

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0001-00

Planning Report Date: May 4, 2020

PROPOSAL:

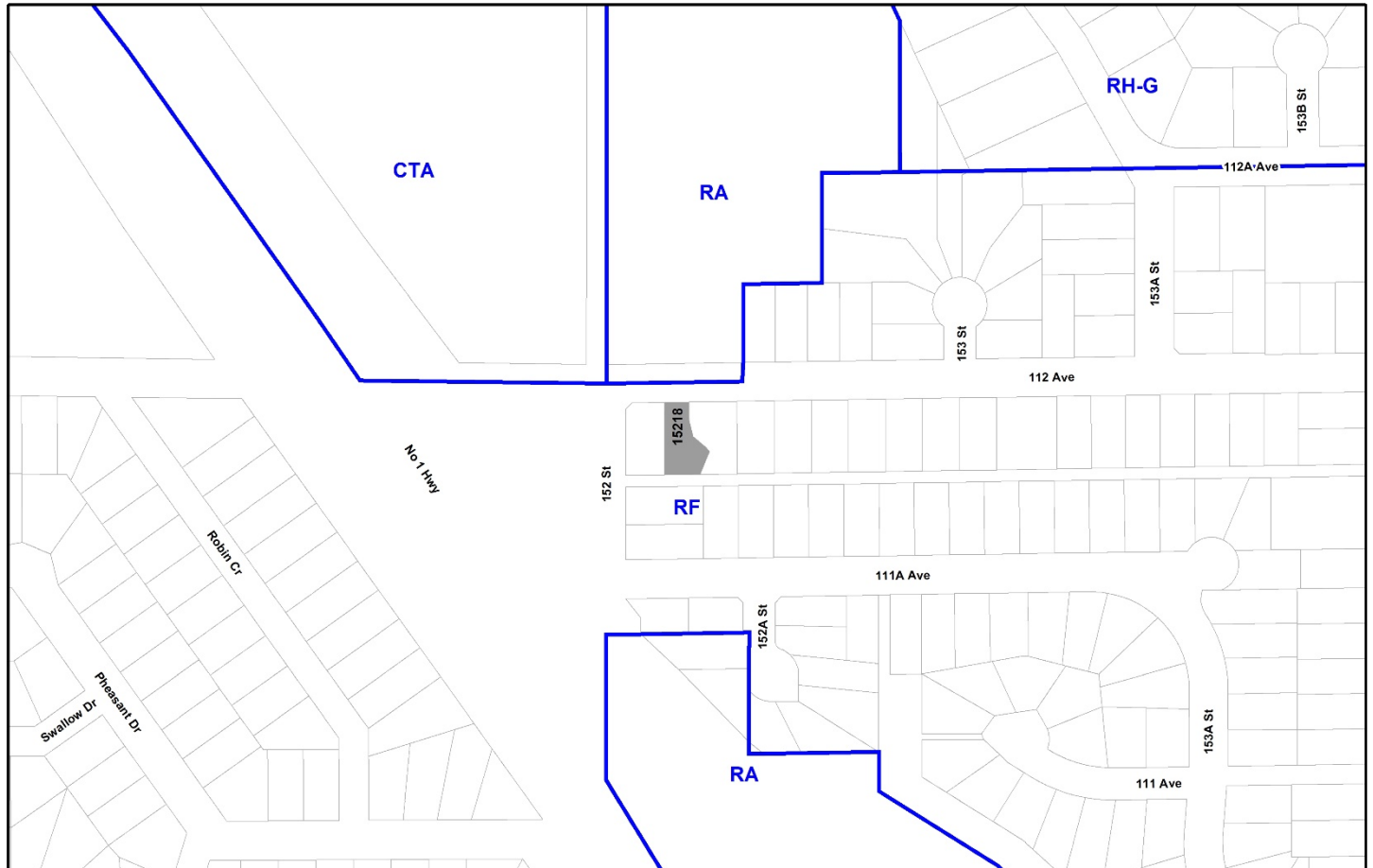
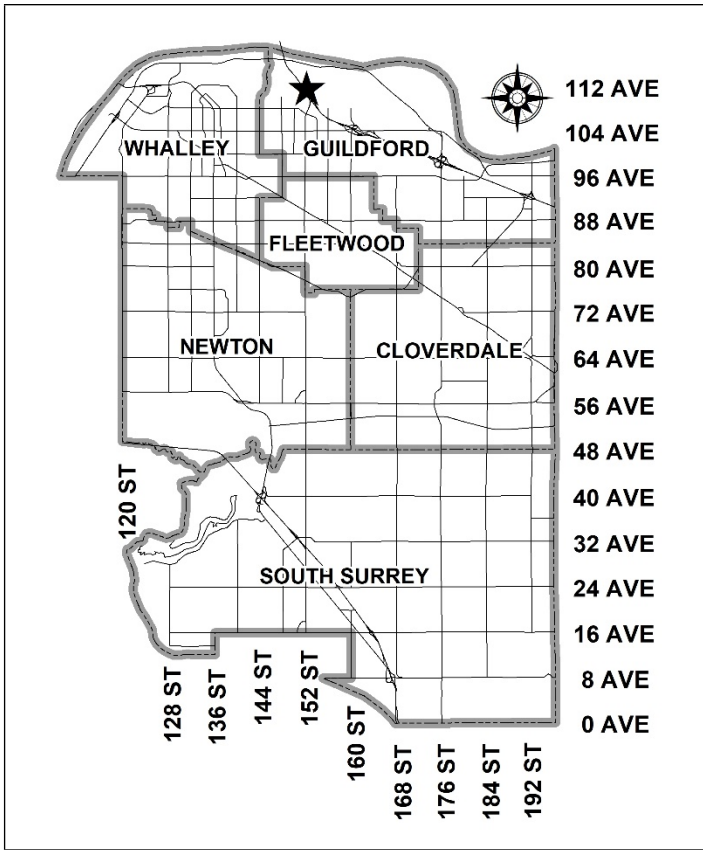
- **Development Permit**
- **Development Variance Permit**

to reduce the minimum streamside setback area for a Class B watercourse, as measured from top-of-bank to permit the construction of a single family dwelling on the existing lot.

LOCATION: 15218 - 112 Avenue

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed a variance to reduce the minimum streamside setback area for a Class B watercourse from 15 metres to 3.3 metres, as measured from top-of-bank in Part 7A of the Zoning By-law.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal partially complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- The proposed variance was previously supported by Council under Development Application No. 7914-0232-01 but lapsed before substantial construction had begun on site. Therefore, the applicant has applied to renew the variance in conjunction with a Development Permit for Sensitive Ecosystems.
- The subject lot was created under Development Application No. 7914-0232-00. The Preliminary Lot Approval (PLA) for this subdivision was issued on April 30, 2015, prior to the adoption of the Streamside Protection requirements in Part 7A of the Zoning By-law and the Sensitive Ecosystem Development Permit Area regulations, which was approved by Council on July 25, 2016. Thus, the proposed variance was previously supported by Council.
- Under the associated subdivision application, the applicants conveyed approximately 36% of the site to the City for open space and riparian area protection purposes and entered into a P-15 agreement with the City to ensure the completion and maintenance of riparian enhancement works on the conveyed lands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Sensitive Ecosystem Development Permit No. 20-0001 generally in accordance with the attached drawings.
2. Council approve Development Variance Permit No. 7920-0001-00 (Appendix IV) to reduce the minimum streamside setback for a Class B yellow-coded watercourse from 15 metres to 3.3 metres at its narrowest point, as measured from top-of-bank to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (b) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant single family lot	Urban	RF
North (Across 112 Ave):	City-owned greenbelt	Urban & Suburban	RF
East:	City-owned greenbelt.	Urban	RF
South (Across unopened lane):	Single family dwelling	Urban	RF
West:	Single family dwelling	Urban	RF

Context & Background

- The subject lot is located at 15218 - 112 Avenue in Fraser Heights and is approximately 621 square metres in size. The lot is approximately 12.4 metres in width and 37.2 metres in depth. The subject lot is designated Urban in the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- The subject lot was created as part of Development Application No. 7914-0232-00, which included subdivision into two (2) single family (RF) lots and one (1) open space lot to protect the riparian area for the Class B yellow-coded watercourse. The Preliminary Layout Approval (PLA) for this subdivision was issued on April 30, 2015, prior to the adoption of the Streamside Protection requirements in Part 7A of the Zoning By-law and the Sensitive Ecosystem Development Permit Area regulations, which was approved by Council on July 25, 2016.

- The lot was created under Development Application No. 7914-0232-00, which conveyed approximate 36% of the site to the City for open space and riparian area protection purposes.
- The applicant entered into a P-15 agreement with the City to ensure the completion and maintenance of riparian enhancement works on the conveyed lands.
- The Preliminary Lot Approval (PLA) for this subdivision was issued on April 30, 2015, prior to the adoption of the Streamside Protection requirements in Part 7A of the Zoning By-law and Sensitive Ecosystem Development Permit Area regulations, which was approved by Council on July 25, 2016.
- The proposed variance is identical to the one previously issued by Council but has since expired.
- Staff support the requested variances to proceed to Public Notification.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks do not comply with the requirements outlined in the Zoning By-law. The applicant is proposing a variance to the streamside setback from 15 metres to 3.3 metres, as previously supported under Development Application No. 7914-0232-01.
- During the initial subdivision, under Development Application No. 7914-0232-00, the riparian area was conveyed to the City for conservation purposes, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Ian Whyte, *R.P. Bio.*, of EnviroWest and dated April 21, 2020 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.
- The applicant also submitted a Riparian Areas Protection Regulation (RAPR) assessment report prepared by a Registered Professional Biologist regarding the Class B yellow-coded watercourse, which supported a minimum 3.3 metre riparian area setback from the top-of-bank. The RAPR assessment report was reviewed by the Province, and the proposed 3.3 metre (11-ft.) riparian area setback was found to be acceptable.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associated Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Western Red Cedar	2	1	1
Total	2	1	1
Additional Trees in the proposed Open Space / Riparian Area	2	0	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		2	
Total Retained and Replacement Trees		4	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there is a total of 2 mature trees on the site. There are no Alder and Cottonwood trees on site. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Tree #2264 is currently shown for removal but may be possible to retain. Staff will be working diligently with the applicant to explore all opportunities to retain this tree and this issue will be resolved prior to Final Approval.
- Table 1 includes an additional 2 protected trees that are located within the riparian area. All trees within the riparian area will be retained.
- If Tree #2264 cannot be retained, the applicant will be required to plant trees at a 2 to 1 replacement ratio. This will require a total of 2 replacement trees on the site. The applicant is proposing 2 replacement trees, meeting City requirements.
- In summary, a total of 4 trees are proposed to be retained or replaced on the site. No cash contribution to the Green City Program is required.

INFORMATION ATTACHED TO THIS REPORT

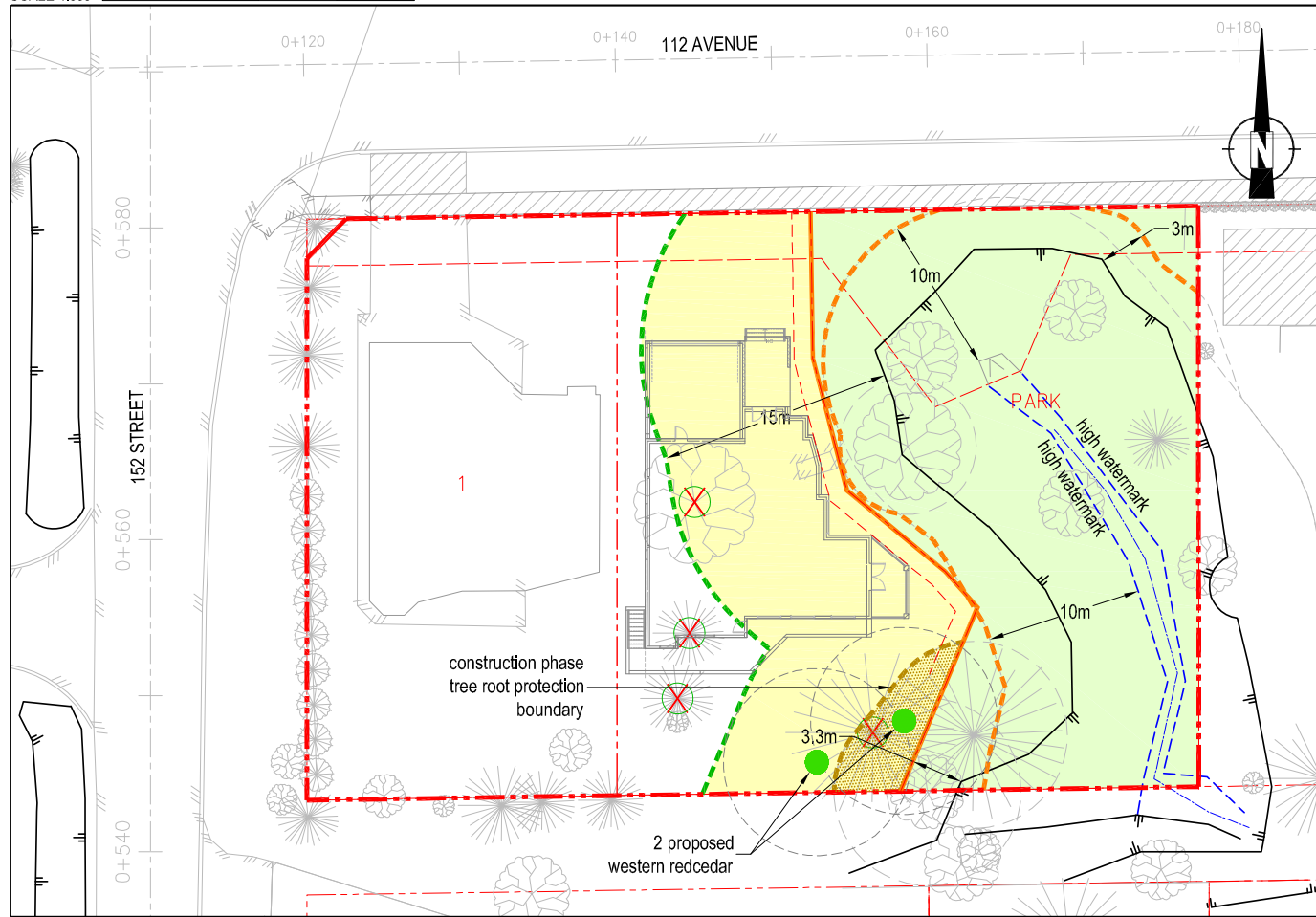
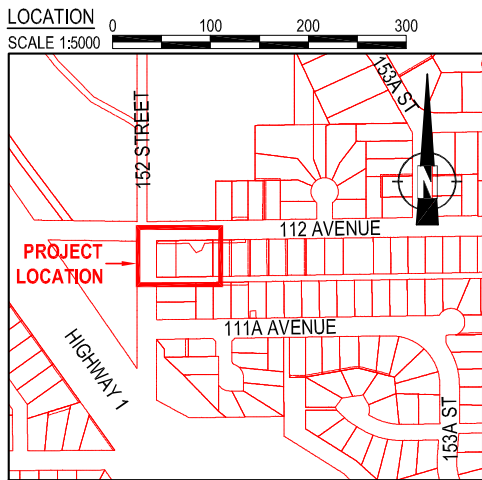
The following information is attached to this Report:

- Appendix I. Streamside Setback Plan
- Appendix II. Site Plan & Building Elevations
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7920-0001-00

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

SJ/cm



LEGEND

- Property Line
- Bylaw Setback
- RAR SPEA
- SPEA Protection Boundary
- Riparian Habitat (767 m²)
- Habitat Loss (452 m²)

REFERENCE DRAWING

1. Drawing No. 1982-01-01. Rev. 03. "Riparian Area Regulation Zones of Sensitivity and Streamside Protection and Enhancement Area". March 11, 2015. Envirowest Consultants Inc.
2. Email: Site Plan Final 1.dwg. Received April 20, 2020; Gurjith Sangha.

MR. GURJIT SANGHA
North Vancouver, BC

15212 - 112 AVENUE
Surrey, BC

envirowest
www.envirowest.ca

envirowest consultants inc.

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

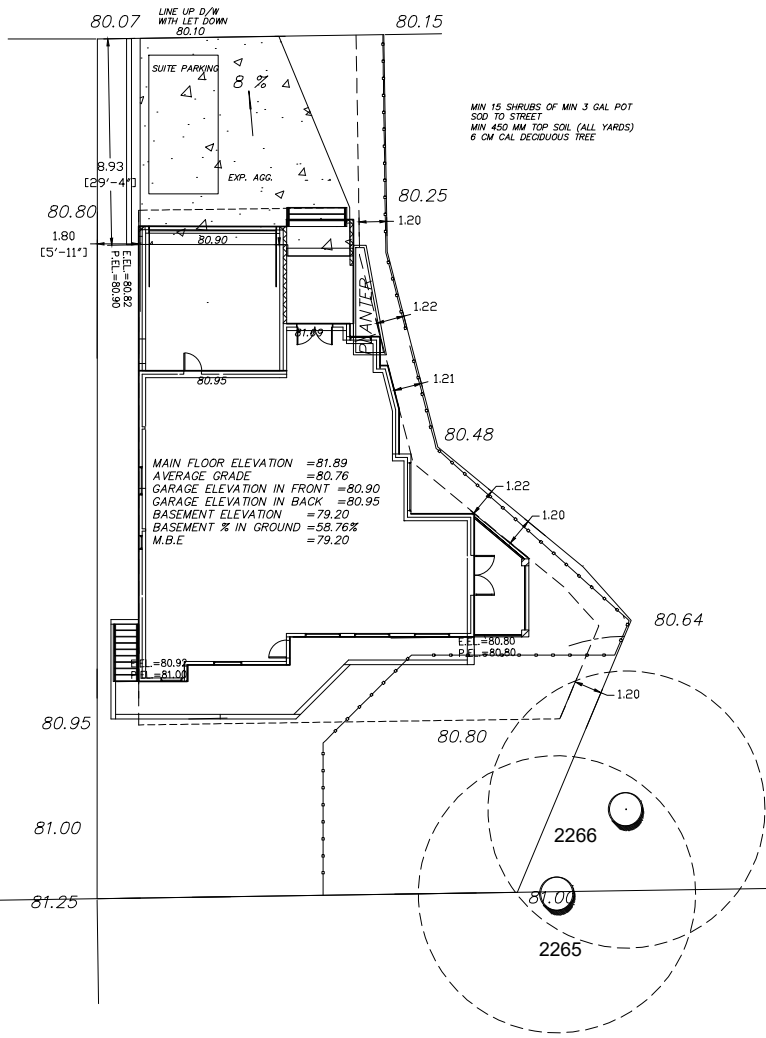
office: 604-944-0502
facsimile: 604-944-0507
saper-vedere@envirowest.ca

SETBACKS

DESIGN: IWW	DRAWN: CEV/SCM	CHECKED: IWW	REVIEWER: 01	REVISION DATE: April 21, 2020
SCALE: As Shown			DRAWING NUMBER: 1982-01-04	
DATE: January 23, 2020				

SITE PLAN

CIVIC ADDRESS 15218 112 AVENUE
SURREY, B.C.
ZONING RF
LOT AREA =6685 SQ FT
PERMITTED FLOOR AREA RATIO 60% X 6000+685X.35
=3839.75 SQ. FT.
PROPOSED FLOOR AREA RATIO MAIN+ GARAGE+ NET TOP FL
= 1779+430+1630=3839 SQ. FT.
PERMITTED TOP FLOOR AREA 80% X(TOTAL MAIN FLOOR+VERANDA)
= 2349X.8=1879.2 SQ. FT.
PROPOSED TOP FLOOR AREA =1850 SQ. FT.
PERMITTED DECK AREA 10% X3839.75 SQ. FT.
= 383.97 SQ. FT.
RESERVED DECK AREA FOR FRONT =160 SQ. FT.
PROPOSED DECK AREA FRONT =140 SQ. FT.
SIDE =110 SQ. FT.
TOTAL =250 SQ. FT.
FIREPLACE =6 SQ FT
PERMITTED LOT COVERAGE = 2582.41 SQ. FT.
PROPOSED LOT COVERAGE =2209+104+110+6=2465 SQ FT
PERMITTED BUILDING HEIGHT 9 M 30 FT
PROPOSED BUILDING HEIGHT 8.69 M

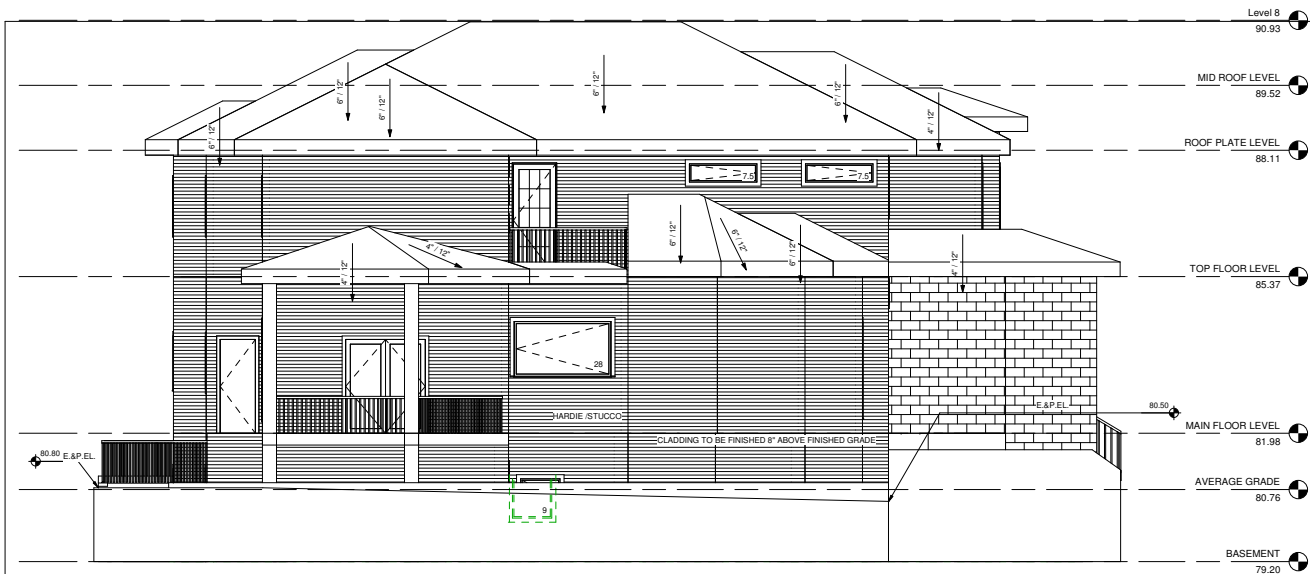


E5 HOME DESIGN INC.

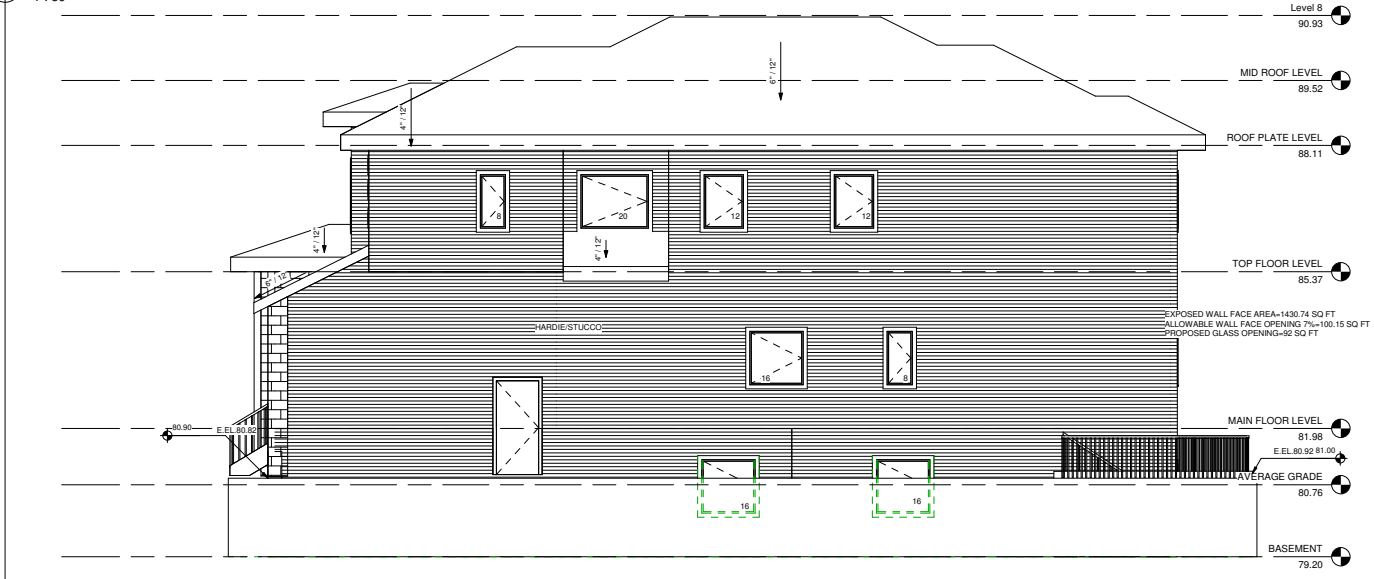
E5 HOME DESIGN INC.
13255 62 AVE
SURREY, B.C.
PHONE 604-512-9527
e5design@outlook.com

PROPOSED HOUSE AT
15218 112 AVENUE
SURREY B.C.





1 LEFT VIEW
1 : 50



2 RIGHT VIEW
1 : 50

E5HOME DESIGN INC.

www.e5design.ca

THESE PLANS CONFORM TO BCBC2018. DESIGNER ASSUMES NO LIABILITY FOR ERRORS & OMISSIONS. BUILDER/OWNER MUST REVIEW WHOLE PLAN FOR ALL DIMENSIONS PRIOR TO CONSTRUCTION.

FENESTRATION (WINDOWS) & DOORS TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN THE VALUES LISTED IN TABLE 9.36.2.7A (BCBC LAST REVISION) FOR THE APPLICABLE HEATING DEGREE DAY CATEGORY CLIMATE ZONE 4 & 5 MINIMUM U-VALUE TO BE 1.80

DOORS TO UNCONDITIONED GARAGE FROM DWELLING UGI 12.6 (U-0.46)

ATTIC ACCESS HATCH RGI 12.6 (R-14.8)

FRONT DOORS UGI 12.6 (U-0.46)

GLASS BLOCK UGI 12.9 (U-0.51)

OVERHEAD GARAGE DOOR WHEN GARAGE CONDITIONED RGI 1.1 (R-6.245)

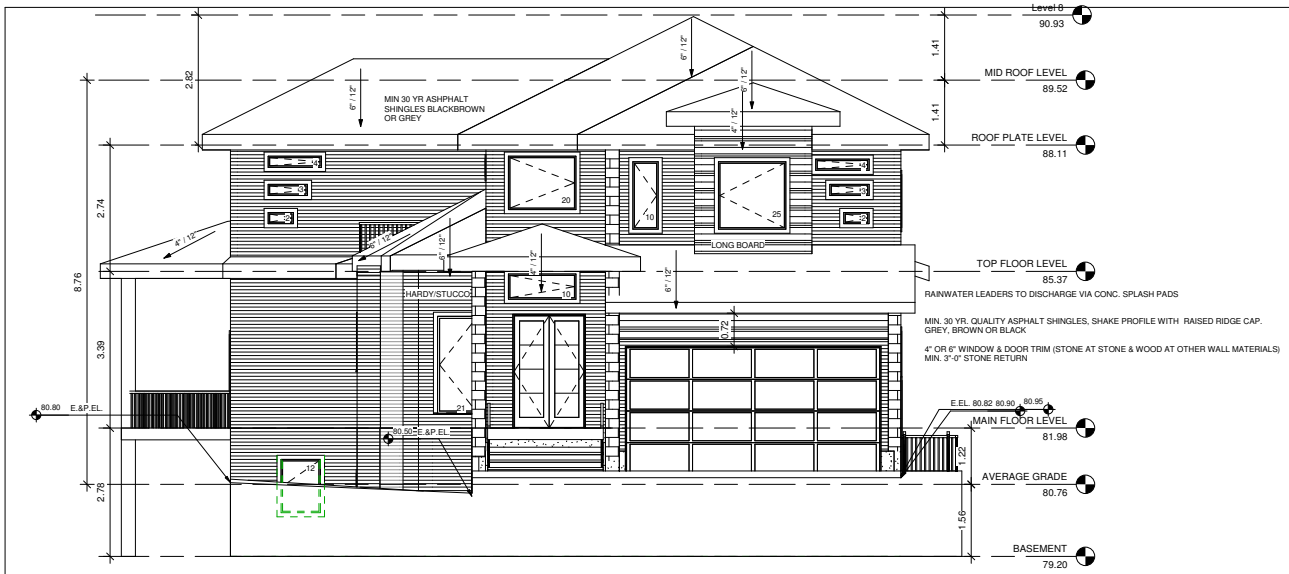
RADIANT FLOOR HEAT ON ALL FLOORS INCLUDING SECONDARY SUITE

NOTES FOR SECONDARY SUITE
ALL RECESSED FIXTURES MUST BE IC TYPE AND HAVE FIRE RESISTIVE RATING.
HEATING AND VENTILATING DUCTS SHOULD NOT BE INTERCONNECTED AND MUST BE INDEPENDENT.
A FIRE SEPARATION IS REQUIRED BETWEEN MAIN & SUITE WHICH CAN BE ACHIEVED BY 5/8 TYPE X DRYWALL ON BOTH SIDES OF WALL & ON THE CEILING.
A VENTILATION SYSTEM SHOULD BE PROVIDED FOR SUITE WHICH COULD BE AS SIMPLE AS A CONTINUOUS RUNNING BATHROOM FAN AND A 6\"/>

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SURREY B.C.
PHONE 604-512-9527
e5design@outlook.com

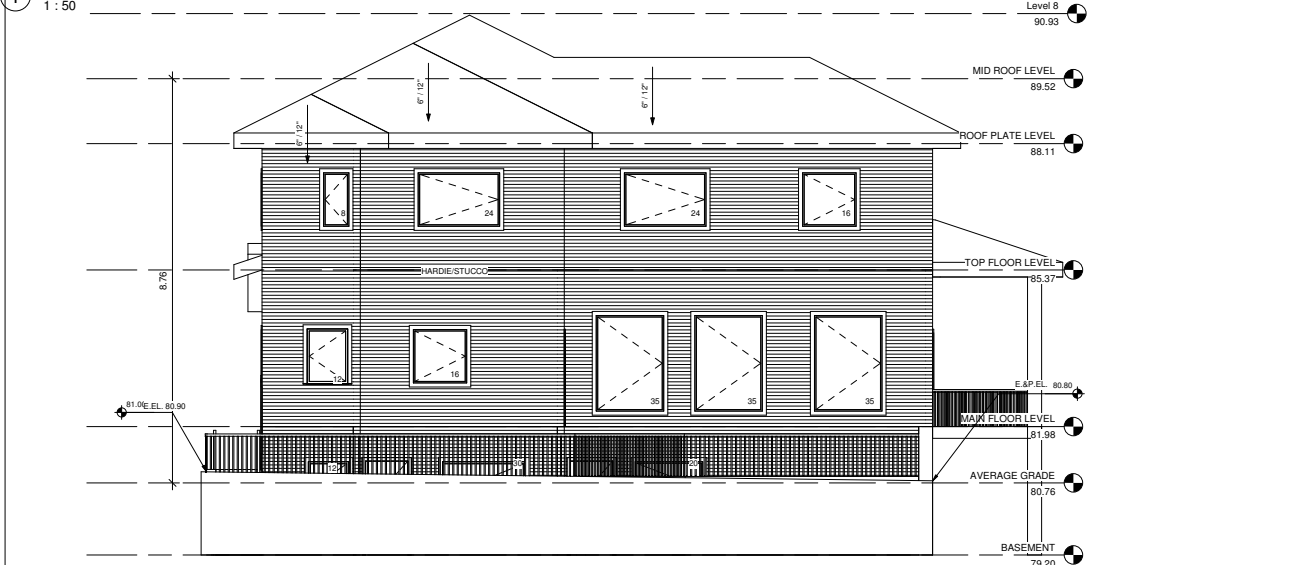
PROPOSED HOUSE FOR A1 IDEAL HOMES
15218 112 AVENUE
SURREY, B.C.
PHONE 6045378499
E Mail

Project number	0002
Date	Issue Date
Drawn by	TEJINDER
Checked by	Checker
A104	
Scale	1 : 50



1 FRONT VIEW

1 : 50



2 BACK VIEW

1 : 50

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www.e5design.ca

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PROPOSED HOUSE FOR A1 IDEAL HOMES
15218 112 AVENUE
SURREY, B.C.
PHONE 6045378499
E Mail

Project number 0002
Date Issue Date
Drawn by TEJINDER
Checked by Checker

A105

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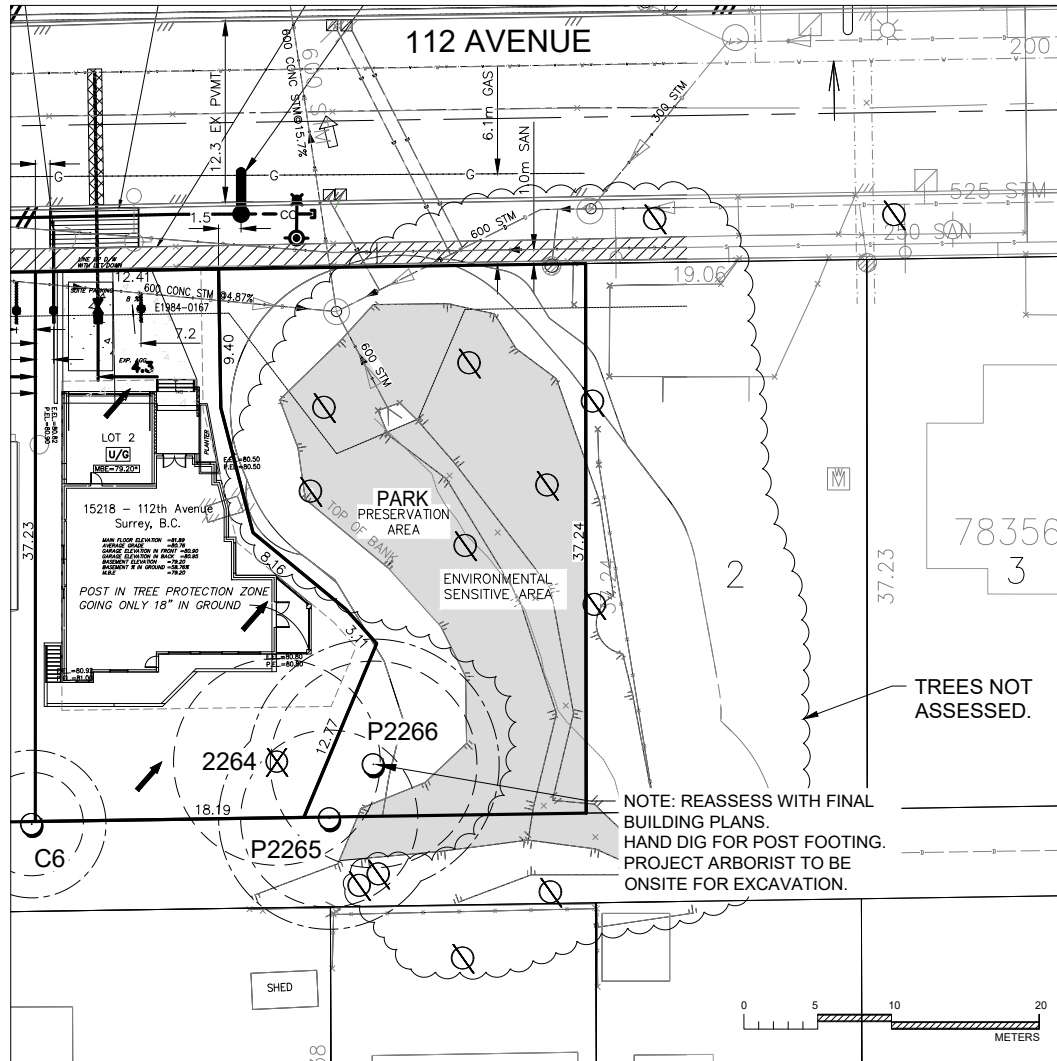
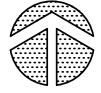
MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	0	0	0
Coniferous Trees			
Cedar, Western Redcedar	2	1	1
Total	2	1	1
Additional Trees in the proposed Open Space / Riparian Area	2	0	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		2	
Total Retained and Replacement Trees		4	

***TOTALS DO NOT INCLUDE OFFSITE TREES**





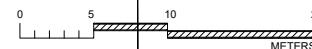
TREES NOT ASSESSED.

NOTE: REASSESS WITH FINAL BUILDING PLANS. HAND DIG FOR POST FOOTING. PROJECT ARBORIST TO BE ONSITE FOR EXCAVATION.

NOTE: TREES IN PARK TO BE ASSESSED BY SURREY'S PARKS, RECREATION AND CULTURE DEPARTMENT

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE TO BE ASSESSED BY SURREY'S PARKS, REC AND CULTURE DEPT.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	DEC1214	SL	NEW SITE PLAN	6	APR0417	MK	REVISED GRADING PLAN WITH BUILDING ENVELOPES	11	MAR2720	MK	REVISED SITE PLAN - LOT 2
2	APR1415	JT	CURRENT REVISIONS	7	APR2117	MK	PROPOSED HOUSE PLAN LOT 1	12	APR1720	MK	REVISED SITE PLAN - LOT 2
3	OCT2815	MK	REVISIONS WITH SIGNALS AND GRADING	8	MAY0417	MK	SPLIT RAIL FENCING ADDED				
4	FEB1716	MK	NEW SITE PLAN	9	SEPT2719	MK	KEY PLAN				
5	AUG1116	MK	NEW SITE PLAN	10	MAR2420	MK	REVISED SITE PLAN - LOT 2				

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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PROJECT TITLE
15218 112 AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

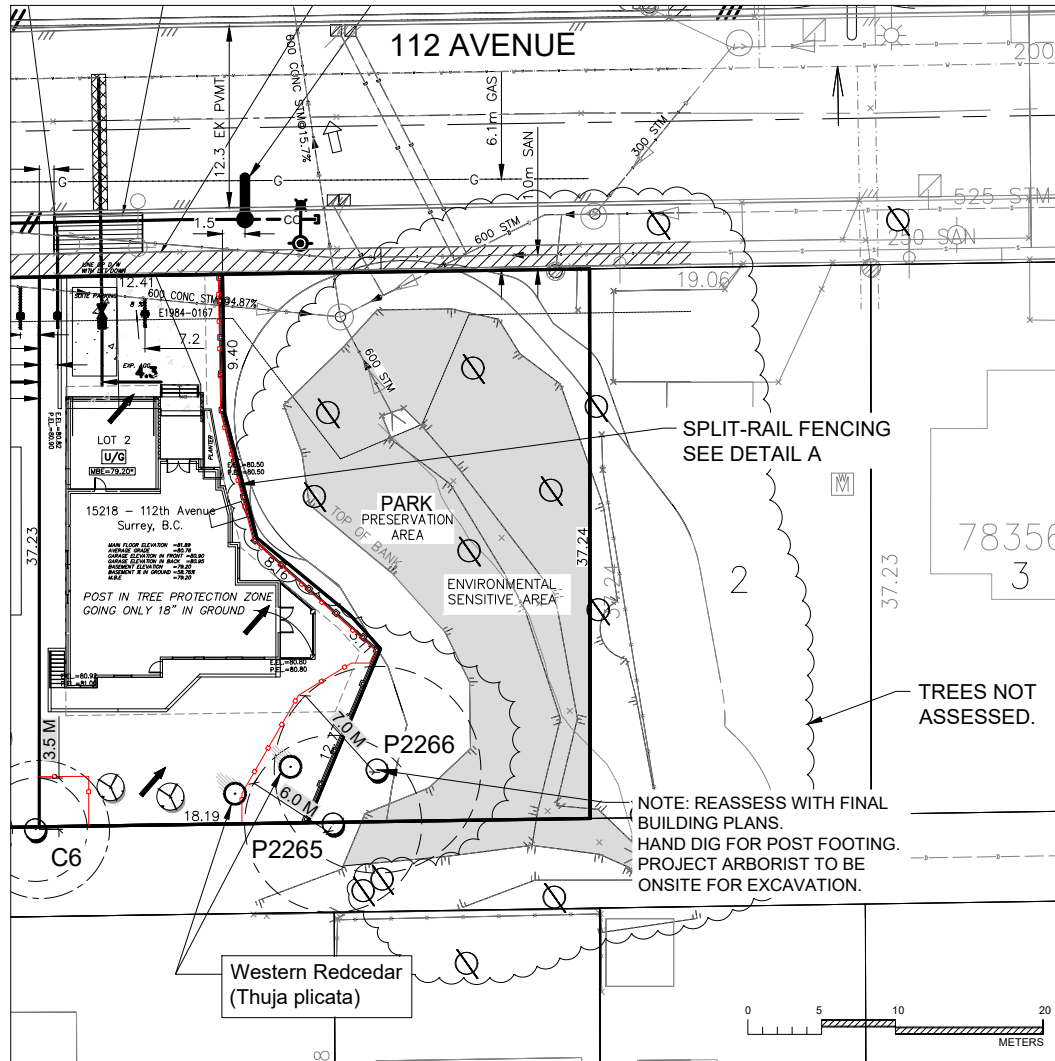
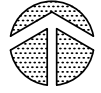
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SCALE
AS SHOWN

DATE
OCTOBER 26, 2015

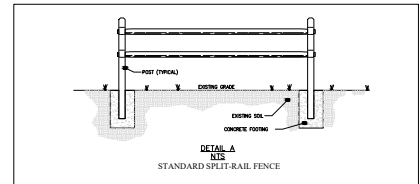
T-1
SHEET 1 OF 2



NOTE: TREES IN PARK TO BE ASSESSED BY SURREY'S PARKS, RECREATION AND CULTURE DEPARTMENT

NOTE: TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

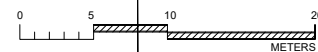
NOTE: REPLACEMENT TREES SHALL CONFORM TO BCSLA/BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



LEGEND

- TREE TO BE RETAINED
- TREE TO BE ASSESSED BY SURREY'S PARKS, REC AND CULTURE DEPT.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET
- DECIDUOUS REPLACEMENT TREE (5 CM. DIA. MINIMUM)
- CONIFEROUS REPLACEMENT TREE (3.0 M HT. MINIMUM)
- TREE PROTECTION FENCING
- TREE PROTECTION SPLIT-RAIL FENCING

NOTE: REASSESS WITH FINAL BUILDING PLANS. HAND DIG FOR POST FOOTING. PROJECT ARBORIST TO BE ONSITE FOR EXCAVATION.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	DEC1214	SL	NEW SITE PLAN	6	APR0417	MK	REVISED GRADING PLAN WITH BUILDING ENVELOPES	11	MAR2720	MK	REVISED SITE PLAN - LOT 2
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PROJECT TITLE
15218 112 AVENUE
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN

CLIENT

DRAWN
MK

SCALE
AS SHOWN

DATE
OCTOBER 26, 2015

T-2
SHEET 2 OF 2

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0001-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-139-015

Lot 2 Section 16 Block 5 North Range 1 West New Westminster District Plan EPP65147

15218 - 112 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Table B.2 of Part 7A "Streamside Protection" the minimum streamside setback area for a "Class B Natural Stream" is reduced from 15 metres to a minimum of 3.3 metres from top-of-bank.
4. This development variance permit applies to Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

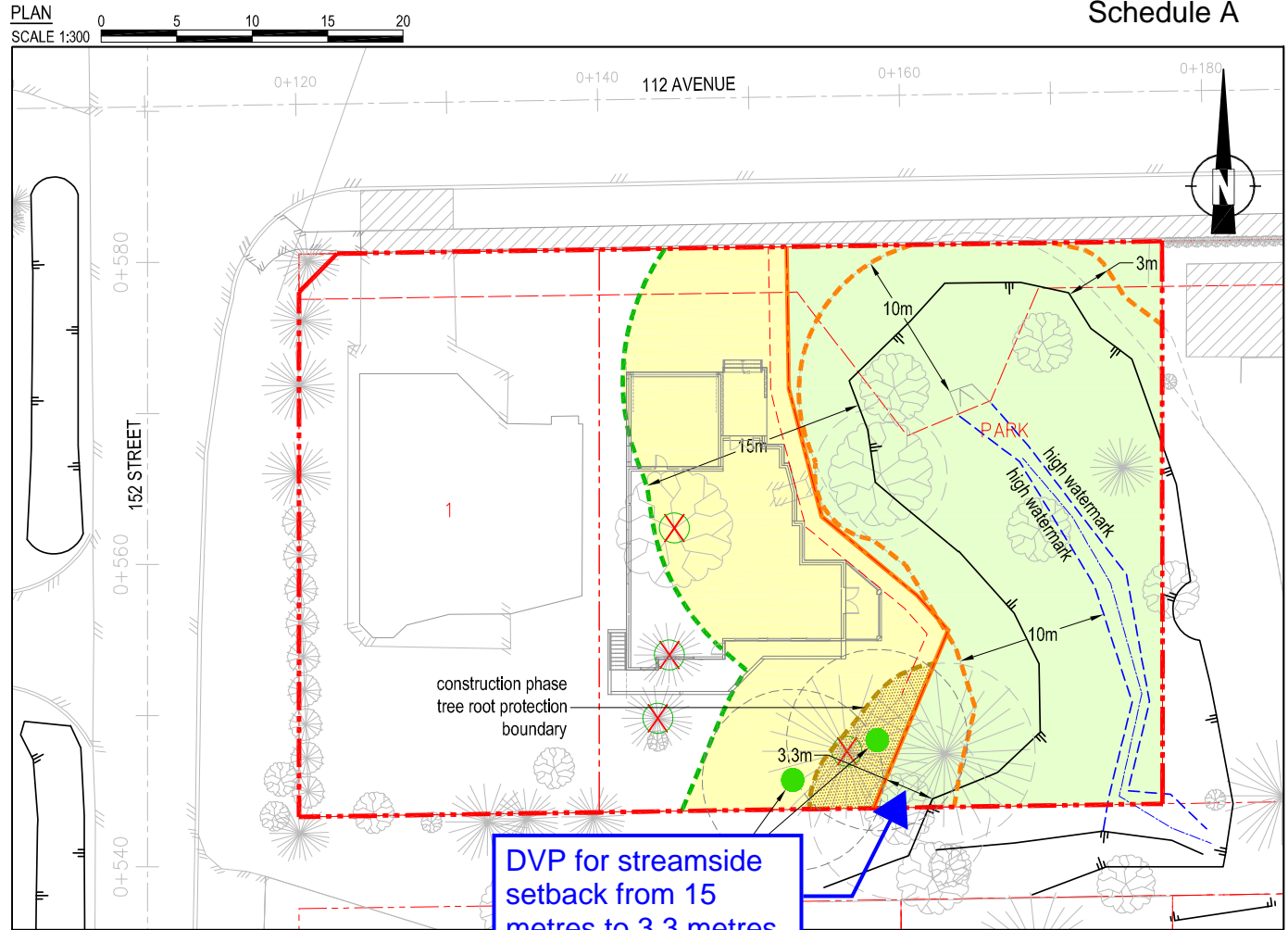
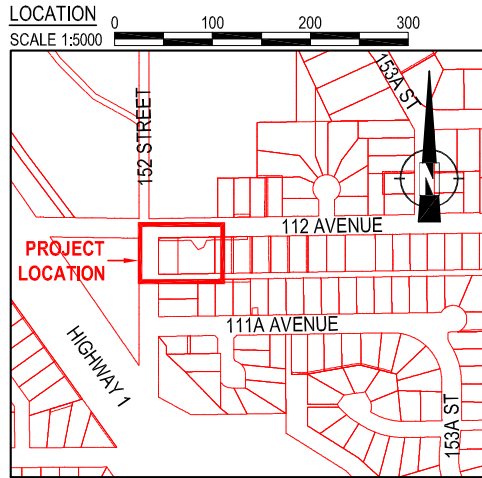
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Schedule A



LEGEND

- Property Line
- Bylaw Setback
- RAR SPEA
- SPEA Protection Boundary
- Riparian Habitat (767 m²)
- Habitat Loss (452 m²)

DVP for streamside setback from 15 metres to 3.3 metres

REFERENCE DRAWING

1. Drawing No. 1982-01-01. Rev. 03. "Riparian Area Regulation Zones of Sensitivity and Streamside Protection and Enhancement Area", March 11, 2015. Envirowest Consultants Inc.
2. Email: Site Plan Final 1.dwg, Received April 20, 2020; Gurjith Sangha.

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North Vancouver, BC

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office: 604-944-0502
facsimile: 604-944-0507
saper-vedere@envirowest.ca

SETBACKS

DESIGN: IWW	DRAWN: CEV/SCM	CHECKED: IWW	REVISOR: 01	REVISION DATE: April 21, 2020
SCALE: As Shown			DRAWING NUMBER: 1982-01-04	
DATE: January 23, 2020				