	0	0	1	830.70	77.18	4,884.96
H2	0	1	0	0	0	0	1	1,049.50	101.23	2,179.13
H3	0	1	0	0	0	0	1	963.81	89.54	963.81
2 BEDROOM + DEN										
B1*	1	0	0	0	0	0	1	897.01	83.34	897.01
B2	1	0	0	0	0	0	1	641.83	59.83	3,850.99
H3	0	0	0	0	0	0	0	1,082.01	100.00	1,070.44
H3	0	1	0	0	0	0	1	1,133.33	105.29	1,133.33
H3	0	1	0	0	0	0	1	1,151.75	107.00	1,151.75
H4	1	0	0	0	0	0	1	1,023.55	95.09	1,023.55
H4*	0	0	0	0	0	0	0	1,000.11	92.00	1,000.11
H5	0	0	0	0	0	0	0	1,050.11	96.00	1,050.11
Total	24	27	29	32	32	32	174	1,508.1	142.95	123,194.52

707.87 Average Unit Size

Type	Number of SF	Total Unit Area (see note below)	% of all Units	% of Area
STUDIO	0	4,813.92	447.19	5.17%
1 BEDROOM	48	27,484.36	2,553.33	27.50%
1 BED + DEN	49	32,832.34	3,058.19	28.35%
2 BEDROOM	33	46,887.47	4,337.37	31.61%
2 BED + DEN	13	11,317.23	1,051.40	7.47%
TOTAL	174	123,194.52	11,439.48	100.00%

Note: refer to Total GFA Table for FAR calculation purposes

REQUIRED	PROVIDED
168 Units @ 3.00 Spm per Unit SF	504 m ²
6 Units @ 1.00 Spm per Unit SF	6 m ²
2.93 Spm per Unit SF	510 m ²
REQUIRED	PROVIDED
1st level (37.73) + 2nd level (41.93) = 6th level (123.93)	574 m ²

REQUIRED	PROVIDED
168 Units @ 3.00 Spm per Unit SF	504 m ²
6 Units @ 1.00 Spm per Unit SF	6 m ²
2.93 Spm per Unit SF	510 m ²
REQUIRED	PROVIDED
174 Units @ 2.93 Spm per Unit SF	432 m ²

MINIMUM PARKING REQUIRED:	PROVIDED:
Resident Parking (See Gross Overhead)	167 Units @ 0.90 Stalls per Unit
Resident Parking (Gross Overhead townhomes UFG parking)	7 Townhomes @ 0.90 Stalls per Unit
Visitor Parking (Net Gross Overhead townhomes UFG parking)	167 Units @ 0.10 Stalls per Unit
Visitor Parking (Gross Overhead townhomes UFG parking)	7 Townhomes @ 0.10 Stalls per Unit
Total Parking Required:	174

REQUIRED	PROVIDED
167 Units @ 0.90 Stalls per Unit	160
7 Townhomes @ 0.90 Stalls per Unit	6
0.10 Stalls per Unit	17
7 Units @ 0.14 Stalls per Unit	1
Total Parking Required:	174

IC Parking Required (2% of total) 2.00% 4 rounded up to meet whole number
 BIC Parking Provided 2.00%
 (IC within 50% (2 stalls) are to be van-accessible parking spaces)
 Allow a permitted to be shared between two stalls located side by side - zoning bylaw 12000 Part 6 C.3 (d)

Small Car Allowed (25%)	Small Cars Provided
61	63
61	63

LOADING REQUIRED: None required for resident use
BICYCLE PARKING:
 Visitor Bike parking required 1.80m x 0.6m 12 Spaces (8 per building)
 Bike parking proposed 1.80m x 0.6m 12 Spaces (8 per building)
 Secure bicycle parking Bike parking required 1.80m x 0.6m @ 2 Unit + 1 215 Spaces
 Bike parking proposed 1.80m x 0.6m 157 Spaces
 Bike parking proposed 1m x 0.6m 78 Spaces
 Total bike parking proposed 215 Spaces

STORAGE LOCKERS:	PROVIDED
Storage Lockers required 0.00 Unit	0 Spaces
Storage Lockers proposed 0.20 Unit	56 Spaces

BUILDING SETBACKS:	PROPOSED	PER ZONING
South Front (Min Area)	7.5m	4.5m
South From Building No-Build Zone*	3.45m*	na
North Side (Proposed) Side	4.5m**	7.5m
West Side (Buildings adjacent property)	4.5m**	7.5m
East Side	3.5m***	7.5m
East	5.0m****	7.5m

* Reduced setbacks to permit entry canopy (2.1m) & balconies (3.2m)
 ** Reduced setbacks to permit entry canopy (2.1m) & balconies (3.2m)
 *** Reduced setbacks to permit entry canopy (2.1m) & balconies (3.5m)
 **** Reduced setbacks to permit balconies (2.0m)
 ***** Reduced setbacks to permit entry canopy (2.1m) balconies (3.5m) & north (3.5)

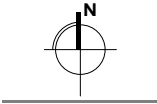
BUILDING HEIGHT:	PROPOSED
Max Store (RM) per RM 102m	102m
Average Grade + 0.78m (Bike) (Bike Lot Coverage)†	102.78m
6 Storeys / 25.64m	

Note: * Final areas to be confirmed.
 Note 2: Unit areas are measured to the center of partywalls and to the exterior of shafting of exterior walls.
 Note 3: The proposed FRR excludes all parking areas, service spaces, parking area and overhang spaces.
 Note 4: Balconies/inlets to be minimum 5% of unit area or 50 sq ft (whichever is greater)



Integra
 ARCHITECTURE INC.
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 www.integra-arch.com
 Telephone: 604 688 4220

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(PROJECT TEAM)
porte
 homes



2020.11.27 (CLIENT)

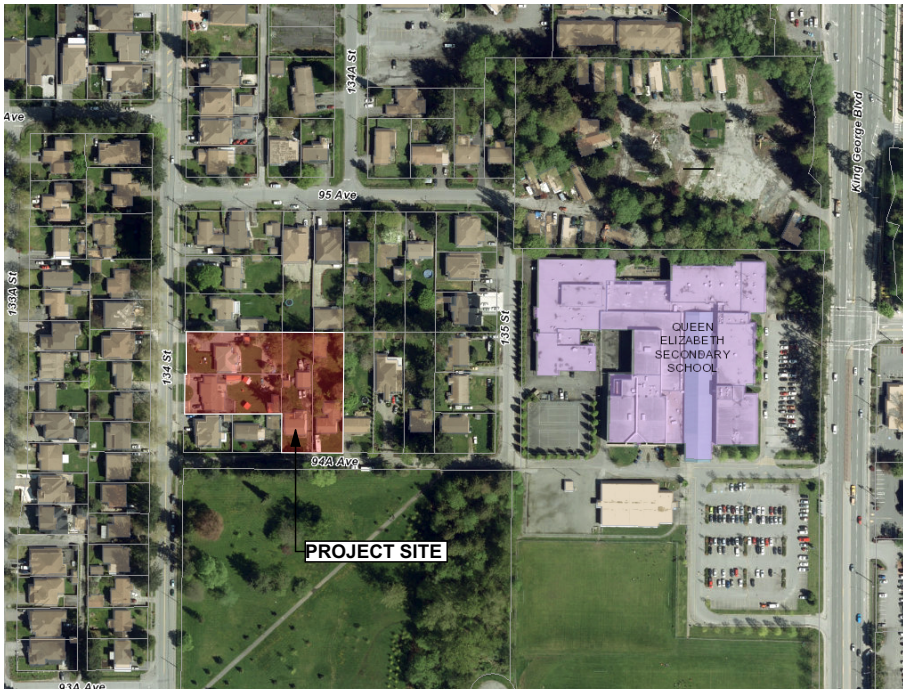
Porte Communities



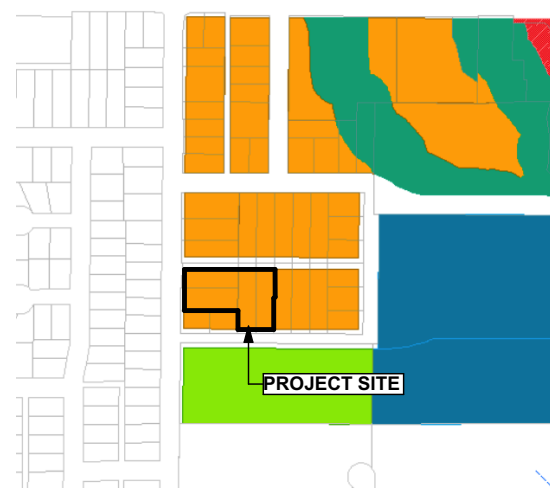
Aerial View Looking North East



Aerial View Looking South West



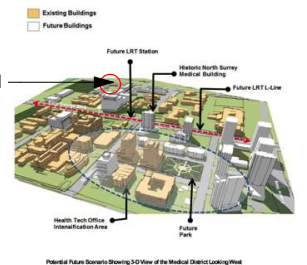
Context Map



OCP



SITE LOCATION



SITE LOCATION



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(PROJECT TEAM)



2020-11-27 (CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St &
 13437 & 13445 94A Ave
 Surrey, BC

(TITLE)

Context Photos

18441 (PROJECT)

(SCALE)

Friday, November 27, 2020 (DATE)

(ISSUE)

ISSUE # 5 - FIRST READING (DRAWING)

A-0.20



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2020.11.27

[CLIENT]

Porte Communities

[PROJECT]

QUINN APARTMENTS

9444 & 9458 134 St &
13437 & 13445 94A Ave
Surrey, BC

[TITLE]

BASE PLAN

18441

[PROJECT]

1:375

[SCALE]

Friday, November 27, 2020

[DATE]

ISSUE # 5 - FIRST READING

[ISSUE]

[DRAWING]

A-0.5

134 Street

94th Ave.

NO-BUILD ZONE
A: 339.09 m²

EXISTING PROPERTY LINE

CONSOLIDATED PROPERTY LINE

BUILDING SETBACK

2.44

REAR

DISCRETION

4.50

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LANDSCAPE

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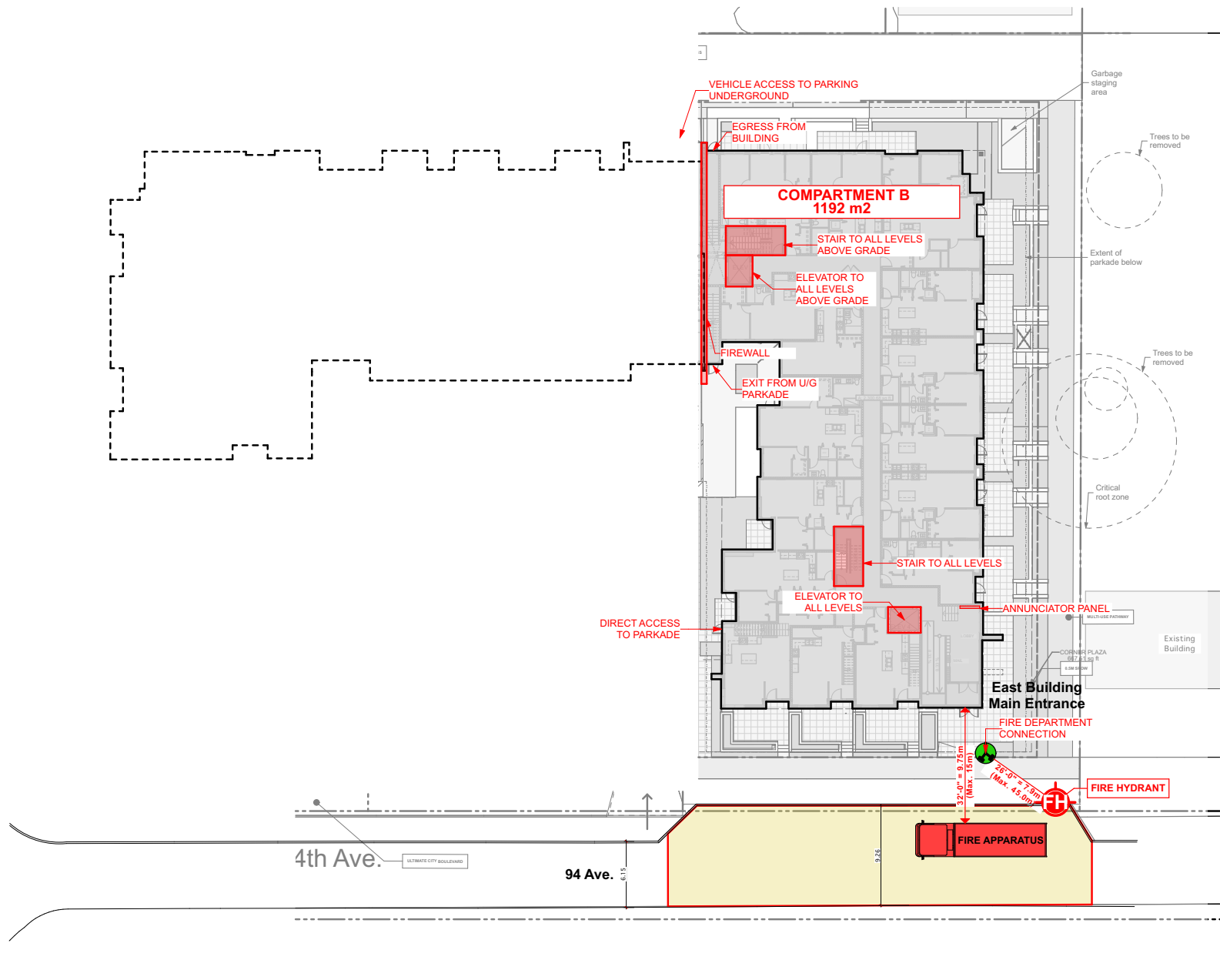
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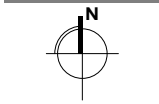
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Base Plan
SCALE: 1:375



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porte
homes



(CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

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(TITLE)

**Fire Access Plan -
Level 1**

18441 (PROJECT)

1:350 (SCALE)

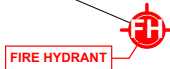
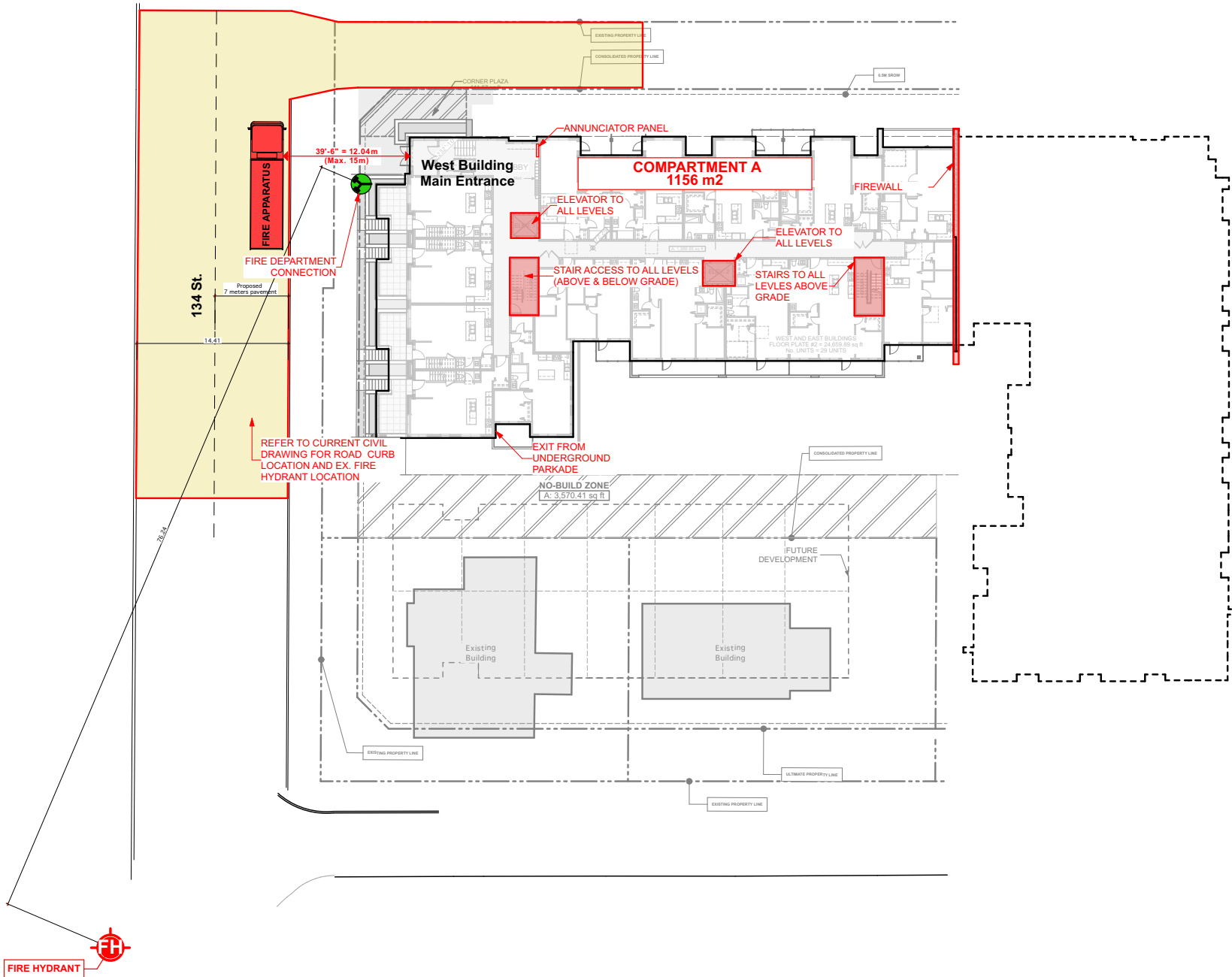
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Porte Communities (PROJECT)

QUINN APARTMENTS
9444 & 9458 134 St &
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Surrey, BC

(TITLE)

**Fire Access Plan -
Level 2**

18441 (PROJECT)

1:350 (SCALE)

Friday, November 27, 2020 (DATE)

ISSUE # 5 - FIRST READING (ISSUE)

(DRAWING)

A-1.03



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Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St &
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Surrey, BC

(TITLE)

Site Plan - Orphan Lot

(PROJECT)

18441

(SCALE)

1:375

(DATE)

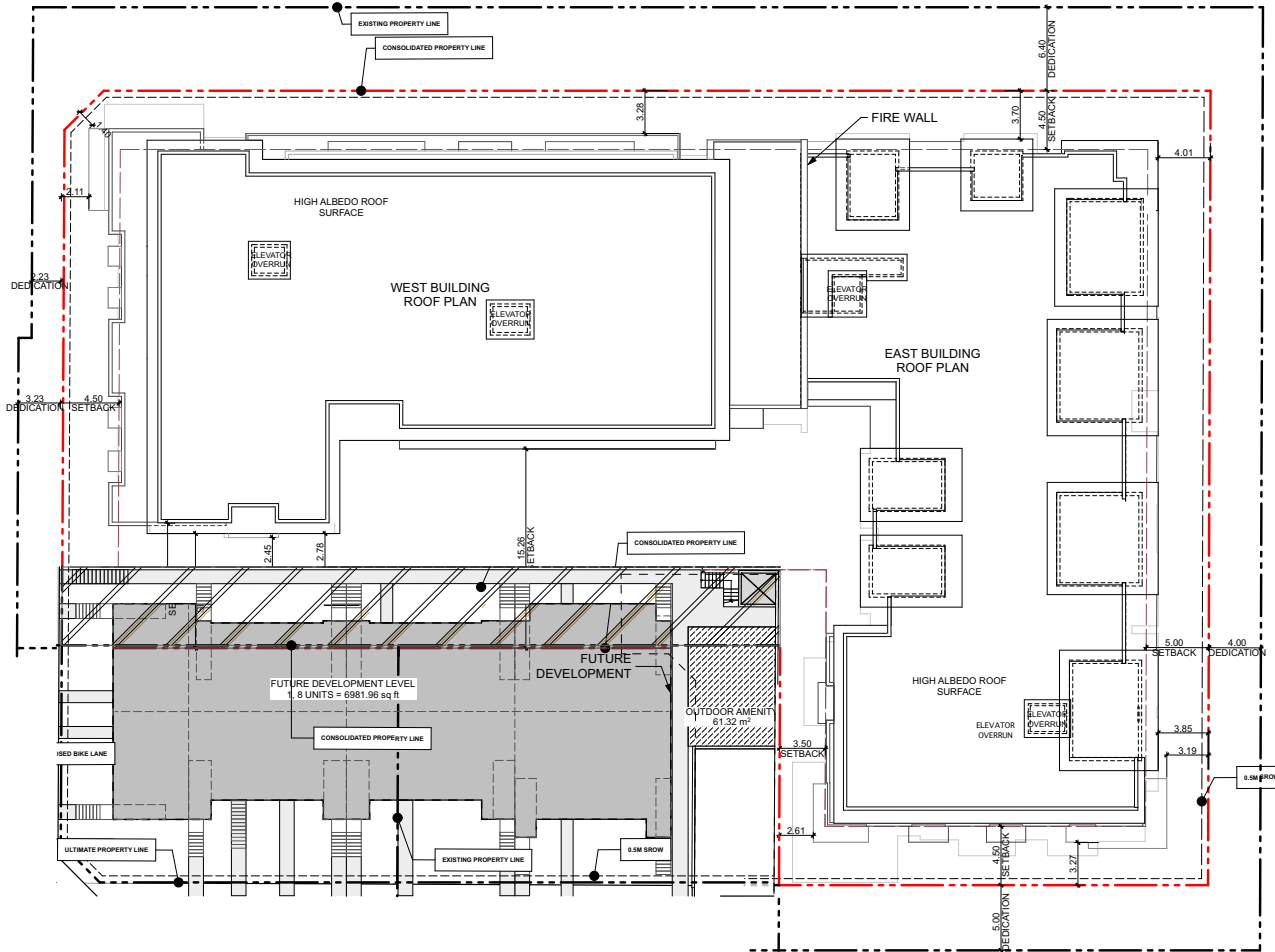
Friday, November 27, 2020

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ISSUE # 5 - FIRST READING

(DRAWING)

A-1.10



1

First Level Orphan Lot
SCALE: 1:375

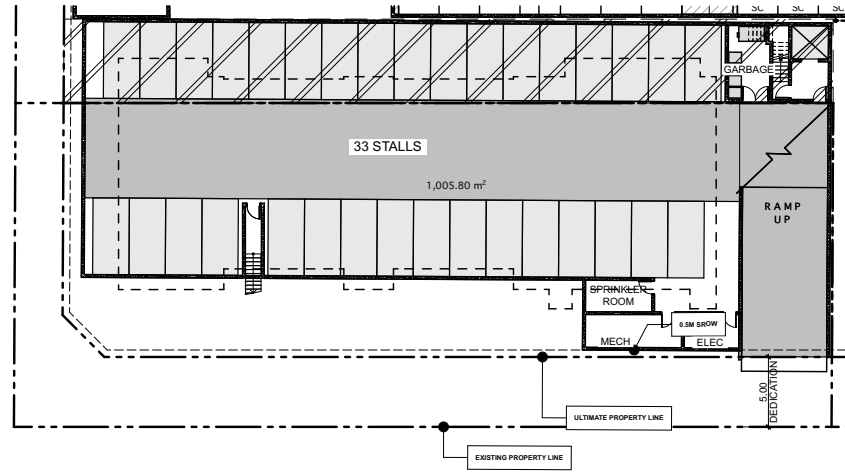
SITE AREA:				
Total gross site area*	0.33 Acres	Total	14,589.9 SF	1355 m ²
Future Road Dedication*	0.07 Acres	Total	3,204.4 SF	298 m ²
No Build Zone*	0.08 Acres	Total	3,571.4 SF	332 m ²
Net site area*	0.34 Acres	Total	14,956.9 SF	1390 m ²

*BASED ON CURRENT PROPERTY LINES - To be confirmed by survey

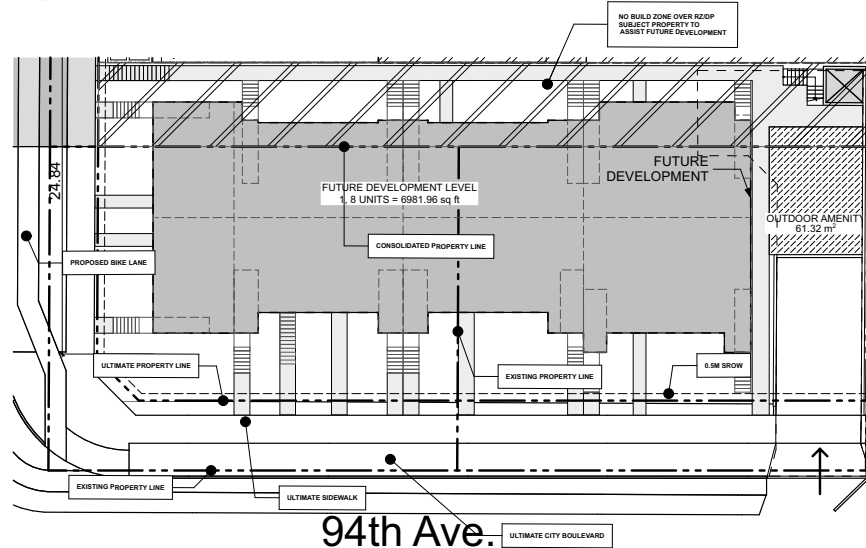
*INCLUDES NO BUILD ZONE

TOTAL GFA:				
Building	No. Res. Units	GROSS FLOOR AREA (SF)	GROSS FLOOR AREA (m ²)	
LEVEL P1*	0	10,823.19	1,005.51	*EXCLUDED FROM FAR
TOTAL AREA	0	10,823.19	1,005.51	*EXCLUDED FROM FAR
LEVEL 1	8	6,981.96	648.65	
LEVEL 2	14	7,607.93	706.80	
LEVEL 3	0	7,607.93	706.80	
LEVEL 4	0	5,485.93	509.66	
ROOF LEVEL	0	1,318.47	122.49	
TOTAL AREA	22	29,002.22	2,694.39	

DENSITY - FLOOR AREA RATIO (Based off of "TOTAL AREA ABOVE GRADE")			
		SF	M2
Gross Floor Area Proposed		29,002.2	2694.39
FAR Exclusions		0.0	
Proposed FAR (Based on Net Site Area)	1.94 FAR	29,002.2	2694.39
Permitted FAR Maximum (Based on Net S)	2.50 FAR	37,392.2	3473.85
Proposed FAR (Based on Gross Site Area)	1.99 FAR	29,002.2	2694.39
Permitted FAR Maximum (Based on Gross)	2.50 FAR	36,474.8	3388.61
Proposed UPA (Based on Net Site Area)	64 UPA		



1 LEVEL P1
SCALE: 1:350

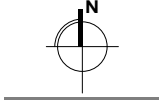


2 LEVEL 1
SCALE: 1:350



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(PROJECT)

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Orphan Lot - Levels P1-L1

18441 (PROJECT)

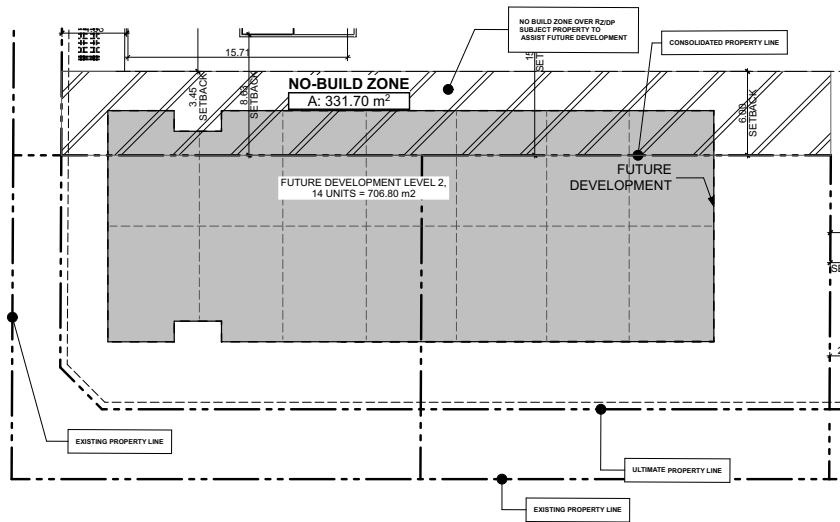
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Friday, November 27, 2020 (DATE)

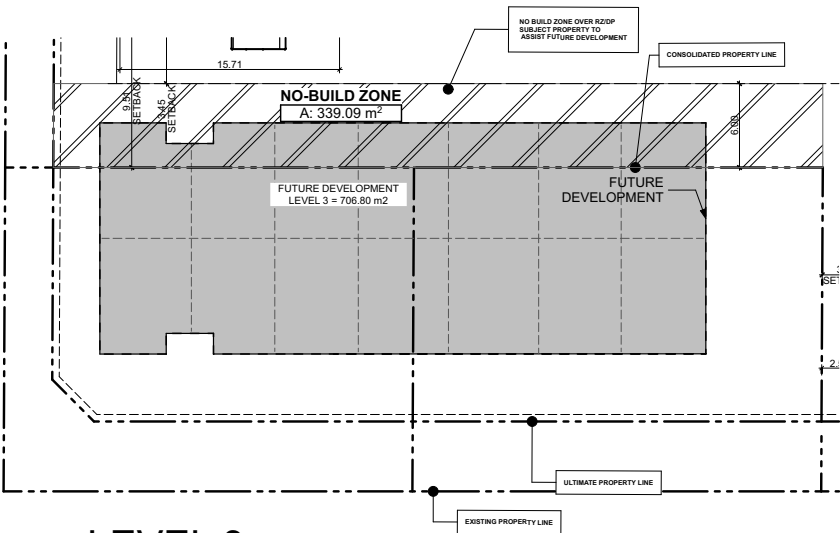
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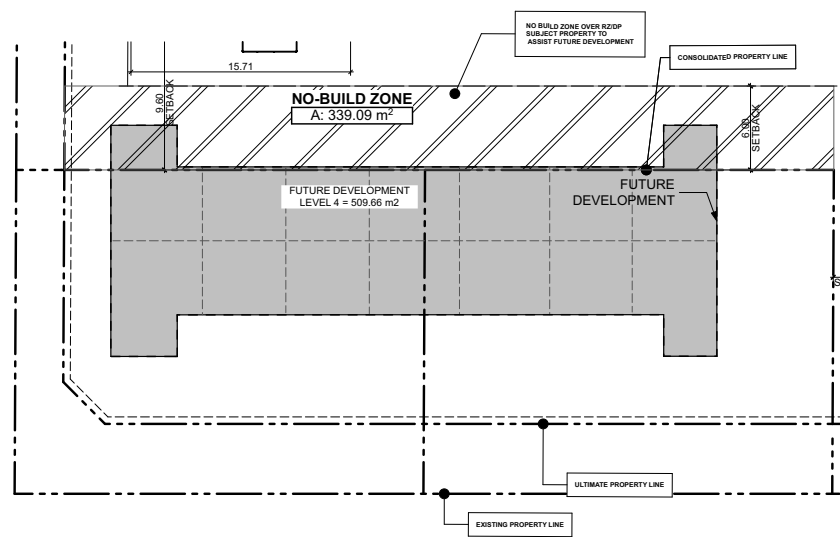
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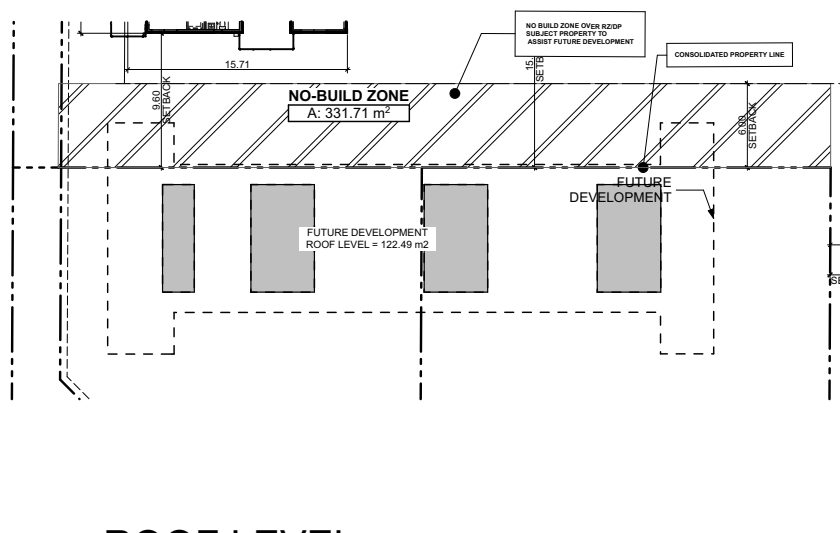
1 LEVEL 2
SCALE: 1:350



2 LEVEL 3
SCALE: 1:350



3 LEVEL 4
SCALE: 1:350



4 ROOF LEVEL
SCALE: 1:350



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2020-11-07 (CLIENT)
Porte Communities
(PROJECT)

QUINN APARTMENTS
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Surrey, BC
(TITLE)

Orphan Lot - Level L2 - ROOF
(PROJECT)
18441 (SCALE)
1:350 (SCALE)
Friday, November 27, 2020 (DATE)
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ISSUE # 5 - FIRST READING (DRAWING)



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(TITLE)

Parking Level P2

18441 (PROJECT)

1:300 (SCALE)

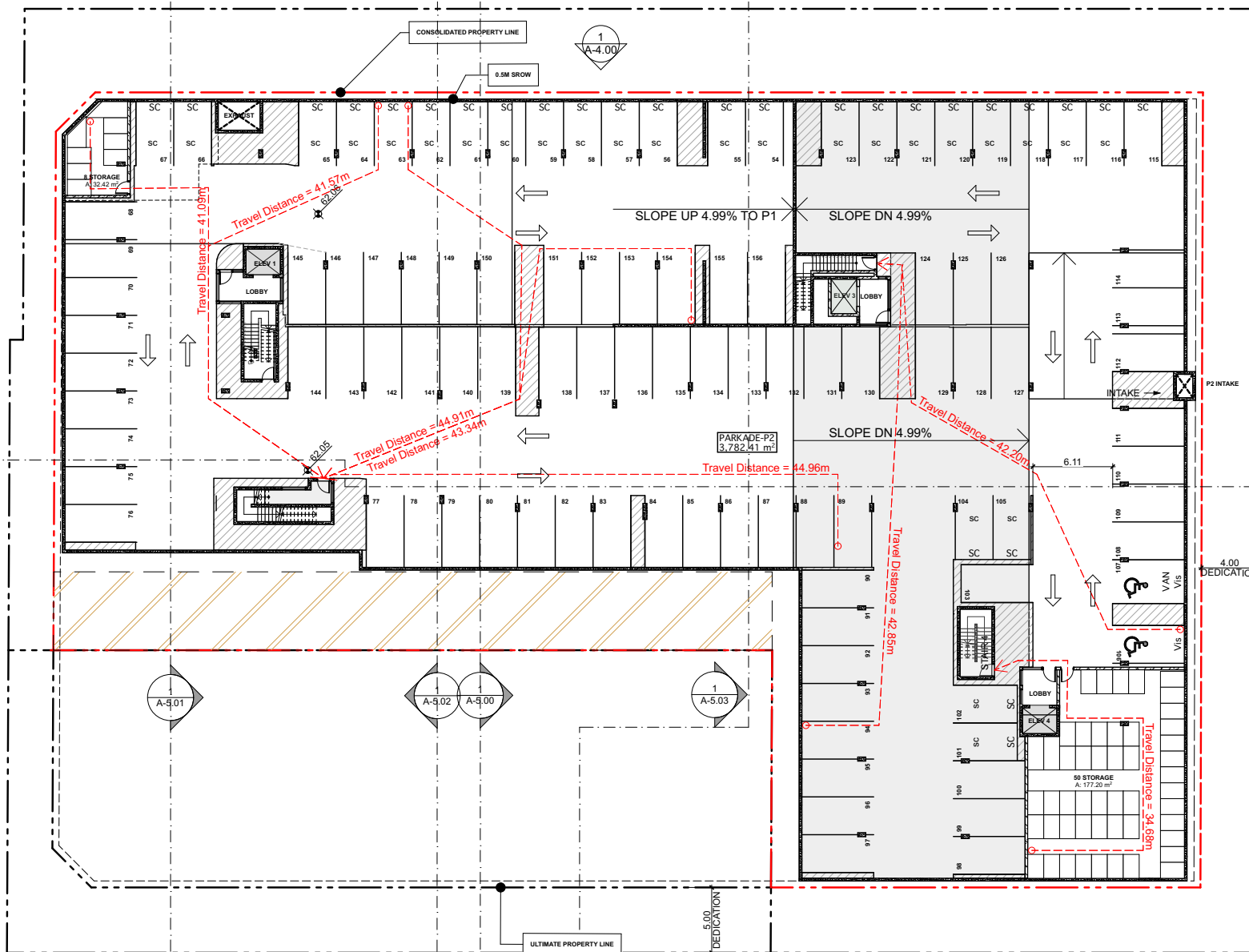
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A-2.01



1

Parking 2 Level
SCALE: 1:300

2

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Surrey, BC

(TITLE)

Parking Level P1

(PROJECT)

18441

(SCALE)

1:300

(DATE)

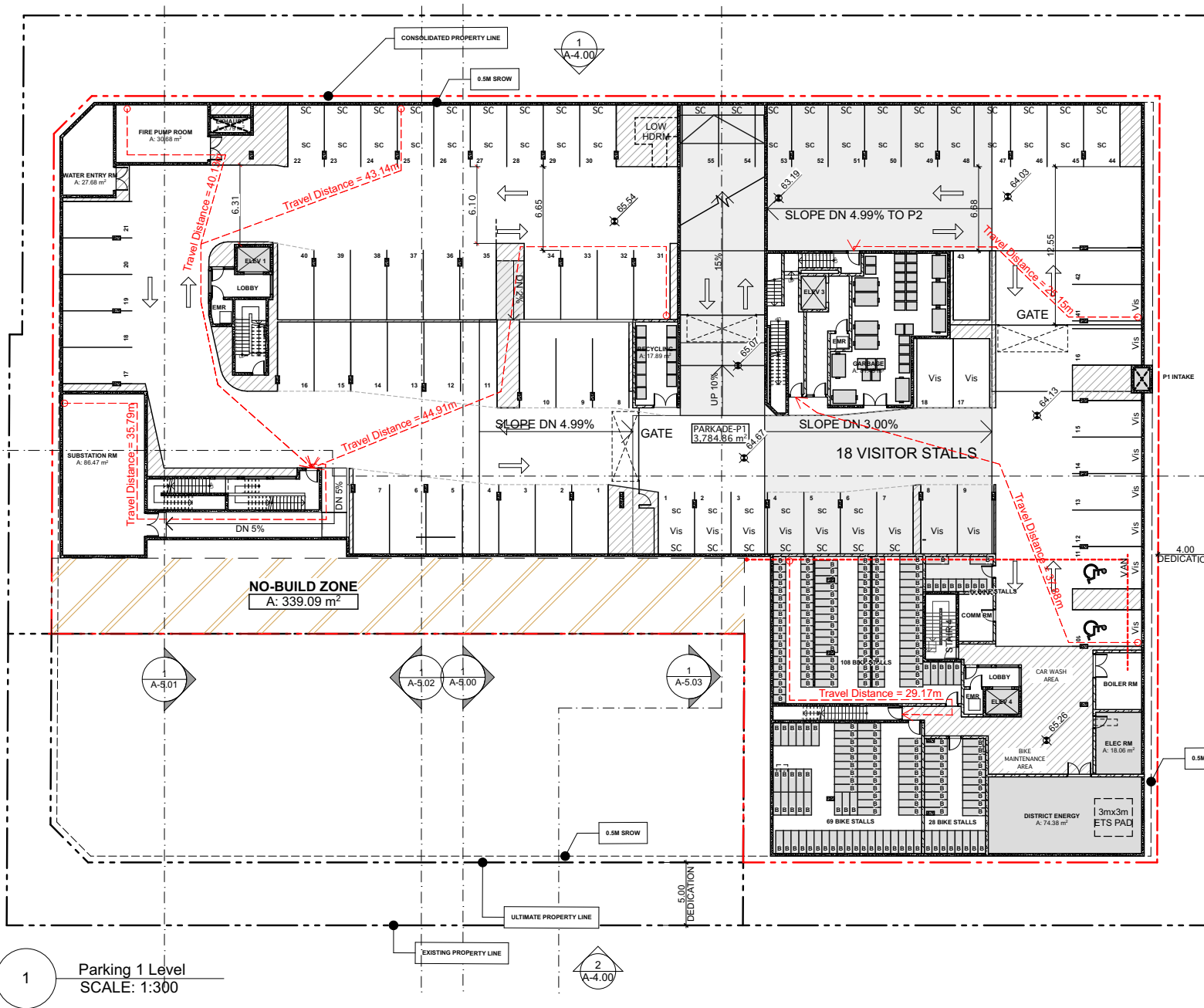
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A-2.02



1 Parking 1 Level
SCALE: 1:300

2 A-4.00



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QUINN APARTMENTS

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Surrey, BC

(TITLE)

Level 3

18441 (PROJECT)

1:300 (SCALE)

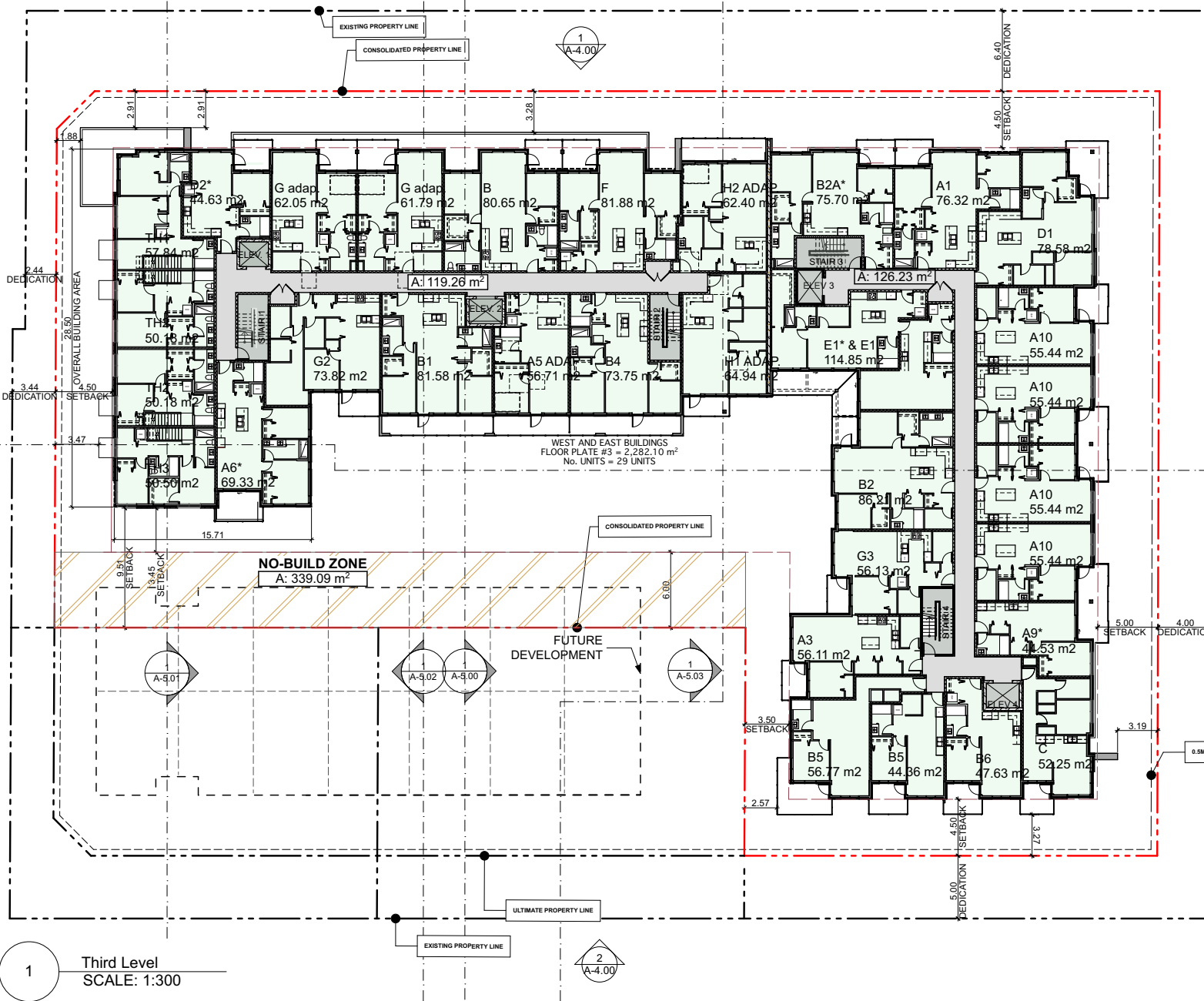
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A-2.05



1

Third Level
SCALE: 1:300

2
A-4.00



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QUINN APARTMENTS

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Surrey, BC

(TITLE)

Level 4

18441 (PROJECT)

1:300 (SCALE)

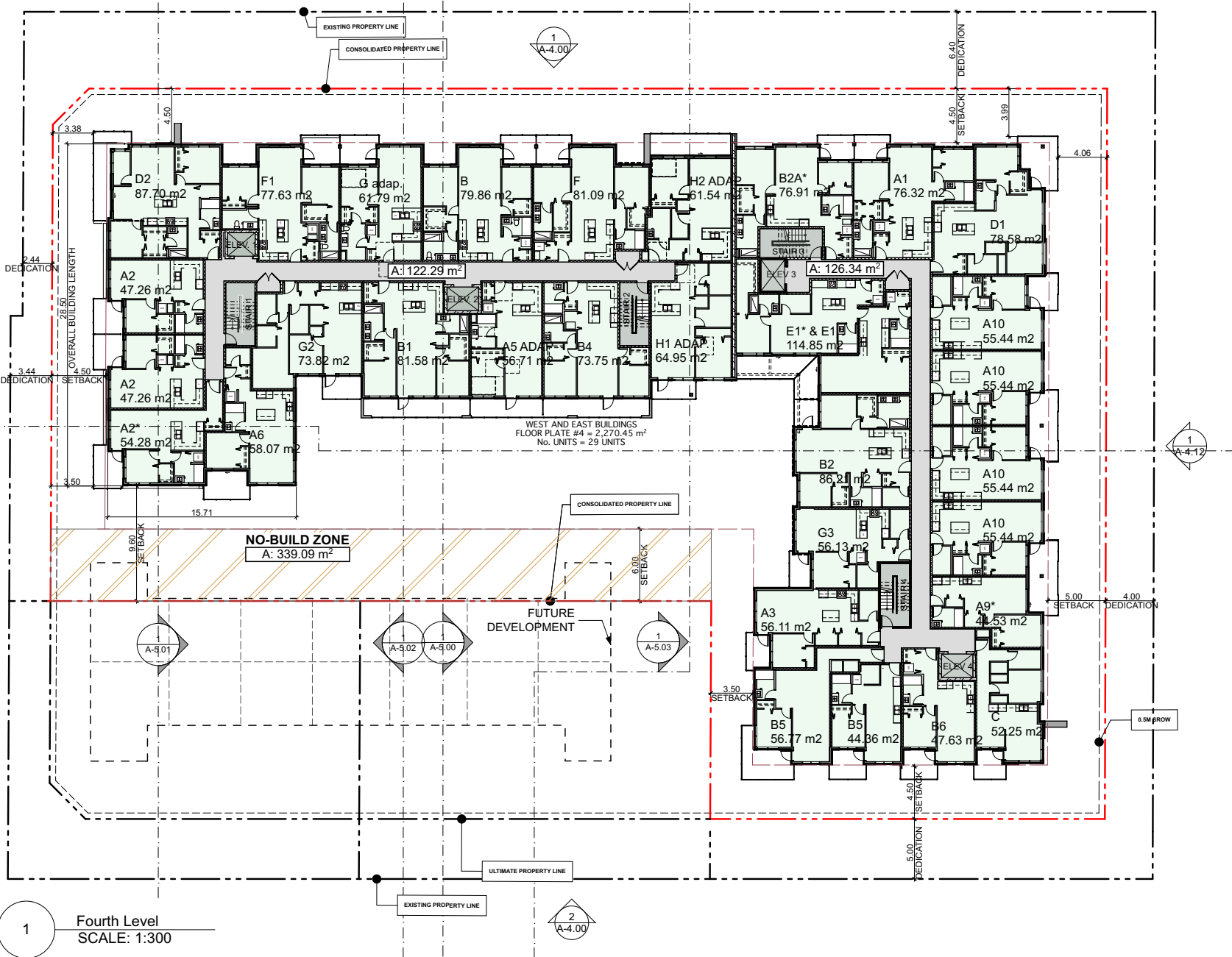
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A-2.06



1 Fourth Level
SCALE: 1:300

2 A-4.00



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Porte Communities

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QUINN APARTMENTS

9444 & 9458 134 St &
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Surrey, BC

(TITLE)

Level 5

18441 (PROJECT)

1:300 (SCALE)

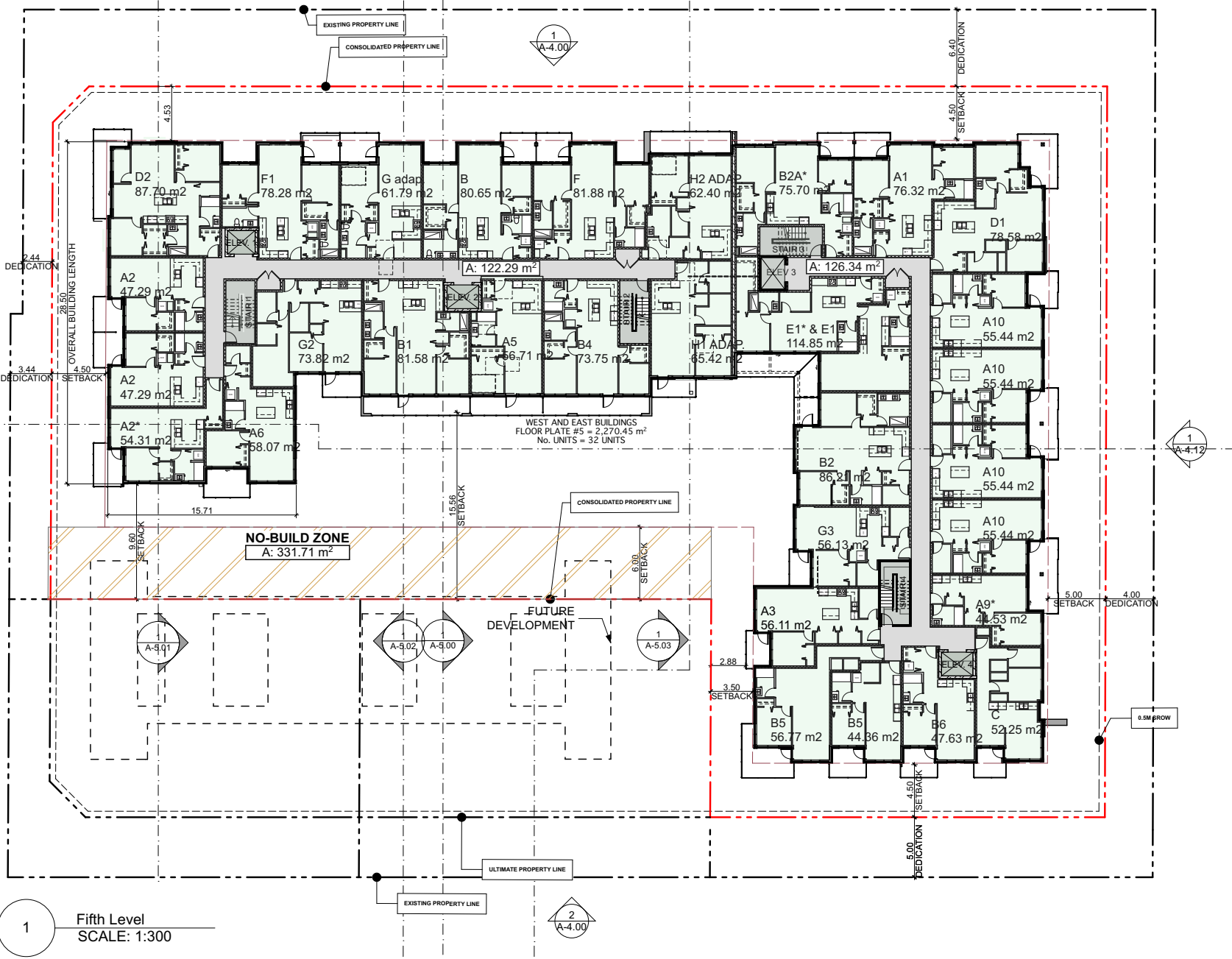
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A-2.07



1 Fifth Level
 SCALE: 1:300



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QUINN APARTMENTS

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Surrey, BC

(TITLE)

Roof Level

18441 (PROJECT)

1:300 (SCALE)

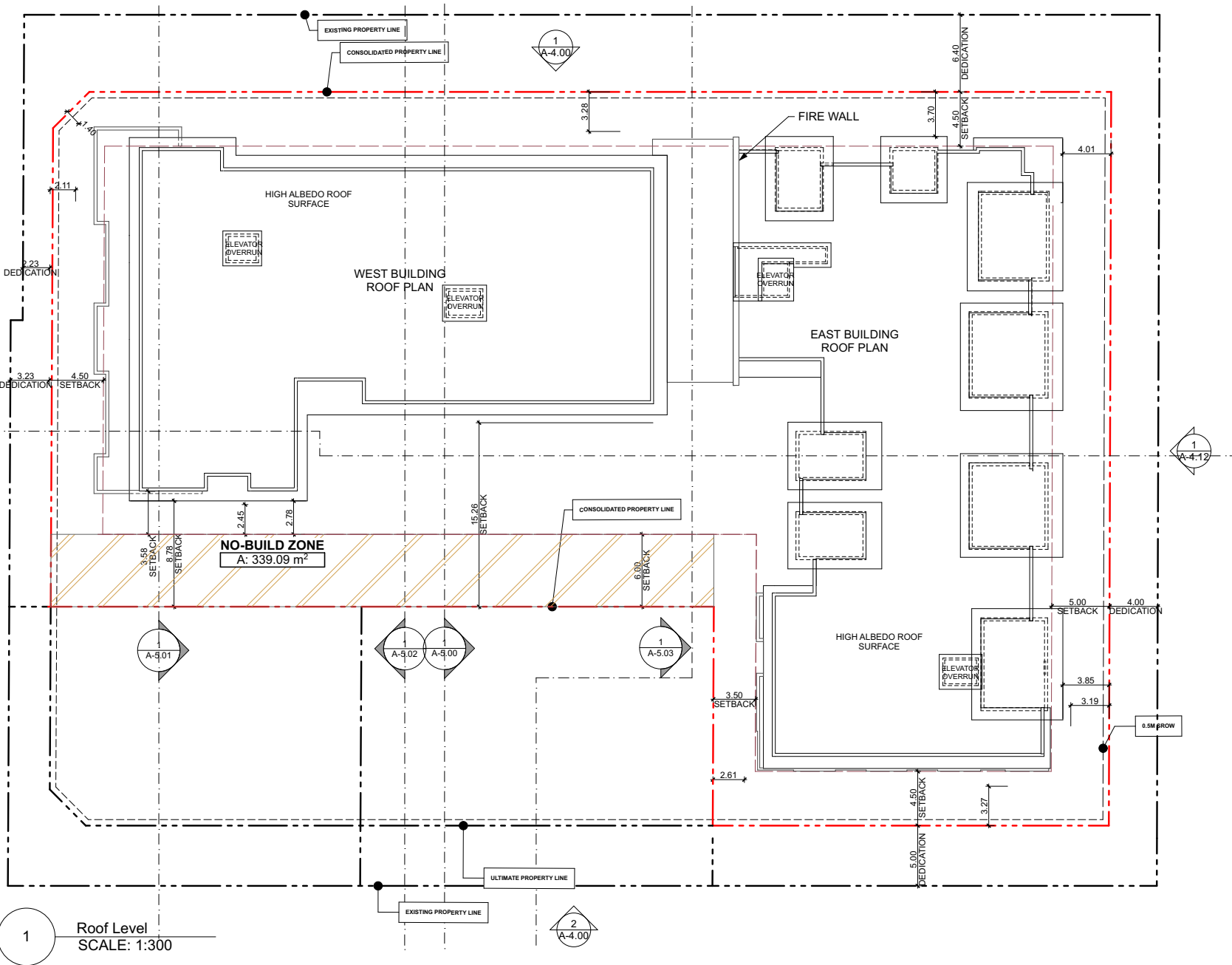
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A-2.09



1 Roof Level
SCALE: 1:300

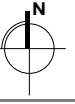


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Schematic Elevations

18441 (PROJECT)

1:250 (SCALE)

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A-4.00



1 NORTH ELEVATION
SCALE: 1:250



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QUINN APARTMENTS

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Schematic Elevations

18441 (PROJECT)

1:250 (SCALE)

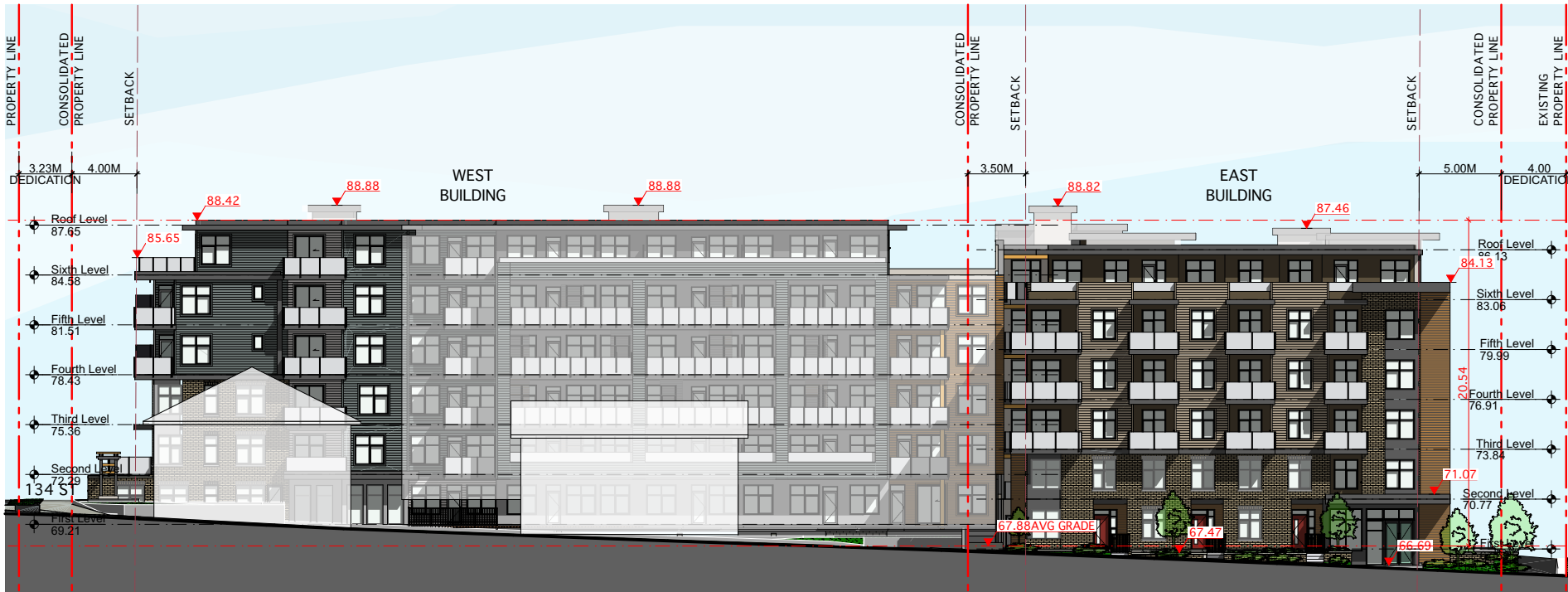
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A4.10



1 SOUTH ELEVATION
SCALE: 1:250



1 EAST ELEVATION
SCALE: 1:250



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(TITLE)

Schematic Elevations

18441

(PROJECT)

1:250

(SCALE)

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A4.13



2 WEST ELEVATION
SCALE: 1:250



94A Ave. - South Perspective



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Porte Communities

(PROJECT)

QUINN APARTMENTS

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 Surrey, BC

(TITLE)

Perspective View

18441 (PROJECT)

(SCALE)

Friday, November 27, 2020 (DATE)

ISSUE # 4 - RESPONSE TO ADP (ISSUE)

(DRAWING)

A-8.10

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Lane - Perspective



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Porte Communities

[PROJECT]

QUINN APARTMENTS

9444 & 9458 134 St &
 13437 & 13445 94A Ave
 Surrey, BC

[TITLE]

Perspective View

18441 [PROJECT]

[SCALE]

Friday, November 27, 2020 [DATE]

[ISSUE]

ISSUE # 4 - RESPONSE TO ADP

[DRAWING]

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134 St. - SW Perspective

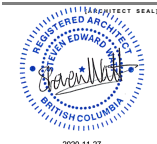


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Porte Communities

QUINN APARTMENTS

9444 & 9458 134 St &
 13437 & 13445 94A Ave
 Surrey, BC

Perspective View

18441

Friday, November 27, 2020

ISSUE # 4 - RESPONSE TO ADP

A-8.12

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134 St. - NW Perspective



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2020.11.27 (CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St &
 13437 & 13445 94A Ave
 Surrey, BC

(TITLE)

Perspective View

18441 (PROJECT)

(SCALE)

Friday, November 27, 2020 (DATE)

(ISSUE)

ISSUE # 4 - RESPONSE TO ADP

(DRAWING)

A-8.13

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North Elevation Perspective

(PROJECT TEAM)
porte
homes



(CLIENT)
Porte Communities

(PROJECT)
QUINN APARTMENTS

9444 & 9458 134 St &
13437 & 13445 94A Ave
Surrey, BC

(TITLE)
Perspective View

(PROJECT)
18441

(SCALE)

(DATE)
Friday, November 27, 2020

(ISSUE)
ISSUE # 4 - RESPONSE TO ADP

(DRAWING)

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Courtyard Perspective Looking East



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Porte Communities

QUINN APARTMENTS

9444 & 9458 134 St &
 13437 & 13445 94A Ave
 Surrey, BC

Perspective View

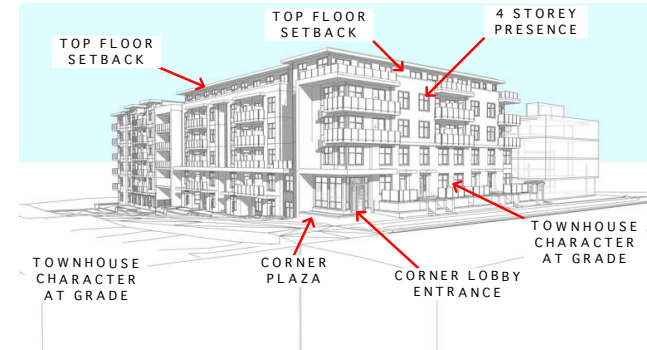
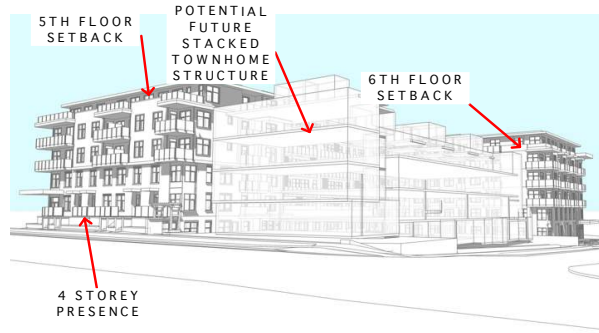
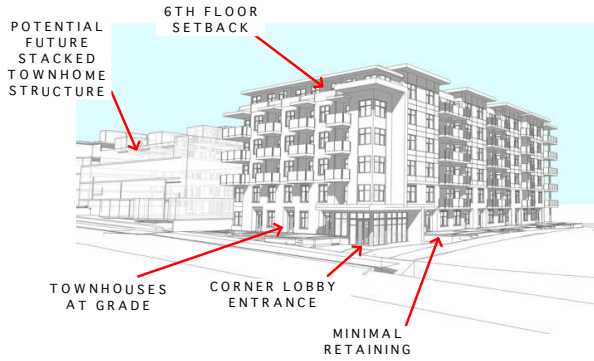
18441

Friday, November 27, 2020

ISSUE # 4 - RESPONSE TO ADP

A-8.16

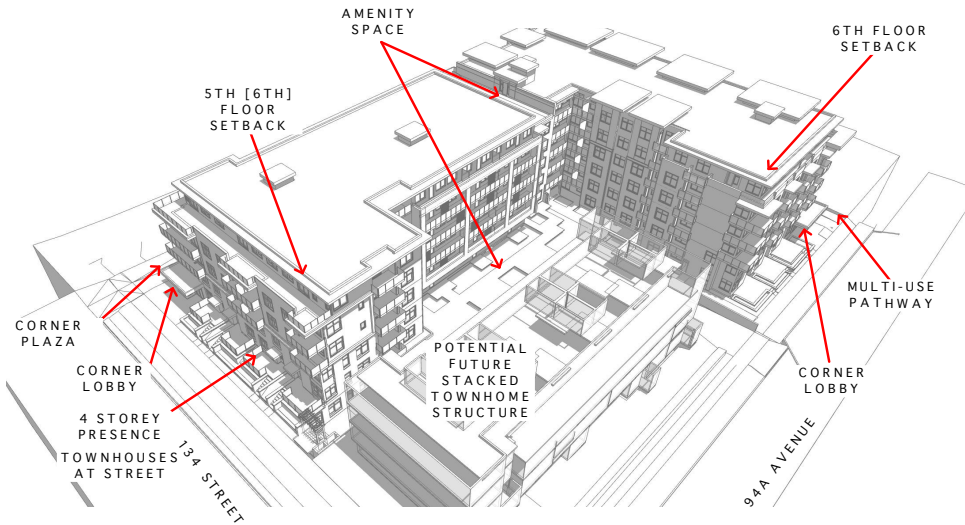
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1 94A Avenue Looking West

2 94A/134 Street Corner

3 134 Street/Green Lane Corner



4 Aerial View



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2020.11.27 [CLIENT]

Porte Communities

[PROJECT]

QUINN APARTMENTS

9444 & 9458 134 St &
13437 & 13445 94A Ave
Surrey, BC

[TITLE]

Massing

18441 [PROJECT]

Friday, November 27, 2020 [DATE]

ISSUE # 4 - RESPONSE TO ADP [ISSUE]

[DRAWING]

A-8.22

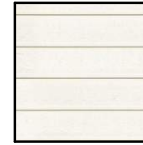
EXTERIOR MATERIALS & COLOURS - WEST BUILDING



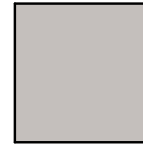
A:
SIDING / SOFFITS
WOODTONE
FIBRE CEMENT LAP SIDING
RUSTIC SERIES
'SUMMER WHEAT'



B:
SIDING
HARDI-PLANK LAP SIDING
CEDARMILL TEXTURE
'BOOTHBAY BLUE'



C:
SIDING
HARDI-PLANK LAP SIDING
CEDARMILL TEXTURE
'ARCTIC WHITE'



D:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'PEARL GRAY'



E:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'IRON GRAY'



F:
ACCENT SIDING
IXL BRICK
'CEDAR'



G:
WOOD TRIM BOARDS
BENJAMIN MOORE
TO MATCH 'IRON GRAY'



H:
WOOD ACCENTS
DOUGLAS FIR
CLEAR COAT FINISH



I:
DOUBLE GLAZED
VINYL DOORS + WINDOWS
BLACK



J:
ENGINEERED ALUMINUM
RAILINGS
'BLACK'
C/W SAFETY GLASS



K:
ENGINEERED ALUMINUM
FRAMED PRIVACY SCREEN
'BLACK' FINISH
OPAQUE SAFETY GLASS AT
PRIVACY SCREENS



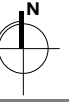
L:
GUTTERS, DOWNSPOUTS & METAL
FLASHINGS
MAKIN METALS
COLOUR TO MATCH ADJACENT
MATERIAL



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(PROJECT TEAM)

porte
homes



(CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St &
13437 & 13445 94A Ave
Surrey, BC

(TITLE)

**Materials &
Colours**

18441 (PROJECT)

1:430 (SCALE)

Friday, November 27, 2020 (DATE)

(ISSUE)

ISSUE # 5 - FIRST READING

(DRAWING)

A-8.30

EXTERIOR MATERIALS & COLOURS - EAST BUILDING



NORTH ELEVATION

SOUTH ELEVATION

EAST ELEVATION



A:
SIDING / SOFFITS
WOODTONE
FIBRE CEMENT LAP SIDING
RUSTIC SERIES
'SUMMER WHEAT'



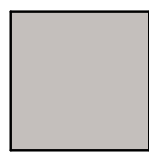
F:
ACCENT SIDING
XL BRICK
'CEDAR'



D:
SIDING
HARDI-PLANK LAP SIDING
CEDARMILL TEXTURE
'MONTEREY TAUPE'



G:
WOOD TRIM BOARDS
BENJAMIN MOORE
TO MATCH 'IRON GRAY'



E:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'PEARL GRAY'



H:
WOOD ACCENTS
DOUGLAS FIR
CLEAR COAT FINISH



E1:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'IRON GRAY'



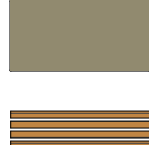
I:
DOUBLE GLAZED VINYL DOORS + WINDOWS
BLACK



E2:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'COBBLE STONE'



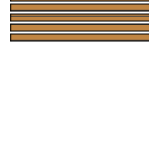
J:
ENGINEERED ALUMINUM RAILINGS
'BLACK'
C/W SAFETY GLASS



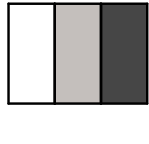
E3:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'TIMBER BARK'



K:
ENGINEERED ALUMINUM FRAMED PRIVACY SCREEN
'BLACK' FINISH
OPAQUE SAFETY GLASS
AT PRIVACY SCREENS



E4:
SIDING
HARDI-PANEL SIDING
SMOOTH TEXTURE
'MONTEREY TAUPE'



L:
GUTTERS, DOWNSPOUTS & METAL FLASHINGS
MAKIN METALS
COLOUR TO MATCH ADJACENT MATERIAL

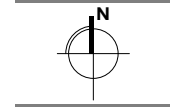


E5:
GUARDRAIL CLADDING
WOOD EFFECT
METAL
'DARK FIR'



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(PROJECT TEAM)
porte
homes



2020.11.27 (CLIENT)

Porte Communities

(PROJECT)

QUINN APARTMENTS

9444 & 9458 134 St & 13437 & 13445 94A Ave
Surrey, BC

(TITLE)

Materials & Colours

18441 (PROJECT)

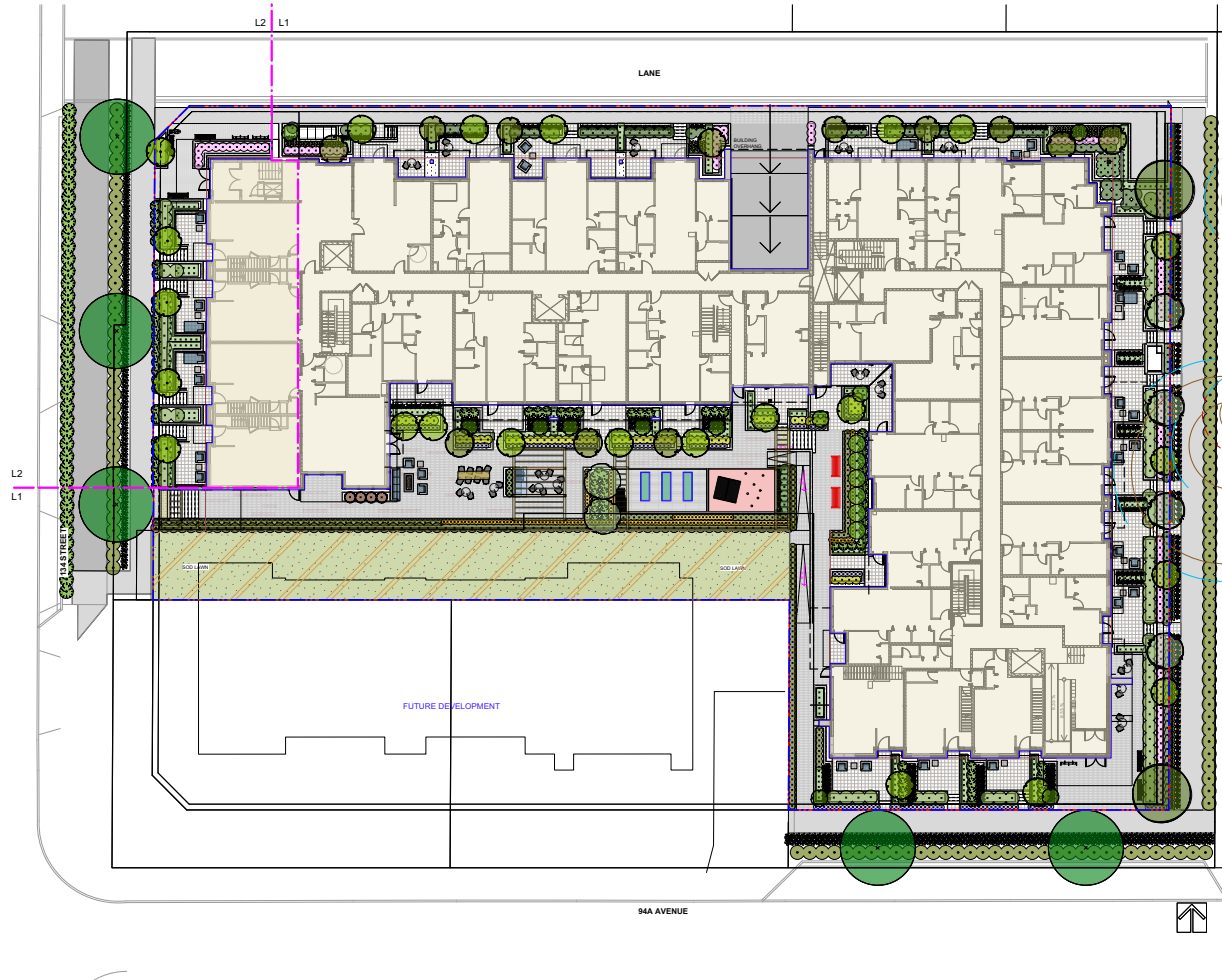
(SCALE)

Friday, November 27, 2020 (DATE)

(ISSUE)

ISSUE # 5 - FIRST READING (DRAWING)

(DRAWING)



QE Meadows for Porte Communities

Civic Address: 134 & 94A Surrey, BC

CONSULTANT TEAM

OWNER: Porte Communities
ARCHITECT: Integra Architecture Inc
LANDSCAPE: eta landscape architecture

Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Not for Construction

DRAWING LIST

- L0.0 Cover Page
- L0.1 Notes and Schedules
- L0.2 Illustrative Plan - Ground Level
- L0.3 Illustrative Plan - Entrance Amenity
- L0.4 Illustrative Plan - Courtyard Amenity
- L0.5 Illustrative Plan - Level 6
- L0.6 Precedent Images
- L0.7 Pedestrian Circulation Plan
- L0.8 Permeable Areas Plan
- L1.0 Tree Management Plan
- L2.0 Offsite Plan
- L3.1 Materials and Lighting Plan - Ground Level
- L3.2 Materials and Lighting Plan - Level 6
- L4.0 Grading and Drainage Plan
- L5.1 Tree Plan
- L5.2 Planting Plan - Ground Level
- L5.3 Planting Plan - Level 6
- L6.1 Soil Depth Plan - Ground Level
- L6.2 Soil Depth Plan - Level 6
- L7.0 Irrigated Areas Plan (Not Included)
- L8.1 Landscape Sections
- L8.2 Landscape Sections
- L8.3 Landscape Sections
- L8.4 Landscape Sections
- L8.5 Landscape Sections
- L9.0 Softscape Details
- L10.1 Hardscape Details
- L10.2 Hardscape Details
- L11.1 Site Furnishing Details
- L11.2 Site Furnishing Details
- L11.3 Site Furnishing Details

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

Professional Seal

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Project QE Meadows

134 & 94A Surrey, BC

Drawing Title

Cover Sheet

Log

Project Manager	Project ID
AAR	21823
Client	NTS
AAR	NTS
Reviewed By	Drawing No.
DT	
Date	
2019.09.25	
L0.0	
- of -	
30	

Plot Date:

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE CSLA/CLNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR
TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLY IN ONE LOCATION
FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY
SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT
BASIS).

GROWING MEDIA SHALL BE FREE FROM SUBSOL,
WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR
REPRODUCTION PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC
MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION
6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION CSLA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 'WELL-GROOMED' AREAS: LOW
TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (L IN TABLE 14.6.3.1 OF THE
CURRENT EDITION OF THE CSLA/CLNA STANDARDS);
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE:
*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
*ALL GRAVEL LARGER THAN 2mm AND SMALLER THAN 40mm: 0-5%
*SAND (LARGER THAN 0.075mm AND SMALLER
THAN 2mm): 50-70%
*SILT (LARGER THAN 0.002mm AND SMALLER
THAN 0.0075mm): 10-25%
*CLAY (SMALLER THAN 0.002mm): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 5%
ORGANIC CONTENT: 3-10%
Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60
MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE 6.3.5.5 OF THE CURRENT EDITION CSLA
STANDARDS:

Over prepared subgrade within the subsoil drains supply	Over structures or where the subsoil drains poorly
---	--

TREES (10sq PER TREE)	610 MM (24")	750 MM (30")
LARGE SHRUBS	610 MM (24")	610 MM (24")
GROUNDCOVERS	300 MM (12")	225 MM (9")
LAWN (IRRIGATED)	150 MM (6")	150 MM (6")
LAWN NOT IRRIGATED	150 MM (6")	225 MM (9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW
SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATIC,
OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR
EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN CODES OF
MINISTERS OF THE ENVIRONMENT (COMC).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO
DELIVERY TO SITE.

BEDS TO HAVE 50MM (2" MULCH LAYER (after setting) CONSISTING OF ORGANIC
COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP
DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY
LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL
COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS
PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND
IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE
THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF
SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND
REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO
CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR
WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP
TO QUALITY RECOMMENDED IN
SOILS REPORT.

STATE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO
THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES
PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH
PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BC/LNA/BCSLA STANDARDS CURRENT
EDITION.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND
PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKE PRECEDENCE. THE CONTRACTOR IS
TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

BIRD FRIENDLY PLANTING
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE
BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS
GROUNDED IN NATURAL LAYER OF THE ECOSYSTEM. TALL BIRDS AND SMALL BIRDS
GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS.
THESE LAYERS WILL BE VARYING TYPES OF TREES AND SHRUBS THAT ATTRACT AND
PROTECTS MANY BIRD SPECIES. SPECIFIC LOCAL AND NON-INVASIVE
PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR-
ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPPORTUNITIES.

LIGHTING LEGEND

	STEP LIGHT
	BOLLARD LIGHT
	DOWN LIGHT

GRADING LEGEND

	ToW - TOP OF WALL
	BoW - BOTTOM OF WALL
	ToS - TOP OF STEP
	BoS - BOTTOM OF STEP
	FG - FINISHED GRADE
	FFE - BUILDING FINISH FLOOR ELEVATION

GROWING MEDIUM LEGEND

	300 MM (12") SOIL DEPTH
	610 MM (24") SOIL DEPTH
	750 MM (30") SOIL DEPTH
	ROOT BARRIER

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE							
Ar	5	Acer rubrum	red maple	as shown	7cm cal	2 m standard	
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE							
Ar	20	Arctostaphylos	frosty curls sedge		0.46 #2 cont.		full bushy plants
Ci	40	Cistus ladanifer maculatus	rock rose		1.07 #3 cont.		full bushy plants
Lm	115	Liriope muscari	big blue lily turf		0.46 #2 cont.		full bushy plants
Lp	128	Lonicera pileata	box leaf honeysuckle		1.07 #3 cont.		full bushy plants
Ps	115	Polystichum setiferum	Alaska fern		0.46 #2 cont.		full bushy plants N, E
TREES - GROUND LEVEL							
Aa	11	Amelanchier alnifolia	Saskatoon serviceberry	as shown	#5 cont.		full bushy plants/ multi B, Ed
Ans	23	Acer palmatum 'Seiryu'	Seiryu Japanese maple	as shown	5cm cal B&B		full bushy plants
Co	12	Cornus 'Celestial'	Celestial dogwood	as shown	6cm cal/ 2m standard	B&B, full crown	P, B
Md	2	Magnolia 'debutante'	Yulan magnolia	as shown	7cm cal/ 2m standard	2m standard/ full crown	
Stj	6	Styrax japonica	Japanese snowbell	as shown	6cm/ B&B	full/ dense crown	P
SHRUBS / GROUNDCOVERS / PERENNIALS - GROUND LEVEL							
Aw	58	Azalea 'Grand's Pleasant White'	Grand's White evergreen azalea		0.61 #2 cont.		full bushy plants
Cia	72	Choisya ternata 'Artec Pearl'	Mexican mock orange		1.07 #3 cont.		full bushy plants E, P
Eac	58	Eucygnus alatus 'Compactus'	dwarf burning bush		0.85 #5 cont.		full bushy plants
Fa	13	Fragaria x ananassa	strawberry		0.25 SP4		full bushy plants Ed
Hs	170	Helictotrichon sempervirens	blue oat grass		0.46 #2 cont.		full bushy plants E
Kim	111	Kalmia latifolia 'Minuet'	Minuet mountain laurel		0.61 #2 cont.		full bushy plants E, P
La	148	Lavandula angustifolia	English lavender		0.36 #2 cont.		full bushy plants E, P, Ed
Lm	292	Liriope muscari	big blue lily turf		0.46 #2 cont.		full bushy plants
Ol	6	Osmorhiza fragarans 'Concor Yellow'	Concor Yellow sweet olive		1.5 #7 cont.		full bushy plants E, P
Ps	45	Polystichum setiferum	Alaska fern		0.46 #2 cont.		full bushy plants N, E
Rlg	182	Rudbeckia fulgida 'Goldsturm'	Goldsturm black eyed Susan		0.36 #2 cont.		full bushy plants P
Rc	5	Rosmarinus officinalis	rosemary		0.46 #2 cont.		full bushy plants E, Ed
Rop	85	Rosa 'Panelope'	Panelope rose		0.76 #2 cont.		full bushy plants P, B
Rs	4	Ribes sanguineum 'King Edward'	flowering currant		0.91 #5 cont.		full bushy plants N, B, P
Sk	83	Skimmia japonica	Japanese skimmia		0.61 #2 cont.		full bushy plants E, P
Sr	73	Sambucus nigra 'Black Tower'	Black Tower elderberry		0.76 #2 cont.		full bushy plants P
Tmh	314	Taxus media 'Hicksii'	Acadian yew		1.2m/B&B		full bushy plants E, W
Vc	6	Vaccinium corymbosum	blueberry		0.76 #5 cont.		full bushy plants Ed
Vvc	2	Vitis vinifera 'Concord'	concord grape		0.46 #2 cont.		staked Ed
TREES - LEVEL 6							
Ans	2	Acer palmatum 'Seiryu'	Seiryu Japanese maple	as shown	5cm cal B&B		full bushy plants
SHRUBS / GROUNDCOVERS / PERENNIALS - LEVEL 6							
Ar	5	Arctostaphylos	rosemary		0.46 #2 cont.		full bushy plants E, Ed
La	5	Lavandula angustifolia	English lavender		0.36 #2 cont.		full bushy plants E, P, Ed
Sob	4	Salvia officinalis 'Berggarten'	common sage		0.46 #1 cont.		full bushy plants Ed
Rop	8	Rosa 'Panelope'	Panelope rose		0.76 #2 cont.		full bushy plants P, B
Eac	8	Eucygnus alatus 'Compactus'	dwarf burning bush		0.85 #5 cont.		full bushy plants
Kim	11	Kalmia latifolia 'Minuet'	Minuet mountain laurel		0.61 #2 cont.		full bushy plants E
Lm	17	Liriope muscari	big blue lily turf		0.46 #2 cont.		full bushy plants
LAWN							
		Non-Netted	grown on sand				
NOTES:							
1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.							
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON.							
3. N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST							

MATERIALS AND FURNISHINGS

SITE FURNISHINGS								
ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COLOUR	COMMENT	QTY
S1	11.1.1	Bike Rack	1391x405x243mm	EPF930	EQUIPART	-	-	3
S2	11.1.1	Bench 1	1778x610x584mm	ML B940-W	Magin	-	Wood Finish	3
S3	11.1.1	Bench 2	1778x419x765mm	ML B1050-W	Magin	-	Wood Finish	3
S4	11.1.1	Wooden Arbour		Custom	Custom	-	Wood Finish	4
S5	11.1.1	Wooden Planter		Custom	Custom	-	-	3
S6	11.1.2	Planting Table	1200X900mm	Custom	Custom	-	-	1
S7	11.1.2	Metal Planter		Custom	Custom	-	-	1
S8	11.1.1	Drinking Fountain	724x356x1054mm	3500D	Haws	Black	-	1
S9	11.1.1.3	Play Frame	1981x1981x2579mm	3500D	Custom	Yellow	-	1
S10	11.1.1.3	Knob Posts		Custom	Habitat	Yellow	-	7
MATERIALS								
ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COLOUR	PATTERN	QTY
M1	11.2/10.1	Pedestrian Concrete	-	-	-	-	-	-
M2	4/10.1	Granite Paver	500x500mm	Barre Gray	Polyvor Supplies	Gray	Stack Bond	-
M3	4/10.1	Pierck Paver	100x500mm	Module Series	Belgard	Mid Gray	Running Bond	-
M4	3/4/10.1	Concrete Unit Paver	113x225mm	Classic Standard	Abbotsford Concrete	Charcoal, Red-Black	Stack Bond	-
M5	4/10.1	Facile Strip	113x113mm	Classic Hall Standard	Abbotsford Concrete	Desert Sand	Stack Bond	-
M6	5/10.1	PIP Safety Rubber Surface	-	-	-	Light Beige	-	-
M7	6/10.1	Drp Strip	-	-	-	-	-	-
M8	2/10.2	Edge Restraint	101x76mm	Agregate Edge A36438M	Sure-Loc	Natural	-	-
WALLS AND FENCING								
ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COLOUR	PATTERN	QTY
F1	9/10.0	C/P Concrete Planter	-	-	-	-	-	-
F2	11/10.2	Metal Fence	-	-	-	-	-	-

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

Revision	No.	Date	Revision Notes
1	2020-08-11		Re-issue for ADFP
2	2020-09-28		Re-issue for ADFP- Revision 2
3	2020-10-30		Re-issue for ADFP- Revision 3
4	2020-11-17		Re-issue for ADFP- Revision 4
5	2020-11-24		Re-issue for ADFP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Receiving Package
E	2020-01-08	SD- Receiving Package Update
F	2020-08-31	Issue for ADFP

Professional Seal

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Project

QE Meadows

134 & 94A Surrey, BC

Drawing Title

Notes and Schedules

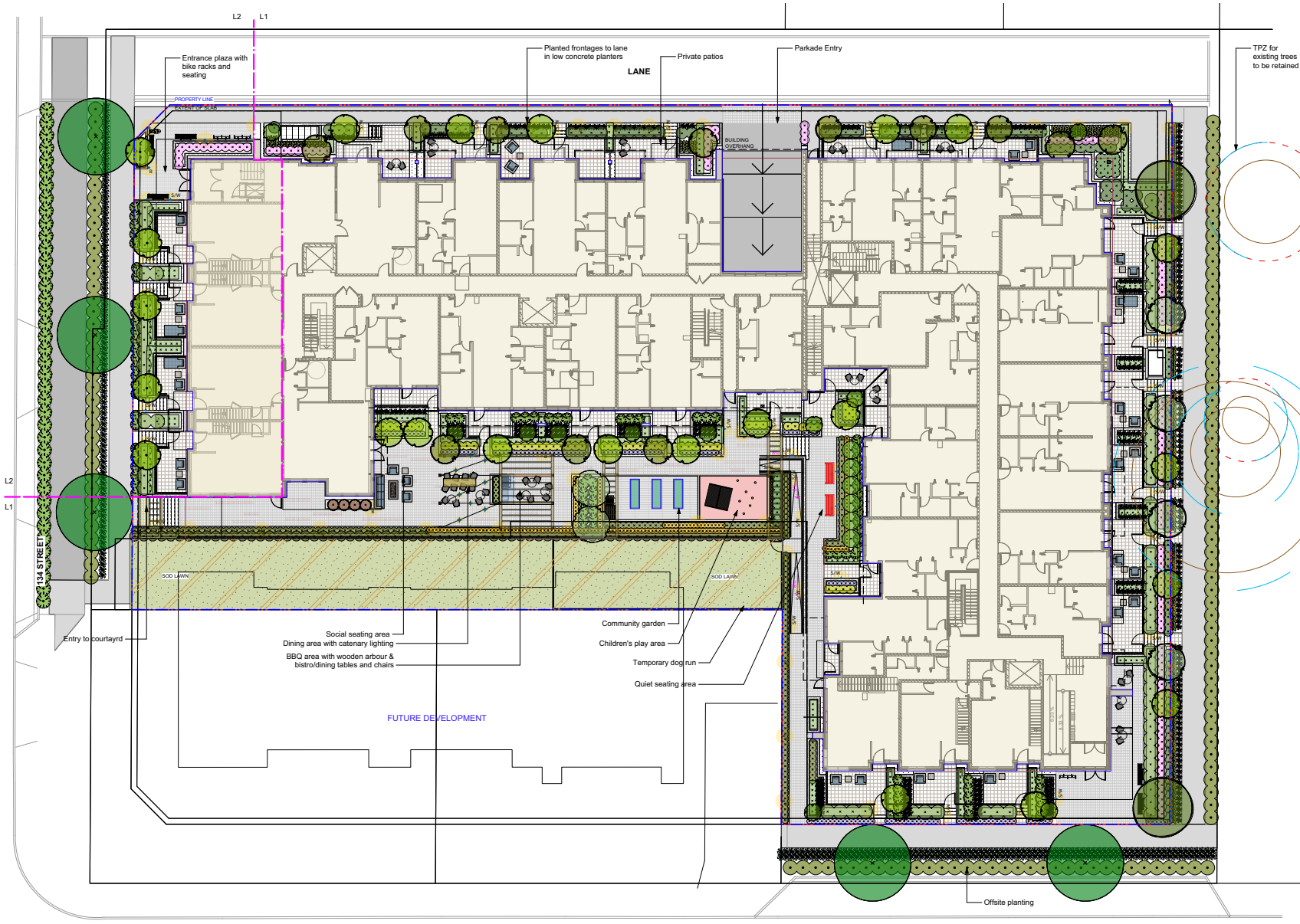
Legend

Project Manager	Project ID
AAR	21823
Client	NTS
Drawn By	NTS
Checked By	NTS
DT	2019.09.25
Date	
2019.09.25	
Plot Date:	

L0.1

30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Recurring Package
E	2020-01-09	SD- Recurring Package Update
F	2020-08-31	Issue for ADP

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Project
QE Meadows

134 & 94A Surrey, BC

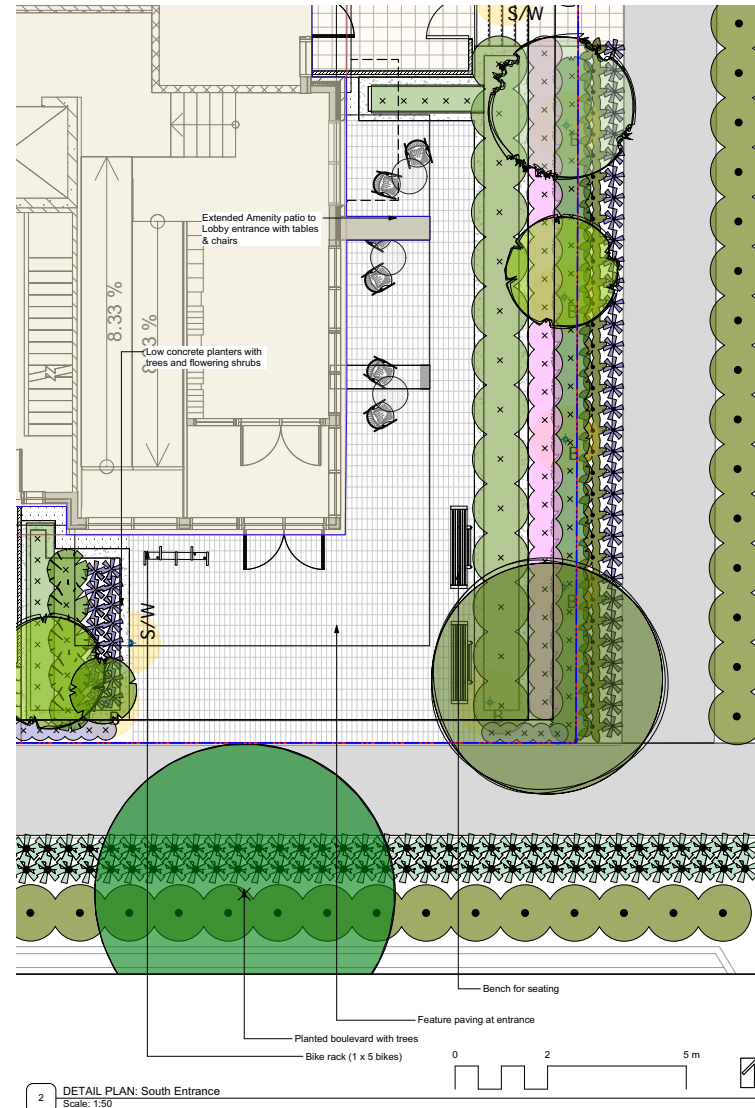
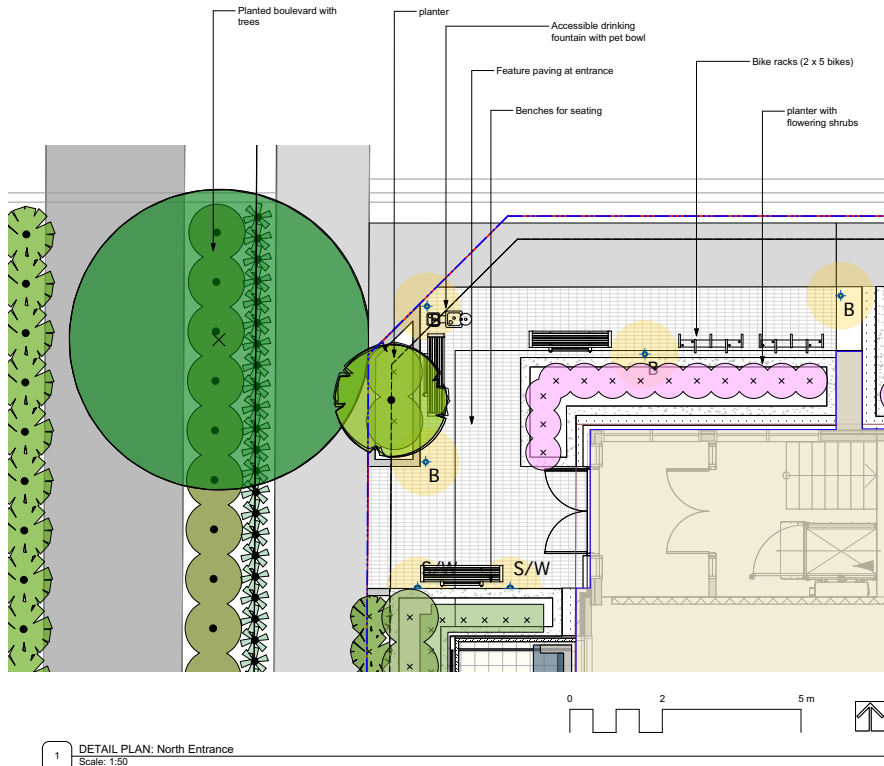
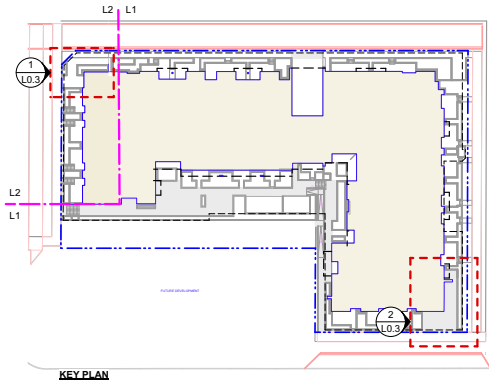
Drawing Title
**Illustrative Plan
Ground Level**

Logo

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No. L0.2
Date 2019.09.25	Sheet 30

Plot Date:

1 Illustrative Plan - Ground Level
Scale: 1:150



Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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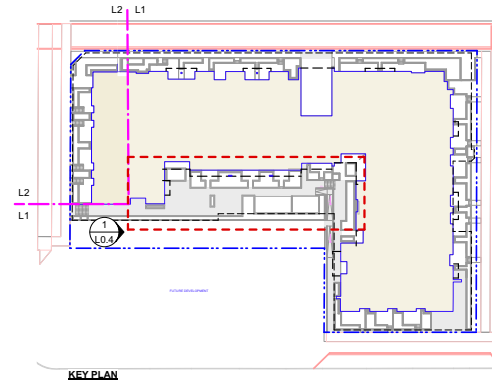
Project
QE Meadows
134 & 94A Surrey, BC

Drawing Title
**Illustrative Plan
Entrance Amenity**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Revised By DT	Drawing No. L0.3
Date 2019.09.25	of 30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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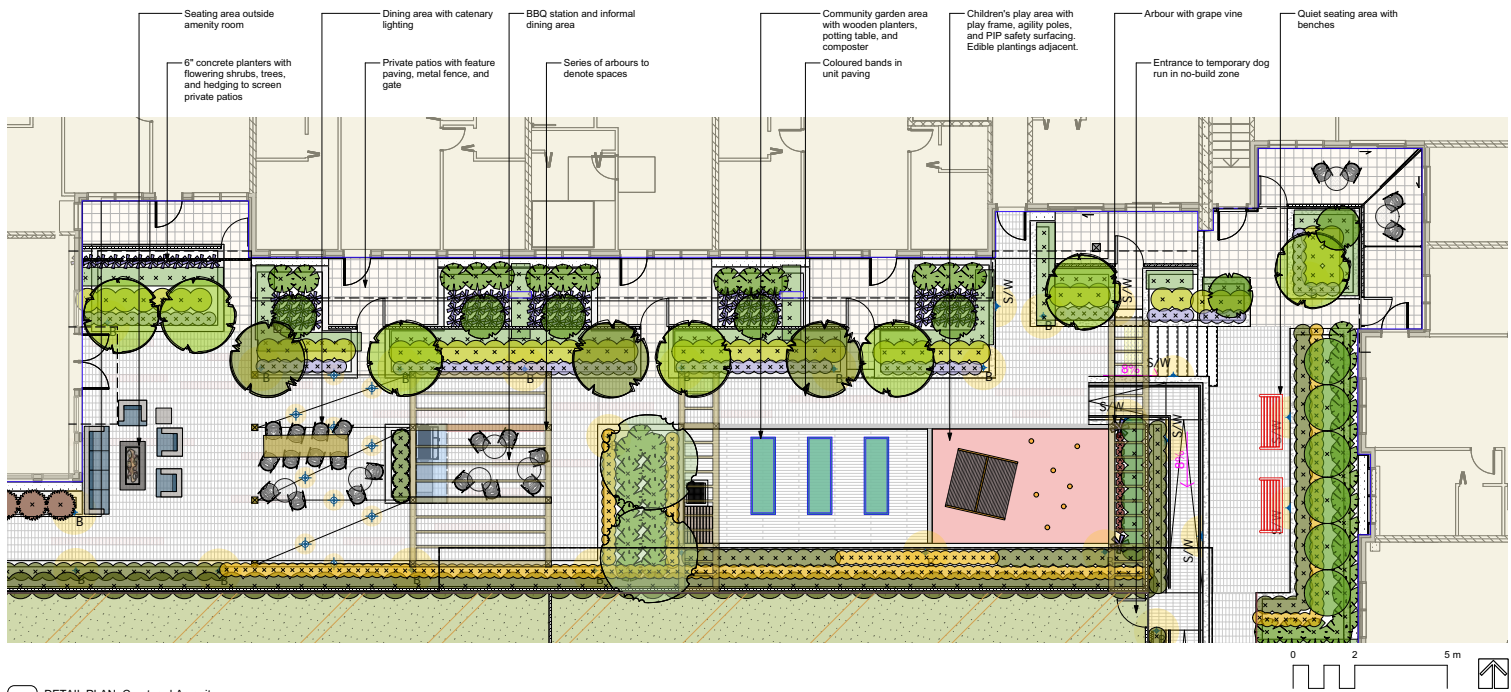
Project
QE Meadows
 134 & 94A Surrey, BC

Drawing Title
**Illustrative Plan
 Courtyard Amenity**

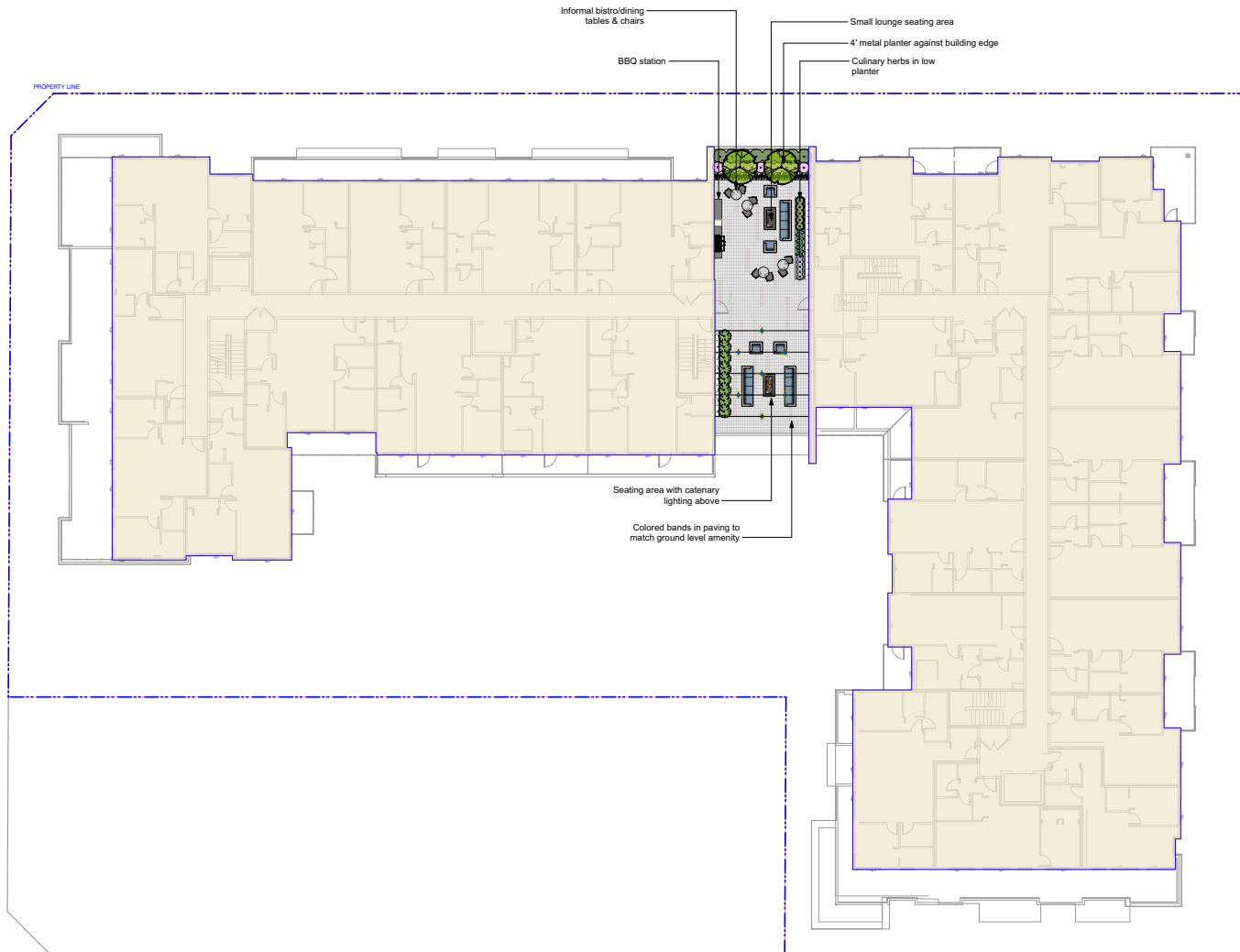
Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L0.4
Date 2019.09.25	Sheet 30

Plot Date:



1 DETAIL PLAN: Courtyard Amenity
 Scale: 1:75



Revision No.	Date	Revision Notes
1	2020-08-11	Re-issue for ADP
2	2020-09-28	Re-issue for ADP- Revision 2
3	2020-10-30	Re-issue for ADP- Revision 3
4	2020-11-17	Re-issue for ADP- Revision 4
5	2020-11-24	Re-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-09	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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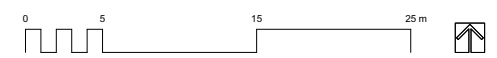
Project
QE Meadows
 134 & 94A Surrey, BC

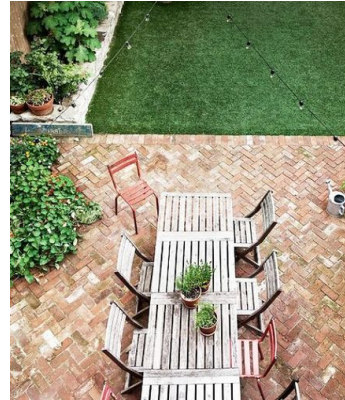
Drawing Title
**Illustrative Plan
 Level 6**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Date AS NOTED
Reviewed By DT	Drawing No. L0.5
Date 2019.09.25	of 30

Plot Date:





Revision No.	Date	Revision Notes
1	2020-09-11	Re-issue for ACP
2	2020-09-28	Re-issue for ACP- Revision 2
3	2020-10-30	Re-issue for ACP- Revision 3
4	2020-11-17	Re-issue for ACP- Revision 4
5	2020-11-24	Re-issue for ACP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update

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Project

QE Meadows

134 & 94A Surrey, BC

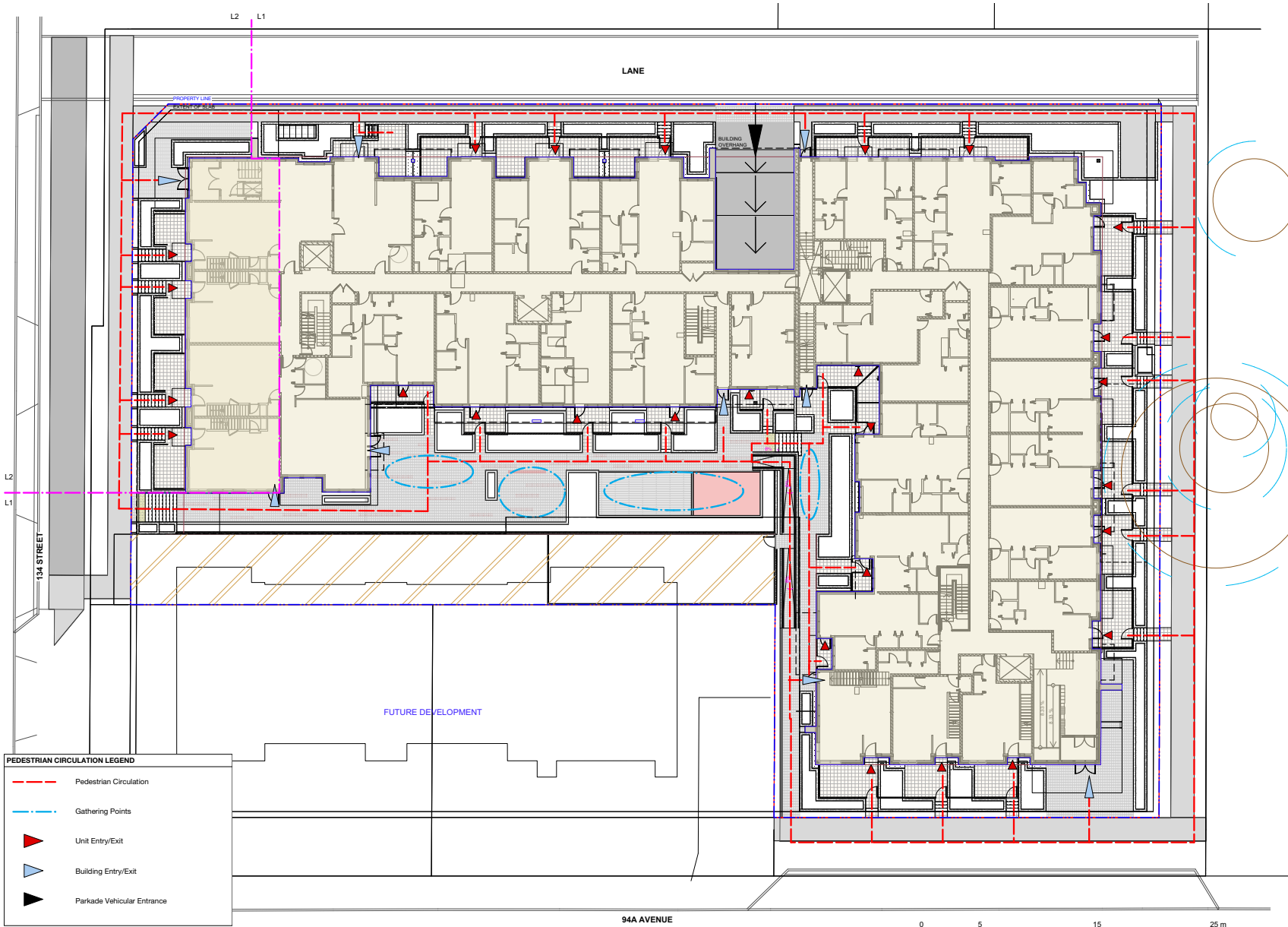
Drawing Title

Precedent Images

Legal

Project Manager	Project ID
AAR	218223
Client	NTS
AAR	NTS
Prepared By	Drawing No.
DT	
Date	L0.6
2019.09.25	of
	30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-09-11	Re-issue for ACP
2	2020-09-28	Re-issue for ACP, Revision 2
3	2020-10-30	Re-issue for ACP, Revision 3
4	2020-11-17	Re-issue for ACP, Revision 4
5	2020-11-24	Re-issue for ACP, Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD-Issue for Client Review
B	2019-11-04	SD-For Review
C	2019-11-19	SD-For Review
D	2019-11-27	SD-Planning Package
E	2020-01-08	SD-Planning Package Update

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Project

QE Meadows

134 & 94A Surrey, BC

Drawing Title

Pedestrian Circulation Plan

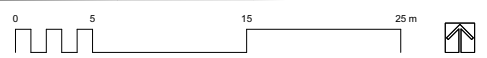
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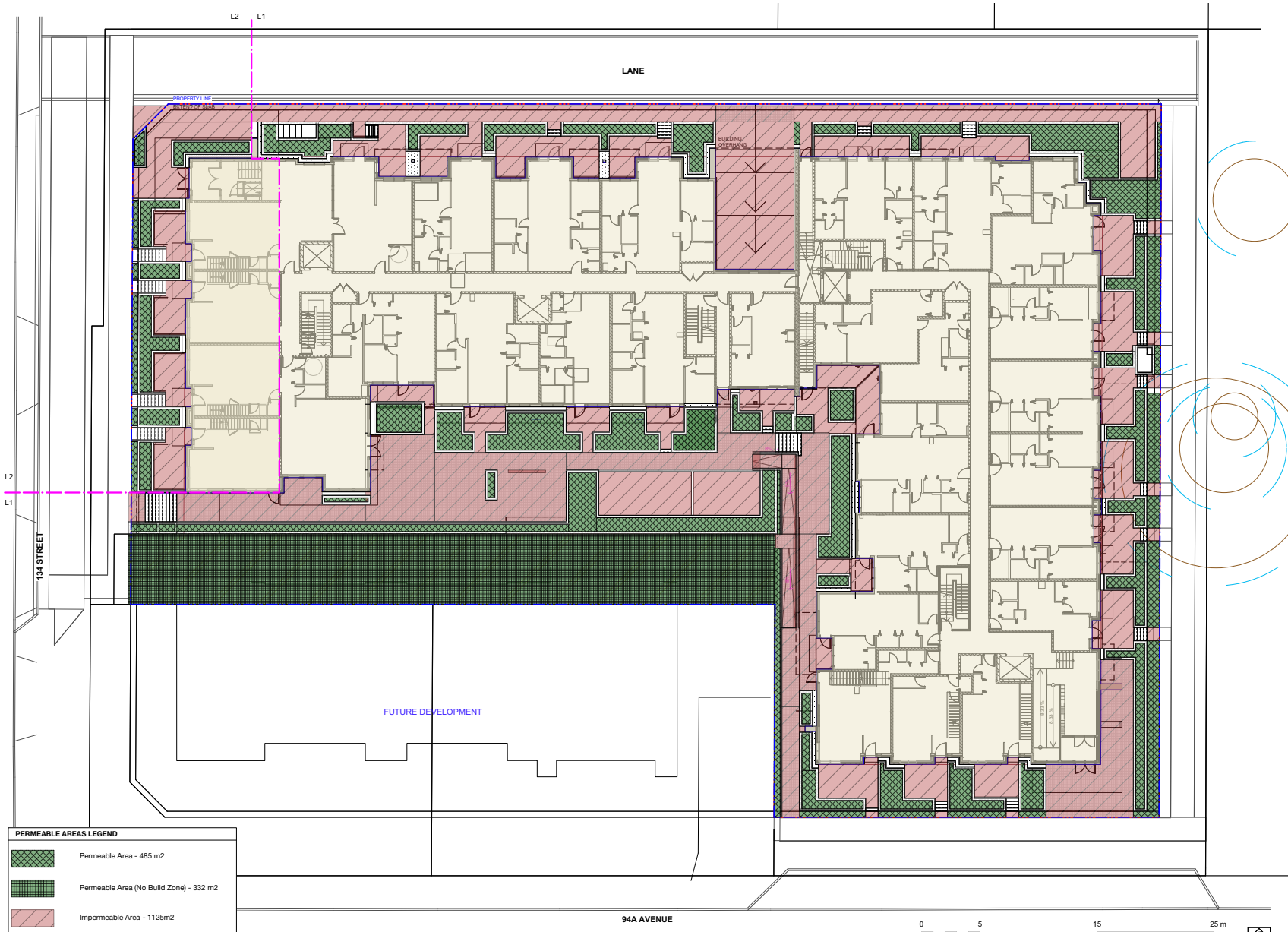
Project Manager AAR	Project ID 21823
Designer AAR	AS NOTED
Reviewed By DTT	Drawing No. L0.7
Date 2019.09.25	or 30

Plot Date:

PEDESTRIAN CIRCULATION LEGEND	
	Pedestrian Circulation
	Gathering Points
	Unit Entry/Exit
	Building Entry/Exit
	Parkade Vehicular Entrance

1 Pedestrian Circulation Plan
Scale: 1:150





Revision No.	Date	Revision Notes
1	2020-08-11	Plan-issue for ADP
2	2020-09-28	Plan-issue for ADP- Revision 2
3	2020-10-30	Plan-issue for ADP- Revision 3
4	2020-11-17	Plan-issue for ADP- Revision 4
5	2020-11-24	Plan-issue for ADP- Revision 5

Issue No.	Date	Issue Notes

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Project
QE Meadows

134 & 94A Surrey, BC

Drawing Title
Permeable Areas Plan

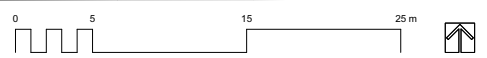
Legal

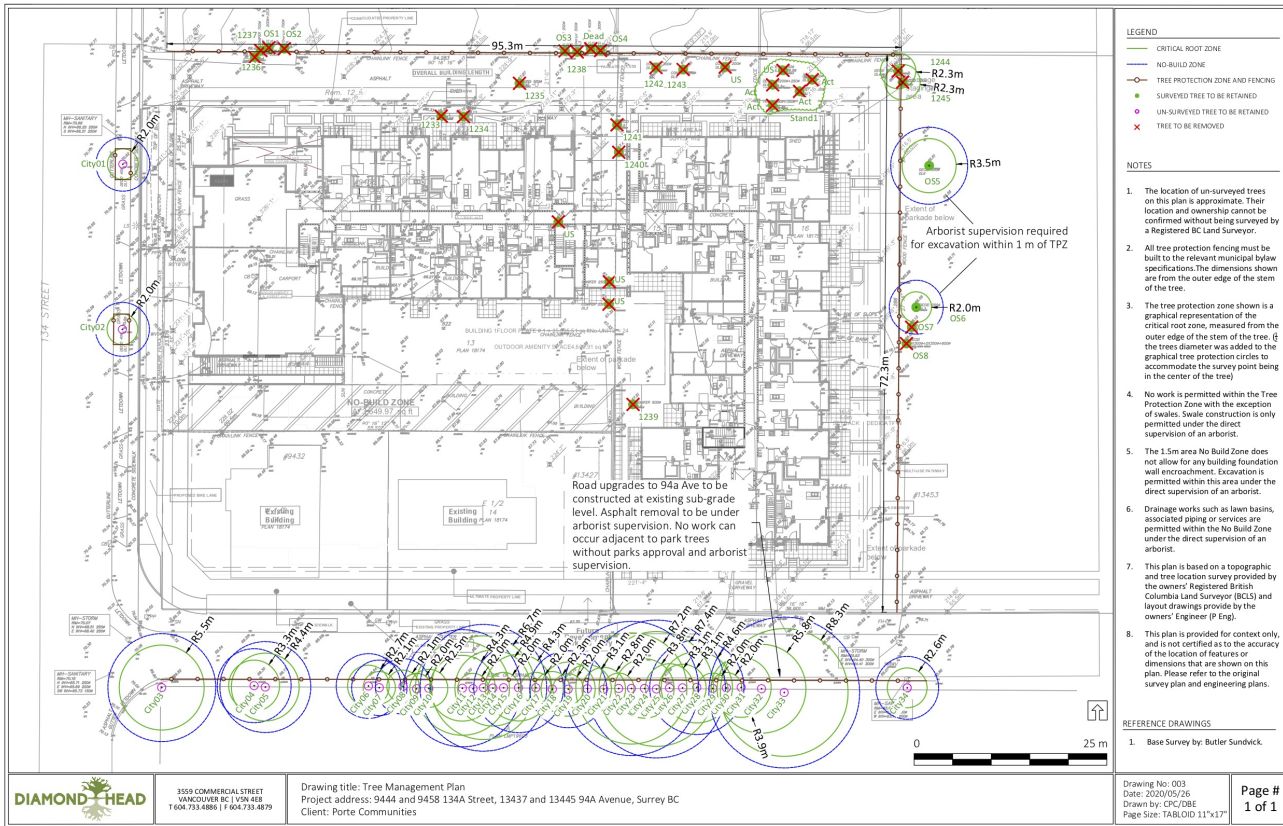
Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No. L0.8
Date 2019.09.25	of 30

Plot Date:

PERMEABLE AREAS LEGEND	
	Permeable Area - 485 m ²
	Permeable Area (No Build Zone) - 332 m ²
	Impermeable Area - 1125m ²

1 Permeable Areas Plan
 Scale: 1:150





Revision	Date	Revision Notes
1	2020-08-11	Plan Issue for ADP
2	2020-09-28	Plan Issue for ADP- Revision 2
3	2020-10-30	Plan Issue for ADP- Revision 3
4	2020-11-17	Plan Issue for ADP- Revision 4
5	2020-11-24	Plan Issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD Issue for Client Review
B	2019-11-04	SD For Review
C	2019-11-19	SD For Review
D	2019-11-27	SD-Flooring Package
E	2020-01-08	SD-Flooring Package Update
F	2020-08-31	Issue for ADP

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DIAMOND HEAD
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VANCOUVER BC V5N 4E8
T 604.733.4886 F 604.733.4879

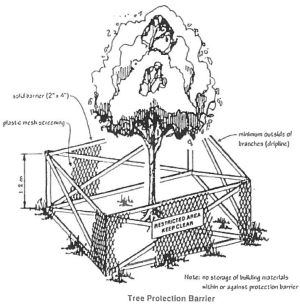
Drawing title: Tree Management Plan
Project address: 9444 and 9458 134A Street, 13437 and 13445 94A Avenue, Surrey BC
Client: Porte Communities

Drawing No: 003
Date: 2020/05/26
Drawn by: CPK/DBE
Page Size: TABLOID 11"x17"

Page #
1 of 1

NOTE: FOR REFERENCE ONLY, REFER TO ARBORIST REPORT

1 Tree Management Plan
NTS



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in meters)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

2 DETAIL: Tree Protection Fencing as per City of Surrey
NTS

Project

QE Meadows

134 & 94A Surrey, BC

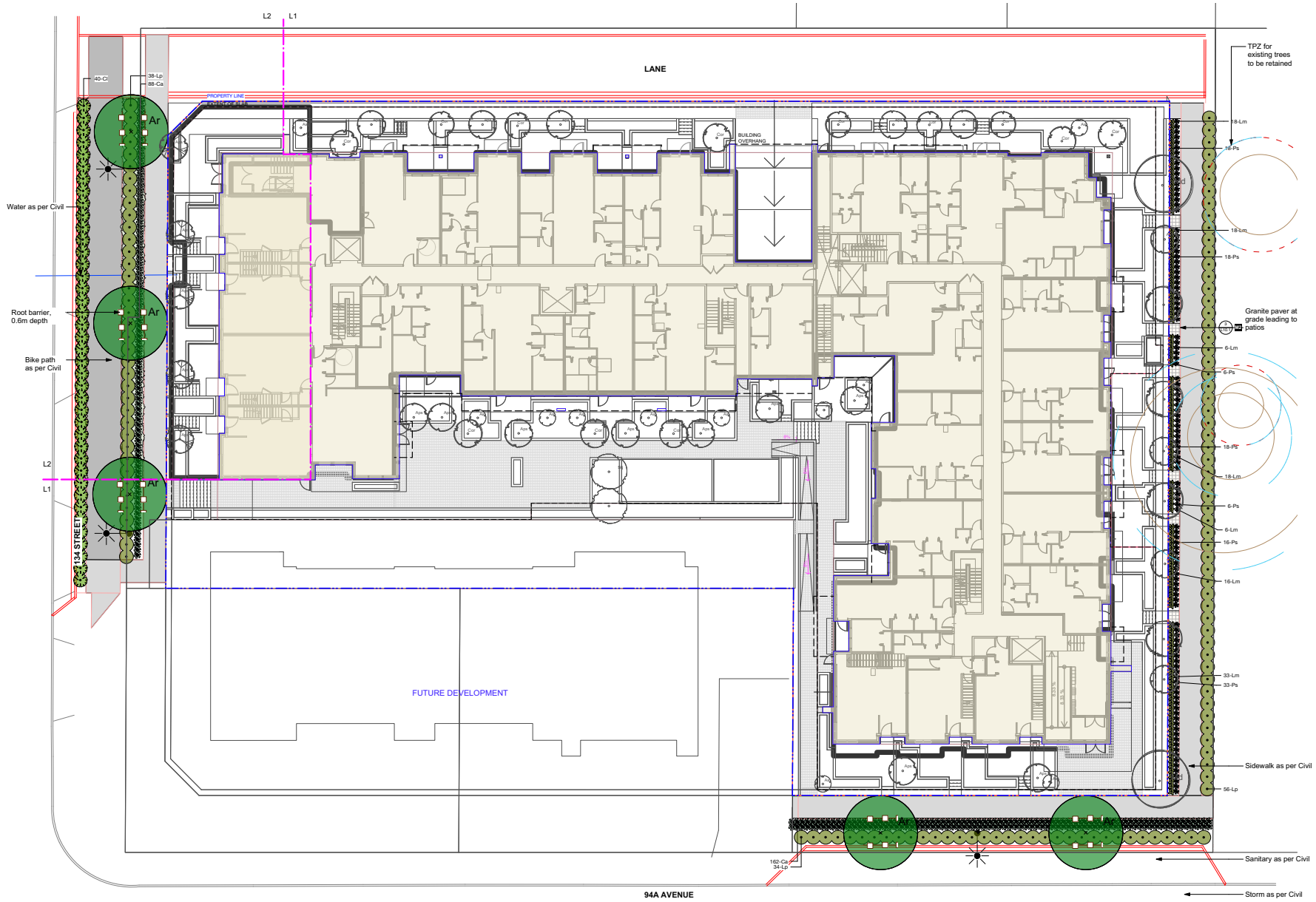
Drawing Title

Tree Management Plan

Logo

Project Manager	Project ID
AAR	21823
Drawn by	Scale
AAR	AS NOTED
Reviewed by	Drawing No.
DT	
Date	Scale
2019.09.25	L1.0
	of
	30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-08-11	Plan-issue for ACP
2	2020-09-28	Plan-issue for ACP- Revision 2
3	2020-10-30	Plan-issue for ACP- Revision 3
4	2020-11-17	Plan-issue for ACP- Revision 4
5	2020-11-24	Plan-issue for ACP- Revision 5

Issue No.	Date	Issue Notes

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Project
QE Meadows

134 & 94A Surrey, BC

Drawing Title
Offsite Plan

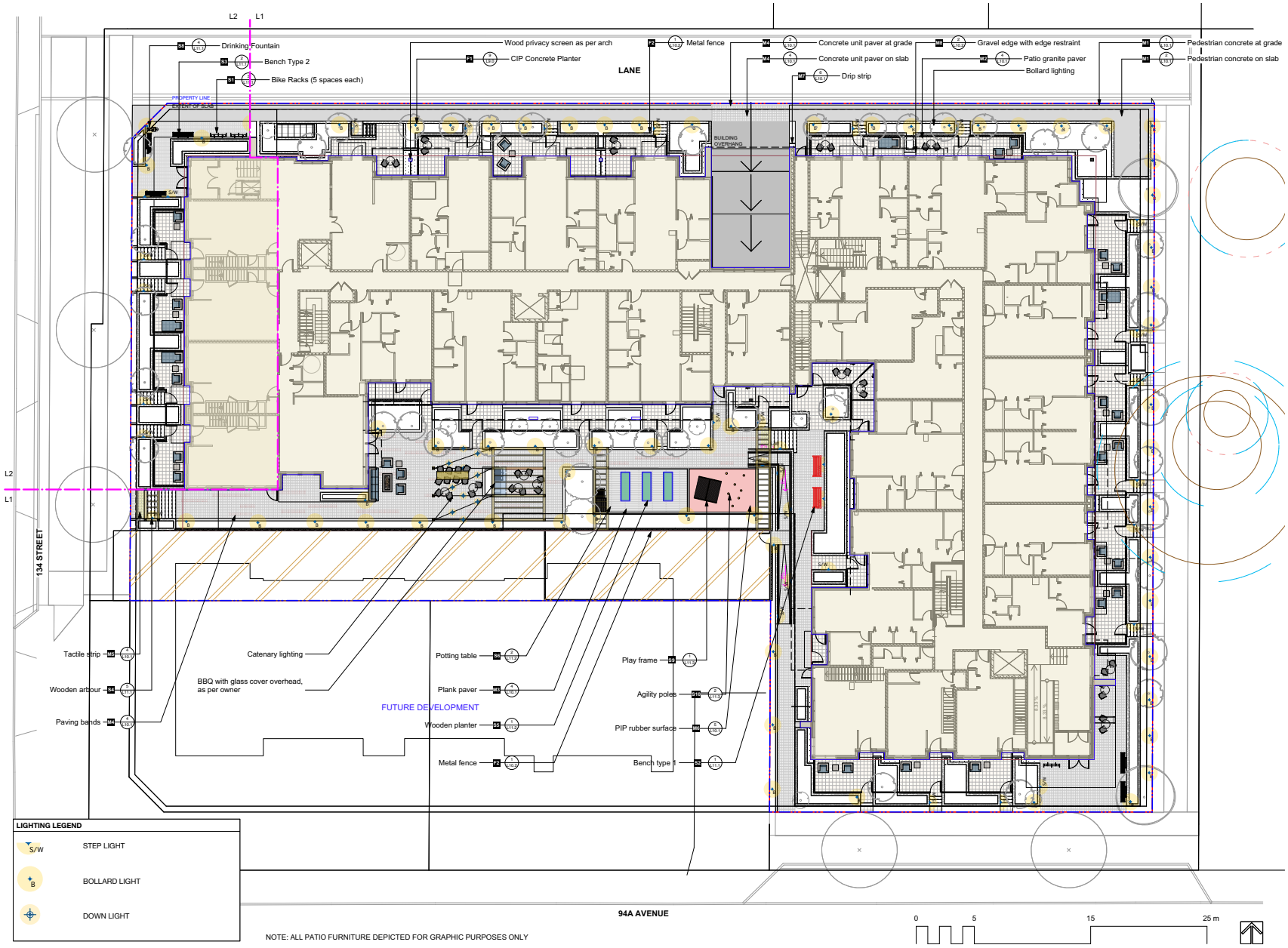
Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L2.0
Date 2019.09.25	Sheet of 30

Plot Date:

1 Offsite Plan
 Scale: 1:150





Revision No.	Date	Revision Notes
1	2020-09-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes

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Project
QE Meadows
 134 & 94A Surrey, BC

Drawing Title
**Materials & Lighting Plan
 Ground Level**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Status AS NOTED
Reviewed By DT	Drawing No.
Date 2019.09.25	Scale L3.1 of 30

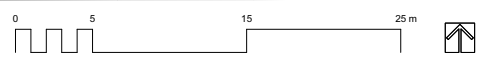
Plot Date:

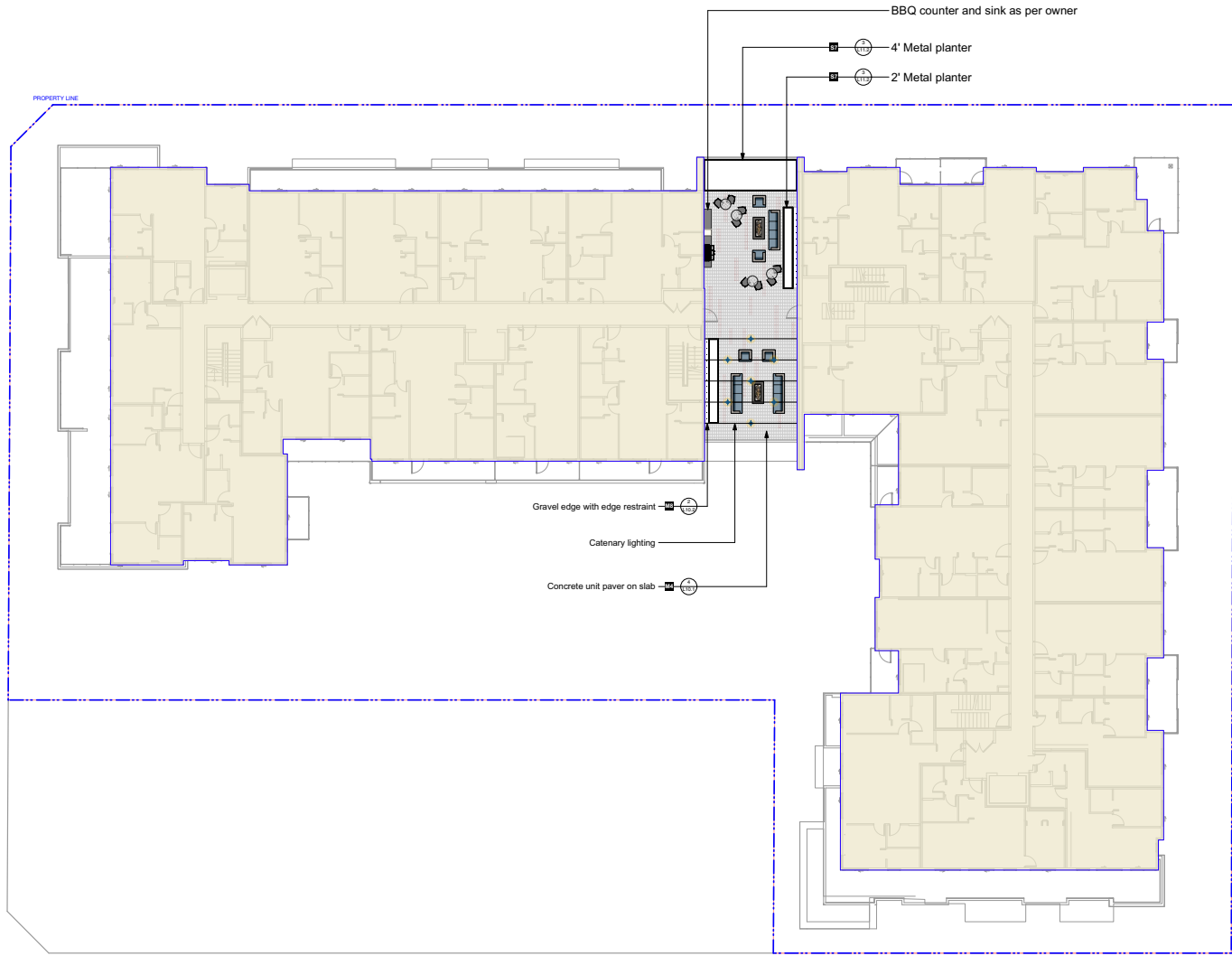
LIGHTING LEGEND

	STEP LIGHT
	BOLLARD LIGHT
	DOWN LIGHT

NOTE: ALL PATIO FURNITURE DEPICTED FOR GRAPHIC PURPOSES ONLY

1 Materials and Lighting Plan - Ground Level
 Scale: 1:150





Revision No.	Date	Revision Notes
1	2020-09-11	File-issue for ADFP
2	2020-09-28	File-issue for ADFP- Revision 2
3	2020-10-30	File-issue for ADFP- Revision 3
4	2020-11-17	File-issue for ADFP- Revision 4
5	2020-11-24	File-issue for ADFP- Revision 5

Issue No.	Date	Issue Notes
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Project
QE Meadows

134 & 94A Surrey, BC

Drawing Title

**Materials & Lighting Plan
Level 6**

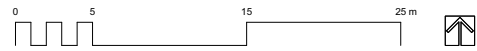
Legal

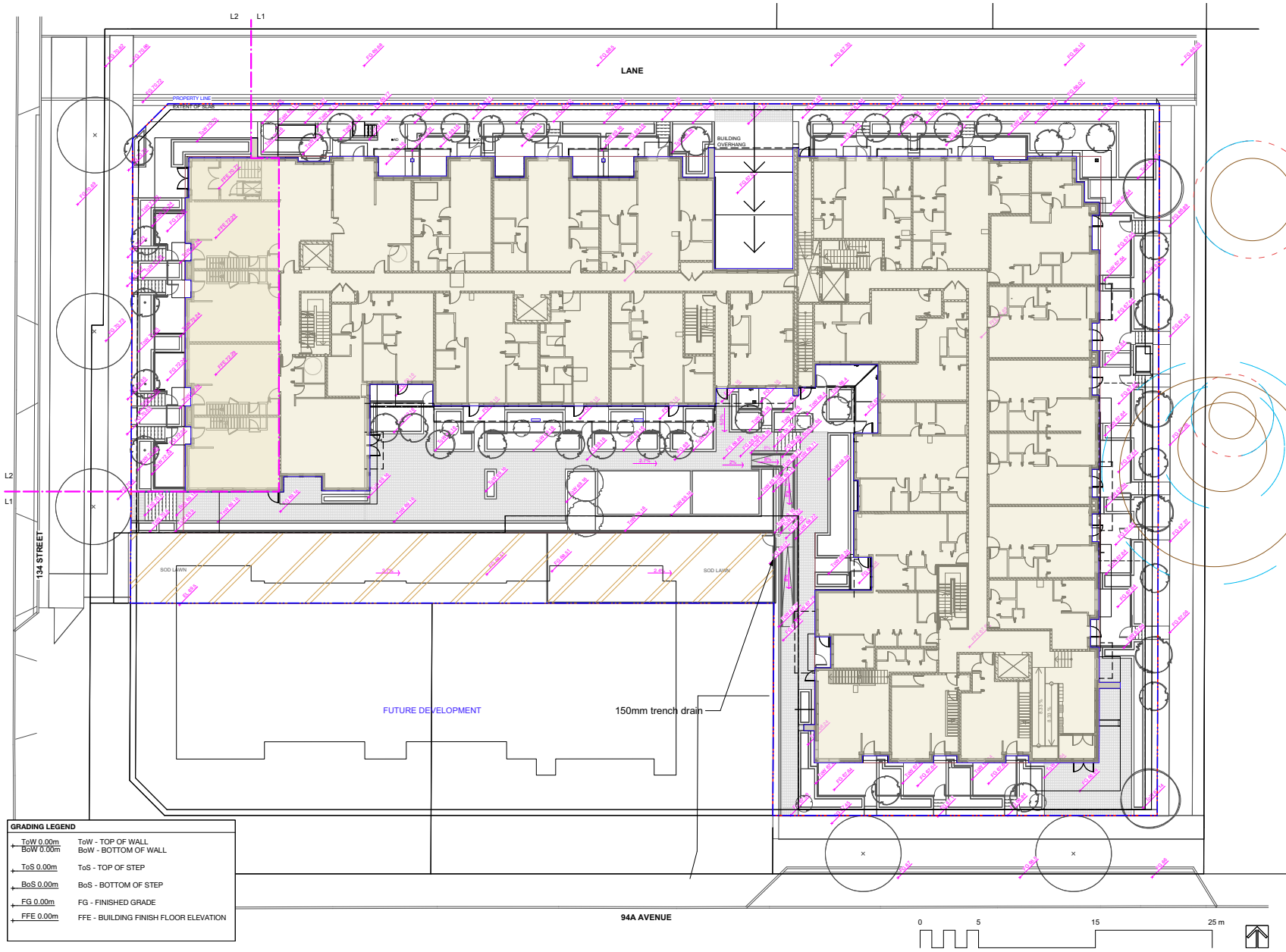
Project Manager AAR	Project ID 21823
Designer AAR	Date AS NOTED
Reviewed By DT	Drawing No. L3.2
Date 2019.09.25	Scale 30

Plot Date:

LIGHTING LEGEND	
	STEP LIGHT
	BOLLARD LIGHT
	DOWN LIGHT

NOTE: ALL PATIO FURNITURE DEPICTED FOR GRAPHIC PURPOSES ONLY





Revision No.	Date	Revision Notes
1	2020-08-11	Pre-issue for ADP
2	2020-09-28	Pre-issue for ADP- Revision 2
3	2020-10-30	Pre-issue for ADP- Revision 3
4	2020-11-17	Pre-issue for ADP- Revision 4
5	2020-11-24	Pre-issue for ADP- Revision 5

Issue No.	Date	Issue Notes

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Project
QE Meadows

134 & 94A Surrey, BC

Drawing Title
Grading and Drainage Plan

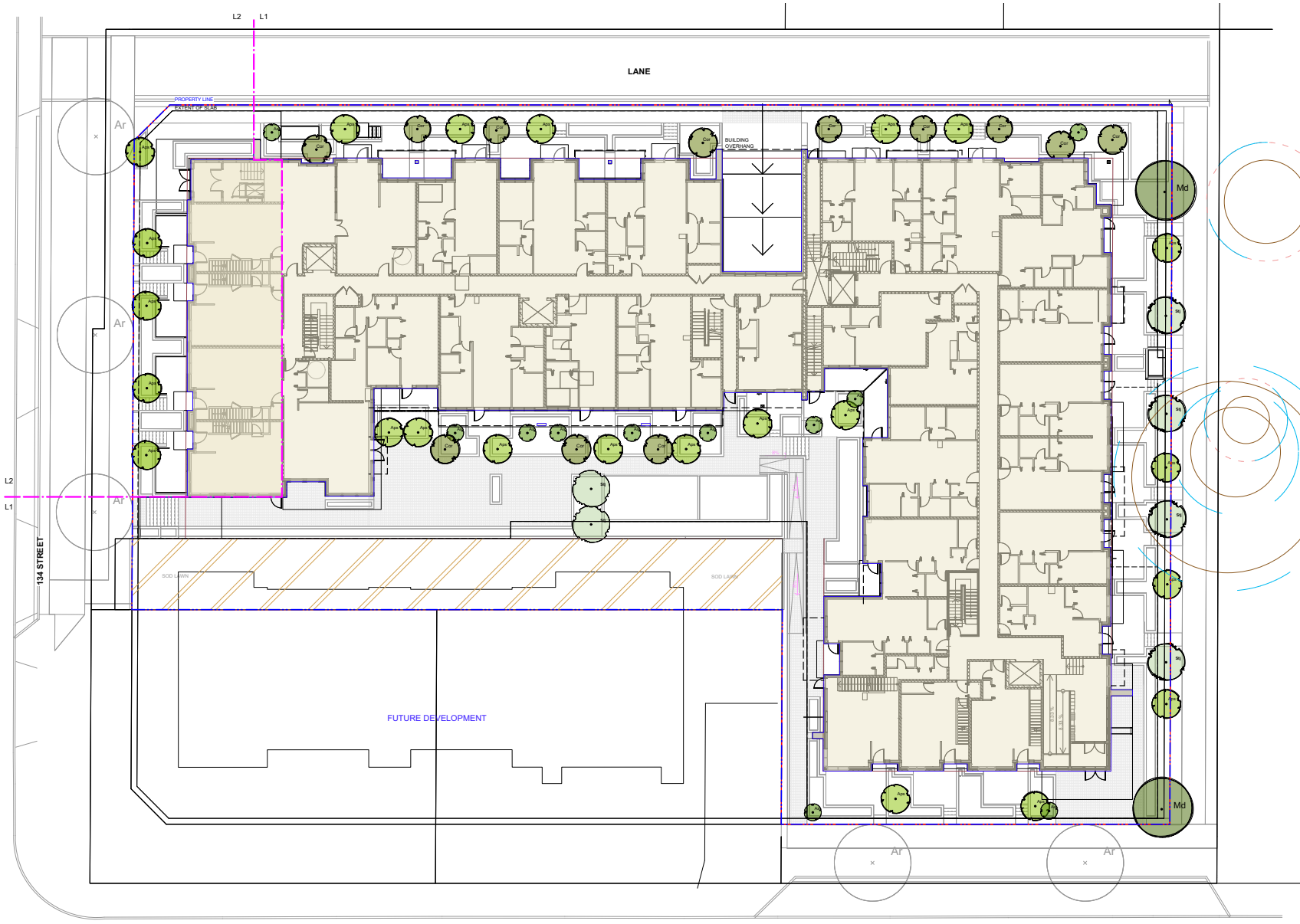
Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No.
Date 2019.09.25	Project No. L4.0

Plot Date:
or
30

GRADING LEGEND	
→ ToW 0.00m	ToW - TOP OF WALL
← BoW 0.00m	BoW - BOTTOM OF WALL
→ ToS 0.00m	ToS - TOP OF STEP
← BoS 0.00m	BoS - BOTTOM OF STEP
→ FG 0.00m	FG - FINISHED GRADE
→ FFE 0.00m	FFE - BUILDING FINISH FLOOR ELEVATION

1 Grading and Drainage Plan
Scale: 1:150



Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Recurring Package
E	2020-01-09	SD- Recurring Package Update
F	2020-08-31	Issue for ADP

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Project
QE Meadows

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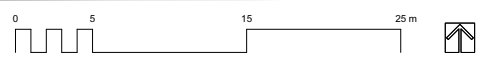
Drawing Title
Tree Plan

Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No. L5.1
Date 2019.09.25	Sheet of 30

Plot Date:

1 Tree Plan
Scale: 1:150



94A AVENUE

134 STREET

LANE

FUTURE DEVELOPMENT

900 LANE

900 LANE

L2 L1

L3

L4

PROPERTY LINE

BUILDING OUTLINE

Ar

Ar

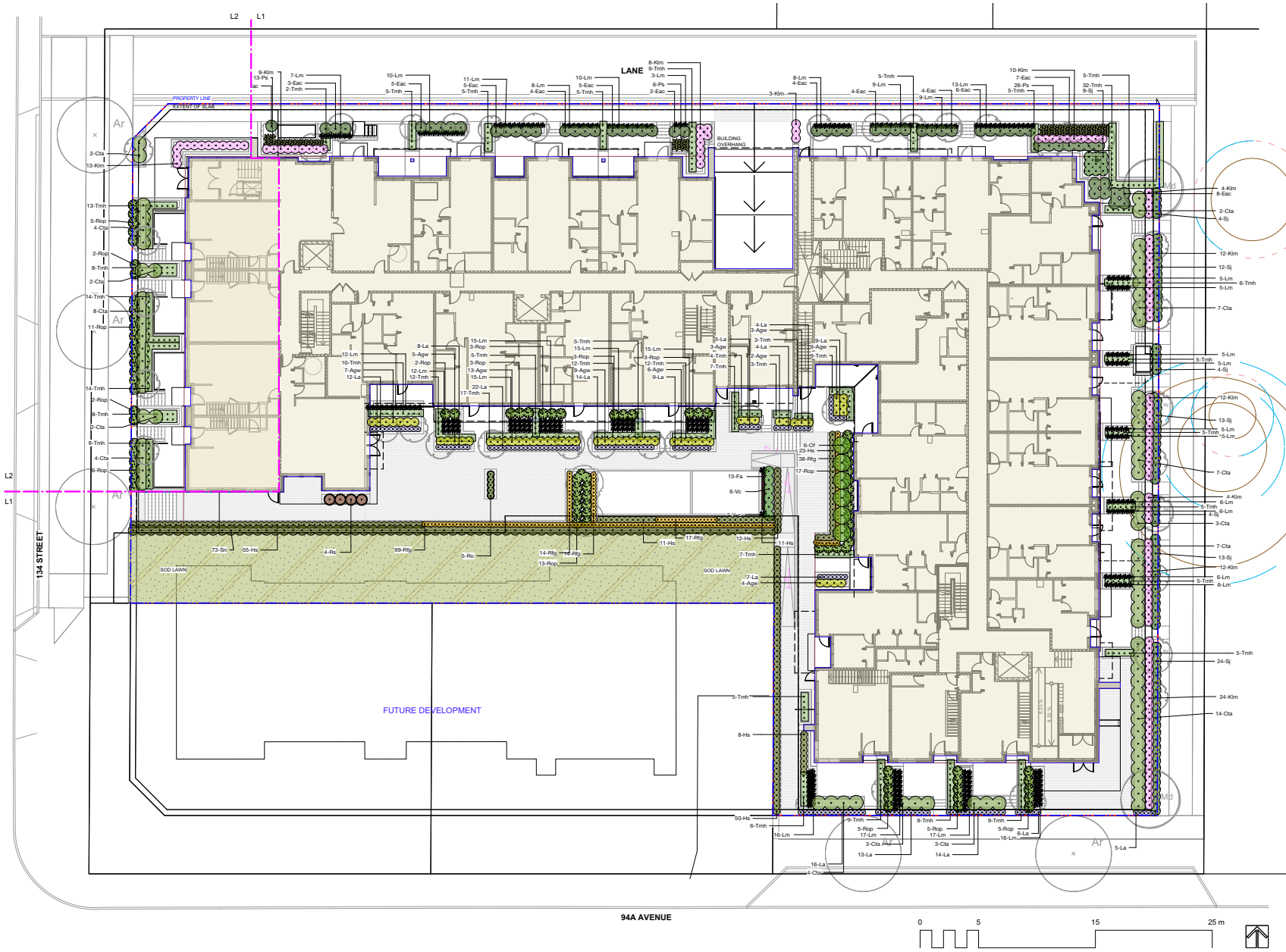
Ar

Ar

Ar

Md

Md



Revision No.	Date	Revision Notes
1	2020-08-11	Re-issue for ADP
2	2020-09-28	Re-issue for ADP- Revision 2
3	2020-10-30	Re-issue for ADP- Revision 3
4	2020-11-17	Re-issue for ADP- Revision 4
5	2020-11-24	Re-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Recurring Package
E	2020-01-09	SD- Recurring Package Update
F	2020-08-31	Issue for ADP

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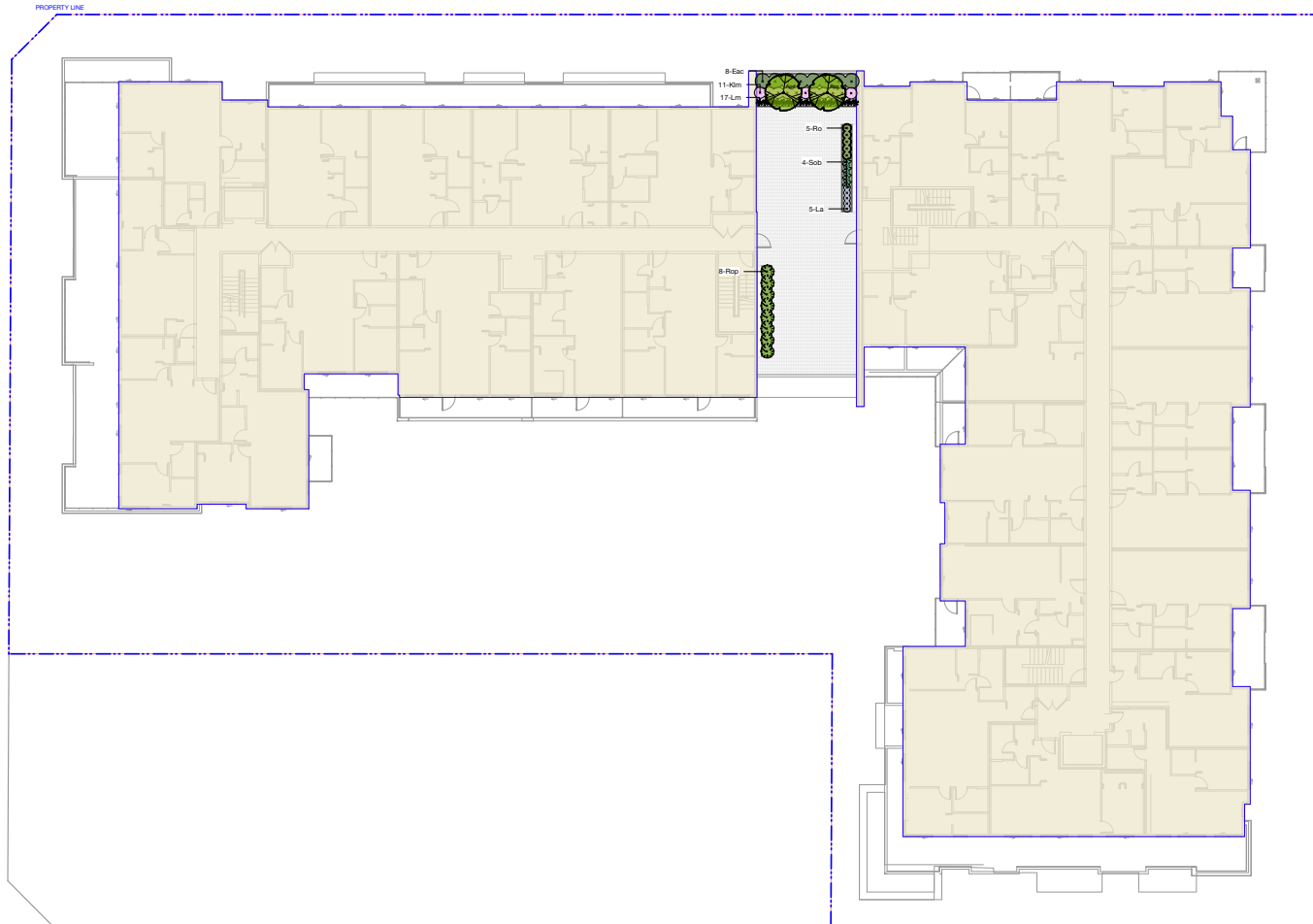
Project
QE Meadows
 134 & 94A Surrey, BC

Drawing Title
**Planting Plan
 Ground Level**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Date AS NOTED
Reviewed By DT	Drawing No.
Date 2019.09.25	L5.2
	of 30

1 Planting Plan - Ground Level
 Scale: 1:150



Revision No.	Date	Revision Notes
1	2020-09-11	Re-issue for ACP
2	2020-09-28	Re-issue for ACP- Revision 2
3	2020-10-30	Re-issue for ACP- Revision 3
4	2020-11-17	Re-issue for ACP- Revision 4
5	2020-11-24	Re-issue for ACP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Re-circulating Package
E	2020-01-09	SD- Re-circulating Package Update

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Project
QE Meadows

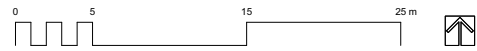
134 & 94A Surrey, BC

Drawing Title
**Planting Plan
Level 6**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L5.3
Date 2019.09.25	of 30

Plot Date:



1 Planting Plan - Level 6
Scale: 1:150

Revision No.	Date	Revision Notes
1	2020-08-11	Plan-issue for ADP
2	2020-09-28	Plan-issue for ADP- Revision 2
3	2020-10-30	Plan-issue for ADP- Revision 3
4	2020-11-17	Plan-issue for ADP- Revision 4
5	2020-11-24	Plan-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-09	SD- Flooring Package Update

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Project
QE Meadows

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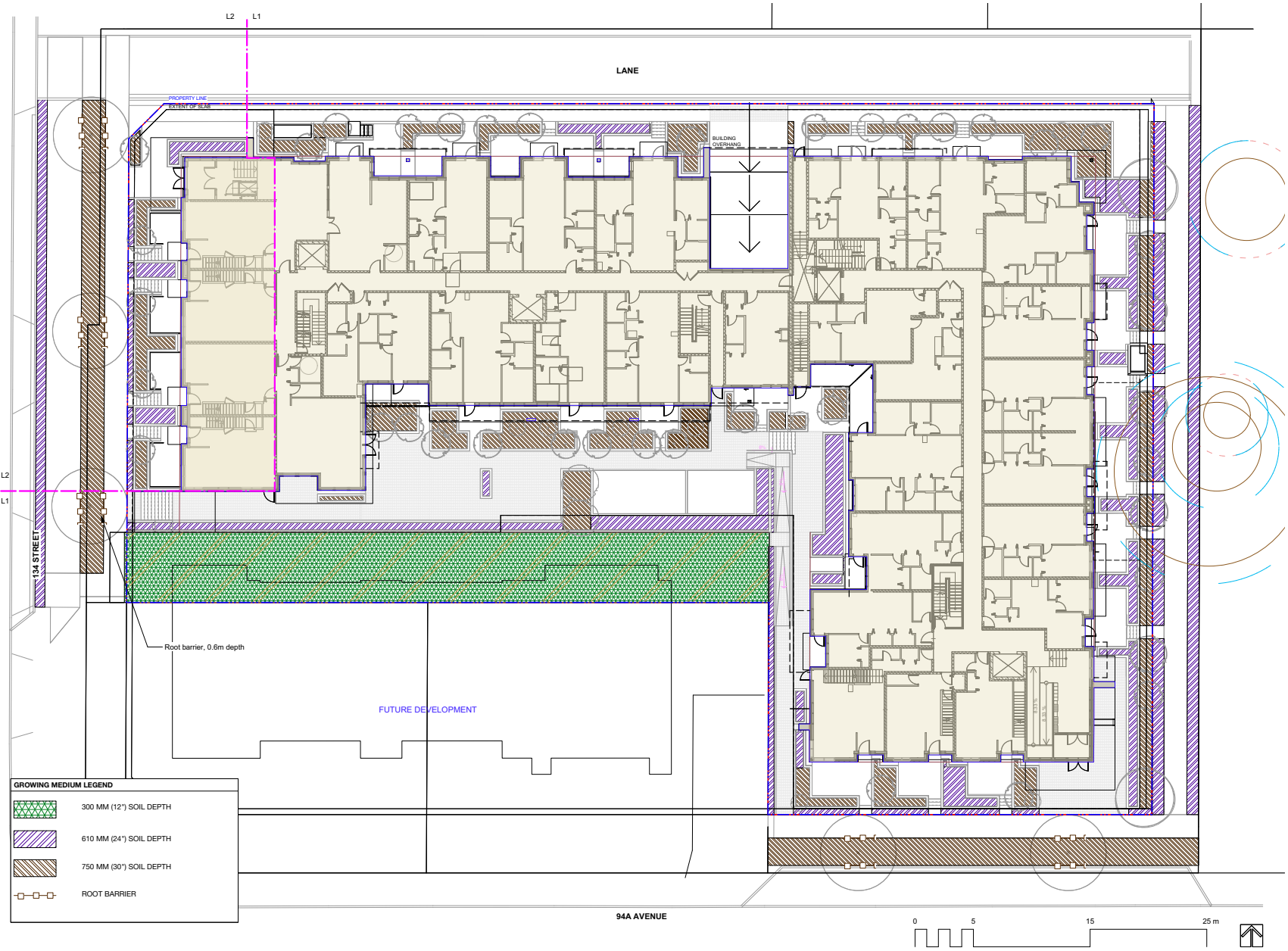
Drawing Title

**Soil Depth Plan
 Ground Level**

Legal

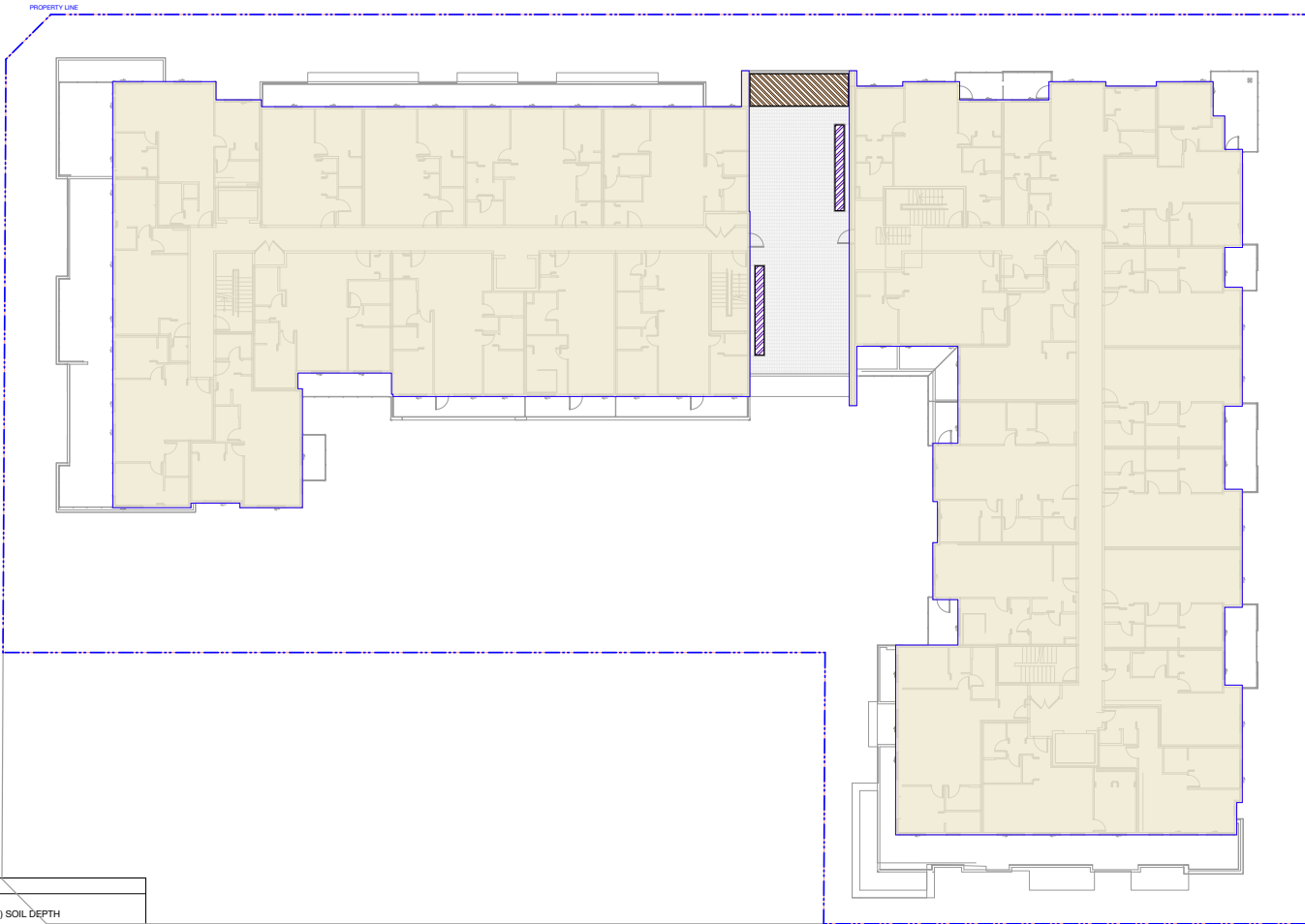
Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No. L6.1
Date 2019.09.25	of 30

Plot Date:



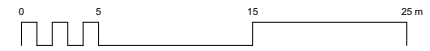
GROWING MEDIUM LEGEND	
	300 MM (12") SOIL DEPTH
	610 MM (24") SOIL DEPTH
	750 MM (30") SOIL DEPTH
	ROOT BARRIER

1 Soil Depth Plan - Ground Level
 Scale: 1:150



GROWING MEDIUM LEGEND	
	300 MM (12") SOIL DEPTH
	610 MM (24") SOIL DEPTH
	750 MM (30") SOIL DEPTH
	ROOT BARRIER

1 Planting Plan - Level 6
Scale: 1:150



Revision No.	Date	Revision Notes
1	2020-09-11	Rev-issue for ACP
2	2020-09-28	Rev-issue for ACP- Revision 2
3	2020-10-30	Rev-issue for ACP- Revision 3
4	2020-11-17	Rev-issue for ACP- Revision 4
5	2020-11-24	Rev-issue for ACP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Re-working Package
E	2020-01-09	SD- Re-working Package Update

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Project
QE Meadows

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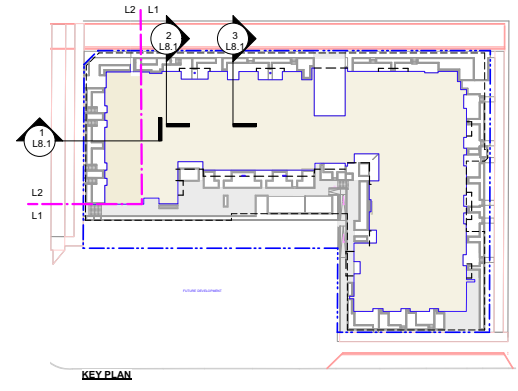
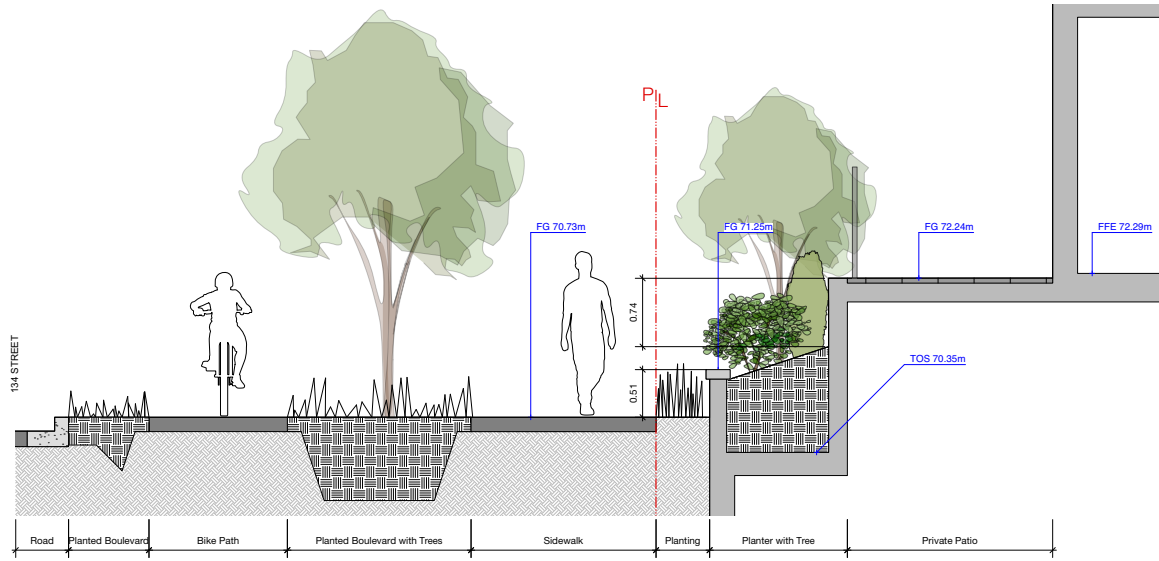
Drawing Title

**Soil Depth Plan
Level 6**

Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L6.2
Date 2019.09.25	of 30

Plot Date:

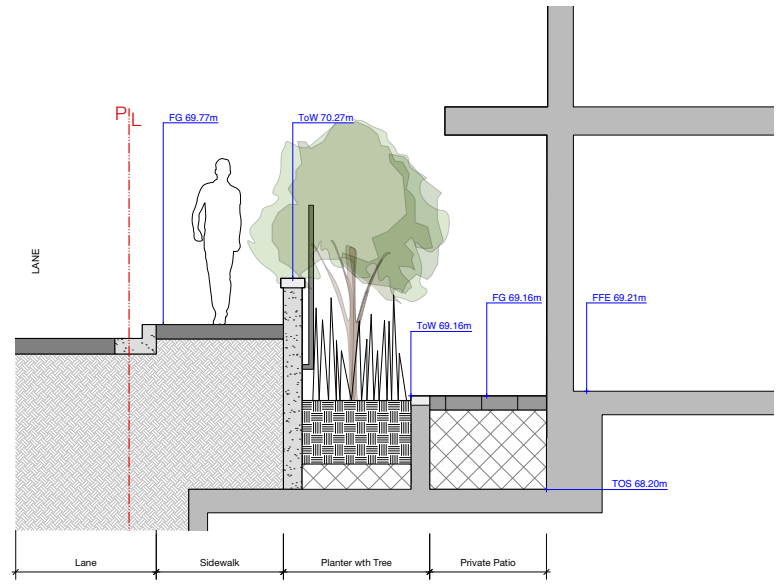


Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

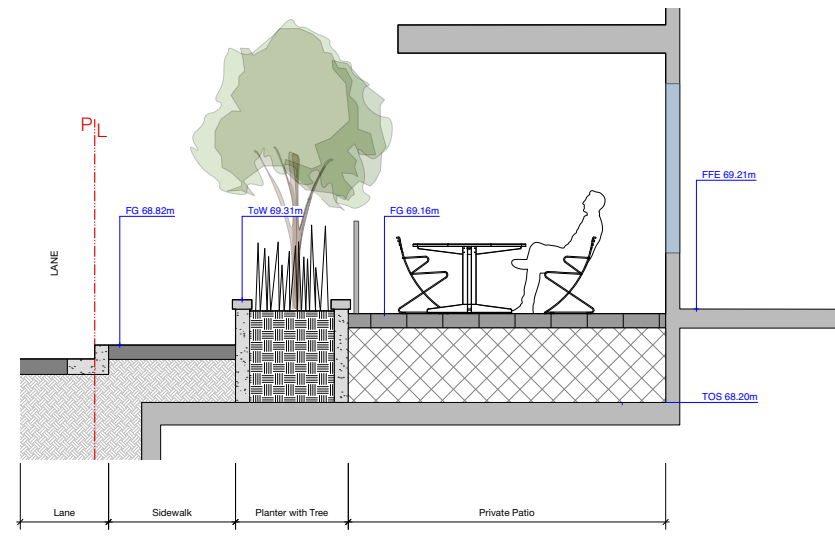
Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

Professional Seal

1 SECTION: West Patio
Scale: 1:25



2 SECTION: Northwest Patio
Scale: 1:25



3 SECTION: North Patio
Scale: 1:25

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Project
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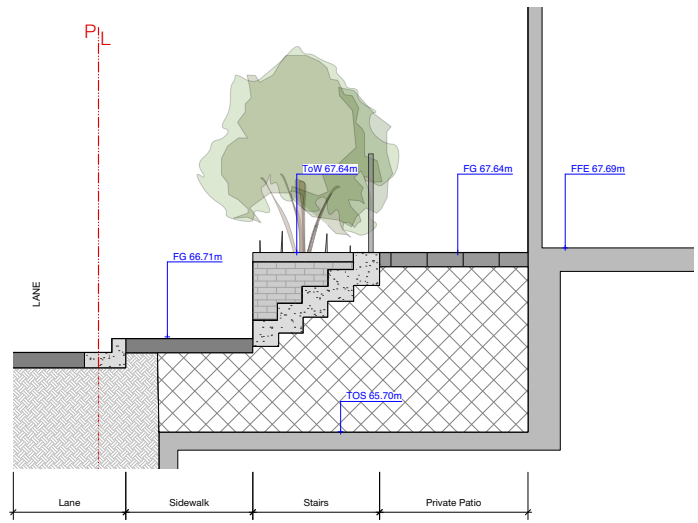
134 & 94A Surrey, BC

Drawing Title
Landscape Sections

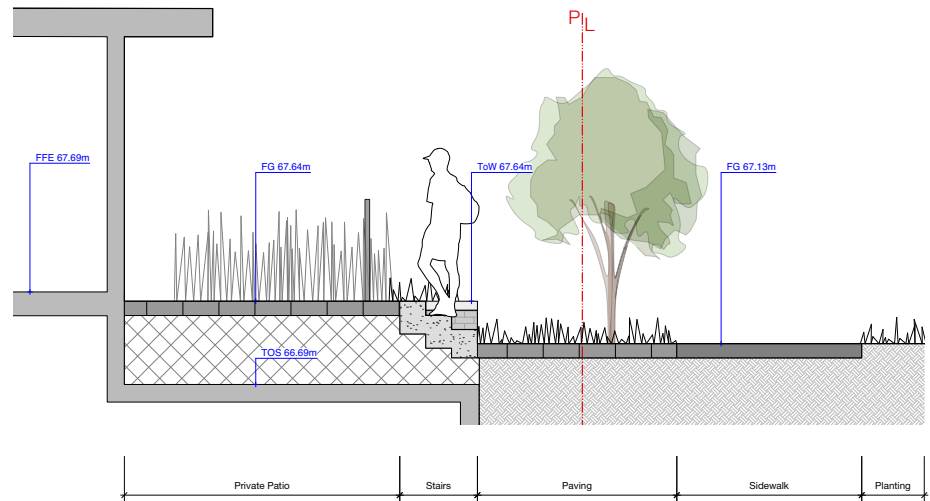
Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Reviewed By DT	Drawing No.
Date 2019.09.25	L8.1 of 30

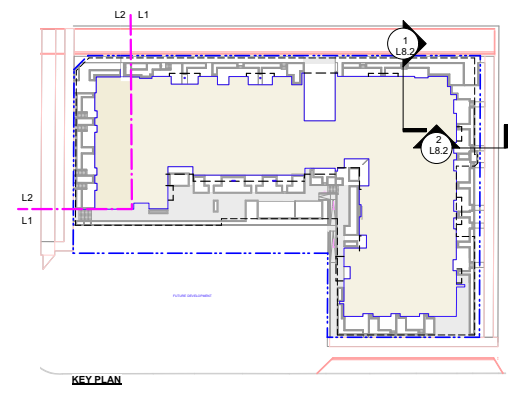
Plot Date:



1 SECTION: Northeast Patio
Scale: 1:25



2 SECTION: East Patio
Scale: 1:25



Revision No.	Date	Revision Notes
1	2020-09-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
4	2020-11-17	Rev-issue for ADP- Revision 4
5	2020-11-24	Rev-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
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B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-09	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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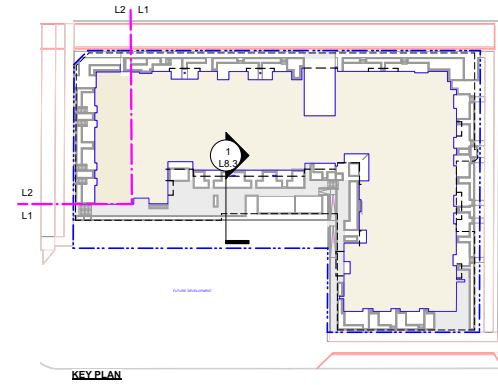
Project
QE Meadows
 134 & 94A Surrey, BC

Drawing Title
Landscape Sections

Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L8.2
Date 2019.09.25	of 30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-09-11	Rev-issue for ADP
2	2020-09-28	Rev-issue for ADP- Revision 2
3	2020-10-30	Rev-issue for ADP- Revision 3
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C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update

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Project
QE Meadows

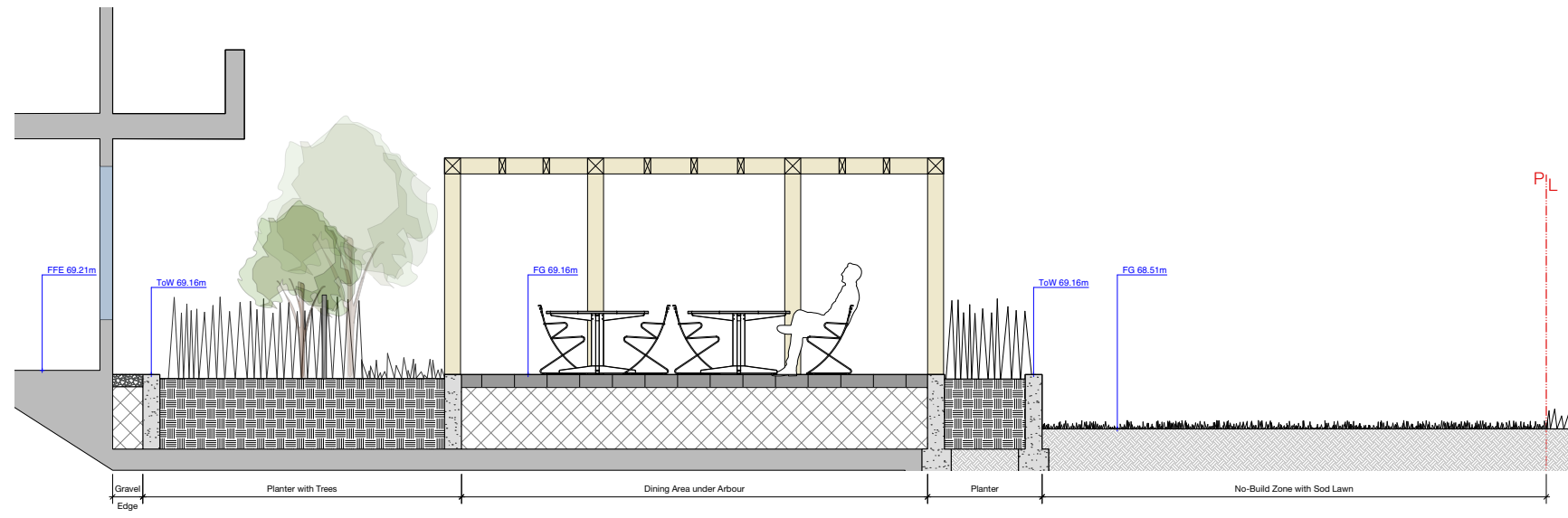
134 & 94A Surrey, BC

Drawing Title
Landscape Sections

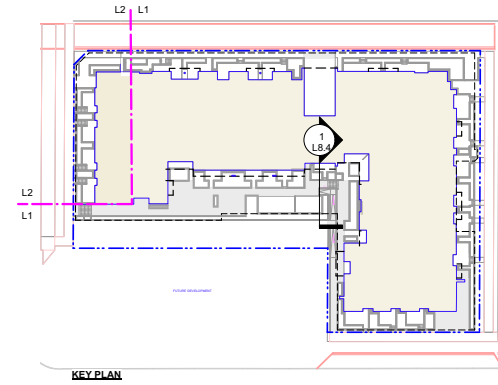
Legal

Project Manager	Project ID
AAR	21823
Client	AS NOTED
Drawn By	DT
Checked By	DT
Date	2019.09.25
Drawing No.	L8.3
	of
	30

Plot Date:



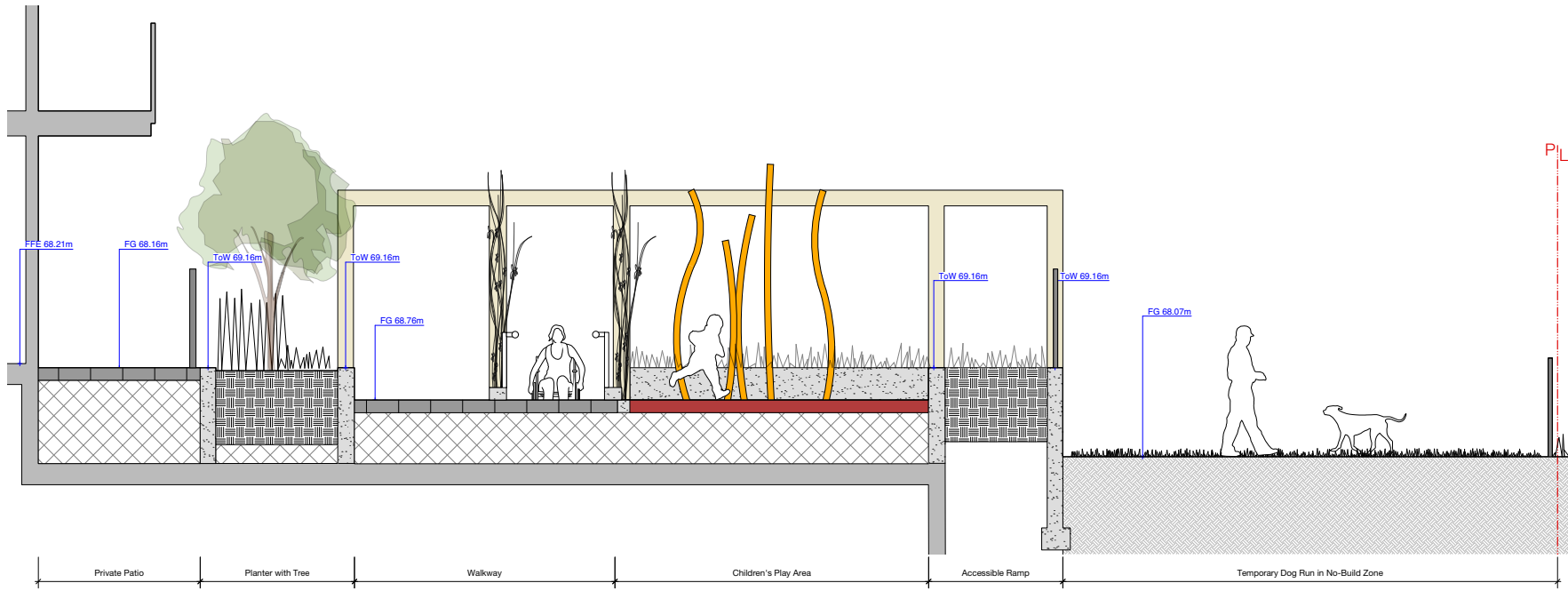
1 SECTION: Courtyard Dining Area
 Scale: 1:25



Revision No.	Date	Revision Notes
1	2020-09-11	Rev-issue for ACP
2	2020-09-28	Rev-issue for ACP- Revision 2
3	2020-10-30	Rev-issue for ACP- Revision 3
4	2020-11-17	Rev-issue for ACP- Revision 4
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Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update

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Project
QE Meadows
134 & 94A Surrey, BC

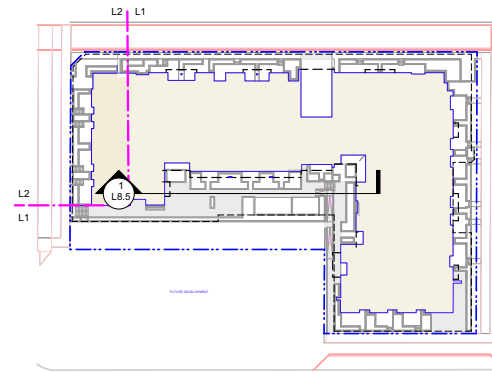
Drawing Title
Landscape Sections

Legal

1 SECTION: Courtyard Community Garden
Scale: 1:25

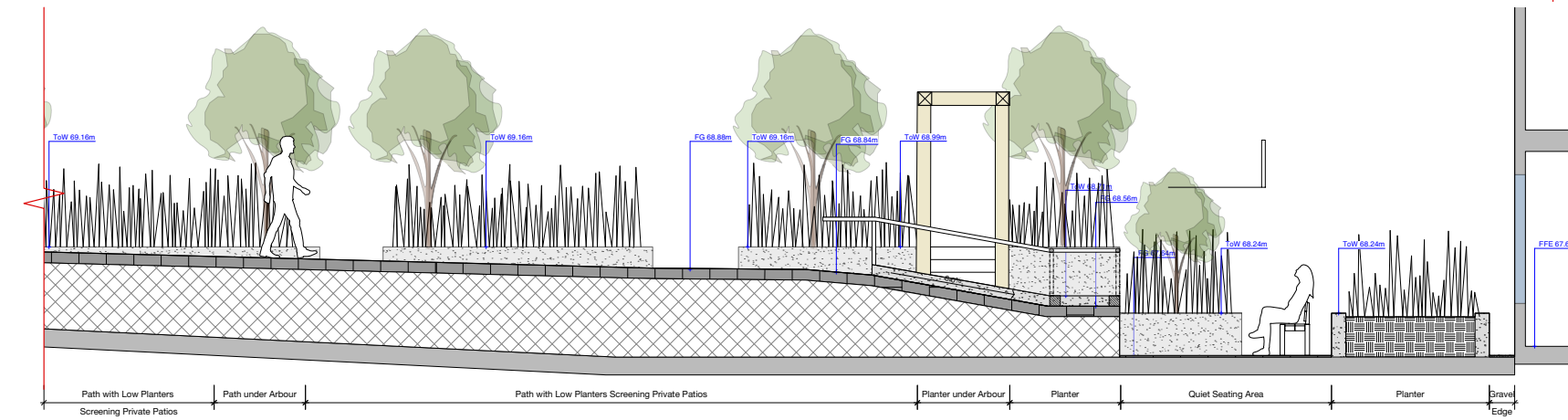
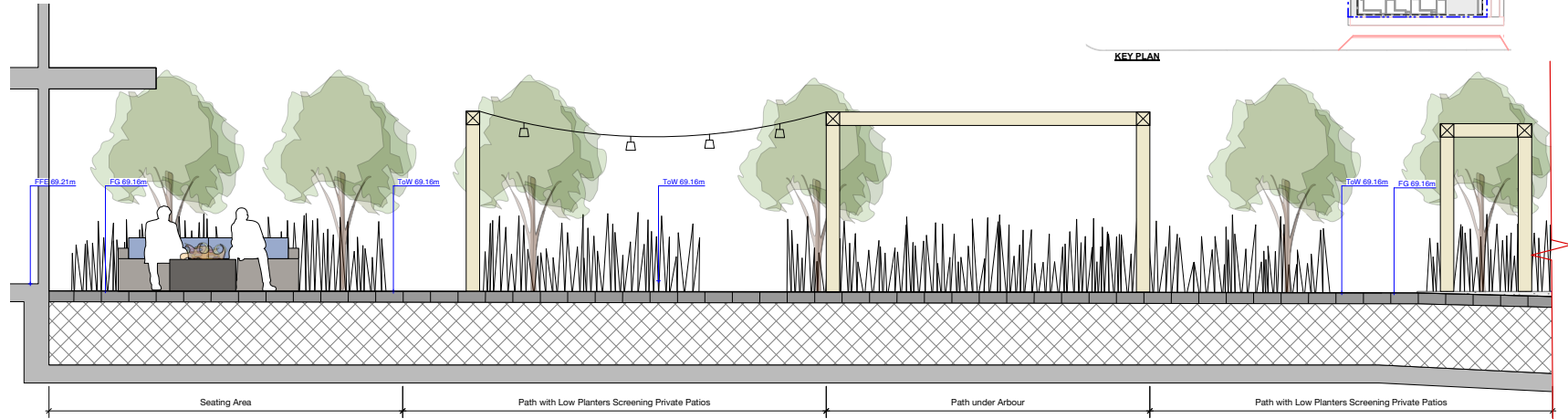
Project Manager	Project ID
AAR	21823
Client	AS NOTED
Drawn By	DT
Checked By	DT
Date	2019.09.25
Drawing No.	L8.4
Sheet No.	30

Plot Date:



Revision No.	Date	Revision Notes
1	2020-08-11	Plan-issue for ADP
2	2020-09-28	Plan-issue for ADP- Revision 2
3	2020-10-30	Plan-issue for ADP- Revision 3
4	2020-11-17	Plan-issue for ADP- Revision 4
5	2020-11-24	Plan-issue for ADP- Revision 5

Issue No.	Date	Issue Notes



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Project
QE Meadows

134 & 94A Surrey, BC

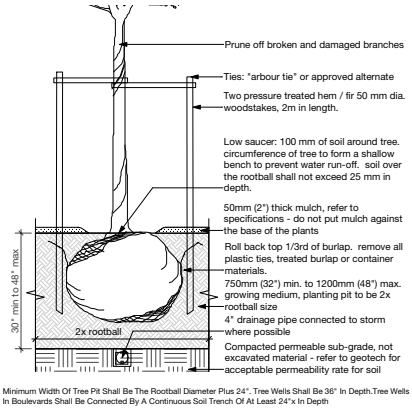
Drawing Title
Landscape Sections

Legal

Project Manager AAR	Project ID 21823
Designer AAR	Status AS NOTED
Reviewed By DT	Drawing No. L8.5
Date 2019.09.25	Scale 1:30

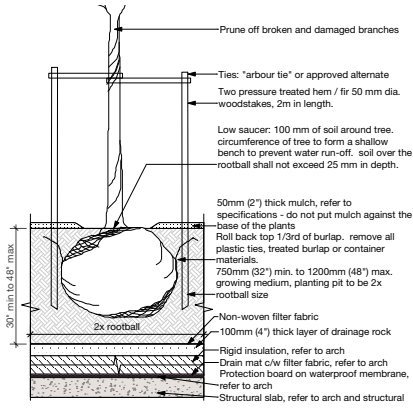
Plot Date:

1 SECTION: Courtyard Path
Scale: 1:30

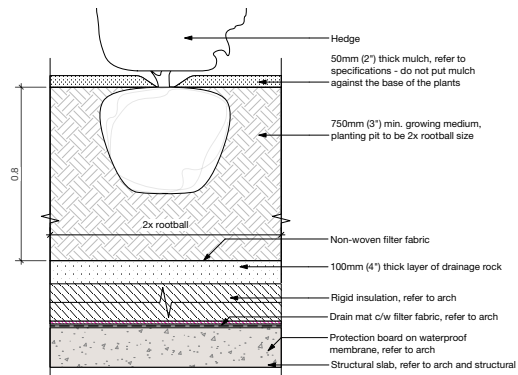


Minimum Width Of Tree Pit Shall Be The Rootball Diameter Plus 24". Tree Walls Shall Be 30" In Depth. Tree Walls In Boulevards Shall Be Connected By A Continuous Soil Trench Of At Least 24" In Depth.

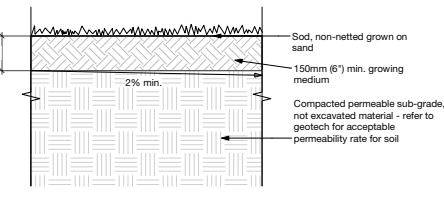
1 DETAIL: TREE AT GRADE
Scale: 1:20



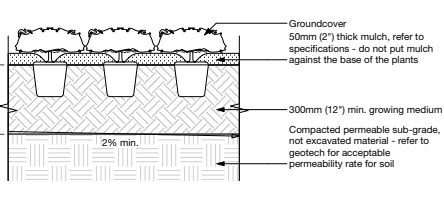
2 DETAIL: TREE ON SLAB
Scale: 1:20



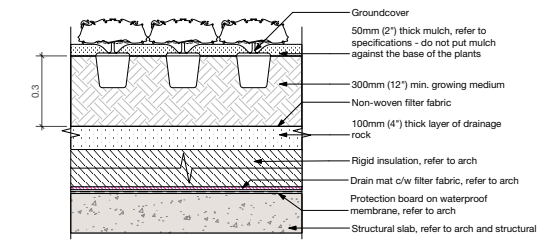
3 DETAIL: HEDGE ON SLAB
Scale: 1:10



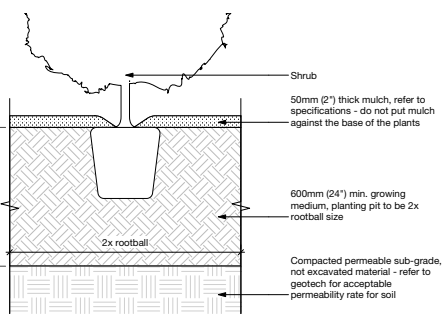
4 DETAIL: SOD AT GRADE
Scale: 1:10



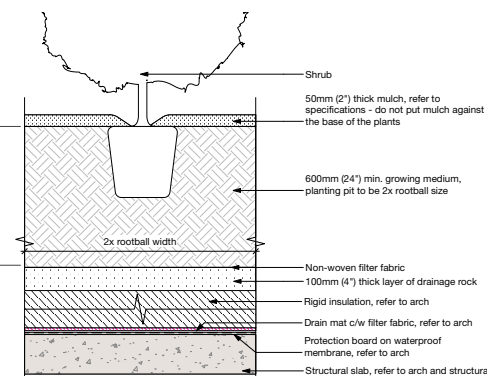
5 DETAIL: GROUNDCOVER AT GRADE
Scale: 1:10



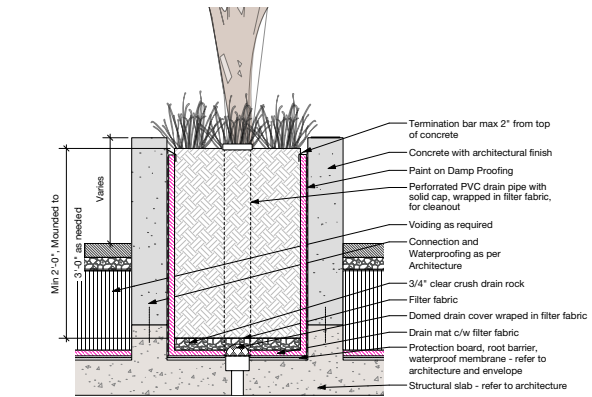
6 DETAIL: GROUNDCOVER ON SLAB
Scale: 1:10



7 DETAIL: SHRUB AT GRADE
Scale: 1:10



8 DETAIL: SHRUB ON SLAB
Scale: 1:10



9 DETAIL: CIP CONCRETE PLANTER ON SLAB
Scale: 1:10

Revision No.	Date	Revision Notes
1	2020-08-11	Re-issue for ADP
2	2020-09-28	Re-issue for ADP- Revision 2
3	2020-10-30	Re-issue for ADP- Revision 3
4	2020-11-17	Re-issue for ADP- Revision 4
5	2020-11-24	Re-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Receiving Package
E	2020-01-09	SD- Receiving Package Update
F	2020-08-31	Issue for ADP

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Project
QE Meadows

134 & 94A Surrey, BC

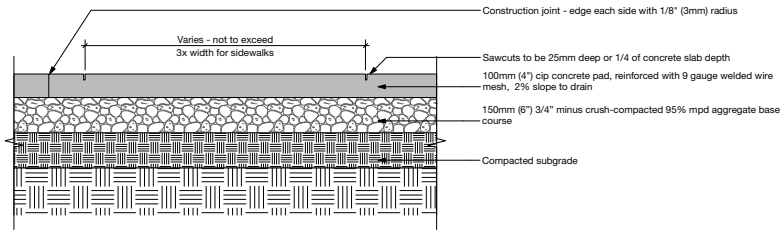
Drawing Title

Softscape Details

Legend

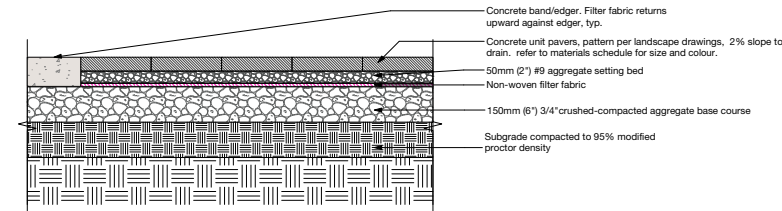
Project Manager AAR	Project ID 21823
Designer AAR	AS NOTED
Reviewed By DT	Drawing No.
Date 2019.09.25	Scale L9.0
	Sheet No. 30

Plot Date:

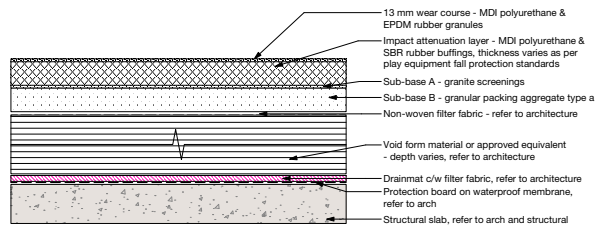


NOTE:
 - Saw-cuts to be installed per layout plan
 - Saw-cut control joints to be 1/4 slab depth
 - To be completed within 24hrs of pouring the slab

1 DETAIL: PEDESTRIAN CONCRETE AT GRADE
 Scale: 1:10

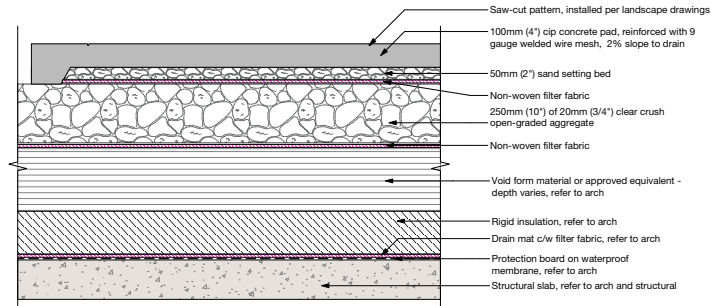


3 DETAIL: UNIT PAVERS AT GRADE
 Scale: 1:10



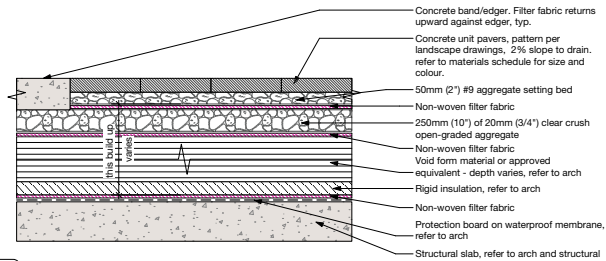
NOTE:
 Install as per manufacturer's specifications.
 Depth of material dependant on fall heights of play equipment.

5 DETAIL: PIP RUBBER SAFETY SURFACE ON SLAB
 Scale: 1:10

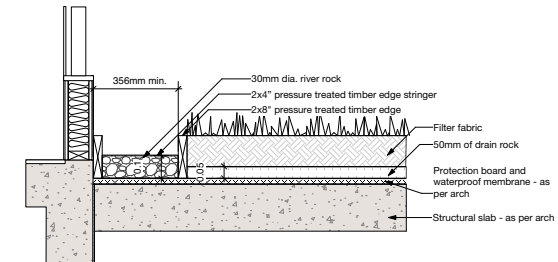


NOTE:
 - Saw-cuts to be installed per layout plan
 - Saw-cut control joints to be 1/4 slab depth
 - To be completed within 24hrs of pouring the slab

2 DETAIL: PEDESTRIAN CONCRETE ON SLAB
 Scale: 1:10



4 DETAIL: UNIT PAVERS ON SLAB
 Scale: 1:10



6 DETAIL: DRIP STRIP ON SLAB
 Scale: 1:10

Revision	No.	Date	Revision Notes
1	2020-08-11		Re-issue for ADFP
2	2020-09-28		Re-issue for ADFP- Revision 2
3	2020-10-30		Re-issue for ADFP- Revision 3
4	2020-11-17		Re-issue for ADFP- Revision 4
5	2020-11-24		Re-issue for ADFP- Revision 5

Issue	No.	Date	Issue Notes
A	2019-10-25		SD- Issue for Client Review
B	2019-11-04		SD- For Review
C	2019-11-19		SD- For Review
D	2019-11-27		SD- Flooring Package
E	2020-01-08		SD- Flooring Package Update
F	2020-08-31		Issue for ADFP

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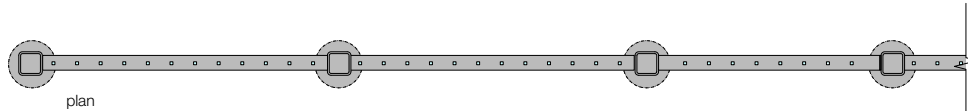
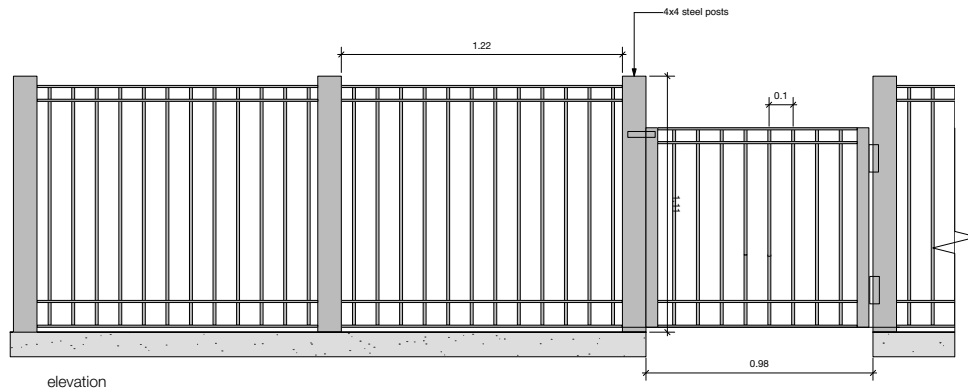
Project
QE Meadows
 134 & 94A Surrey, BC

Drawing Title
Handscape Details

Legal

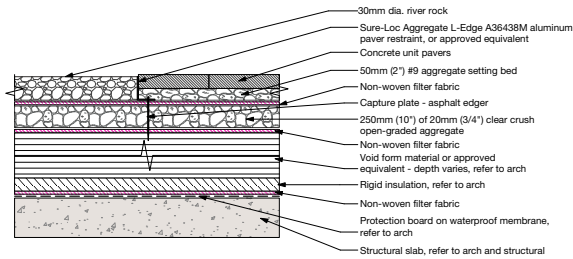
Project Manager	Project ID
AAR	21823
Client	Job
AAR	AS NOTED
Prepared By	Drawing No.
DT	L10.1
Date	Scale
2019.09.25	30

Plot Date:



NOTE: SHOP DRAWINGS TO BE PROVIDED

1 DETAIL: METAL FENCE
Scale: 1:10



2 DETAIL: Paver Restraint on Slab
Scale: 1:10

Revision No.	Date	Revision Notes
1	2020-08-11	Re-issue for ADP
2	2020-09-28	Re-issue for ADP- Revision 2
3	2020-10-30	Re-issue for ADP- Revision 3
4	2020-11-17	Re-issue for ADP- Revision 4
5	2020-11-24	Re-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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Project

QE Meadows

134 & 94A Surrey, BC

Drawing Title

Hardscape Details

Legal

Project Manager	Project ID
AAR	21823
Client	Arch
AAR	AS NOTED
Prepared By	Drawing No.
DT	L10.2
Date	of
2019.09.25	30

Plot Date:

970 SERIES

MLB970-W

DESCRIPTION: Bench made from solid cast aluminum. The seat measures 1330" x 24" and 14" deep with 12" seat.

DESIGN: The High-Performance Light-pollution shieldable finish on all visible surfaces. Metal parts are finished with powder coating.

REGULATIONS: The bench is aluminum-powder coated. Anodized 6061-T6 aluminum is used for all visible surfaces. Metal parts are finished with powder coating.

TO ORDER: Bench Configuration
 Material
 Finish
 Color
 Options

OPTION:
 Cast Aluminum
 Cast Aluminum

MAGLIN

1050 SERIES

MLB1050-W

DESCRIPTION: The bench frame is constructed from formed steel and has a top made of 12" seat.

DESIGN: All steel components are protected with a hot-dip galvanized finish. The High-Performance Light-pollution shieldable finish is used for all visible surfaces.

REGULATIONS: The bench is aluminum-powder coated. Anodized 6061-T6 aluminum is used for all visible surfaces. Metal parts are finished with powder coating.

TO ORDER: Bench Configuration
 Material
 Finish
 Color
 Options

OPTION:
 Cast Aluminum
 Cast Aluminum

MAGLIN

Equiparc

EP 5930 Bike rack

SPECIFICATIONS

Frame: Steel tubular and steel flats
 Finish: Hot-dipped galvanized

AVAILABLE

5930 5 bike rack

OPTION

GP Galvanized and painted frame

Dim: 450mm (W) x Length: 1395mm (L) x 940" Height: 243mm (L) x 144" Weight: 50 kg (110 lb)

This bike rack must be anchored.

Our warranty applies when our product is properly installed and anchored.

CONCRETE SLABS AND ANCHORS

7020 1 slab 483mm X 1395mm X 152mm (19" X 55" X 6")
 7025 2 slabs 265mm X 711mm X 152mm (10" X 28" X 6")
 Q5 4 stainless steel hook bolts
 Q6V 4 epoxy anchors with stainless steel hook proof bolts

MAGLIN

Haws model 3500D
 Barter-Free, Stainless Steel Pedestal Fountain

MAGLIN

Revision No.	Date	Revision Notes
1	2020-08-11	Rev-issue for ADFP
2	2020-09-28	Rev-issue for ADFP- Revision 2
3	2020-10-30	Rev-issue for ADFP- Revision 3
4	2020-11-17	Rev-issue for ADFP- Revision 4
5	2020-11-24	Rev-issue for ADFP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	ED- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	ED- Flooring Package
E	2020-01-08	ED- Flooring Package Update
F	2020-08-31	Issue for ADFP

1 CUTSHEET: Bench Type 1
 NTS

2 CUTSHEET: Bench Type 2
 NTS

3 CUTSHEET: Bike Rack
 NTS

4 CUTSHEET: Drinking Fountain
 NTS

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Project
QE Meadows

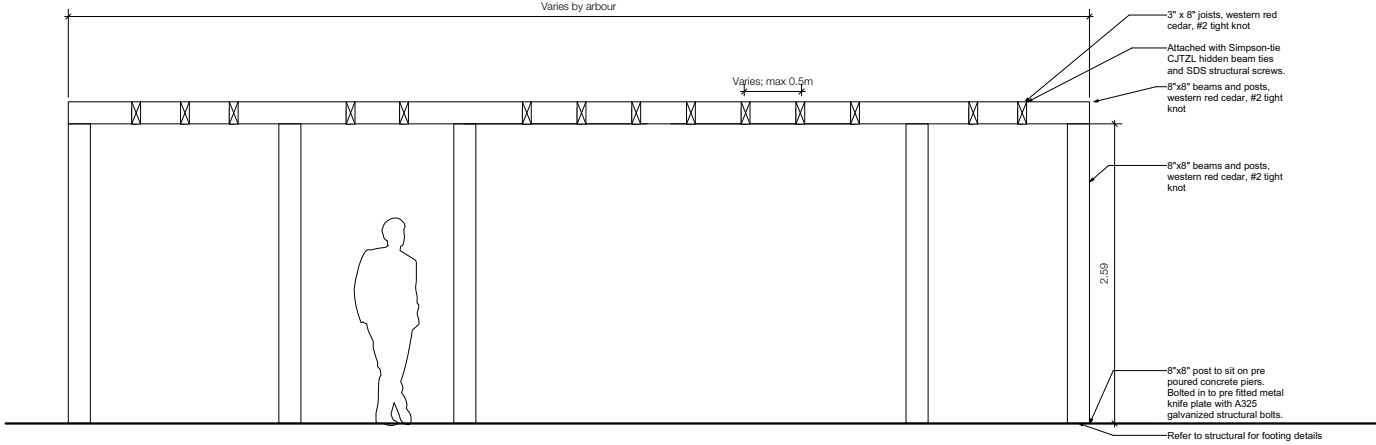
134 & 94A Surrey, BC

Drawing Title
Site Furnishings Details

Legal

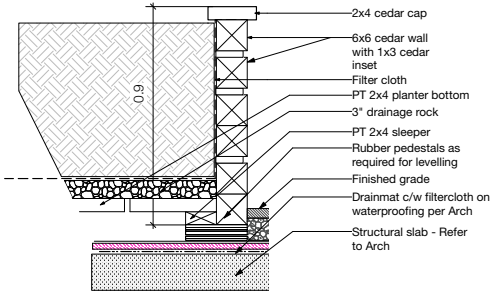
Project Manager	Project ID
AAE	21823
Client	Scale
AAE	AS NOTED
Reviewed By	Drawing No.
DT	L11.1
Date	of
2019.09.25	30

Plot Date:

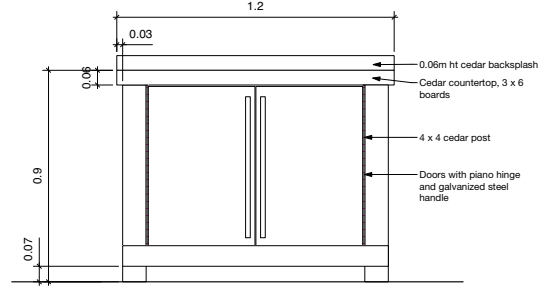


5 DETAIL: WOODEN ARBOUR, TYP.
 Scale: 1:20

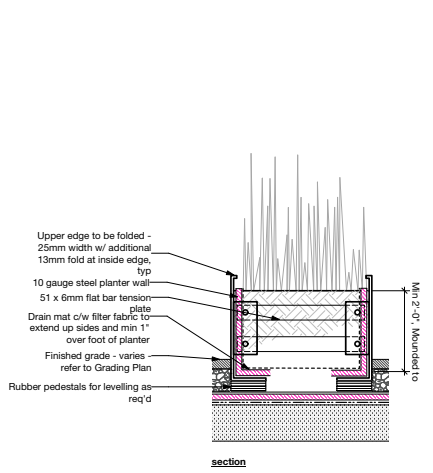
NOTE: SHOP DRAWINGS TO BE PROVIDED



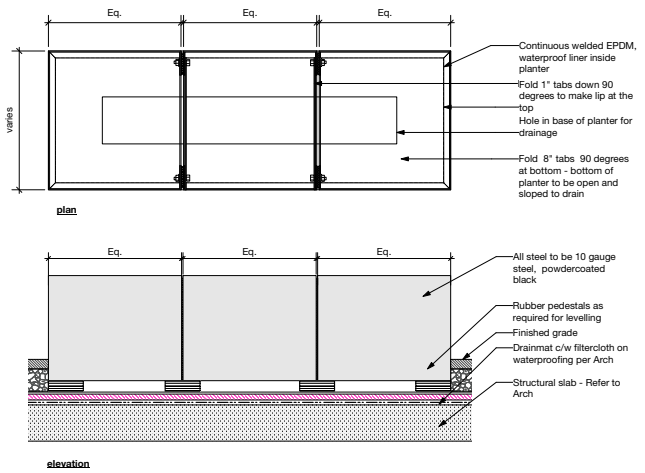
1 DETAIL: WOODEN PLANTER
Scale: 1:10



2 DETAIL: POTTING BENCH
Scale: 1:10



3 DETAIL: METAL PLANTER
Scale: 1:10



NOTE: SHOP DRAWINGS TO BE PROVIDED

Revision No.	Date	Revision Notes
1	2020-08-11	Re-issue for ADP
2	2020-09-28	Re-issue for ADP- Revision 2
3	2020-10-30	Re-issue for ADP- Revision 3
4	2020-11-17	Re-issue for ADP- Revision 4
5	2020-11-24	Re-issue for ADP- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Flooring Package
E	2020-01-08	SD- Flooring Package Update
F	2020-08-31	Issue for ADP

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Project

QE Meadows

134 & 94A Surrey, BC

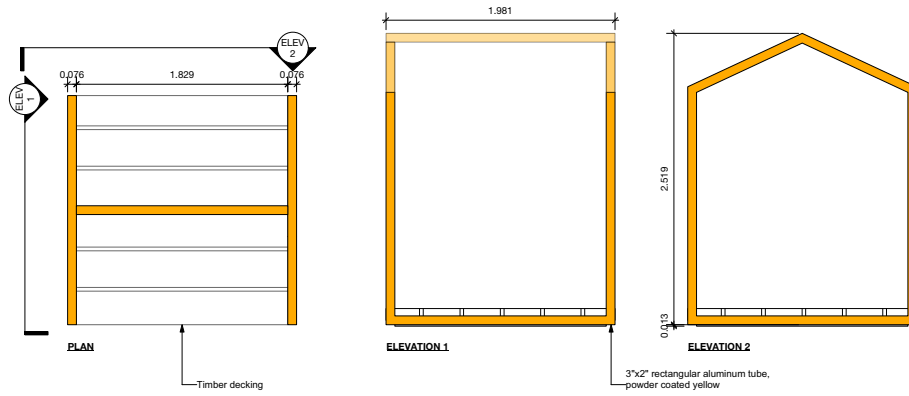
Drawing Title

Site Furnishings Details

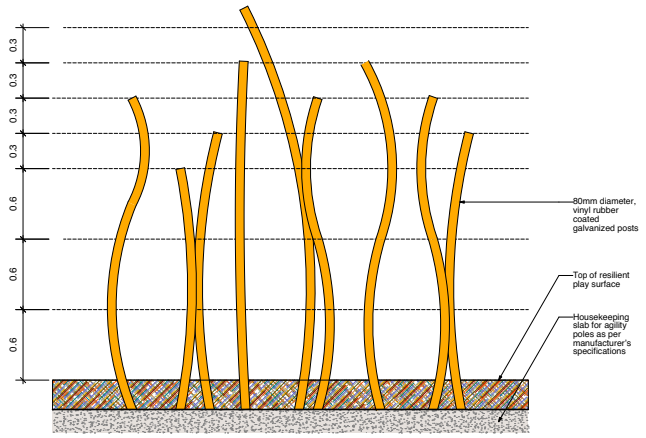
Legal

Project Manager AAR	Project ID 21823
Client AAR	Scale AS NOTED
Prepared By DT	Drawing No. L11.2
Date 2019.09.25	Sheet No. 30

Plot Date:



1 DETAIL: Play Frame
Scale: 1:20



2 DETAIL: Agility Poles
Scale: 1:20

Revision No.	Date	Revision Notes
1	2020-09-11	Re-issue for ADR
2	2020-09-28	Re-issue for ADR- Revision 2
3	2020-10-30	Re-issue for ADR- Revision 3
4	2020-11-17	Re-issue for ADR- Revision 4
5	2020-11-24	Re-issue for ADR- Revision 5

Issue No.	Date	Issue Notes
A	2019-10-25	SD- Issue for Client Review
B	2019-11-04	SD- For Review
C	2019-11-19	SD- For Review
D	2019-11-27	SD- Reconciling Package
E	2020-01-08	SD- Reconciling Package Update

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Project

QE Meadows

134 & 94A Surrey, BC

Drawing Title

Site Furnishings Details

Legal

Project Manager	Project ID
AAR	21823
Client	AS NOTED
AAR	AS NOTED
Prepared By	Drawing No.
DT	L11.3
Date	or
2019.09.25	30

Plot Date:

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 17, 2020** PROJECT FILE: **7819-0370-00**

RE: **Engineering Requirements
Location: 9444/9458 - 134 Street, 13437 & 13445 - 94A Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate varying width between 2.442m and 3.442m along 134 Street.
- Dedicate 4.942m along 94A Avenue.
- Dedicate minimum 6.0m for Green Lane for a total ultimate 12.0m width.
- Dedicate 4.0m for Walkway for a total ultimate 8.0m width.
- Dedicate required corner cut.
- Provide 0.5m wide statutory rights-of-way along site frontages.

Works and Services

- Construct east side of 134 Street, north side of 94A Avenue, Green Lane and Walkway.
- Implement recommendations of geo-technical report.
- Construct storm main along the Green Lane and Walkway.
- Construct minimum 250mm sanitary main along 134 Street, 94A Avenue, and along the Green Lane.
- Complete drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Construct minimum 250mm water main along 134 Street. Submit fire flow analysis and determine the extent of upsizing works required.
- Provide water, storm and sanitary service connections to support the development.
- Register applicable legal documents as determined through detailed design.
- Secure off-site working easements and tree cutting permits, if applicable.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone/Subdivision. A processing fee of \$45,822.00 is required.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.
Development Services Manager

HB4

NOTE: Detailed Land Development Engineering Review available on file



November 20, 2020

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 19 0370 00

SUMMARY

The proposed 174 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	9
Secondary Students:	9

September 2020 Enrolment/School Capacity

Cindrich Elementary	
Enrolment (K/1-7):	43 K + 381
Operating Capacity (K/1-7)	38 K + 443
Queen Elizabeth Secondary	
Enrolment (8-12):	1447
Capacity (8-12):	1600

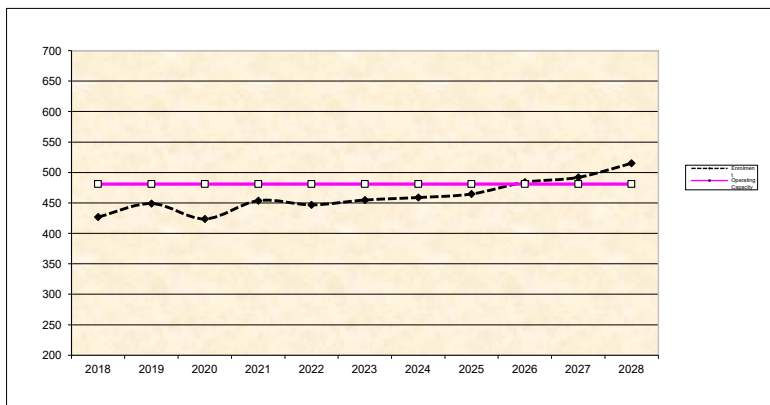
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

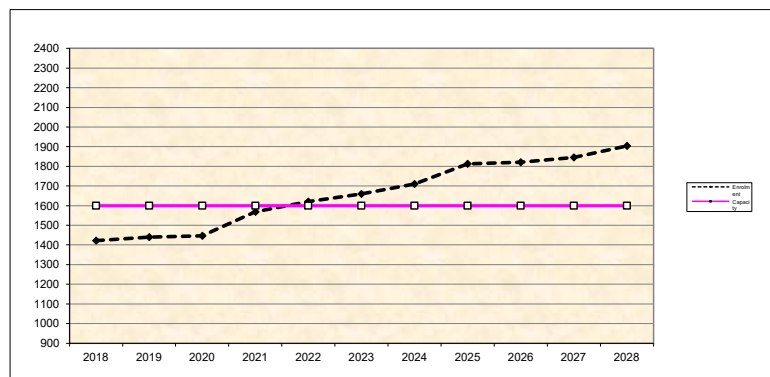
Cindrich Elementary is located in a maturing neighbourhood. The 10-year projection shows that the school is growing at a modest pace and is projected to reach 100% capacity around 2026. This projection may be conservative and dependent on the rate of development around the intersection of 96th Ave and King George. If residential construction is completed faster than modeled, the growth will show a steeper trend line and may not be able to accommodate future growth with portables. There are no current plans to expand this existing school; and based on this projection, any future growth can be accommodated with 4 portables or less.

As of September 2020, Queen Elizabeth Secondary is operating at 90% capacity. Over the next 10 years this school is projected to experience a strong growth trend. Like the elementary school, the proposed new higher density development anticipated around King George Boulevard and 96th Avenue will also fuel secondary growth in the catchment. There are no current plans to expand the existing high school but enrolment will be monitored over the next several years to oversee any changes to rate of growth.

Cindrich Elementary



Queen Elizabeth Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

4.0 Tree Preservation Summary

Table 3: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number Unknown
 Site Address 9444 and 9458 134 Street, 13437 13445 94A Avenue
 Registered Arborist Conor Corbett (PN-8429A)

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	19
Protected Trees to be Removed	19
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 4 X one (1) = 4 - All other Trees Requiring 2 to 1 Replacement Ratio 15 X two (2) = 30	34
Replacement Trees Proposed	54
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	6
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 6 X two (2) = 12	12
Replacement Trees Proposed	5
Replacement Trees in Deficit	7

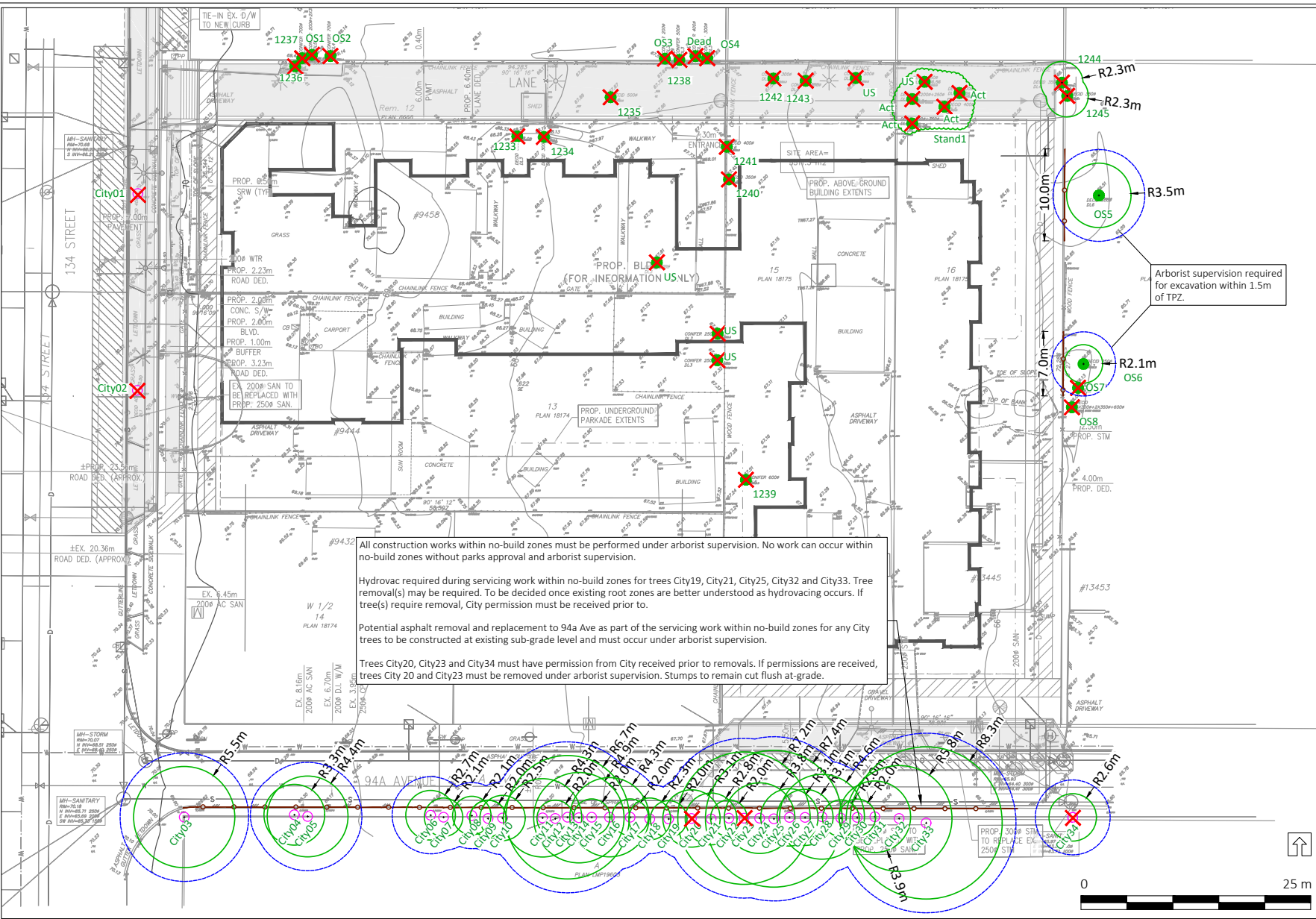
Summary, report and plan prepared and submitted by



Signature of Arborist

November 17, 2020

Date



- LEGEND**
- CRITICAL ROOT ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION ZONE AND FENCING
 - SURVEYED TREE TO BE RETAINED
 - UN-SURVEYED TREE TO BE RETAINED
 - ✗ TREE TO BE REMOVED

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (The trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

- REFERENCE DRAWINGS**
1. Base Survey by Butler Sundvick dated April 13, 2018.
 2. Preliminary Servicing Plan by CoreGroup Consultants dated 06/08/2020.
- NOTE: Preliminary Servicing Plan shown on our TMP is from PDF file. Alignment and scaling of Plan is as accurate as possible as result.



3559 COMMERCIAL STREET
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Drawing title: Tree Management Plan
Project address: 9444 and 9458 134 Street, 13437 and 13445 94A Avenue, Surrey BC
Client: Porte Communities

Drawing No: 004
Date: 2020/06/17
Drawn by: CPC/DBE
Page Size: TABLOID 11"x17"

Page #
1 of 1



Integra ARCHITECTURE INC.

2330-200 Granville Street, Vancouver, BC, V6C 1S4
www.integra-arch.com | Telephone: 604 688 4220

November 3, 2020

[Revised November 27, 2020]

Christa Brown
City of Surrey Planning & Development

ADVISORY DESIGN PANEL STATEMENT OF REVIEW – *DESIGN TEAM RESPONSES*

Key Points:

- Consider bringing greater articulation to the east elevation. *The East elevation has been revised and improved through revisions to the lobby, amendments to setback and the introduction of a brick base to the façade - see more detailed descriptions below.*
- Consider further development of the NW plaza with the goal of making it more public. *The building canopy and structure have been pulled back, away from the corner plaza to make this outdoor space feel more public than private. Landscape improvements have also been incorporated.*
- Consider stronger connectivity between the indoor and outdoor amenity spaces. *Indoor amenity spaces have been revised and improved – see more detailed descriptions below:*
- Consider simplifying the connection between the south lobby and the elevator lobby. *South lobby has been revised – moved to the South-East corner to improve the circulation flow to the elevator - see more detailed descriptions below.*
- Consider simplifying the canopy expression by removing the joist expression. *Exposed joists have been removed.*
- Consider relocating the visitor accessible stalls to the area across from the elevator. *Accessible stalls have been relocated closer to elevator number 4 as discussed at the ADP meeting.*
- Consider ensuring decks are Accessible in all adaptable suites. *Accessible balconies will be considered during the detailed design stage [Building Permit].*
- Consider targeting a maximum 5% slopes in all sloped walkways. *Maximum 5% slopes are proposed apart from the ramp in the South lobby which is 1:12 as allowed in the 2018 edition of the BC Building Code.*
- Consider utilizing the energy model as a design tool. *Energy modelling will be developed at detailed design stage once we know for certain which step code level will be required [related to the provision [or not] of district energy.*

Site

- Consider the configuration of the indoor amenity spaces to the west, in terms of distribution and relation to the outdoor amenity. The outdoor amenity connection is narrow. The integration of amenity is challenging. The geometry of outdoor amenity is competing with patios. *The indoor amenity has been revised to enhance usability, accessibility and access to daylight. The space has been enlarged [by reworking the West residential lobby elevation change location] to allow it to connect to the amenity space fronting the green street/lane. Additional windows have been provided on this façade. The parkade exit stair previously located at the South-East corner of the lounge area has been relocated further West to open up the corner looking into the outdoor amenity space with additional glazing. The amenity space is now more contiguous between inside & outside. Private patios for units facing into the courtyard have a generous landscape buffer. **The G2 unit in particular has been revised to relocate the principal outdoor patio space away from the amenity room. The window closest to the G2 unit in the amenity room has been deleted.***
- The amenity should have a more continuous space between the indoor and outdoor spaces. *The indoor amenity has been revised to enhance usability, accessibility and access to daylight. The space has been enlarged [by reworking the West residential lobby elevation change location] to allow it to connect to the*

amenity space fronting the green street/lane. Additional windows have been provided on this façade. Previous floor elevation differences and ramps have been eliminated to provide a level space to maximise useability and flexibility. The parkade exit stair previously located at the South-East corner of the lounge area has been relocated further West to open up the corner looking into the outdoor amenity space with additional glazing. The amenity space is now more contiguous between inside & outside. The additional daylight is beneficial, assisting with user orientation, enhancing the experience of using the indoor spaces.

Form and Character

- Entry ground floor canopy exposed joists is not necessary. Consider making the entry canopy coloured and soffit with wood as in the upper floors. *The expressed joists at ground floor unit canopies have been removed. Canopies will have wood toned soffits. The fascia is coloured complimentary to the building colours and materials. It was not deemed necessary to introduce another colour here as the intent is to have coloured entry doors.*
- The elevations are well handled and thoughtful. The parkade access space is good. *Some additional refinements to the lobbies and East elevations are included in the submission to accompany this letter.*
- The elevations are successful, the massing is articulated well, the north and south west are highly articulated. There is less articulation near the east. Consider more articulated east elevation. *The East elevation has been revised and improved to account for the corner lobby relocation and adjustments to comply to a 4.5m setback. A two-storey brick base has been introduced to continue the public realm interface of the other public facades to create a townhouse look. Overall, this façade has improved to equal the successful articulation of the other facades.*
- Reconsider the placement of the lobby to the south. A narrow corridor takes you to elevator, which is less successful. *The South residential lobby has been relocated to the South-East corner, providing an improved circulation experience to the elevator. This has also created the opportunity for a second 'corner plaza' on the East side, close to the proposed multi-use pathway proposed along the East property line.*
- The amenity has constraints. Consider higher quality interior amenities. Review the amenity package. *A variety of amenities are proposed, including a gym, games room, lounge and party room/flex space. The amenity space is generous and the programming will develop with the Owner's input towards completion of the building, taking into account market expectations closer to occupancy.*
- There is conflict within the interior amenity on the west side. *The indoor amenity has been revised to enhance usability, accessibility and access to daylight. The space has been enlarged [by reworking the West residential lobby elevation change location] to allow it to connect to the amenity space fronting the green street/lane. Additional windows have been provided on this façade. Previous floor elevation differences and ramps have been eliminated to provide a level space to maximise useability and flexibility. The parkade exit stair previously located at the South-East corner of the lounge area has been relocated further West to open up the corner looking into the outdoor amenity space with additional glazing.*
- The unit mix is good with liveable sizes and 9 ft ceilings.
- Parking is efficient. *With the permit to remove the neighbouring trees impacting the East setback, further efficiencies in the parkade have been implemented.*
- Consider concentrating elevators together to focus high noise and traffic locations together. *The elevators function better for usability in the locations we have proposed. This is a long building – by spacing the elevators out, residents will have less distance to travel within the building and within the parkade.*
- The fire wall is strategically placed. *The fire wall location is integral to the building design and has been incorporated in the overall design.*

Landscape – See attached response letter from ETA Landscape Architects.

- The patios at grade and buffer planting is well handled with transition onto street.
- The plaza next to the lobby on the north west corner seems less like a plaza and more like a lobby entry. The emphasis is on building entry and is not inviting to those walking by to engage and sit down. Consider further design development.
- The upper outdoor amenity is an amazing opportunity. Consider enhancing the weather protection with cover trellis that does not reduce day light but additional weather protection.
- Dog fountain could be seating under the trellis.
- Review the streetlights on north side lane in the interim, green lane will be ultimately 12m with streetlights. The exterior amenity area is well considered and articulated given the space that is provided.
- There may be a bit of a noise conflict between the private patio and exterior spaces. Ensure that planting is provided to buffer the separation.

CPTED

- No specific issues were identified. *CPTED was considered in the development of the design and further enhancements have been incorporated, including better enclosures of parking exits to the courtyard space.*

Sustainability

- Make sure DES is coordinated. The DE servicing map would fall in servicing Area A. *District Energy connection has been allowed for in the building design. It is not clear at this time whether or not this building will be serviced by the District Energy system – to be determined.*
- Consider energy modelling as early as possible and use it as a design tool. *Energy modelling will be developed at detailed design stage once we know for certain which step code level will be required [related to the provision [or not] of district energy.*

Accessibility

- The disabled parking spaces is adequate. *The accessible parking is in compliance with the zoning bylaw.*
- Consider that the disabled parking stalls be located across from the elevator for easier access. *On level P1, the accessible stalls in the visitor parking area [car & van stalls] have been relocated closer to elevator 4 [across the drive aisle]. The same location has been applied for the accessible stalls on level P2.*
- Consider the elevator and entrance call button panel to be accessible. *The elevator and entry intercom systems will be designed and installed with consideration of accessibility.*
- Consider emergency call buttons in the parking lobbies. *Emergency call buttons in the parking lobbies will be provided.*
- Recommend that the entrance door be power operated. *Power operated door openers will be provided at building entries to enhance accessibility.*
- Recommend the ramping not exceed 5% slope. *All ramps and sloped slabs are proposed as less than 5% slope.*

Respectfully submitted,

*Steve Watt, Architect AIBC AANB MRAIC Registered Architect in the UK, RIBA RIAS
Integra Architecture Inc.*

Dale Staples *Architect AIBC AAA NSAA AANB MRAIC Principal*
Duane Siegrist *Architect AIBC AAA NSAA AANB MRAIC Principal*
Shamus Sachs *Architect AIBC AAA AANB MRAIC Registered Architect (WA) LEED AP Principal*
Collin Truong *Architect AIBC AANB MRAIC LEED GA Principal*
Steve Watt *Architect AIBC AANB MRAIC Registered Architect UK RIBA RIAS Principal*
Rhys Leitch *M.Arch Principal*



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RESPONSE TO ADP COMMENTS

Project: QE Meadows
Project Address: 134 & 94A Surrey, BC
Owner: Porte Communities

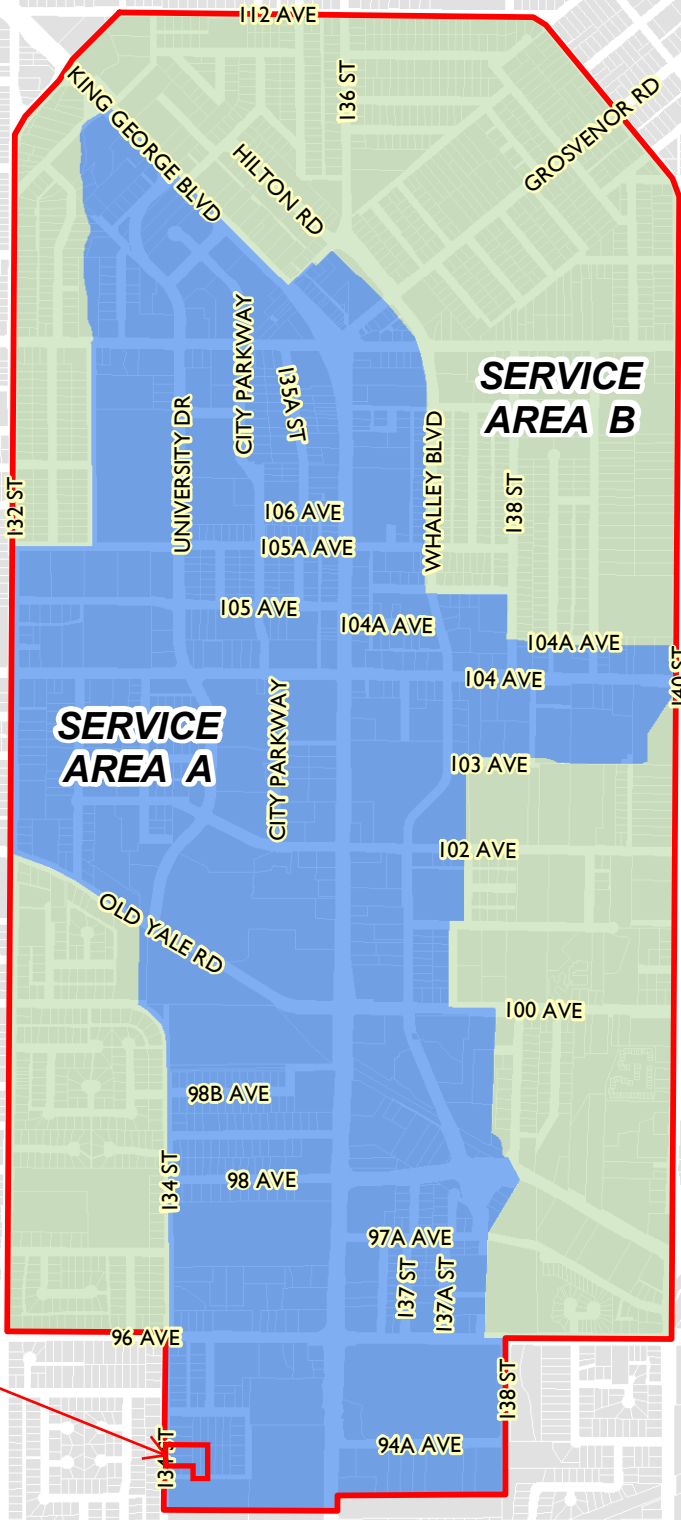
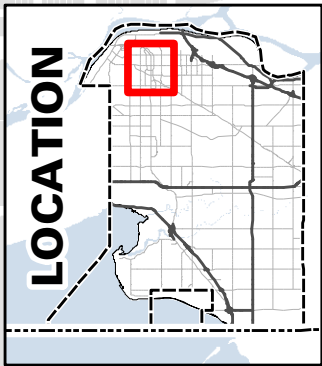
Project No: 21823
Date: 2020.10.06

RE: ADP meeting Project Review Comments Provided on Thursday, September 24, 2020

General Comments:

1. The patios at grade and buffer planting is well handled with transition onto street.
eta response: Thanks for the positive comment
2. The plaza next to the lobby on the north west corner seems less like a plaza and more like a lobby entry. The emphasis is on building entry and is not inviting to those walking by to engage and sit down. Consider further design development.
eta response: Noted & implemented. Design was further developed at the north west corner plaza to be found more inviting. Please refer to "Detail Plan 1: North Entrance" Zoom in Illustrative plan on Landscape Sheet L0.3 Illustrative plan – Entrance Amenity, Revision 3, for more details.
3. The upper outdoor amenity is an amazing opportunity. Consider enhancing the weather protection with cover trellis that does not reduce day light but additional weather protection.
eta response: Not implemented. The upper roof outdoor amenity design was kept as submitted, addition of a shade structure on the rooftop will have weight impact on the building structure without a significant result of being used on rainy days. It has been agreed not to be implemented in the follow up meeting with Planning.
4. Dog fountain could be seating under the trellis.
eta response: Further design development for the north west plaza was implemented in the updated design. Please refer to "Detail Plan 1: North Entrance" Zoom in Illustrative plan on Landscape Sheet L0.3 Illustrative plan – Entrance Amenity, Revision 3, illustrating the new location of the dog fountain.
5. Review the streetlights on north side lane in the interim, green lane will be ultimately 12m with streetlights. The exterior amenity area is well considered and articulated given the space that is provided. There may be a bit of a noise conflict between the private patio and exterior spaces. Ensure that planting is provided to buffer the separation.
eta response: Noted. Bollard lighting on north and east side shared walkway has been added. Planting buffer hedging & trees is already provided to all private patios along raised planters to the north side lane. Please refer to Landscape Sheet L2.0 "Offsite Plan", Revision 3, for more details. & sheet L3.1 "Materials & lighting plan.

eta response by: Amer Abirafeh

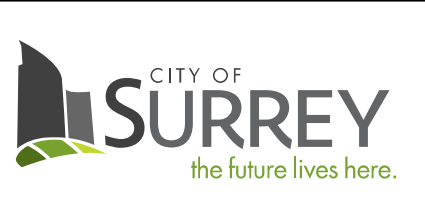


Subject Site

LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.