

City of Surrey  
ADDITIONAL PLANNING COMMENTS

Application No.: 7920-0001-01

Planning Report Date: May 25, 2020

**PROPOSAL:**

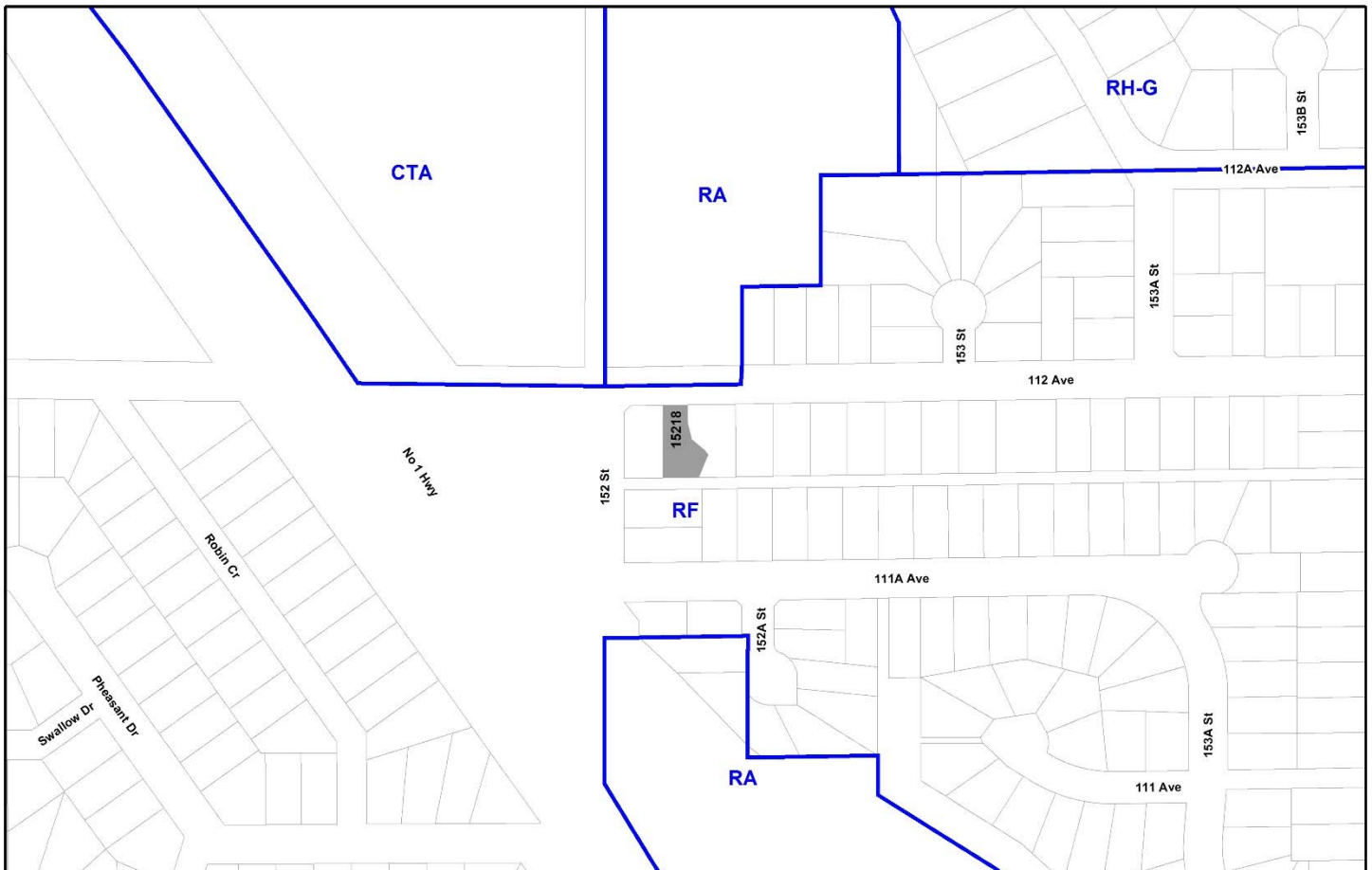
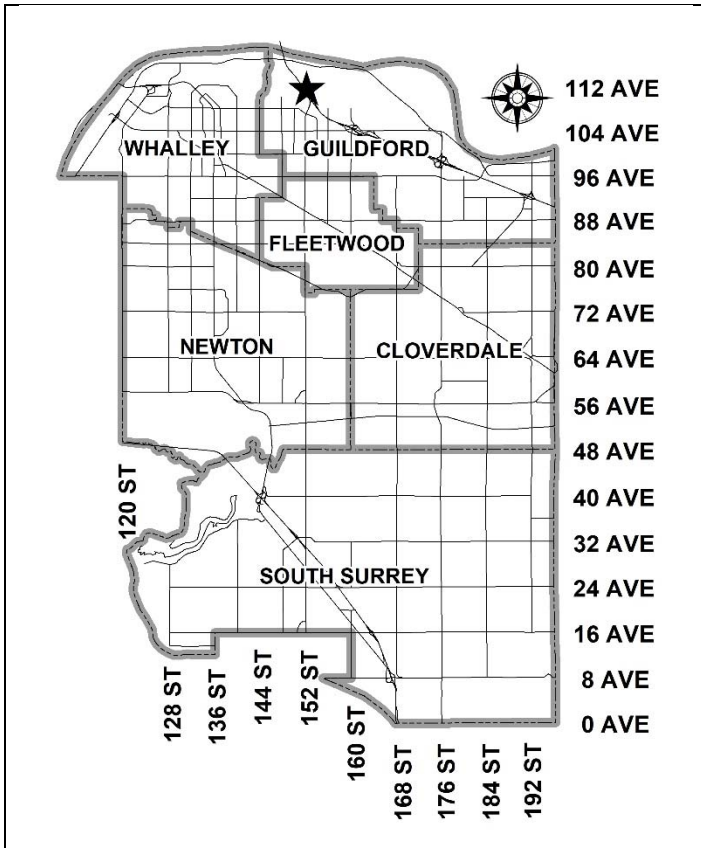
• **Development Variance Permit**

to reduce the front and side yard setbacks to allow the construction of a single-family dwelling on the lot and retain a tree.

**LOCATION:** 15218 - 112 Avenue

**ZONING:** RF

**OCP DESIGNATION:** Urban



**RECOMMENDATION SUMMARY**

- Approval for Development Variance Permit to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- Proposed variance to reduce the minimum front yard principal building setback requirement of the RF Zone from 7.5 metres to 7.4 metres.
- Proposed variance to reduce the minimum west side yard principal building setback of the RF Zone from 1.8 metres to 1.2 metres.

**RATIONALE OF RECOMMENDATION**

- The proposed variances will accommodate retention of a significant tree in the rear of the property, while allowing the applicant to still achieve the maximum house size permitted in the RF zone.
- Staff support the requested front and side yard variances as they allow for a functional building envelope while retaining a mature tree on the lot.
- The proposed setbacks will have minimal observable impact from neighbouring properties and still provide a functional side yard interface with the neighbouring lot to the west.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7920-0001-01 (Appendix III) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum front yard principal building setback of the RF Zone from 7.5 metres to 7.4 metres; and
  - (b) to reduce the minimum west side yard principal building setback of the RF Zone from 1.8 metres to 1.2 metres.
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
  - (b) registration of a Section 219 Restrictive Covenant together with an explanatory plan for the purpose of tree retention on the subject site.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant single-family lot	Urban	RF
North (Across 112 Ave):	City-owned greenbelt	Urban & Suburban	RF
East (Across):	City-owned greenbelt.	Urban	RF
South (Across unopened lane):	Single family dwelling	Urban	RF
West (Across):	Single family dwelling	Urban	RF

### Context & Background

- The subject lot is located at 15218 - 112 Avenue in Fraser Heights and is approximately 621 square metres in size. The lot is approximately 12.4 metres in width and 37.2 metres in depth. The subject lot is designated Urban in the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- The subject lot was created as part of Development Application No. 7914-0232-00, which included subdivision into two (2) single family (RF) lots and one (1) open space lot to protect the riparian area for the adjacent Class B yellow-coded watercourse to the east.

- The applicant has an in-stream development application (Application No. 7920-0001-00) proposing to renew a previously issued Streamside Setback Development Variance Permit (DVP) and a Sensitive Ecosystem Development Permit.
- Council approved the DVP for streamside setbacks to proceed to public notification and authorized staff to draft the Sensitive Ecosystems DP at the May 4, 2020 Regular Council - Land Use Meeting.
- In the Planning and Development Report to Council for Application No. 7920-0001-00 (dated May 4, 2020), staff indicated that Tree #2264, located in the rear of the property, was contemplated for removal but may be possible to retain. Staff indicated that they would be working diligently with the applicant to explore all opportunities to retain this tree and that this issue would be resolved prior to Final Approval.
- Staff have confirmed that the tree #2264 can be retained by shifting the house northwards and westwards away from the tree. This has necessitated additional variances as outlined for Council's consideration in this report.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing a single-family dwelling on the subject lot. In order to retain a significant tree in the rear of the property, the applicants are proposing lot line variances to still achieve the desired floor area.
- The proposed variances include reducing the minimum front yard setback of the RF zone from 7.5 metres to 7.4 metres and the west side yard setback from 1.8 metres to 1.2 metres.

### Referrals

Engineering: The Engineering Department has no objection to the project.

## POLICY & BY-LAW CONSIDERATIONS

### Zoning By-law

#### Setback Variances

- The applicant is requesting the following variances:
  - to reduce the minimum front yard principal building setback of the RF Zone from 7.5 metres to 7.4 metres; and
  - to reduce the minimum west side yard principal building setback of the RF Zone from 1.8 metres to 1.2 metres.

- The subject lot is encumbered by a root protection zone from a Western red cedar tree at the south-east corner of the property.
- The proposed variances will accommodate retention of a significant tree in the rear of the property, while allowing the applicant to still achieve the maximum house size permitted in the zone of 356.7 square metres.
- Staff support the request front and side yard variances as they allow for a functional building envelope while retaining the mature tree on the lot.
- The proposed setbacks will have minimal observable impact from neighbouring properties and still provide a functional side yard interface with the neighbouring lot to the west.
- Staff support the requested variances to proceed to Public Notification.

## TREES

- Mike, Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Coniferous Trees</b>			
Western Red Cedar	2	0	2
<b>Total</b>	<b>2</b>	<b>0</b>	<b>2</b>
<b>Additional Trees in the proposed Open Space / Riparian Area</b>	<b>2</b>	<b>0</b>	<b>2</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>2</b>	
<b>Total Retained and Replacement Trees</b>		<b>4</b>	
<b>Contribution to the Green City Program</b>		<b>N/A</b>	

- The Arborist Assessment states that there is a total of 2 mature trees on the site. There are no Alder and Cottonwood trees on site. It was determined that both trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed front and side yard setbacks need to be reduced in order to maximize tree preservation on the site (see By-law Variance section above). A No-Build restrictive covenant will be required to identify the tree preservation area.
- Table 1 includes an additional 2 protected trees that are located within the riparian area. All trees within the riparian area will be retained.

- In summary, a total of 2 trees are proposed to be retained on the site and 2 trees are to be retained within the adjacent riparian area. No cash contribution to the Green City Program is required.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Site Plan & Building Elevations
Appendix II.	Summary of Tree Survey and Tree Preservation
Appendix III.	Development Variance Permit No. 7920-0001-01

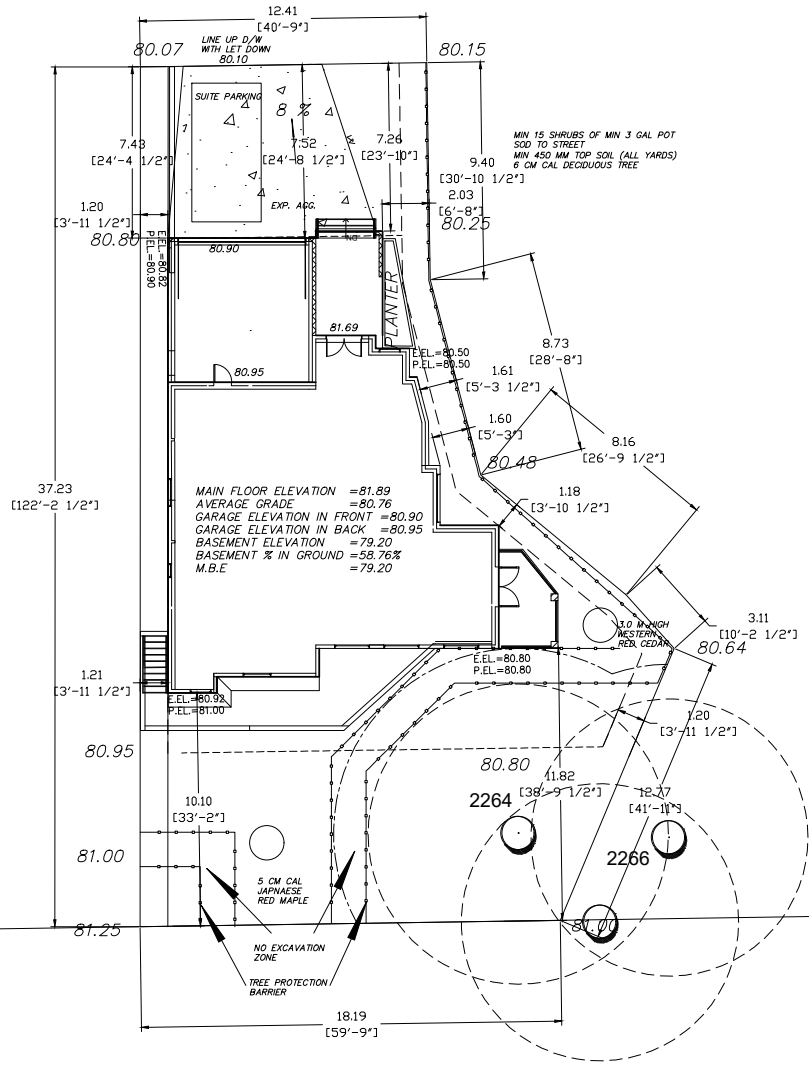
*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

SJ/cm

# SITE PLAN

CIVIC ADDRESS 15218 112 AVENUE  
SURREY, B.C.  
ZONING RF  
LOT AREA =6685 SQ FT  
PERMITTED FLOOR AREA RATIO 60% X 6000+685X.35  
=3839.75 SQ. FT.  
PROPOSED FLOOR AREA RATIO MAIN+ GARAGE+ NET TOP FL  
= 1779+430+1630=3839 SQ. FT.  
PERMITTED TOP FLOOR AREA 80% X(TOTAL MAIN FLOOR+VERANDA)  
= 2349X.8=1879.2 SQ. FT.  
PROPOSED TOP FLOOR AREA =1850 SQ. FT.  
PERMITTED DECK AREA 10% X3839.75 SQ. FT.  
= 383.97 SQ. FT.  
RESERVED DECK AREA FOR FRONT =160 SQ. FT.  
PROPOSED DECK AREA FRONT =140 SQ. FT.  
SIDE =110 SQ. FT.  
TOTAL =250 SQ. FT.  
FIREPLACE =6 SQ FT  
PERMITTED LOT COVERAGE = 2582.41 SQ. FT.  
PROPOSED LOT COVERAGE =2209+140+110+6=2465 SQ FT  
PERMITTED BUILDING HEIGHT 9 M 30 FT  
PROPOSED BUILDING HEIGHT 8.69 M

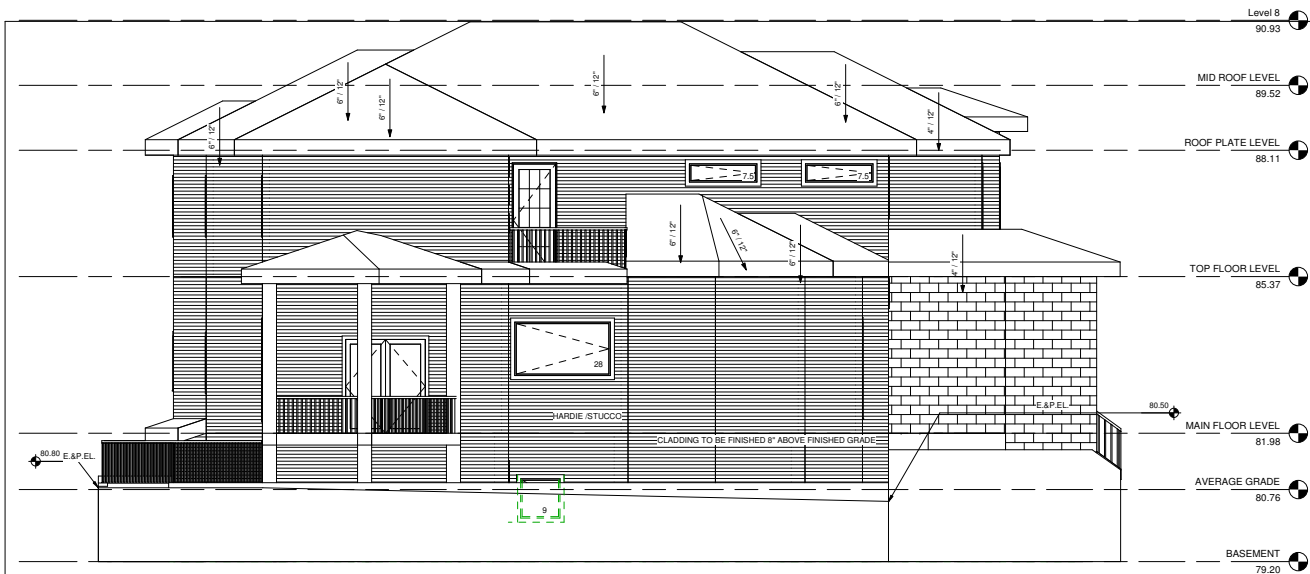


E5 HOME DESIGN INC.

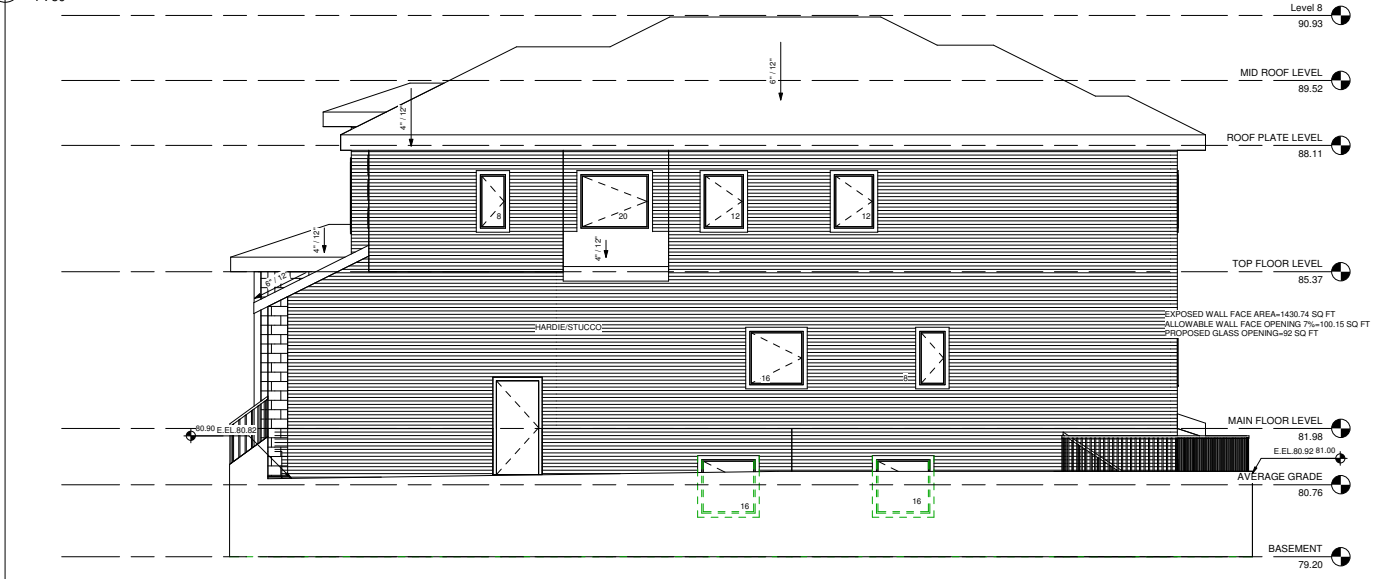
E5 HOME DESIGN INC.  
13255 62 AVE  
SURREY, B.C.  
PHONE 604-512-9527  
e5design@outlook.com

PROPOSED HOUSE AT  
15218 112 AVENUE  
SURREY B.C.





1 LEFT VIEW  
1 : 50



2 RIGHT VIEW  
1 : 50

E5HOME DESIGN INC.  
  
www.e5design.ca

THESE PLANS CONFORM TO BCBC2018. DESIGNER ASSUMES NO LIABILITY FOR ERRORS & OMISSIONS. BUILDER/OWNER MUST REVIEW WHOLE PLAN FOR ALL DIMENSIONS PRIOR TO CONSTRUCTION.

FENESTRATION (WINDOWS) & DOORS TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN THE VALUES LISTED IN TABLE 9.36.2.7A (BCBC LAST REVISION) FOR THE APPLICABLE HEATING DEGREE DAY CATEGORY CLIMATE ZONE 4 & 5 MINIMUM U-VALUE TO BE 1.80

DOORS TO UNCONDITIONED GARAGE FROM DWELLING UGI 12.6 (U-6.46)

ATTIC ACCESS HATCH RGI 12.6 (R-14.8)

FRONT DOORS UGI 12.6 (U-6.46)

GLASS BLOCK UGI 12.9 (U-0.51)

OVERHEAD GARAGE DOOR WHEN GARAGE CONDITIONED RGI 1.1 (R-6.245)

RADIANT FLOOR HEAT ON ALL FLOORS INCLUDING SECONDARY SUITE

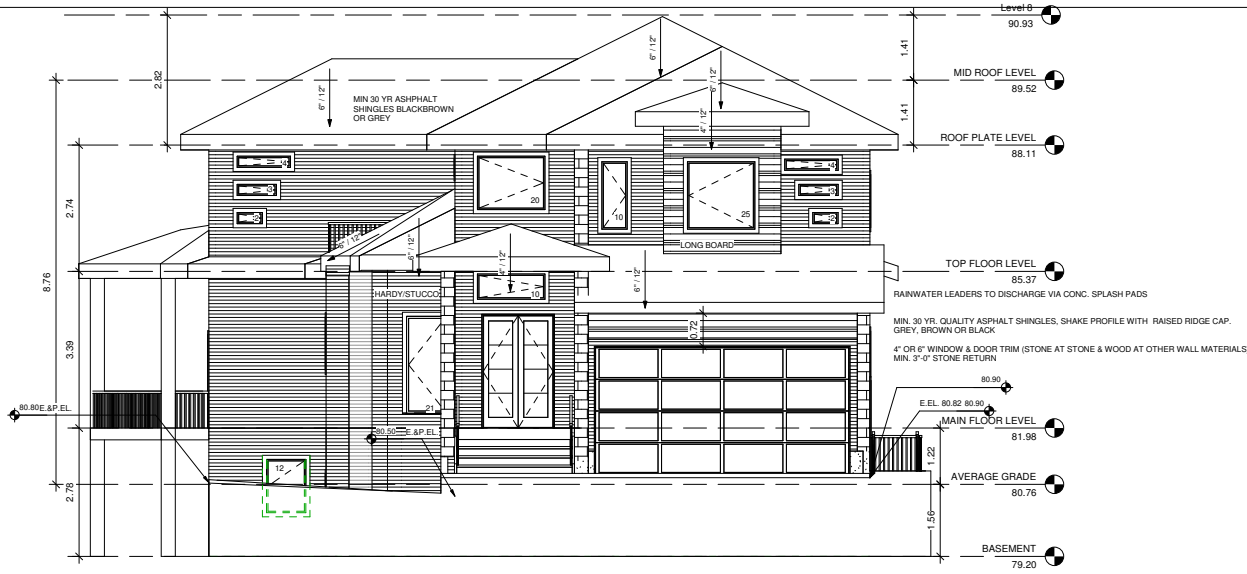
NOTES FOR SECONDARY SUITE  
ALL RECESSED FIXTURES MUST BE IC TYPE AND HAVE FIRE RESISTIVE RATING.  
HEATING AND VENTILATING DUCTS SHOULD NOT BE INTERCONNECTED AND MUST BE INDEPENDENT.  
A FIRE SEPARATION IS REQUIRED BETWEEN MAIN & SUITE WHICH CAN BE ACHIEVED BY 5/8 TYPE X DRYWALL ON BOTH SIDES OF WALL & ON THE CEILING.  
A VENTILATION SYSTEM SHOULD BE PROVIDED FOR SUITE WHICH COULD BE AS SIMPLE AS A CONTINUOUS RUNNING BATHROOM FAN AND A 6\"/>

E5 HOME DESIGN INC.  
13255 82 AVE  
SURREY B.C.  
PHONE 604-512-9527  
e5design@outlook.com

PROPOSED HOUSE FOR A1 IDEAL HOMES  
15218 112 AVENUE  
SURREY, B.C.  
PHONE 6045378499  
E Mail

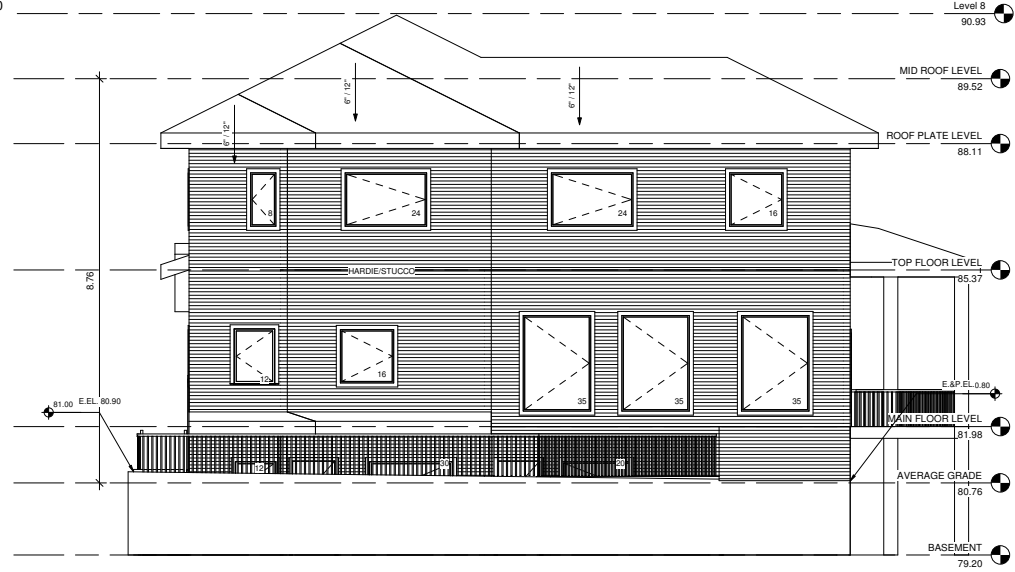
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Date	Issue Date
Drawn by	TEJINDER
Checked by	Checker
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Scale	1 : 50





1 FRONT VIEW

1 : 50



2 BACK VIEW

1 : 50

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PROPOSED HOUSE FOR A1 IDEAL HOMES  
15218 112 AVENUE  
SURREY, B.C.  
PHONE 6045378499  
E Mail

Project number	0002
Date	Issue Date
Drawn by	TEJINDER
Checked by	Checker

A105

Scale 1 : 50

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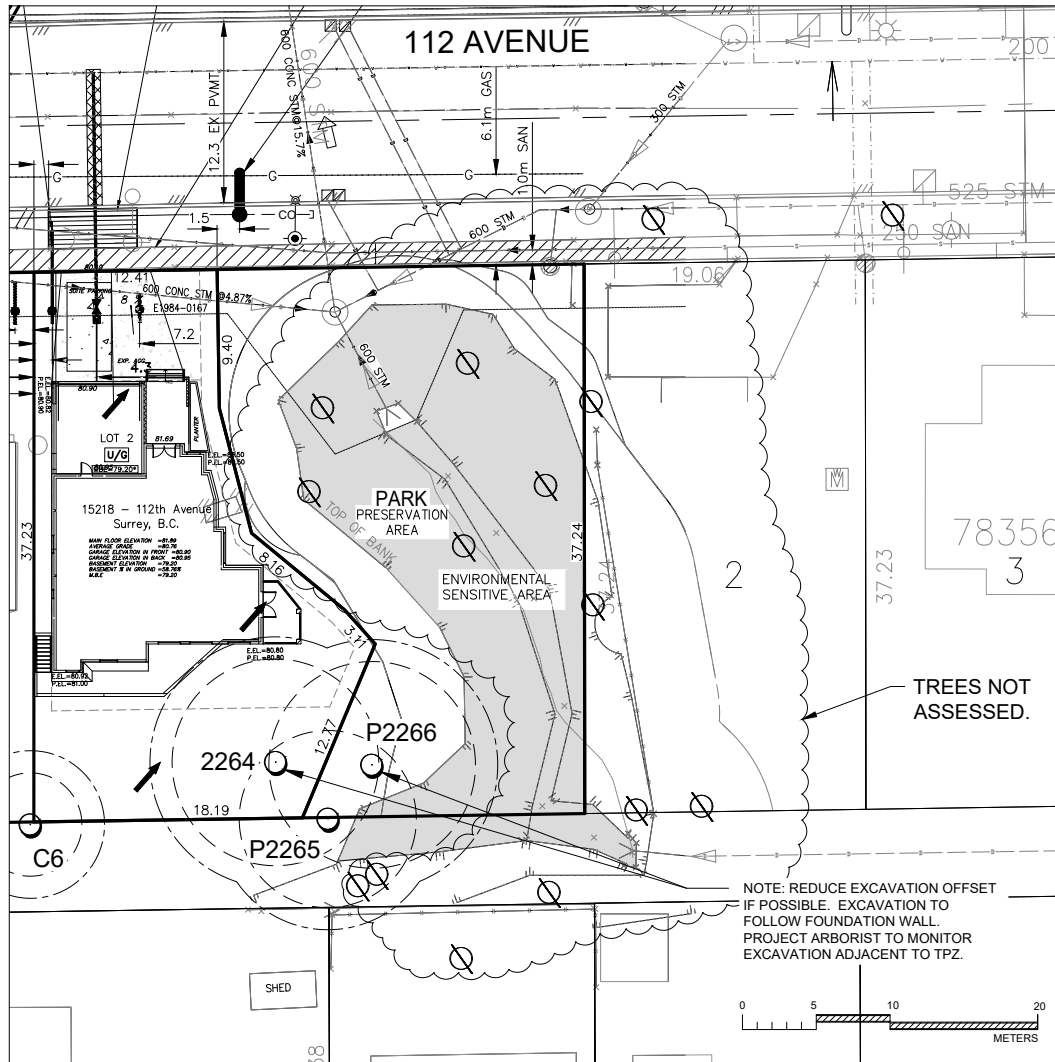
MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder/Cottonwood	0	0	0
<b>Coniferous Trees</b>			
Cedar, Western Redcedar	2	0	2
<b>Total</b>	2	0	2
<b>Additional Trees in the proposed Open Space / Riparian Area</b>	2	0	2
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		2	
<b>Total Retained and Replacement Trees</b>		4	

**\*TOTALS DO NOT INCLUDE OFFSITE TREES**

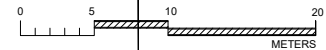




TREES NOT ASSESSED.

NOTE: TREES IN PARK TO BE ASSESSED BY SURREY'S PARKS, RECREATION AND CULTURE DEPARTMENT

NOTE: REDUCE EXCAVATION OFFSET IF POSSIBLE. EXCAVATION TO FOLLOW FOUNDATION WALL. PROJECT ARBORIST TO MONITOR EXCAVATION ADJACENT TO TPZ.



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE TO BE ASSESSED BY SURREY'S PARKS, REC AND CULTURE DEPT.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	DEC12/14	SL	NEW SITE PLAN	6	APR04/17	MK	REVISED GRADING PLAN WITH BUILDING ENVELOPES
2	APR14/15	JT	CURRENT REVISIONS	7	APR21/17	MK	PROPOSED HOUSE PLAN LOT 1
3	OCT26/15	MK	REVISIONS WITH SIDEWALKS AND GRADING	8	MAY04/17	MK	SPLIT RAIL FENCING ADDED
4	FEB17/16	MK	NEW SITE PLAN	9	SEPT27/19	MK	KEY PLAN
5	AUG17/16	MK	NEW SITE PLAN	10	MAR24/20	MK	REVISED SITE PLAN - LOT 2

**MIKE FADUM AND ASSOCIATES LTD.**  
VEGETATION CONSULTANTS

#105, 8277 129 ST.  
Surrey, British Columbia  
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Mobile: (604) 240-0309  
Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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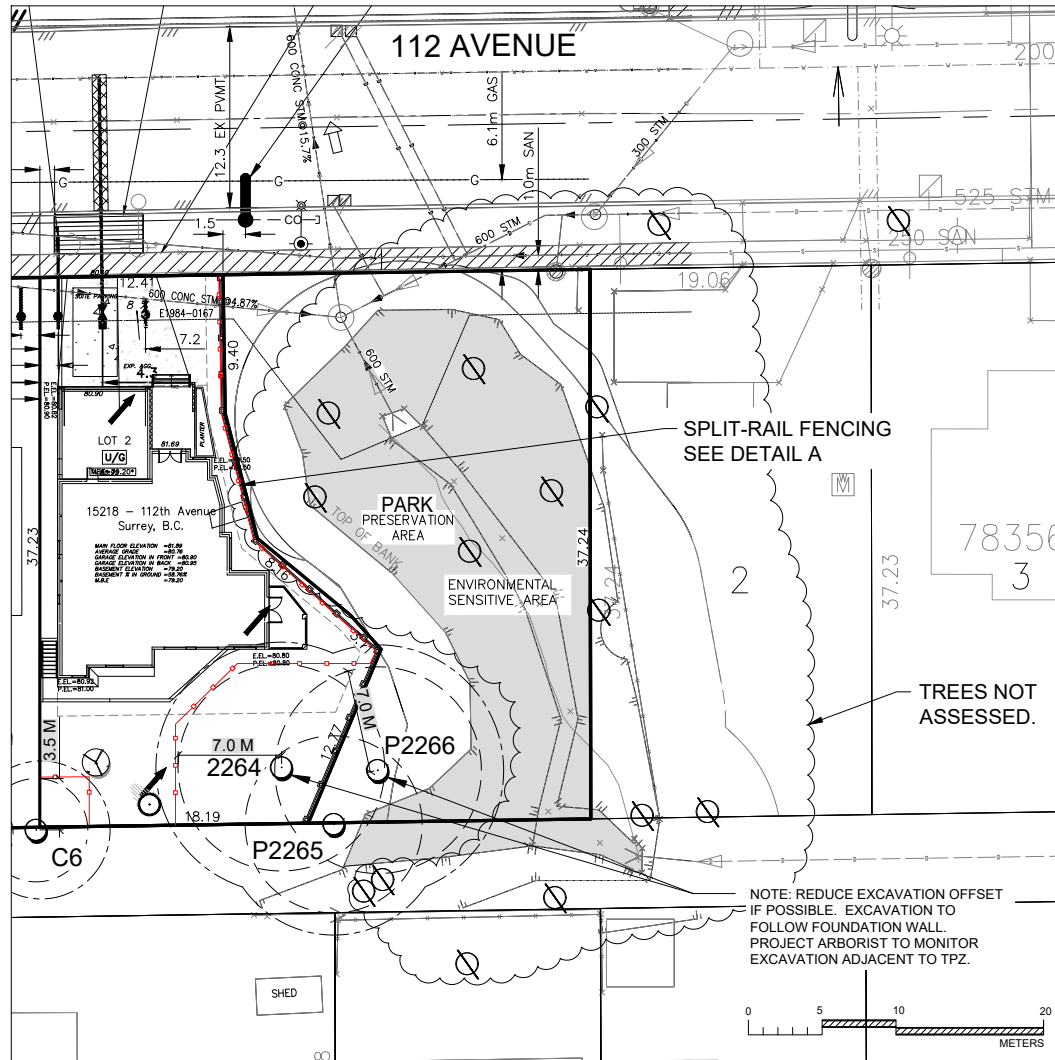
PROJECT TITLE  
**15218 112 AVENUE**  
**SURREY, B.C.**

SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**

CLIENT  
DATE  
OCTOBER 26, 2015

DRAWN  
MK  
SCALE  
AS SHOWN  
DATE  
OCTOBER 26, 2015

**T-1**  
SHEET 1 OF 2



SPLIT-RAIL FENCING  
SEE DETAIL A

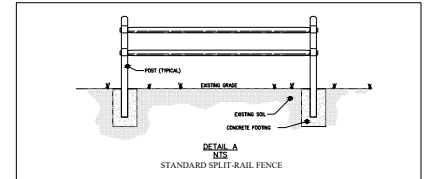
TREES NOT  
ASSESSED.

NOTE: REDUCE EXCAVATION OFFSET  
IF POSSIBLE. EXCAVATION TO  
FOLLOW FOUNDATION WALL.  
PROJECT ARBORIST TO MONITOR  
EXCAVATION ADJACENT TO TPZ.

NOTE: TREES IN PARK TO BE ASSESSED BY SURREY'S  
PARKS, RECREATION AND CULTURE DEPARTMENT

NOTE: TREE PROTECTION FENCING SHALL BE  
CONSTRUCTED TO MUNICIPAL STANDARDS.  
REASSESS TREES WITH LOT GRADING PLANS.

NOTE: REPLACEMENT TREES SHALL CONFORM TO  
BCSLA/BCLNA LANDSCAPE STANDARDS.  
SPECIES AND LOCATIONS TO BE DETERMINED AT  
LANDSCAPE STAGE.



**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE ASSESSED BY SURREY'S  
PARKS, REC AND CULTURE DEPT.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET
- DECIDUOUS REPLACEMENT TREE (5 CM. DIA. MINIMUM)
- CONIFEROUS REPLACEMENT TREE (3.0 M HT. MINIMUM)
- TREE PROTECTION FENCING
- TREE PROTECTION SPLIT-RAIL FENCING

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	DEC12/14	SL	NEW SITE PLAN	6	APR04/17	MK	REVISED GRADING PLAN WITH BUILDING FOOTPRINTS	11	MAR27/20	MK	REVISED SITE PLAN - LOT 2
2	APR14/15	JT	CURRENT REVISIONS	7	APR21/17	MK	PROPOSED HOUSE PLAN LOT 1	12	APR17/20	MK	REVISED SITE PLAN - LOT 2
3	OCT26/15	MK	REVISIONS WITH SIDEWALKS AND GRADING	8	MAY04/17	MK	SPLIT-RAIL FENCING ADDED	13	MAY14/20	MK	REVISED SITE PLAN - LOT 2
4	FEB17/16	MK	NEW SITE PLAN	9	SEPT27/19	MK	KEY PLAN				
5	AUG17/16	MK	NEW SITE PLAN	10	MAR24/20	MK	REVISED SITE PLAN - LOT 2				

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PROJECT TITLE  
**15218 112 AVENUE  
SURREY, B.C.**

SHEET TITLE  
**T2 - TREE PROTECTION PLAN**

DRAWN  
MK

SCALE  
AS SHOWN

DATE  
OCTOBER 26, 2015

**T-2**  
SHEET 2 OF 2

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0001-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-139-015

Lot 2 Section 16 Block 5 North Range 1 West New Westminster District Plan EPP65147

15218 - 112 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section F of Part 16 "Single Family Residential Zone (RF)", the minimum front yard principal building setback is reduced from 7.5 metres to 7.4 metres; and
  - (b) In Section F of Part 16 "Single Family Residential Zone (RF)", the minimum west side yard principal building setback is reduced from 1.8 metres to 1.2 metres.
4. This development variance permit applies to Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Doug McCallum

---

City Clerk – Jennifer Ficocelli

# SITE PLAN

CIVIC ADDRESS 15218 112 AVENUE  
SURREY, B.C.

ZONING RF

LOT AREA =6685 SQ FT

PERMITTED FLOOR AREA RATIO 60% X 6000+685X.35  
=3839.75 SQ. FT.

PROPOSED FLOOR AREA RATIO MAIN+ GARAGE+ NET TOP FL  
= 1779+430+1630=3839 SQ. FT.

PERMITTED TOP FLOOR AREA 80% X(TOTAL MAIN FLOOR+VERANDA)  
= 2349X.8=1879.2 SQ. FT.

PROPOSED TOP FLOOR AREA =1850 SQ. FT.

PERMITTED DECK AREA 10% X3839.75 SQ. FT.  
= 383.97 SQ. FT.

RESERVED DECK AREA FOR FRONT =160 SQ. FT.

PROPOSED DECK AREA FRONT =140 SQ. FT.  
SIDE =110 SQ. FT.  
TOTAL =250 SQ. FT.

FIREPLACE =6 SQ FT

PERMITTED LOT COVERAGE = 2582.41 SQ. FT.

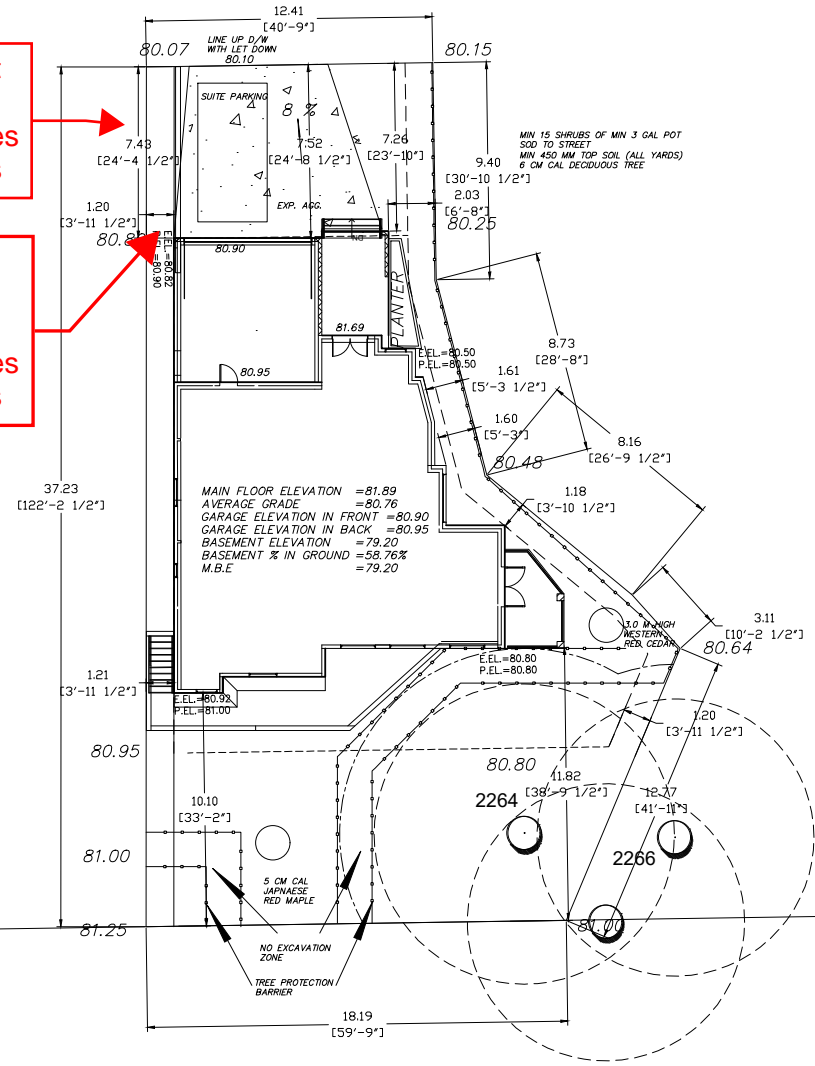
PROPOSED LOT COVERAGE =2209+140+110+6=2465 SQ FT

PERMITTED BUILDING HEIGHT 9 M 30 FT

PROPOSED BUILDING HEIGHT 8.69 M

**DVP for front yard setback from 7.5 metres to 7.4 metres**

**DVP for western side yard setback from 1.8 metres to 1.2 metres**



E5 HOME DESIGN INC.

E5 HOME DESIGN INC.  
13255 62 AVE  
SURREY, B.C.  
PHONE 604-512-9527  
e5design@outlook.com

PROPOSED HOUSE AT  
15218 112 AVENUE  
SURREY B.C.

