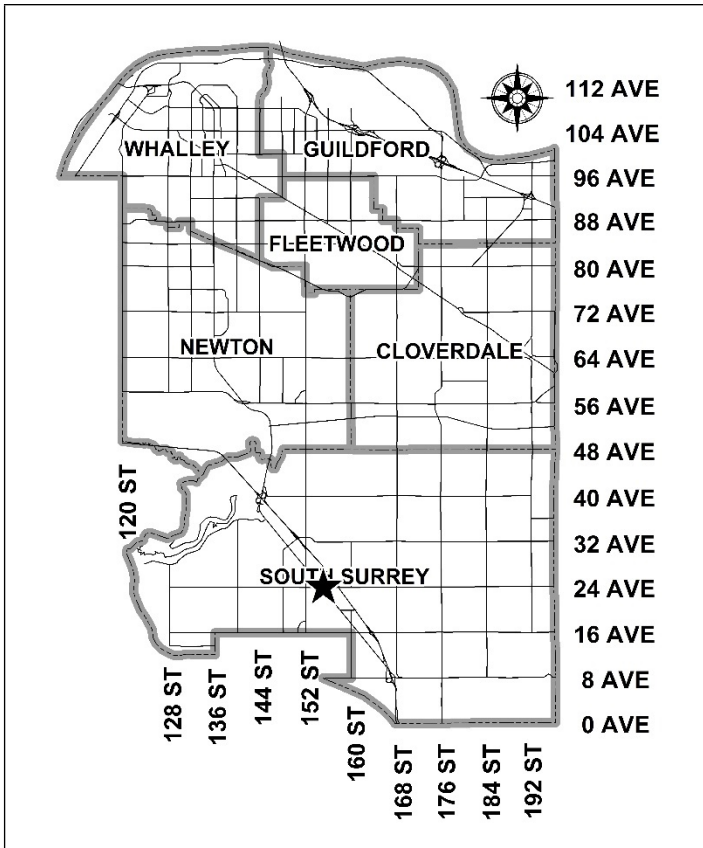


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0028-00

Planning Report Date: October 5, 2020



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

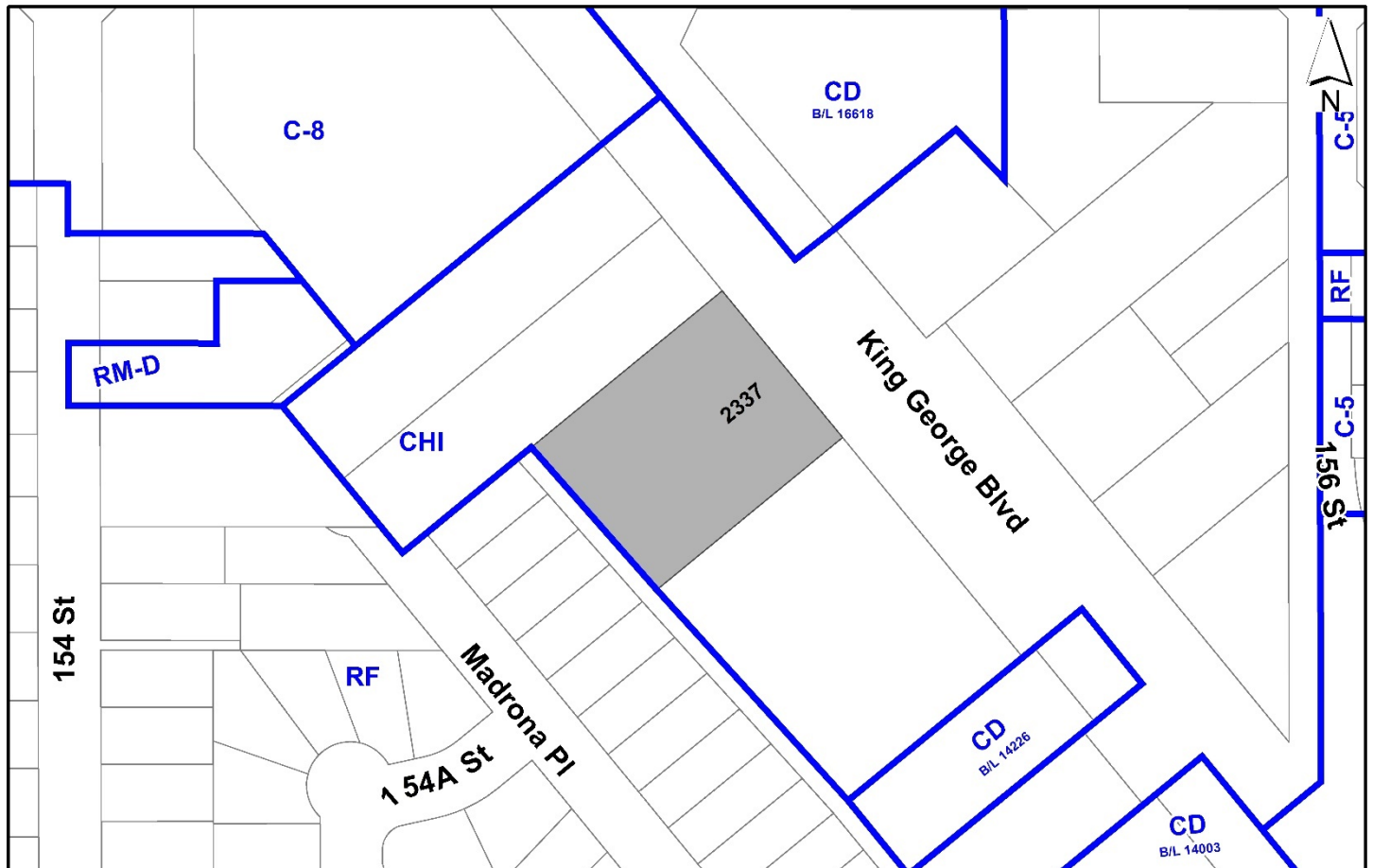
to allow a 3,735 square metre self-storage building, with 105 square metres of ground floor retail space and a 345 square metre car wash.

LOCATION: 2337 - King George Boulevard

ZONING: CHI

OCP DESIGNATION: Commercial

LAP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the requirements of the Highway Commercial Industrial Zone (CHI) to reduce the front yard setback from 7.5 metres to 4.0 metres and to increase the building height from 9 metres to 9.43 metres for the car wash building and from 9 metres to 14.33 metres for the self-storage building.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Commercial designation in both the Official Community Plan (OCP) and the King George Corridor South Local Area Plan (LAP).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape along King George Boulevard, in compliance with the King George Corridor South Local Area Plan (LAP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary design. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed signage has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look with an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7920-0028-00, generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7920-0028 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback of the Highway Commercial Industrial Zone (CHI) from 7.5 metres to 4.0 metres to the principal building face;
 - (b) to increase the maximum building height of the Highway Commercial Industrial Zone (CHI) from 9 metres to 9.43 metres for the car wash building; and
 - (c) to increase the maximum building height of the Highway Commercial Industrial Zone (CHI) from 9 metres to 14.33 metres for the self-storage building
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant lot	Commercial	CHI
North:	Retail/General Services	Commercial	CHI
East (Across King George Boulevard):	Retail	Commercial	CHI
South:	Auto repair; eating establishment	Commercial	CHI
West (Across lane):	Single Family Residential	Single Family Residential (6 u.p.a.)	RF

Context & Background

- The subject site is located along King George Boulevard, south of 24 Avenue, north of 152 Street. The 4,766 square metre site is currently vacant.
- The site is designated Commercial in both the Official Community Plan and the King George Corridor South Local Area Plan. The site is zoned Highway Commercial Industrial Zone (CHI). The proposed car wash and self-storage development complies with the uses and density permitted under the existing CHI Zone.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application proposes a Development Permit to allow a 3,735 square metre self-storage building, with 105 square metres of ground floor retail space and a 345 square metre car wash.
- A DVP is proposed to reduce the front yard setback along King George Blvd from 7.5 metres to 4.0 metres and to increase the building heights for the carwash from 9 metres to 9.43 metres and for the self-storage building from 9 metres to 14.33 metres.

	Proposed
Lot Area	
Gross Site Area:	4,766 square metres
Road Dedication:	674 square metres
Net Site Area:	4,092 square metres
Number of Lots:	1
Building Height:	9.42 metres (car wash); 14.33 metres (self-storage)
Unit Density:	n/a
Floor Area Ratio (FAR):	1.0
Floor Area	
Car Wash:	345 square metres
Self-Storage:	3,630 square metres
Retail:	105 square metres
Total:	4,080 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.

Advisory Design Panel: The proposal was considered at the ADP meeting on July 23, 2020 and was supported. The applicant has resolved most of the outstanding items from the ADP review. The applicant has agreed to complete some final minor revisions prior to Council's consideration of Final Approval of the Development Permit, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The site will be accessible from King George Boulevard and the existing lane to the west via a new 8.0 metre wide east-west lane being voluntarily dedicated by the developer.
- Transportation will accept the proposed lane dedication.
- The application proposes a total of 35 parking spaces. Based on the uses proposed – self-storage (35 spaces required) and retail (3 spaces required), a total of 38 parking spaces would be required. However, the Zoning Bylaw allows for shared parking facilities for 2 or more establishments when the establishments have different temporal distributions (alternate hours) of parking demand as demonstrated by having operating hours that do not significantly overlap. The peak parking demand of the retail units (based on hours of operation) is not anticipated to overlap with the peak parking demand of the mini storage.
- Each establishment may share a maximum of 25% of its individually required parking spaces, but the total number of parking spaces must be equal to or greater than the required number of parking spaces for the establishment that has the highest individual overall parking space requirement. Based on this, 25% of the required parking spaces for the self-storage use (approximately 9 spaces) can be shared with the retail use.
- The provision of a shared parking arrangement is supported by the City's Transportation Planning Division.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The carwash building employs state of the art car washing technology that reduces the amount of water used and the levels of contaminants produced, ultimately increasing the environmental sustainability of the project:
 - Hand washing of cars uses an average of 568 litres (150 gallons) of water per car, whereas the proposed facility features a recycling system that processes and recycles the wastewater and uses only 76 litres (20 gallons) of water per car. The system reduces water consumption and increases environmental sustainability.
 - All the water used is recycled through a water reclaim system. 80% of the water used in the car wash is reclaimed water, with fresh water only used during the last rinse to avoid any drying spots. The fresh water then runs into a trench and is recycled as reclaimed water, which is used for other washes.

- Computer controlled metering delivers the precise volume of water to ensure optimal cleaning with no waste.
- Oil separators are installed to separate the oil, grease, and other contaminants, which are washed off the vehicles, before they enter the storm drains.
- The semi-tempered glass façade of the self-storage building requires less energy-use than other industrial buildings of this size and is built as per the latest energy conservation requirements.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Commercial designation in the Official Community Plan.

Secondary Plans

Land Use Designation

- The proposal complies with the Commercial designation in the King George Corridor South LAP.

Zoning By-law

- The proposed development complies with the uses and density permitted under the "Highway Commercial Industrial Zone (CHI)".
- Variances are requested to the front yard (east) setback, building height and the parking requirements of the Zoning Bylaw, as noted on the table below.

CHI Zone (Part 39)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	1.0
Lot Coverage:	50%	36%
Yards and Setbacks		
Front (East – King George Blvd)	7.5 m	4.0 m (DVP required)
Rear (West – lane)	7.5 m	7.5 m
Side (North)	0 m	0.2 m
Side (South)	7.5 m	11.0 m
Height of Buildings		
Principal buildings:	9 m	9.43 m (DVP required) 14.33 m (DVP required)

Parking (Part 5)	Required	Proposed
Number of Stalls		
Retail:	3	3
Automotive Service (car wash):	1	1
Office:	0	0
Mini-storage (self-storage):	35	22
Vacuum stalls:	0	6
Loading:	0	3
Total:	39	35
Bicycle Spaces		
Secure Parking:	0	4
Visitor:	0	5

Setback and Height Variances

- The applicant is requesting the following variances:
 - to reduce the minimum front (east) yard setback of the CHI Zone from 7.5 metres to 4.0 metres to the principal building face;
 - to increase the maximum building height of the CHI Zone from 9 metres to 9.43 metres for the car wash building; and
 - to increase the maximum building height of the CHI Zone from 9 metres to 14.33 metres for the self-storage building.
- The proposed reduction to the front yard setback will create a more urban streetscape, with improved pedestrian access to the retail units fronting King George Boulevard.
- The proposed increase to the height of the car wash building is required to house the mechanical equipment needed to operate the car wash facility.
- The proposed increase to the height of the self-storage facility is to provide additional storage units to meet the anticipated demand. The proposal complies with the permitted density (floor area ratio) allowed under the existing CHI Zone. It should also be noted that the building is stepped (lowered) at the rear of the property where the development interfaces with the existing residential which should help in minimizing off site impacts.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on March 13, 2020 and staff have received no correspondence to date from these.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The proposed design includes a 3-storey self-storage building (with retail along the King George Boulevard frontage) and a single-storey carwash building. The two buildings consist of rectangular massing with transparent glazing. The carwash building will have an all-glass, fully transparent façade, intended to be visually engaging to pedestrians and vehicles passing the site.
- The self-storage building will have two retail units located along the front (east) facade facing King George Boulevard. The retail façade is proposed to be reduced from a 7.5 metre front yard setback to 4.0 metres to create a more active frontage and to engage with pedestrians.
- The blank north façade is positioned against the blank face of the existing building on the abutting property to the north. The exposed areas will be treated using high quality insulated metal panel façade cladding with a finer grain composition of gray toned panels.
- The western façade of the storage building, facing the lane, is stepped back to reduce the mass and height of the building facing the adjacent single family homes across the lane with landscaping at the ground level to soften the appearance of the development.
- The proposed signage complies with the Surrey Sign By-law and the Form and Character Development Permit guidelines in the OCP.
- Face-lit channel letter signage with a maximum height of 0.58 metre, projecting less than 0.135 m from the building face, featuring the names of the primary occupants, is proposed on the front (east) facades of both buildings facing King George Boulevard. A new 2.4 metre tall monument style freestanding sign will also be installed along the King George Boulevard frontage. No signage is proposed on the north or west facades.
- The retail signage has not yet been determined and will be confirmed through a separate sign permit application.

Landscaping

- The King George Boulevard frontage is designed to provide a welcoming entry way with decorative paving and a seating node with benches and bike racks for visitors and employees. The interface is lined with rows of trees, including existing cherry and heritage oak trees in the boulevard, which will be protected. A mix of deciduous and coniferous trees are proposed to be planted on site to provide screening of the parking lot from the street. There are no existing trees on site.

- All non-hard surfaces are proposed to be covered by vegetation to maximize biodiversity. The planting design includes ground covers to suppress weeds, a mix of flowering perennials to attract beneficial insects.
- Storm runoff will be minimized on site with features including a rock swale at the edge of the car wash drive-through for water percolation and rock mulching beds located throughout the site and at all tree locations to reduce evaporation.

Outstanding Items

- There are a limited number of Urban Design, Landscaping and issues raised by the Advisory Design Panel that remain outstanding, and which do not affect the overall character or quality of the project. These generally include improving the functionality of the plaza area by reducing overcrowding of outdoor furniture and correcting minor drafting errors on the drawings.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	3	0	3
English Oak	1	0	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		0	
Total Retained and Replacement Trees		4	

- The Arborist Assessment states that there are no By-law sized trees on the site and has identified 4 City trees along King George Boulevard. It was determined that the 4 City trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The new trees on the site will consist of a variety of deciduous and coniferous trees including maple, dogwood, aspen, yellow cedar, fig, pine, oak and spirea.
- In summary, a total of 4 City trees are proposed to be retained along King George Boulevard.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Perspectives, Landscape Plans and Signage
- Appendix II. Engineering Summary
- Appendix III. Development Variance Permit No. 7920-0028-00
- Appendix IV. ADP Comments and Response
- Appendix V. Tree Preservation Summary

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

EM/cm

PROJECT / ZONING STATISTICS

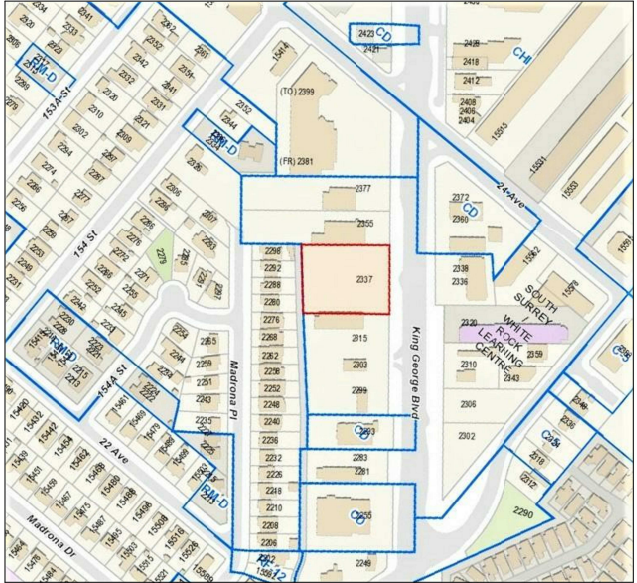
PROJECT DESCRIPTION	TO DEVELOP A TWO STOREY CARWASH & A THREE STOREY SELF-STORAGE BUILDING INCLUDING 2 LEVELS OF BASEMENT, ON GRADE PARKING, INTERNAL ROAD WORK & SERVICES.				
LEGAL DESCRIPTION	LOT 5, SECTION 14, TORBOPH 1, NEW WESTMINSTER DISTRICT, PLAN LMP2850				
PID	033-06-945				
CIVIC ADDRESS PRESENT	2337 KING GEORGE BOULEVARD, SURREY, BC				
CIVIC ADDRESS/FUTURE	710				
CLIMATIC ZONE	4				
BUILDING CODE	BCBC 2018				
HERITAGE BUILDINGS	NA	91.300	SF	4.76LS	SM PROVIDED BY SURVEYOR
ORIGINAL LOT AREA	1.292	ACR	4.917	FT	TO BE VERIFIED BY SURVEYOR AFTER CITY CONFIRMATION
DEGADATION AREA	4.848	ACR	4.884	FT	TO BE VERIFIED BY SURVEYOR AFTER CITY CONFIRMATION
EFFECTIVE SITE AREA - ORIGINAL LOT AREA MINUS DEGADATION	4.848	ACR	4.884	FT	TO BE VERIFIED BY SURVEYOR AFTER CITY CONFIRMATION
LOT DIMENSIONS			FT	M	
NORTH			260.15	79.29	
EAST			188.94	58.04	
SOUTH			292.96	91.30	
WEST			700.15	213.99	
DESIGN GUIDELINES	PINK GEORGE HIGHWAY CORRIDOR				
ZONING PRESET	CHI - HIGHWAY COMMERCIAL INDUSTRIAL ZONE				
REZONING	NOT APPLICABLE				

	REQUIRED / PERMITTED	PROPOSED			NOTES				
ORIGINAL SITE AREA	51.300	SF	4.76LS	SM	PROVIDED BY SURVEYOR				
DEGADATION AREA	1.292	SF	4.917	SM	AS REQUIRED BY CITY OF SURREY				
NET SITE AREA	49.048	SF	4.884	SM					
DENSITY FLOOR AREA RATIO	49.048	SF	4.884	SM	DIVIDED BY EFFECTIVE SITE AREA: 4048				
LOT COVERAGE (%)	25550	SF	2.382	SM	DIVIDED BY ORIGINAL SITE AREA: 11.00 SF REFER TO A 200B				
MAXIMUM HEIGHT (CARWASH)	30.0	FT	9.14	M	-3.0 -0.61				
MAXIMUM HEIGHT (SELF-STORAGE)	30.0	FT	9.14	M	47.0 FT 14.33 M -17.0 -5.18				
SITING / SETBACK			REQUIRED / PERMITTED	PROPOSED					
			FT	M					
			NORTH (SIDE)	0.00	1.00	0.07	0.26		
			EASTING GEORGE BOULEVARD (FRONT)	24.60	*50	13.16	4.05		
			SOUTH (SIDE)	0.00	1.00	30.68	11.89		VARIANCE REQUIRED FROM 7.5M TO 4.0M
			WEST (LANEWAY (REAR))	24.60	*50	24.64	7.51		

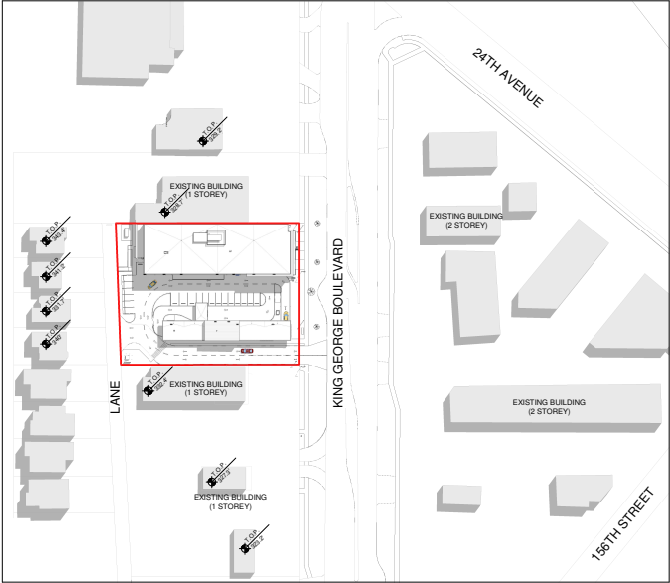
NOTES
 1. ALL AREAS CALCULATIONS ARE APPROXIMATE & MAY REQUIRE MINOR ADJUSTMENTS AT WORKING DRAWING PHASE
 2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF SURREY BY LAWS

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD
1	11/06/2019	ISSUED FOR PERMIT
2	11/06/2019	ISSUED FOR PERMIT
3	11/06/2019	REBUILT FOR PERMIT



ZONING PLAN CITY OF SURREY
 N.T.S



CONTEXT PLAN
 1/64" = 1'-0"

PROJECT NO: 19449

NATIONWIDE
 SELF-STORAGE
 FACILITY
 #808 - 609 GRANVILLE
 VANCOUVER, BC

SELF-STORAGE & CARWASH
 FACILITY
 2337 KING GEORGE
 BOULEVARD, SURREY, BC

ZONING DATA / SITE
 CONTEXT PLAN

A001A

DATE: 11/06/2019
 DRAWN: Author
 CHECK: Checker
 SCALE: 1/64" = 1'-0"
 CHECKER: Checker

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION FOR 3D	14 Feb 2021
2	REVISION FOR 3D	14 Feb 2021
3	REVISION FOR 3D	14 Feb 2021
4	REVISION FOR 3D	14 Feb 2021
5	REVISION FOR 3D	14 Feb 2021
6	REVISION FOR 3D	14 Feb 2021
7	REVISION FOR 3D	14 Feb 2021
8	REVISION FOR 3D	14 Feb 2021
9	REVISION FOR 3D	14 Feb 2021
10	REVISION FOR 3D	14 Feb 2021
11	REVISION FOR 3D	14 Feb 2021
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27	REVISION FOR 3D	14 Feb 2021
28	REVISION FOR 3D	14 Feb 2021
29	REVISION FOR 3D	14 Feb 2021
30	REVISION FOR 3D	14 Feb 2021

NOTES:
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NATIONWIDE
SELF-STORAGE
#808 - 609 GRANVILLE
VANCOUVER, BC

PROJECT NO. 19449

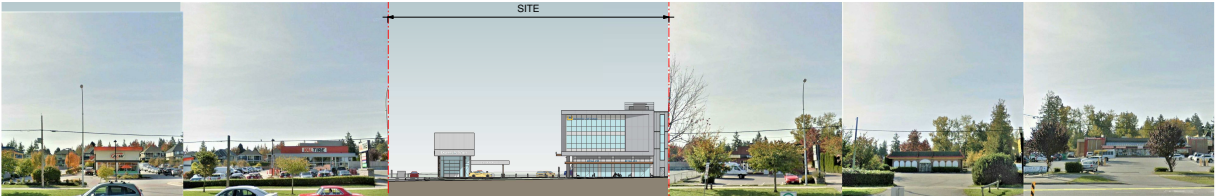
SELF-STORAGE & CARWASH FACILITY
2337 KING GEORGE BOULEVARD, SURREY, BC

STREETSCAPES

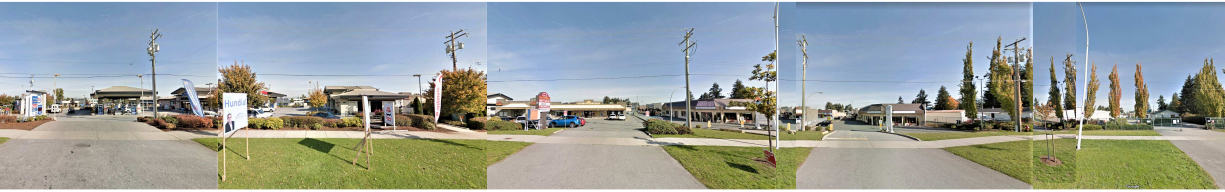
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 1 3 REV: 19/02/19

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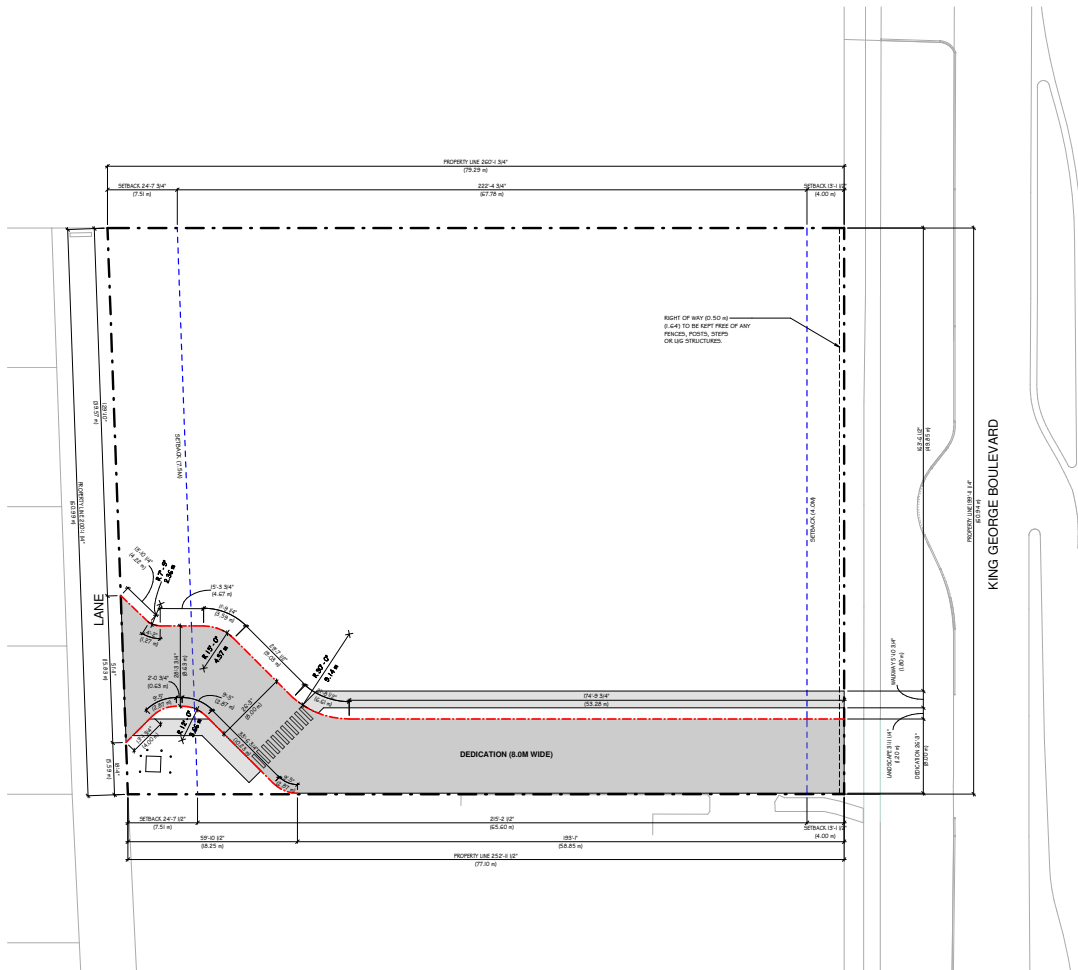
DATE 19/02/19 DESIGNER MS
 SCALE As indicated CHECKER
 As indicated Checker



WEST STREETSCAPE ALONG KING GEORGE BOULEVARD



EAST STREETSCAPE ALONG KING GEORGE BOULEVARD



LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	SETBACK LINE
	DEDICATION

SITE AREA CALCULATIONS	
ORIGINAL SITE AREA	51,200 SF
DEDICATION	7,252 SF
NEW SITE AREA	44,048 SF

NOTES
 ALL AREA CALCULATIONS ARE APPROXIMATE & MUST BE VERIFIED BY SURVEYOR.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	14 FEB 2020
2	ISSUED FOR PERMITS	14 FEB 2020
3	REVISED FOR PERMITS	20 APR 2020

PROFESSIONAL RECORD
 I, the undersigned, being a duly Licensed Professional Engineer in the Province of British Columbia, do hereby certify that I am a duly Licensed Professional Engineer in the Province of British Columbia, and that I am the author of the design and calculations herein, and that I am a duly Licensed Professional Engineer in the Province of British Columbia, and that I am the author of the design and calculations herein, and that I am a duly Licensed Professional Engineer in the Province of British Columbia, and that I am the author of the design and calculations herein.



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NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

PROJECT NO: 19449

SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

DRAWING TITLE

BASE SITE PLAN

DATE:

DRAWING NO: 1

A002

DATE	DESCRIPTION
01/29/20	MC
02/02/20	MC
As indicated	Checker

1 **BASE SITE PLAN**
 1/16" = 1'-0"

AREA CALCULATIONS SUMMARY / SF														7-Feb-2020					
	A	B	E	F	G	H	I	J	K	L	M	N	O	P	R	S	T		
		CARWASH					SELF-STORAGE					TOTAL GROSS AREA / FAR	SELF-STORAGE AREA FOR PARKING CALCULATIONS						
LEVEL	NUMBER OF FLOORS	CARWASH TUNNEL (SF)	KIOSK / WASHROOM (SF)	CIRCULATION (SF)	CARWASH MECHANICAL (SF)	TOTAL CARWASH (SF)	RETAIL (SF)	LOCKERS (SF)	CIRCULATION (SF)	CUSTOMER SERVICE & AMENITY LOUNGE (SF)	WASHROOM AREA (SF)	GARBAGE, RECYCLING & BULK STORAGE RM (SF)	TOTAL SELF-STORAGE (SF)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	EXCLUSIONS (STAIRWAYS, MECHANICAL, RETAIL, CUSTOMER OFFICE)(SF)	GROSS AREA (SF)	NOTES	
LEVEL 1 / STREET	1	2456	109	182		2,748	1,127	4,334	3,192	1,067	159	313	10,172	12,880	1,200	2,652	7,530		
LEVEL 2	1			194	771	965		10,232	4,637		146		15,015	15,015	1,486	458	16,566		
LEVEL 3	1							10,232	4,637					15,015	15,015	1,366	458	14,587	
LEVEL 3 SUB-TOTAL	CARWASH 2 & SELF-STORAGE 3																		
BT (excluded from FAR)	1												18,615				788	18,618	
B2 (excluded from FAR)	1												18,675				438	19,217	
LEVEL 3 SUB-TOTAL	2																		
TOTAL (SF)		2,456	109	376	771	3,712	1,127	24,778	12,488.6	1,668.8	451	313	40,202	43,914	4,080	4,824	74,728		
TOTAL (SM)		228	10	35	72	345	109	2382	1158	99	42	29	3,725	4,080	448	5,842			
EFFECTIVE SITE AREA		44,048																	
TOTAL FAR		43,914																	
MAX. ALLOWED FAR		44,048				134													
TOTAL SELF STORAGE GROSS AREA INCLUDING BASEMENTS		79,552	7,391	SM															
PARKING & LOADING AND UNLOADING SUMMARY (CITY OF SURREY ZONING BY-LAW 12000 PART 5)																			
						RATE	REFERENCE	AREA (SM)	REQUIRED	PROVIDED	NOTES								
RETAIL		MAIN FLOOR RETAIL				2.75/100 SM	TABLE C2	105	3	3									
AUTOMOTIVE SERVICE USE		CARWASH				1/BAY	TABLE C2		1	1									
OFFICE		CUSTOMER SERVICE AREA				5/100 SM	TABLE C2	99	0	0									
MINI STORAGE		MINI-STORAGE SELF-STORAGE				5/100 SM	TABLE C3	6,942	35	22	REFER TO BINNIE TRAFFIC REPORT								
POTENTIAL VACUUM STALLS										6									
LEVEL 3 SUB-TOTAL									39	32									
DIFFERENCE										7									
STALL TYPE																			
STANDARD		15																	
SMALL		6																	
ACCESSIBLE		1																	
POTENTIAL VACUUM		6																	
LEVEL 3 SUB-TOTAL		32																	
EV CHARGER						20% OF COMMERCIAL PARKING		5	5										
LOADING REQUIREMENT																			
								1	3	REFER TO BINNIE TRAFFIC REPORT									
BICYCLE REQUIREMENT																			
VISITOR								NA	5										
SECURE								NA	4										
NOTES																			
1. ALL AREAS & CALCULATIONS ARE APPROXIMATE & MAY REQUIRE MINOR ADJUSTMENTS AT WORKING DRAWING PHASE																			
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF SURREY BY-LAWS																			

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	14 FEB 2020
2	ISSUED FOR PERMITS	14 FEB 2020
3	REVISIONS FOR PERMITS	20 FEB 2020
4		
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PROJECT NO: 19449

NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

PROJECT NO: 19449

SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

PROJECT NO: 19449

PROJECT NO: 19449

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PROJECT NO: 19449

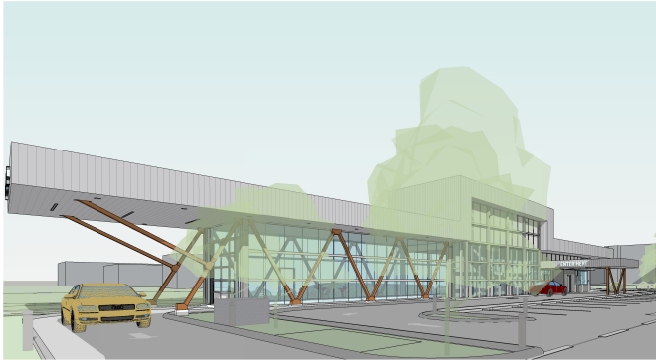
PROJECT NO: 19449

A004

DATE: 11/06/2019

SCALE: MS

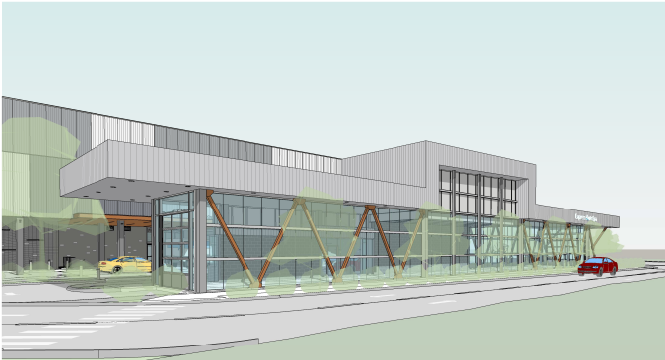
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3D VIEW FROM NORTH-EAST



3D VIEW FROM SOUTH-EAST

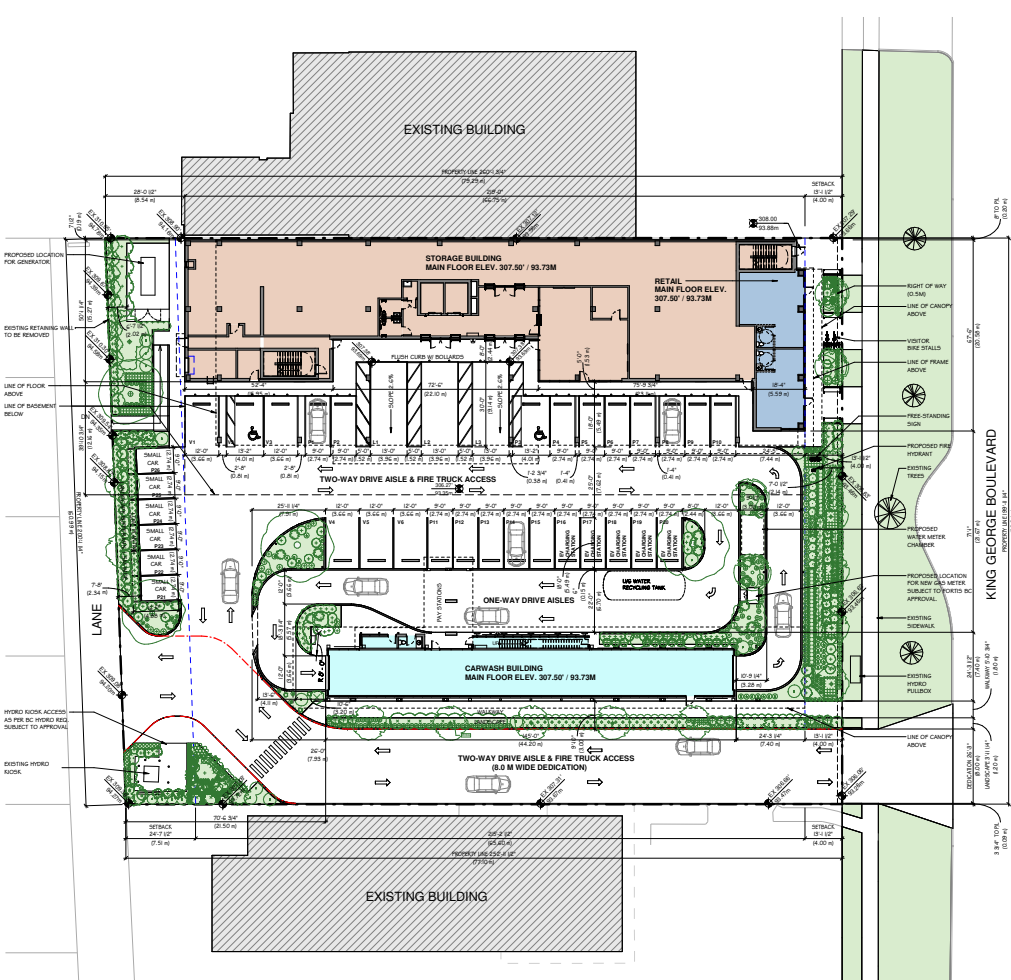


3D VIEW FROM SOUTH-WEST



3D VIEW FROM NORTH-WEST

NO.	DESCRIPTION	DATE
1	ISSUED FOR I.D.	14 Feb 2021
2	ISSUED FOR I.D.	14 Feb 2021
3	ISSUED FOR I.D.	14 Feb 2021
4	ISSUED FOR I.D.	14 Feb 2021
5	ISSUED FOR I.D.	14 Feb 2021
6	ISSUED FOR I.D.	14 Feb 2021
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12	ISSUED FOR I.D.	14 Feb 2021
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14	ISSUED FOR I.D.	14 Feb 2021
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17	ISSUED FOR I.D.	14 Feb 2021
18	ISSUED FOR I.D.	14 Feb 2021
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49	ISSUED FOR I.D.	14 Feb 2021
50	ISSUED FOR I.D.	14 Feb 2021



GENERAL NOTES

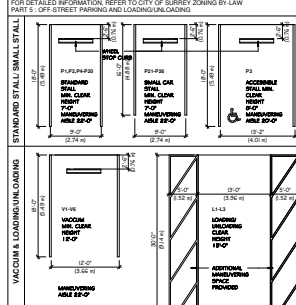
- BUILDING SHALL BE Laid OUT WITH EAST-WEST GRID LINES PARALLEL TO NORTH PROPERTY LINE WITH SET-OFF DIMENSIONS AS SHOWN
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO CIVIL DRAWINGS FOR INFORMATION INCLUDING SITE DRAINAGE AND GRADING INFORMATION
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILED MECHANICAL & ELECTRICAL INFORMATION
- REFER TO LOCKER DESIGN DRAWINGS FOR LOCKER LAYOUT
- REFER TO CAR WASH MANUFACTURER'S DRAWINGS FOR CAR WASH EQUIPMENTS AND DETAILED INFORMATION
- REFER TO STORAGE PACKAGE DRAWINGS FOR BUILDING SIGN LOCATIONS, SIZES AND DETAILED INFORMATION
- CLASSIFICATION OF SPACES FOR THE PURPOSE OF SETTING BUILDING ENVELOPE REQUIREMENTS AS DEFINED IN ASHRAE 90.1-2016 RETAIL, CUSTOMER SERVICE / AMENITY LOUNGE AND OFFICE ARE HEATED SPACES, LOCKER AREAS, STAIRS & B & C VESTIBULE, MECHANICAL ROOM, WASHROOMS AND SERVICE ROOM ARE SEMI-HEATED SPACES. ALL OTHER AREAS ARE UNCONDITIONED SPACES.

bfa studio architects
 INCORPORATED ARCHITECTURE - INTERIOR DESIGN
 601 - 285 Burrard Street Vancouver, BC V6C 2G8
 T: 604 682 4566 F: 604 682 4562
 www.bfa-studio.com info@bfa-studio.com

REVISIONS

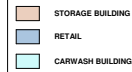
NO.	DATE	DESCRIPTION	BY	CHKD
1	15.07.2019	ISSUED FOR PERMIT	---	---
2	15.07.2019	ISSUED FOR PERMIT	---	---
3	15.07.2019	REVISION FOR PERMIT	---	---
4	15.07.2019	REVISION FOR PERMIT	---	---

PARKING STALL AND LOADING BAY DIMENSIONS



- NOTE:**
- PARKING SPACES DELINEATED BY 4" WIDE PAINTED SOLID LINES FOR EACH PARKING, AND 2" WIDE NUMBER & SYMBOLS FOR IDENTIFICATION AS SHOWN ON PLANS
 - EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS OF MIN. 6" & MAX. 6" IN HEIGHT
 - PARKING STALLS P19-P21 TO BE ROUGHED IN FOR POTENTIAL VACUUM STATIONS FOR FUTURE.
 - EACH PARKING STALL TO BE ROUGHED IN FOR POTENTIAL LEVEL 2 EV CHARGING STATION FOR FUTURE.

COLOUR LEGEND



NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

15449

SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

SITE PLAN

DATE: 17/07/2019
 DRAWN: MS
 CHECK: [Signature]
 AS INDICATED: [Signature] CHECKER

1 SITE PLAN
 1/16" = 1'-0"

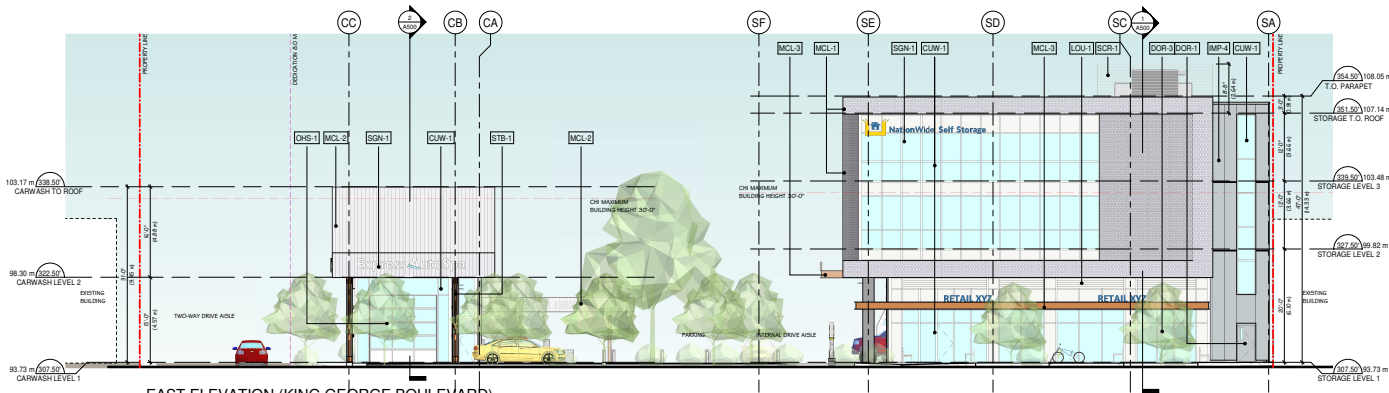
A100

REVISIONS

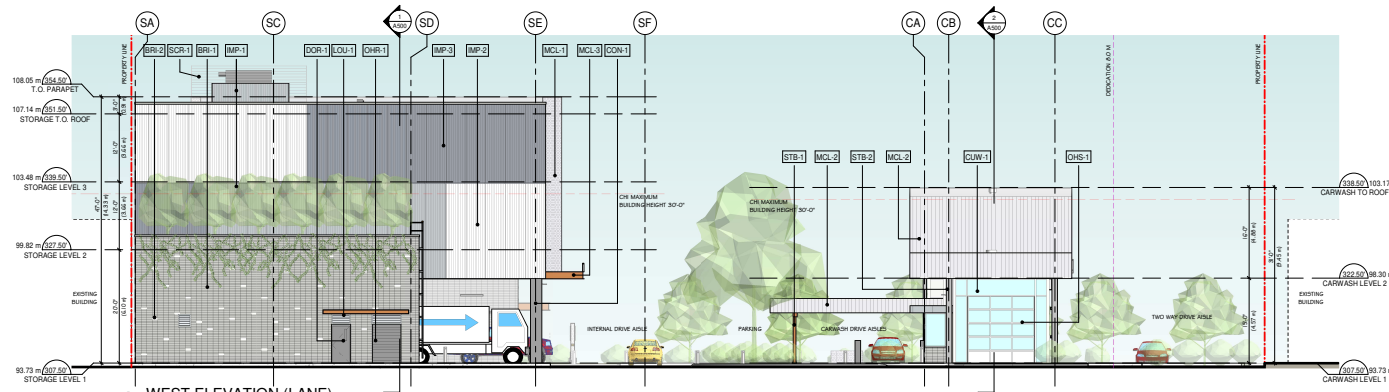
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	14 FEB 2023
2	ISSUED FOR BIDDING	14 FEB 2023
3	REVISUE FOR CIP	20 APR 2023

PROPOSED FINISHES

NO.	DESCRIPTION	FINISH
1	CONCRETE	CONCRETE
2	PAINT	PAINT
3	GLASS	GLASS
4	ALUMINUM	ALUMINUM
5	STEEL	STEEL
6	WOOD	WOOD
7	BRICK	BRICK
8	STONE	STONE
9	ROOFING	ROOFING
10	MECHANICAL	MECHANICAL
11	ELECTRICAL	ELECTRICAL
12	PLUMBING	PLUMBING
13	MECHANICAL	MECHANICAL
14	ELECTRICAL	ELECTRICAL
15	PLUMBING	PLUMBING



1 EAST ELEVATION (KING GEORGE BOULEVARD)
1/8" = 1'-0"



2 WEST ELEVATION (LANE)
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND						
ITEM	COLOR / FINISH	ITEM	COLOR / FINISH	ITEM	COLOR / FINISH	
BB1	STRUCTURAL BLOCK - BRACK BOND	CGP-1	PREPARED METAL BUTTER	MCL-1	ALUMINUM	
BB2	ARCHITECTURAL BLOCK - BRACK BOND	MP-1	INSULATED METAL PANEL, MICRO RIB	CON-1	CONCRETE	
CON-1	CONCRETE	MP-2	INSULATED METAL PANEL, MICRO RIB	SCR-1	SCREEN	
CGP-1	SHIMMED GLAZING UNITS IN BRACKEN CURTAIN WALL FRAMES	MP-3	INSULATED METAL PANEL, MICRO RIB	SCR-2	SCREEN	
CGP-2	INSULATED EXTERIOR METAL DOOR	MP-4	INSULATED METAL PANEL, WF BRIMS, SHADOW LINE	DOR-1	DOOR	
CGP-3	EXTERIOR METAL DOOR	MP-5	INSULATED METAL PANEL, WF BRIMS, SHADOW LINE	DOR-2	DOOR	
CGP-4	EXTERIOR METAL DOOR	LAD-1	FRIB METAL LADDER	MP-1	METAL PANEL	
CGP-5	INSULATED DOOR WITH CLEAR GLAZING	LAD-2	LADDER	MP-2	METAL PANEL	
FGC-1	FIRE DEPARTMENT CONNECTION	MCL-1	METAL CLADDING - PERFORATED	MP-3	METAL PANEL	
FTS-1	FRAMERLESS REINFORCED OR LAMINATED GLASS PANELS W/ STRUCTURAL GLUCOSE JOINTS			MP-4	METAL PANEL	
				MP-5	METAL PANEL	
				MP-6	METAL PANEL	
				MP-7	METAL PANEL	
				MP-8	METAL PANEL	
				MP-9	METAL PANEL	
				MP-10	METAL PANEL	
				MP-11	METAL PANEL	
				MP-12	METAL PANEL	
				MP-13	METAL PANEL	
				MP-14	METAL PANEL	
				MP-15	METAL PANEL	
				MP-16	METAL PANEL	
				MP-17	METAL PANEL	
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				MP-99	METAL PANEL	
				MP-100	METAL PANEL	

NATIONWIDE
SELF-STORAGE
FACILITY
#808 - 609 GRANVILLE
VANCOUVER, BC

PROJECT NO: 19449

SELF-STORAGE & CARWASH
FACILITY
2337 KING GEORGE
BOULEVARD, SURREY, BC

ELEVATIONS

SCALE:

DATE: 09/27/18
1/8" = 1'-0"

A400

Author: [Signature]
Checker: [Signature]

REVISIONS
NO. DESCRIPTION DATE
1. REVISED FOR BID 14.12.2019
2. ISSUED FOR BIDDING 14.12.2019
3. REVISED FOR G.P. 20.01.2020

PROJECT NO. 19449
NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

PROJECT NO. 19449
NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

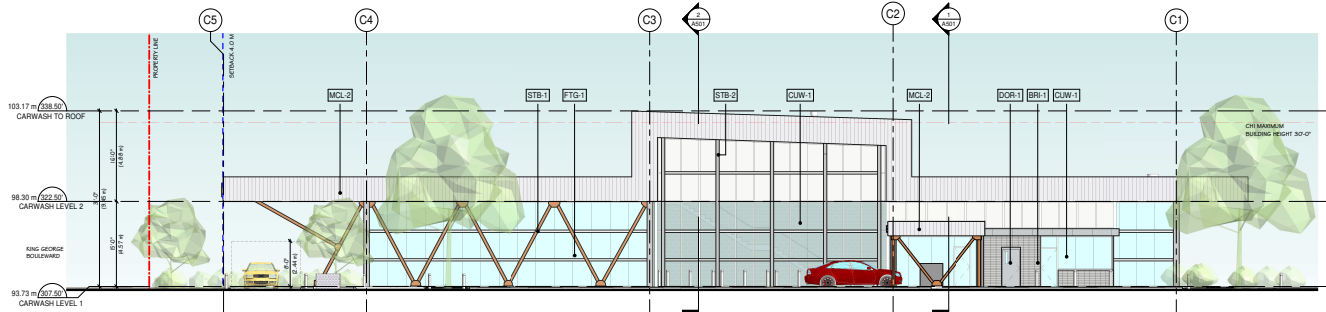
PROJECT NO. 19449
SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

ELEVATIONS

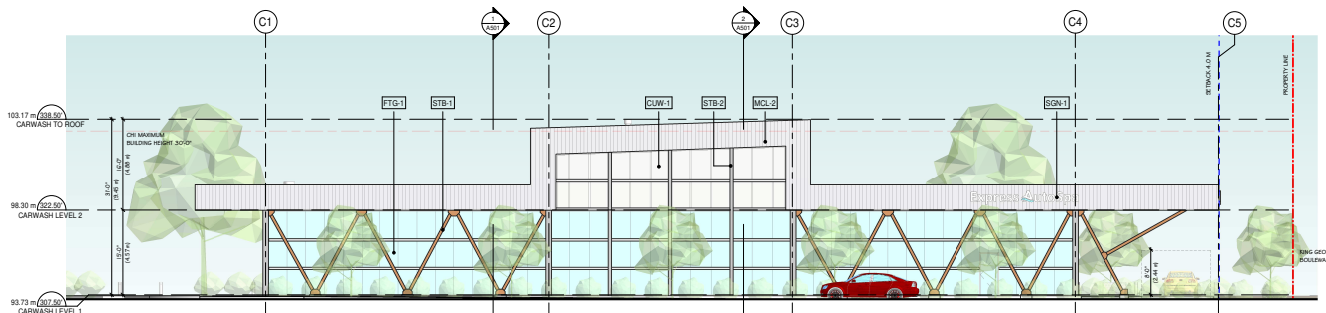
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DATE 09/21/18
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A401



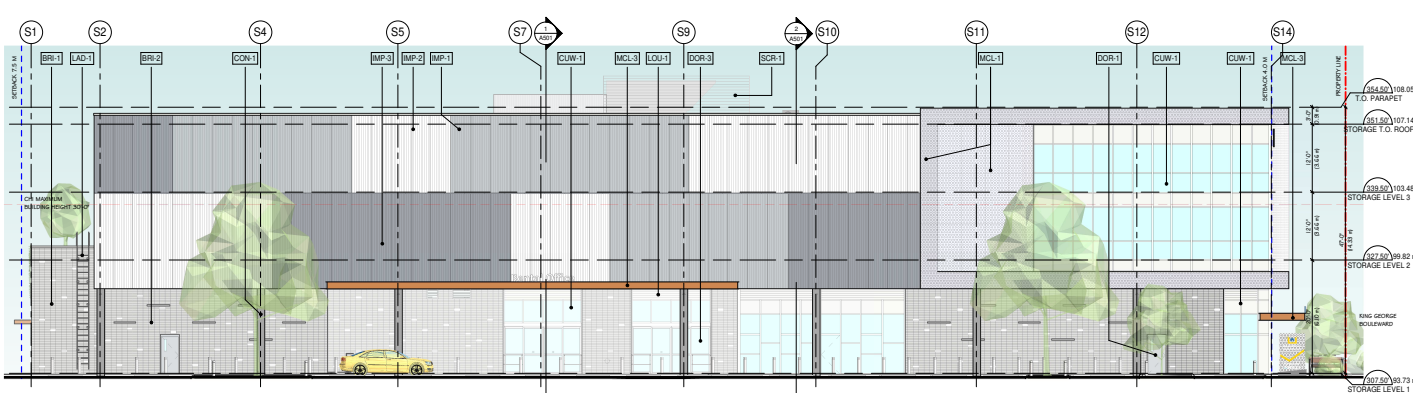
2 CARWASH - NORTH ELEVATION
1/8" = 1'-0"



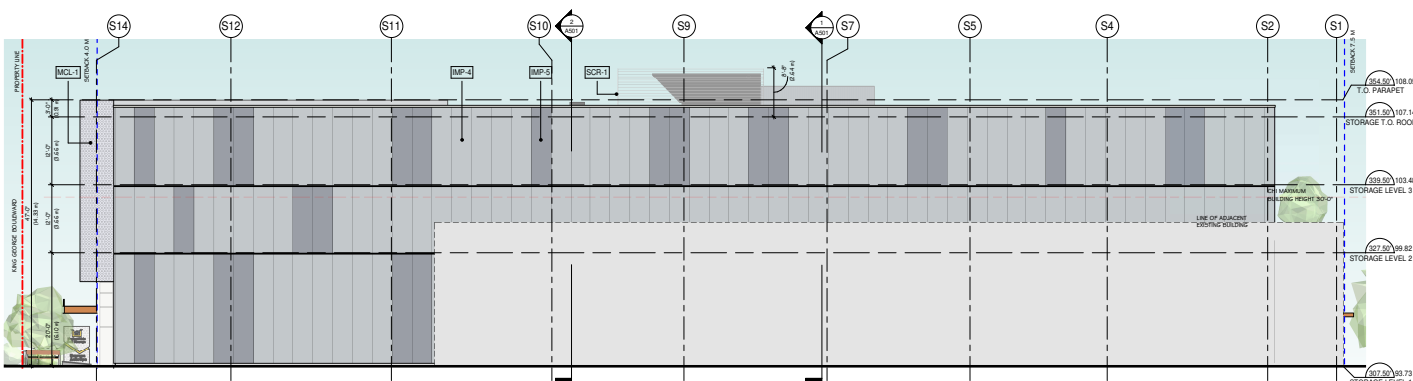
1 CARWASH - SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND

ITEM	COLOR / FINISH	ITEM	COLOR / FINISH	ITEM	COLOR / FINISH
BRS-1 ARCHITECTURAL BLOCK - BRACK BOND	DICUTIVE GREY	CSF-1 PREFABRICATED METAL GUTTER	COLOR TO MATCH MP-1	MCL-2 CORRUGATED BRANCHED SEAM METAL CLADDING	ACCENT METAL
BRS-2 ARCHITECTURAL BLOCK - BRACK BOND	ACCENT	MP-1 INSULATED METAL PANEL, MICRO RIB	COLOR 1 TO MATCH GRANVILLE DUNE GREY	MCL-3 METAL CLADDING	COVER FLOOR
CON-1 CONCRETE	LIGHT GRAY	MP-2 INSULATED METAL PANEL, MICRO RIB	COLOR 2 TO MATCH GRANVILLE REBEL WHITE	DNH-1 OVERHEAD ROLL UP DOOR	ACCENT ALUMINUM WITH CLEAR TINTED GLASS
DSR-1 SHIELD BLADING SHIMS IN TYPICALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	MP-3 INSULATED METAL PANEL, MICRO RIB	COLOR 3 TO MATCH GRANVILLE REHEATED ZINC	DSH-1 OVERHEAD SECTIONAL DOOR	ACCENT ALUMINUM WITH CLEAR TINTED GLASS
DSR-2 INSULATED SECTIONAL WINDOW DOOR	COLOR TO MATCH MP-1	MP-4 INSULATED METAL PANEL, W/ FINISH WINDOW LINE	COLOR 4 TO MATCH GRANVILLE DUNE GREY	FMF-1 PERFORATED METAL FINISHING	COLOR TO MATCH MP-1
DSR-3 EXTERIOR METAL DOOR	COLOR TO MATCH MP-1	MP-6 INSULATED METAL PANEL, W/ FINISH WINDOW LINE	COLOR 6 TO MATCH GRANVILLE REHEATED ZINC	SCR-1 PERFORATED METAL SCREEN SYSTEM - ROOFTOP	POURON CONTRAST LIGHT GREY, ALUMINUM
DSR-3 INSULATED DOOR WITH CLING GLAZING	CLEAR ANODIZED ALUMINUM	LAD-1 FIXED METAL LADDER	COLOR TO MATCH BRS-1	STR-1 STRUCTURAL BRACING	CORTEX STEEL TO MATCH
FSC-1 FIRE DEPARTMENT CONNECTION	BRANDISH PER BURNEY FIRE DEPARTMENT	LDR-1 COLUMN	COLOR TO MATCH ADJACENT MATERIAL	STR-2 STRUCTURAL BRACING	ACCENT GREY
FTS-1 FIBERGLASS REINFORCED OR LAMINATED GLASS PANELS W/ STRUCTURAL BRIDGE JOINTS	CLEAR LOW-E GLAZING	MCL-1 METAL CLADDING - PERFORATED	CLEAR ANODIZED ALUMINUM	SCR-1 SHEET BY SHIMANE COMPANY IN CONFORMANCE WITH SURVEY SIGN BLYW	DETAIL DESIGN BY BUSINESS CONSULTANT



1 STORAGE - SOUTH ELEVATION
1/8" = 1'-0"



2 STORAGE - NORTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND							
ITEM	COLOR / FINISH	ITEM	COLOR / FINISH	ITEM	COLOR / FINISH		
BRL-1	ARCHITECTURAL BLOCK - BRACK BOND	GRF-1	DECORATIVE GREY	MP-1	PREFINISHED METAL BUTTER	MCL-2	COMBINATION PRIMING SCAM METAL CLADDING
BRL-2	ARCHITECTURAL BLOCK - BRACK BOND	AMP-1	ACOMET	MP-2	INSULATED METAL PANEL, MICRO ISB	MCL-3	METAL CLADDING
CON-1	CONCRETE	MP-2	INSULATED METAL PANEL, MICRO ISB	MP-3	INSULATED METAL PANEL, MICRO ISB	CH-1	OVERHEAD ROLL UP DOOR
CSR-1	SHIELD GLAZING UNITS IN PHYSICALLY BROKEN CURTAIN WALL FRAMES	MP-3	INSULATED METAL PANEL, MICRO ISB	MP-4	INSULATED METAL PANEL, MICRO ISB	CH-2	OVERHEAD SECTIONAL DOOR
CSR-2	INSULATED EXTERIOR METAL FLOOR	MP-4	INSULATED METAL PANEL, WF FINISH, WINDOW LINE	SCR-1	INSULATED METAL PANEL, WF FINISH, WINDOW LINE	FR-1	PERFORATED METAL FLOORING
CSR-3	EXTERIOR METAL DOOR	MP-5	INSULATED METAL PANEL, WF FINISH, WINDOW LINE	LAD-1	CLINK ANODIZED ALUMINUM	STR-1	POURON CONCRETE LIGHT GREY, ALUMINUM
CSR-3	INSULATED DOOR WITH CLINK GLAZING	LAD-1	CLINK ANODIZED ALUMINUM	LAD-2	FINED METAL LADDER	STR-2	CORTEX STEEL TO MATCH DOOR
FSC-1	FIRE DEPARTMENT CONNECTION	LAD-2	STANDARDS PER BARNEY FIRE DEPARTMENT	LCL-1	CLINKER	STR-3	ANODIZED GREY
FTJ-1	FRAMERS REINFORCED OR LAMINATED GLASS PANELS IN STRUCTURAL BALCONY JOINTS	MCL-1	METAL CLADDING - PERFORATED	MCL-2	METAL CLADDING - PERFORATED	STR-3	ANODIZED GREY
						STR-3	ANODIZED GREY

bfa studio architects
 608 - 205 Burrard Street | Vancouver, BC V6C 2E6
 T 604 682 2244 | F 604 682 4362
 www.bfa-studio.com | info@bfa-studio.com

REVISED
 1 15/10/2019 FOR SH - 10 7/18/2019
 2 15/10/2019 FOR SH - 10 7/18/2019
 3 15/10/2019 FOR SH - 10 7/18/2019
 4 15/10/2019 FOR SH - 10 7/18/2019
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 6 15/10/2019 FOR SH - 10 7/18/2019
 7 15/10/2019 FOR SH - 10 7/18/2019
 8 15/10/2019 FOR SH - 10 7/18/2019
 9 15/10/2019 FOR SH - 10 7/18/2019

PROJECT INFO
 19449

NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

ELEVATIONS

A402

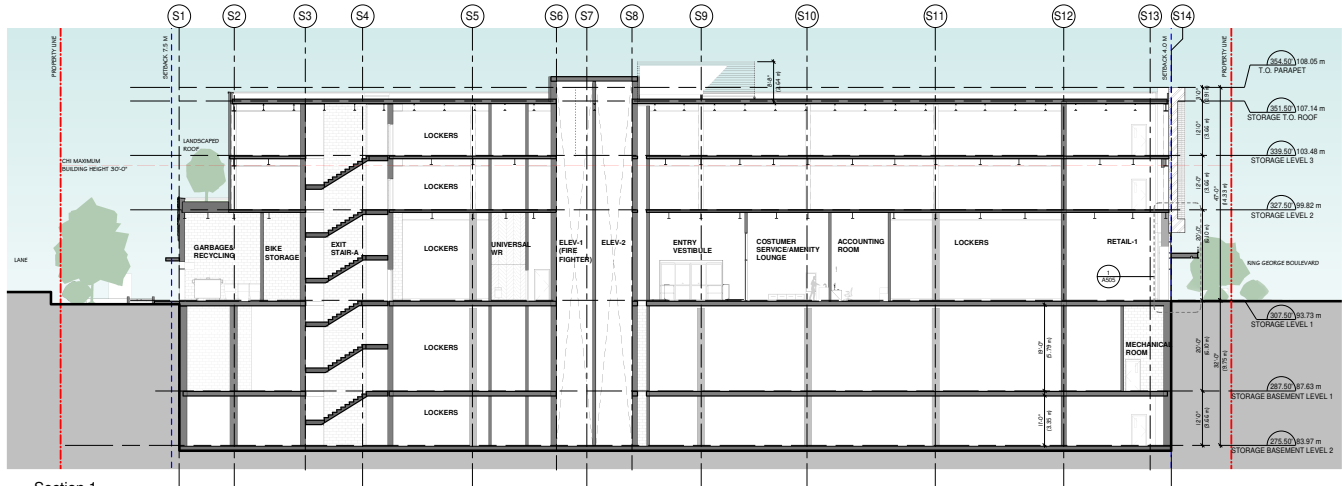
DATE: 09/21/18
 CHECKED: Author
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 CHECKER:

REVISIONS

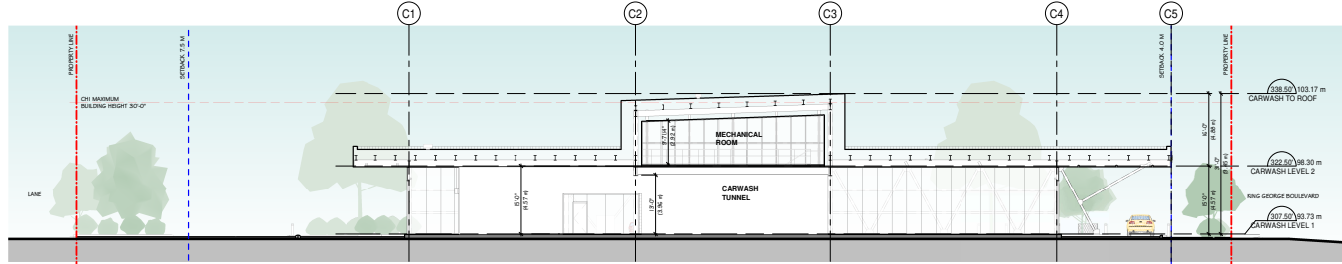
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	14 FEB 2021
2	ISSUED FOR PERMITS	14 FEB 2021
3	REVISUE FOR PERMITS	20 APR 2021

CONTRACT REVISIONS
 1. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
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DATE: 17/07/19
 DRAWN: MS
 CHECKED: [Signature]
 1" = 10'-0"



1 Section 1
1" = 10'-0"



2 Section 2
1" = 10'-0"

NATIONWIDE
 SELF-STORAGE
 #808 - 609 GRANVILLE
 VANCOUVER, BC

PROJECT NO: 19449
 SELF-STORAGE & CARWASH FACILITY
 2337 KING GEORGE BOULEVARD, SURREY, BC

SECTIONS

DATE: 17/07/19
 DRAWN: MS
 CHECKED: [Signature]
 1" = 10'-0"

A500

DATE: 17/07/19
 DRAWN: MS
 CHECKED: [Signature]
 1" = 10'-0"

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	14 FEB 2022
2	ISSUED FOR BIDDING	14 FEB 2022
3	REVISUE FOR CIP	20 APR 2022

PERMIT REQUIREMENTS
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE CODE (CNFC) AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODES (CNPM/CNMC) AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNELC) AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL SAFETY CODE (CNESC) AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL TRANSPORTATION ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL PROTECTION ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL OCCUPATIONAL SAFETY AND HEALTH ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ACCESSIBILITY ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS.

PROJECT INFORMATION

PROJECT NO.	19449
PROJECT NAME	NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC
CLIENT	
DESIGNER	
DATE	
SCALE	
PROJECT LOCATION	
PROJECT STATUS	
PROJECT PHASE	
PROJECT BUDGET	
PROJECT RISK	
PROJECT SCHEDULE	
PROJECT TEAM	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	
PROJECT DOCUMENTS	
PROJECT DRAWINGS	
PROJECT SPECIFICATIONS	
PROJECT CONTRACTS	
PROJECT AGREEMENTS	
PROJECT CONDITIONS	
PROJECT WARRANTIES	
PROJECT RELEASES	
PROJECT ASSIGNMENTS	
PROJECT TRANSFERS	
PROJECT TERMINATIONS	
PROJECT RESOLUTIONS	
PROJECT SETTLEMENTS	
PROJECT LIQUIDATIONS	
PROJECT REORGANIZATIONS	
PROJECT MERGERS	
PROJECT ACQUISITIONS	
PROJECT DIVISIONS	
PROJECT SPLITUPS	
PROJECT RESTRUCTURINGS	
PROJECT REORGANIZATIONS	
PROJECT MERGERS	
PROJECT ACQUISITIONS	
PROJECT DIVISIONS	
PROJECT SPLITUPS	
PROJECT RESTRUCTURINGS	

SECTION INFORMATION

SECTION NO.	1
SECTION NAME	SECTION 3
SECTION SCALE	1" = 10'-0"
SECTION DATE	
SECTION DRAWN BY	
SECTION CHECKED BY	
SECTION APPROVED BY	

NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

PROJECT NO. 19449
 SELF-STORAGE & CARWASH FACILITY
 2337 KING GEORGE BOULEVARD, SURREY, BC

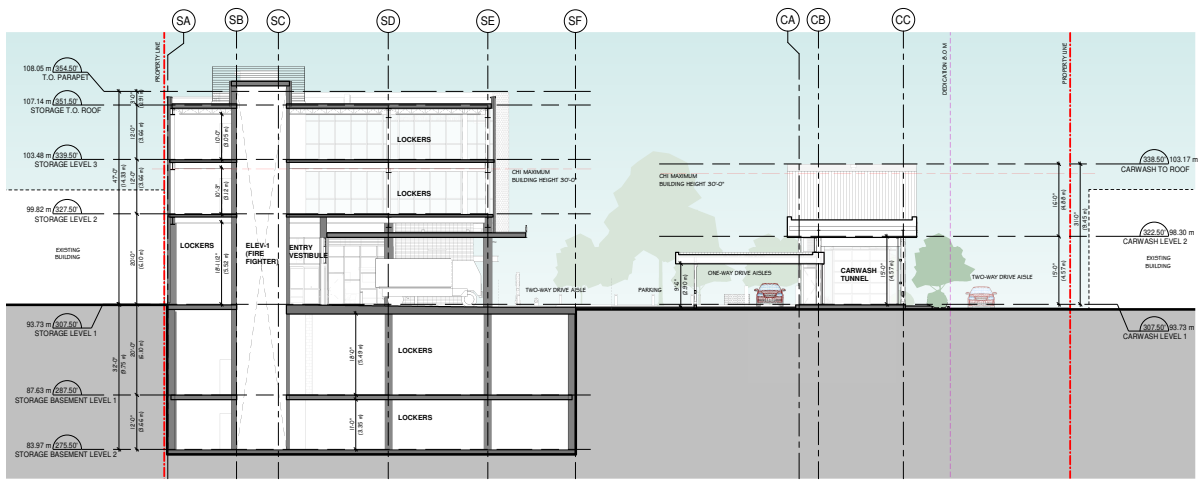
SECTIONS

SCALE

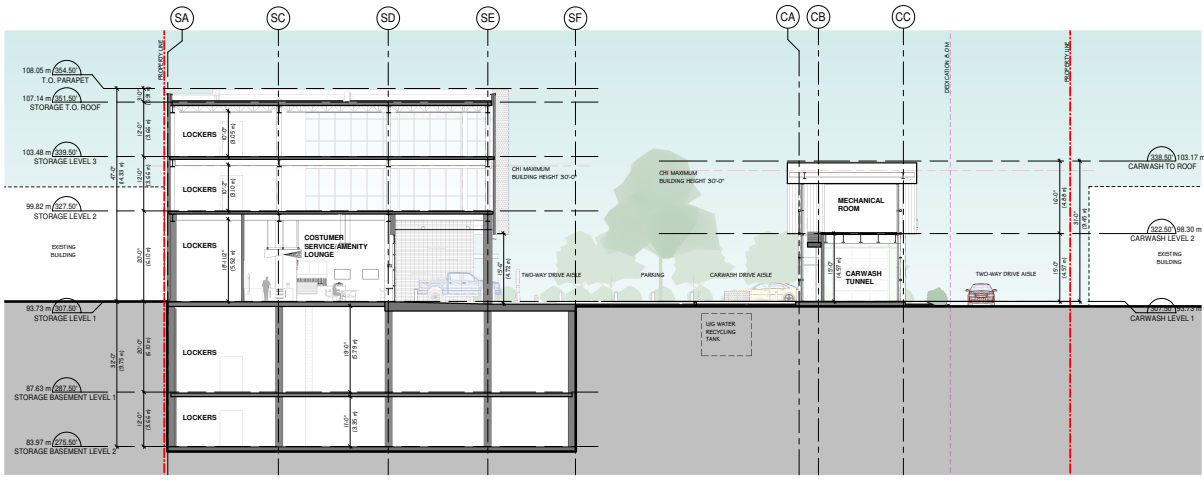
PROJECT NO. 19449

A501

DATE: 09/10/18
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1" = 10'-0"



1 Section 3
 1" = 10'-0"



2 Section 4
 1" = 10'-0"



**NATIONWIDE SELF STORAGE - SOUTH SURREY
EXTERIOR SIGNAGE PACKAGE**
AUGUST 20 / 2020 - Revision 8

Project
NationWide Self Storage - South Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RCIDG-R9

Account Manager
Roland House

Date
February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Updated Site Plan	13-05-20
R2	No Changes	20-05-20
R3	Updated Site Plan	21-05-20
R4	No Changes	04-06-20
R5	No Changes	08-07-20
R6	No Changes	16-07-20
R7	No Changes	04-08-20
R8	No Changes	20-08-20
R9	REMOVE SIGN 3	31-08-20

SCALE	POWER
-	-

DESIGN CONCEPT ONLY

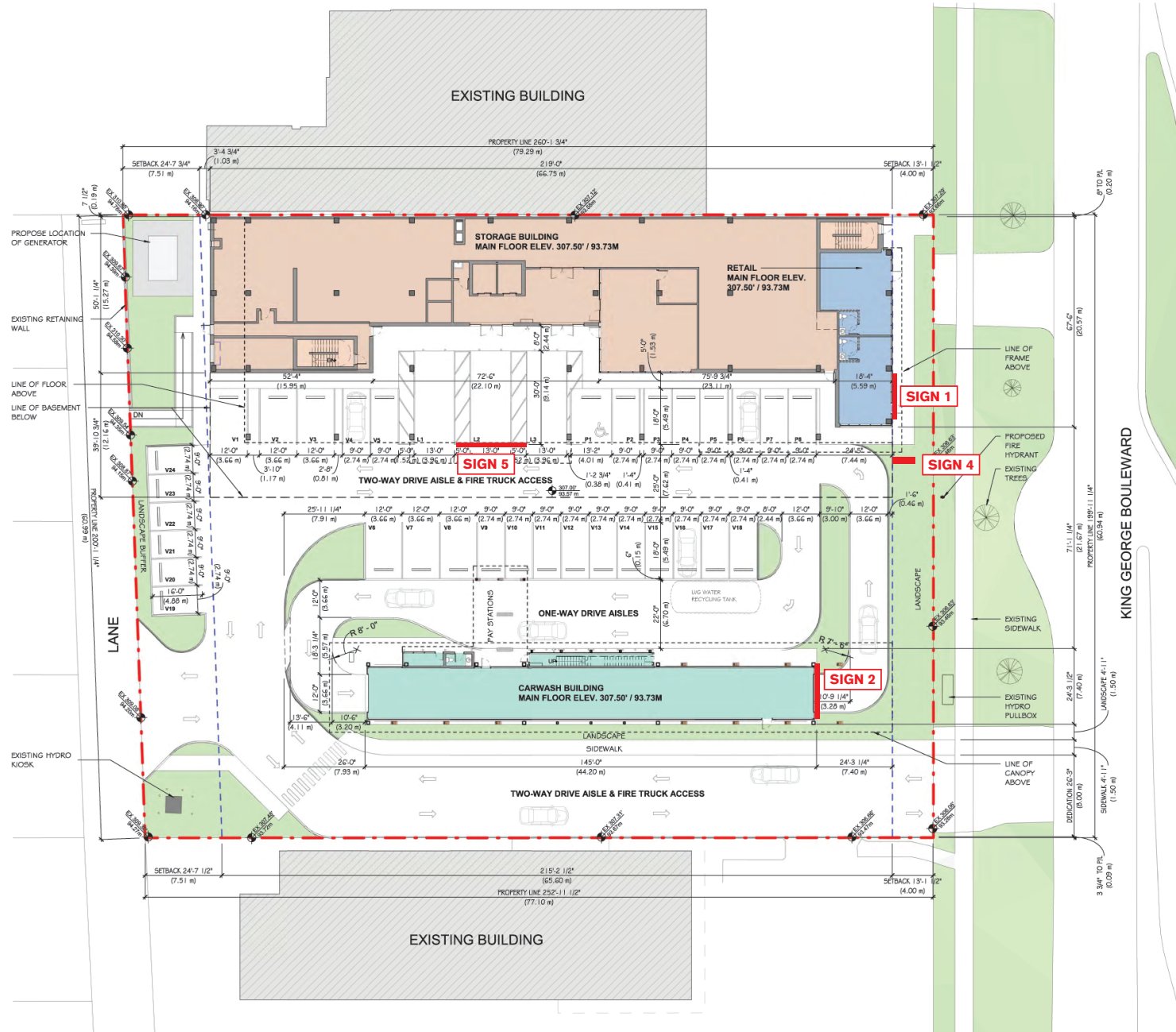
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Colour is for illustration purposes only. Customer is responsible for power to sign.

Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.

SITE PLAN

SIGN TYPE	TYPEFACE
-	-
Qty.	Page No.
-	1



SPECIFICATIONS

Face-Lit Channel Letters

Logo (Excluding House) - Face-Lit

5" Deep Fabricated Aluminum Return - Painted Silver
 3/16" Thick White Acrylic Face w/ 1" Jewelite Retainer Painted Silver
 Translucent Yellow Vinyl Graphics Applied to Face
 Internally Illuminated by White LEDs
 (6500k Colour Temperature)
 Mounted w/ Knife Blades to Mullions

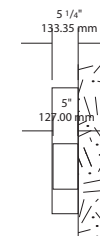
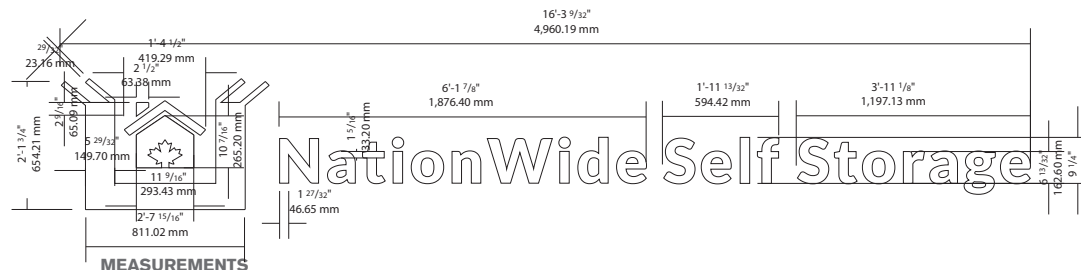
House - Face Lit (3 Separate Shapes)

5-1/4" Deep Let-R-Edge Returns - #100 Satin Silver
 3/16" Thick White Acrylic Faces
 Digitally Printed Translucent Blue Vinyl Applied to Faces
 Internally Illuminated by White LEDs
 (7000k Colour Temperature)
 Mounted w/ Knife Blades to Mullions

Nationwide Self Storage - Face-Lit

5-1/4" Deep Let-R-Edge Returns - #100 Satin Silver
 3/16" Thick White Acrylic Faces
 Perforated Vinyl Graphics Painted Blue & Applied to Faces
 Internally Illuminated by White LEDs
 (7000k Colour Temperature)
 Mounted w/ Knife Blades to Mullions

Size & Mounting Details TBC



SIDE VIEW



NIGHT VIEW

NOTES

Engineered Drawings Will be Required for Exact Brackets and Mounting

Survey All Site Dimensions / A.F.F.
 Survey Power / Mounting Details

Colour Samples to be Approved Prior to Production

Refer to Shop Drawings for Exact Production Details

COLOURS & FINISHES

Colour
 Yellow
 Pantone 1235C

Colour
 Blue
 Pantone 647C

Colour
 Blue
 Pantone 647C

Colour
 Silver

Colour
 Light Blue
 Pantone 542C

Paint Value

P2 **Paint Value**
 MP 59277

Paint Value

P4 **Paint Value**
 MP 41-342SP

Paint Value

V1 **Vinyl Value**
 3M 3630-125-T

V2 **Vinyl Value**
 3M 3635-200-P

DP **Digital Print**
 3M IJ8150 w/
 3M IJ8150 Laminate

Vinyl Value

DP **Digital Print**
 3M IJ8150 w/
 3M IJ8150 Laminate

X
 Client's Approval

SIGN 1
FACE-LIT CHANNEL LETTERS
 ILLUMINATED

SIGN TYPE	TYPEFACE
-	LOGO
Qty.	Page No.
1 SET	2



Project
 NationWide Self Storage - South
 Surrey Exterior Signage Package

Site Address
 2337 King George Boulevard
 Surrey, BC

Client
 NATIONWIDE SELF STORAGE

Quote Number
 17658-08-20-RICDG-R9

Account Manager
 Roland House

Date
 February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Removed Signs 2 & 3 from Package	13-05-20
R2	No Changes	20-05-20
R3	Added Sign 5 to Package	21-05-20
R4	Reduced Size of Signage	04-06-20
R5	No Changes	08-07-20
R6	Reduced Sign by 10%	16-07-20
R7	No Changes	04-08-20
R8	Reduce size	20-08-2
R9	NO CHANGE	31-08-20

SCALE
 1 : 60

POWER
 SEE / DWG

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Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.

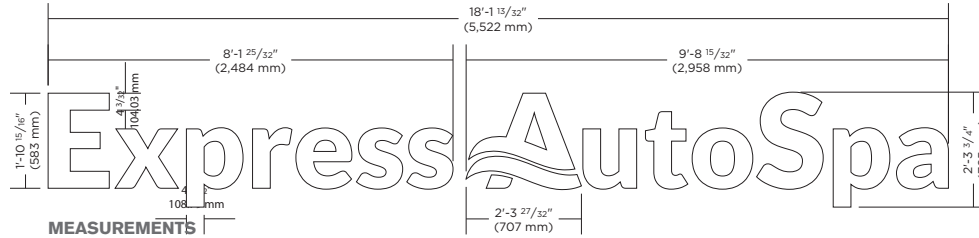
SPECIFICATIONS

Face-Lit Channel Letters

3-1/4" Deep Let-R-Edge Returns - #100 Satin Silver
 3/16" Thick White Acrylic Faces
 Digitally Printed Translucent Light Blue Vinyl Applied to Face of Swoosh
 Internally Illuminated by White LEDs
 (7000k Colour Temperature)

Mounted to Flush to Bulkhead Façade

Size & Mounting Details TBC



SIDE VIEW



GRAPHICS



NIGHT VIEW

NOTES

Engineered Drawings Will be Required for Exact Brackets and Mounting

Survey All Site Dimensions / A.F.F.
 Survey Power / Mounting Details

Colour Samples to be Approved Prior to Production

Refer to Shop Drawings for Exact Production Details

COLOURS & FINISHES

Colour
 Light Blue
 Pantone 542C

Paint Value
 -



Digital Print
 3M IJ8150 w/
 3M IJ8519 Laminate



Project
 NationWide Self Storage - South
 Surrey Exterior Signage Package

Site Address
 2337 King George Boulevard
 Surrey, BC

Client
 NATIONWIDE SELF STORAGE

Quote Number
 17658-08-20-RICDG-R9

Account Manager
 Roland House

Date
 February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Increased Quantity to 2	13-05-20
R2	Changed Depth of Letters to 3-1/4"	20-05-20
R3	Added Sign 5 to Package	21-05-20
R4	No Changes	04-06-20
R5	No Changes	08-07-20
R6	No Changes	16-07-20
R7	No Changes	04-08-20
R8	No Changes	20-08-20
R9	REMOVE SIGN 3	31-08-20

SCALE
 1 : 30

POWER
 SEE / DWG

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Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.

SIGNS 2
FACE-LIT CHANNEL LETTERS
 ILLUMINATED

X
 Client's Approval

SIGN TYPE	TYPEFACE
-	LOGO
Qty. 2 SETS	Page No. 3

SPECIFICATIONS

D/F Pylon Update

Two 6" x 6" square poles
Concrete Bases

Faces

1'-2" Deep Fabricated Aluminum Cabinets
Custom Angle framework
1/8" Thick Aluminum Faces
Secured to framework using counter sunk screws
Faces to have routed out text and logo
1" Clear acrylic push thru letters and logo
Vinyl applied to faces
Digital print for blues
Illuminated w/ white LEDs 7000k

Side cabinets

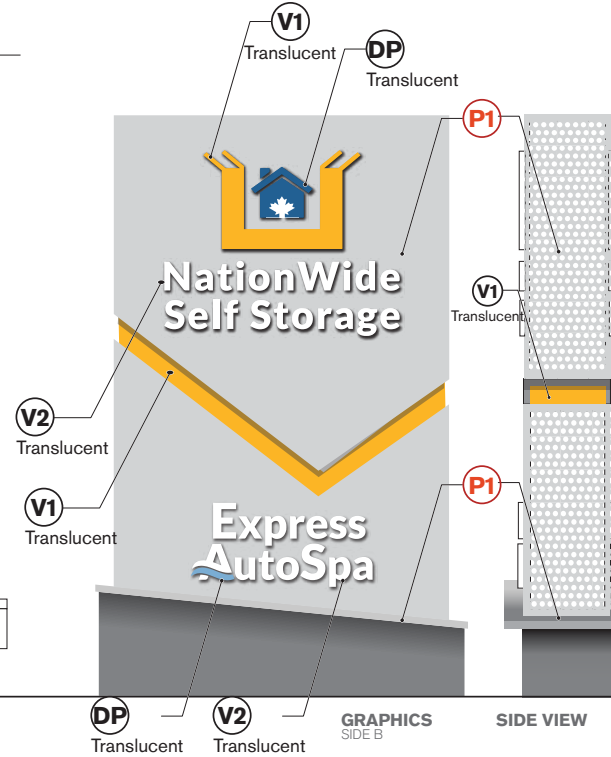
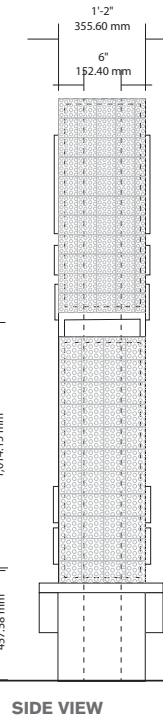
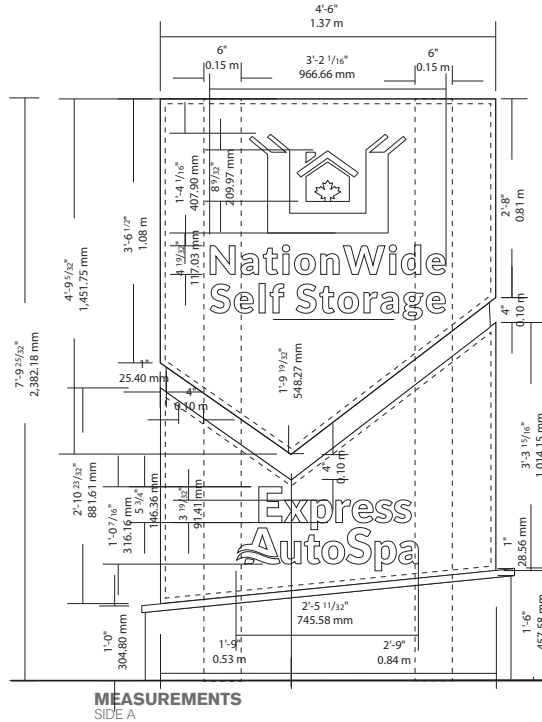
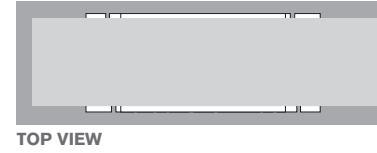
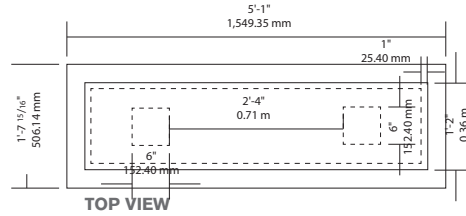
1/8" thick 1/4" round, 3/8" stg. centres
perforated metal, painted to match building
Secured to framework using counter sunk screws
Backed with white Lexan
Illuminated w/ white LEDs 7000k
Access to interior of sign on one side of return

Chevron

3/16" white Lexan
Vinyl applied to faces
Chevron to be to have 1/8" x 1/2" thick flat bar glued
to back face and secured to framework allowing 3"
of illuminated surface

Decorative base

Concrete Structure to have a 1" high aluminum cap
secured to top section



NOTES

Engineered Drawings Will be Required for Exact
Brackets and Mounting

Survey All Site Dimensions / A.F.F.
Survey Power / Mounting Details

Colour Samples to be Approved Prior
to Production

Refer to Shop Drawings for Exact Production Details

COLOURS & FINISHES

Colour
Yellow
Pantone 1235C

Colour
Blue
Pantone 647C

Colour
Light Blue
Pantone 542C

Colour
Medium Grey

Paint Value

Paint Value

Paint Value

Paint Value
Match to Building

V1 Vinyl Value
3M 3630-125-T

DP Digital Print
3M IJ8150 w/
3M IJ8150 Laminate

DP Digital Print
3M IJ8150 w/
3M IJ8150 Laminate

Vinyl Value

X
Client's Approval

SIGN 4
DOUBLE-FACE PYLON
ILLUMINATED

SIGN TYPE
-

TYPEFACE
Lato Bold

Qty.
1

Page No.
4



Project
NationWide Self Storage - South
Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RICDG-R9

Account Manager
Roland House

Date
February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Changed Scope to New Monument	13-05-20
R2	Changed Design of Pylon	20-05-20
R3	Added Sign 5 to Package	21-05-20
R4	No Changes	04-06-20
R5	Updated per Rev4 Markup	08-07-20
R6	Redesigned Pylon	18-07-20
R7	Updated Design Per Rev6 Markups	04-08-20
R8	Reduce size	20-08-20
R9	NO CHANGE	31-08-20

SCALE
1 : 50

POWER
SEE / DWG

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Colour is for illustration purposes only.
Customer is responsible for power to sign.

Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.



Project
NationWide Self Storage - South Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RICDG-R9

Account Manager
Roland House

Date
February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Updated Render	13-05-20
R2	Updated Render	20-05-20
R3	Updated Render	21-05-20
R4	Updated Render	04-06-20
R5	No Changes	08-07-20
R6	Reduced Sign 1 by 10%	16-07-20
R7	No Changes	04-08-20
R8	Reduce size	20-08-20
R9	NO CHANGE	31-08-20

SCALE	POWER
-	-

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SOUTHEAST RENDER

SIGN TYPE	TYPEFACE
-	-
Qty.	Page No.
-	5

SPECIFICATIONS

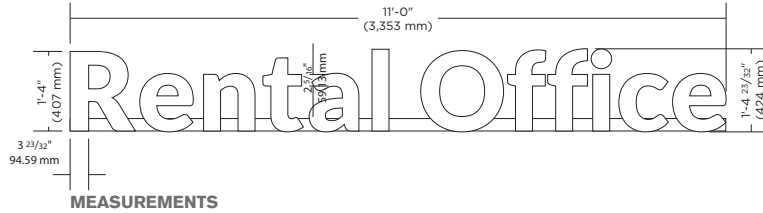
Face-Lit Channel Letters

3-1/4" Deep Let-R-Edge Returns - #100 Satin Silver
 3/16" Thick White Acrylic Faces

Internally Illuminated by White LEDs
 (7000k Colour Temperature)

Mounted to 2.5" Square Aluminum Raceway
 All Visible Surfaces Painted to Match Existing Canopy

Raceway Mounted to Top of Leading Edge of the
 Existing Canopy



NOTES

Engineered Drawings Will be Required for Exact
 Brackets and Mounting

Survey All Site Dimensions / A.F.F.
 Survey Power / Mounting Details

Colour Samples to be Approved Prior
 to Production

Refer to Shop Drawings for Exact Production Details

COLOURS & FINISHES

 **Colour**
 Canopy Colour

 **Paint Value**
 Match to Existing
 Canopy

Vinyl Value
 -



Project
 NationWide Self Storage - South
 Surrey Exterior Signage Package

Site Address
 2337 King George Boulevard
 Surrey, BC

Client
 NATIONWIDE SELF STORAGE

Quote Number
 17108-02-20-NATLK-R7

Account Manager
 Roland House

Date
 February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R3	Added Sign 5 to Package	21-05-20
R4	No Changes	04-06-20
R5	No Changes	08-07-20
R6	No Changes	16-07-20
R7	No Changes	04-08-20

SCALE
 1 : 25

POWER
 SEE / DWG

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Site survey to verify all existing dimensions and to
 confirm all existing conditions on-site prior to
 construction.

X Client's Approval	SIGN 5 FACE-LIT CHANNEL LETTERS ILLUMINATED	
	SIGN TYPE -	TYPEFACE Lato Bold
	Qty. 1 SET	Page No. 6



Project
NationWide Self Storage - South
Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RICDG-R9

Account Manager
Roland House

Date
February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Updated Render	13-05-20
R2	No Changes	20-05-20
R3	Updated Render	21-05-20
R4	Updated Render	04-06-20
R5	No Changes	08-07-20
R6	Reduced Sign 1 by 10%	16-07-20
R7	No Changes	04-08-20
R8	Reduce size	20-08-20
R9	NO CHANGE	31-08-20

SCALE	POWER
-	-

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SOUTHEAST RENDER

SIGN TYPE	TYPEFACE
-	-
Qty.	Page No.
-	7

Project
NationWide Self Storage - South
Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RICDG-R9

Account Manager
Roland House

Date
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Rev.	CHANGE SCHEDULE	Date
R1	Updated Render	13-05-20
R2	Updated Render	20-05-20
R3	No Changes	21-05-20
R4	Updated Render	04-06-20
R5	No Changes	08-07-20
R6	Reduced Sign 1 by 10%	16-07-20
R7	No Changes	04-08-20
R8	Reduce size	20-08-20
R9	NO CHANGE	31-08-20

SCALE

-

POWER

-

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Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.

NORTHEAST RENDER

SIGN TYPE

-

TYPEFACE

-

Qty.

-

Page No.

8



Project
NationWide Self Storage - South Surrey Exterior Signage Package

Site Address
2337 King George Boulevard
Surrey, BC

Client
NATIONWIDE SELF STORAGE

Quote Number
17658-08-20-RICDG-R9

Account Manager
Roland House

Date
February 7 / 2020

Rev.	CHANGE SCHEDULE	Date
R1	Updated Render	13-05-20
R2	Updated Render	20-05-20
R3	Updated Render	21-05-20
R4	Updated Render	04-06-20
R5	No Changes	08-07-20
R6	Reduced Sign 1 by 10%	16-07-20
R7	No Changes	04-08-20
R8	Reduce size	20-08-20
R9	REMOVE SIGN 3	31-08-20

SCALE

-

POWER

-

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Site survey to verify all existing dimensions and to confirm all existing conditions on-site prior to construction.

SOUTHEAST RENDER

SIGN TYPE

-

TYPEFACE

-

Qty.

-

Page No.

9



LANDSCAPE NOTES

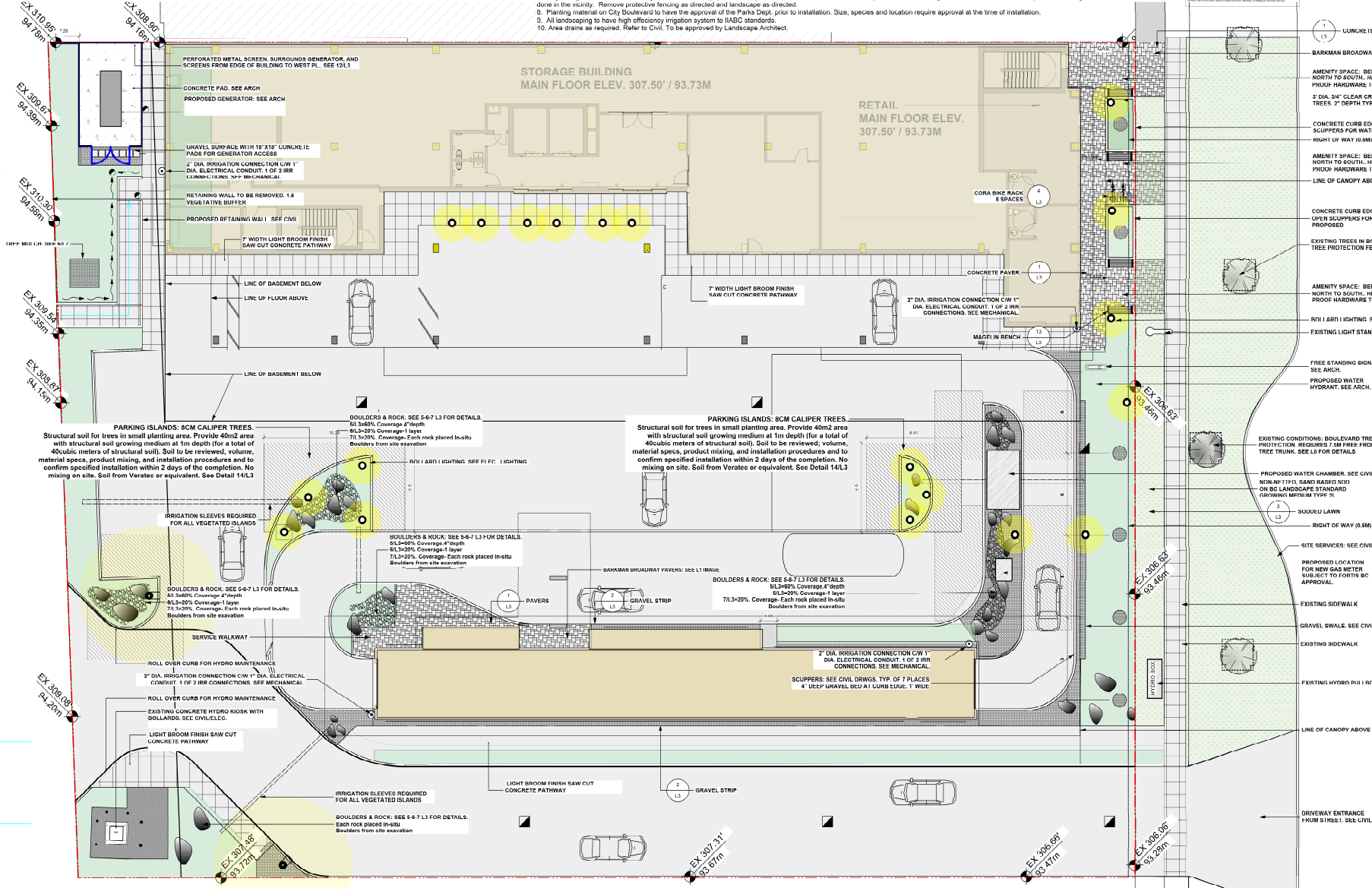
1. All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
2. Sizes on the planting plan shall be considered minimum sizes.
3. Root balls to be free of pernicious weeds.
4. Top soil mixtures for the project shall be tested for particle size, PH, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. (38-csb minimum soil depths see 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from buildings at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slopes. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 5:1 slope and maximum 3:1 slope.
6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 "Groomed" as per Canadian Landscape Standards. Contractor to provide a nine year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
8. Planting material on King Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to IABC standards.
10. Area drains as required. Refer to Civil. To be approved by Landscape Architect.



OPPORTUNITY: KEEP AND HOLD Boulders & Cobbles FROM SITE EXCAVATION

BARKMAN-RETAINWAY Ashlar pattern
https://www.barkmanretaining.com/app/uploads/products_large/barkman_Steering_1.jpg

GEO TECH REPORT:
 (See Appendix A)



KING GEORGE BOULEVARD

- 1 LUNCHEE PAVEN
- BARKMAN BROADWAY PAVEN: SEE L1 IMAGE
- AMENITY SPACE: BENCH PROVIDES SEATING VIEW NORTH TO SOUTH. BENCH TO CONNECT WITH TAMPER PROOF HARDWARE TO CONCRETE BAND 3" DIA. 3/4" CLEAR CRUSH MULCH FOR TREES. 2" DEPTH TYP.
- CONCRETE CURB EDGE. 3" ABOVE GRADE. 6" OPEN SCUPPERS FOR WATER ENTRY. CB PROPOSED RIGHT OF WAY (0.5M)
- AMENITY SPACE: BENCH PROVIDES SEATING VIEW NORTH TO SOUTH. BENCH TO CONNECT WITH TAMPER PROOF HARDWARE TO CONCRETE BAND LINE OF CANOPY ABOVE
- CONCRETE CURB EDGE. 3" ABOVE GRADE. 6" OPEN SCUPPERS FOR WATER ENTRY. CB PROPOSED
- EXISTING TREES IN BOULEVARD LAWN WITH TREE PROTECTION FENCING TYP. 4 PLACES
- AMENITY SPACE: BENCH PROVIDES SEATING VIEW NORTH TO SOUTH. BENCH TO CONNECT WITH TAMPER PROOF HARDWARE TO CONCRETE BAND
- R/W LAMP LIGHTING. SEE F1 FC. LIGHTING
- EXISTING LIGHT STANDARD
- FREE STANDING BIGN. SEE ARCH.
- PROPOSED WATER HYDRANT. SEE ARCH.
- EXISTING CONDITIONS: BOULEVARD TREE PROTECTION. REQUIRES 7.5M FENCE FROM TREE TRUNK. SEE L3 FOR DETAILS
- PROPOSED WATER CHAMBER. SEE CIVIL. 1000MM (40") SAND RASSED SEED ON BC LANDSCAPE STANDARD FORMWORK. MEMPH TYP. 3"
- SOULLESS LAWN
- RIGHT OF WAY (0.5M)
- SITE SERVICES: SEE CIVIL
- PROPOSED LOCATION FOR NEW GAS METER 400MM DIA. 150MM TO 400MM BC APPROVAL
- EXISTING SIDEWALK
- GRAVEL SWALE. SEE CIVIL
- EXISTING SIDEWALK
- EXISTING HYDRO PUMP R/W
- LINE OF CANOPY ABOVE
- DRIVEWAY ENTRANCE FROM STREET. SEE CIVIL

I	2020-09-10	Re-Issue for ADP	
H	2020-08-12	Issue for Review	
G	2020-07-14	Re-Issue for ADP	
F	2020-07-06	Re-Issue for ADP	
E	2020-07-06	Issue for Review	
D	2020-06-23	Issue for ADP	
	1	Issue	Issue Number

Prospect & Refuge

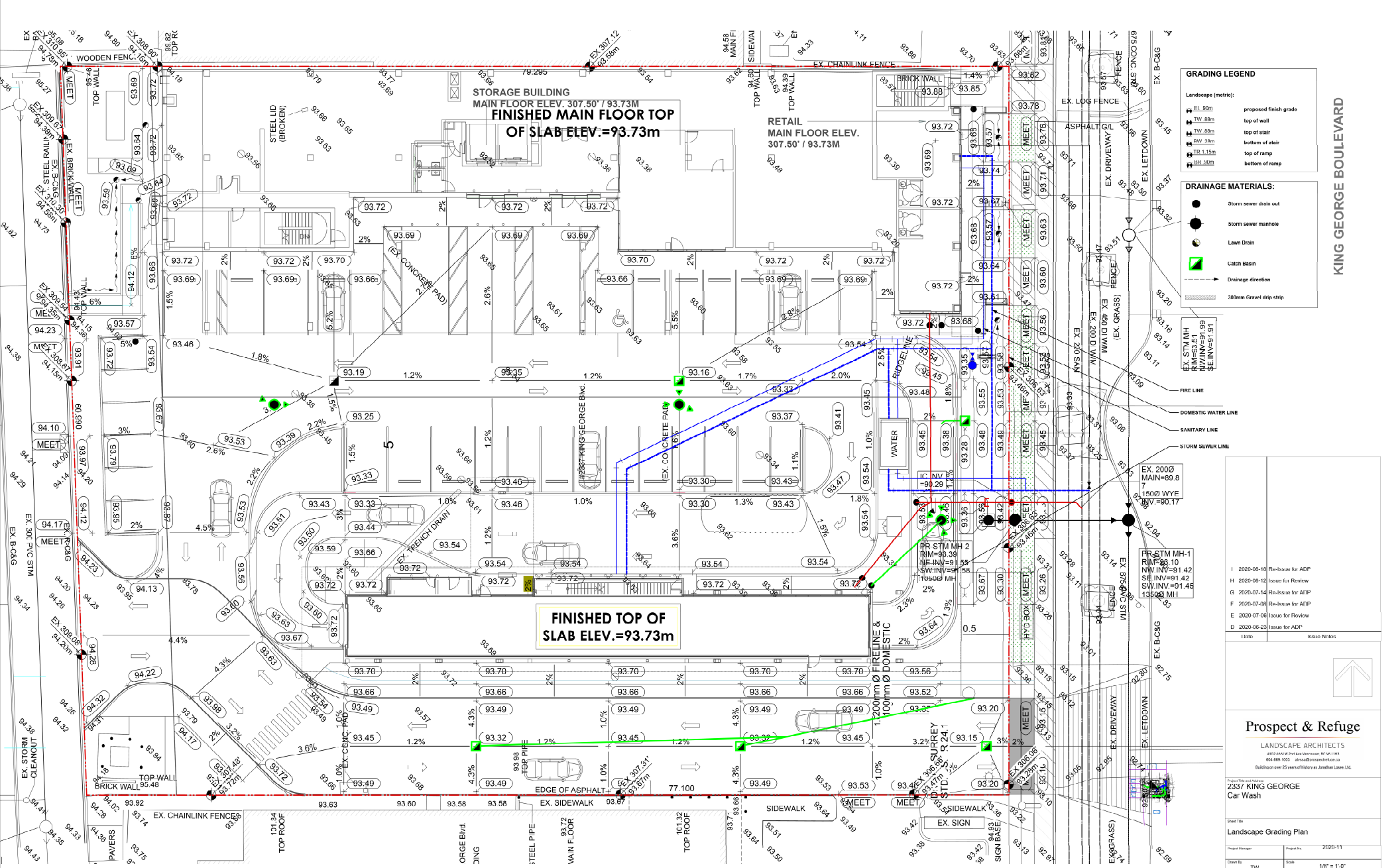
LANDSCAPE ARCHITECTS

2337 KING GEORGE BOULEVARD
 VANCOUVER, BC V6J 1A6
 604.669.1003 | info@prospectandrefuge.com

2337 KING GEORGE Car Wash

Project Title	Landscape Layout Plan		
Project Manager	Project No.	2020-11	
Client	TW	Scale	1/8" = 1'-0"
Approved By	AS	Draw No.	
Date	April 2020		

L1.0



STORAGE BUILDING
 MAIN FLOOR ELEV. 307.50' / 93.73M
**FINISHED MAIN FLOOR TOP
 OF SLAB ELEV.=93.73m**

RETAIL
 MAIN FLOOR ELEV.
 307.50' / 93.73M

**FINISHED TOP OF
 SLAB ELEV.=93.73m**

GRADING LEGEND

Landscape (metric):

- EL 90m proposed finish grade
- TW 88m top of wall
- TW 88m top of stair
- EW 28m bottom of stair
- TR 115m top of ramp
- HK 300m bottom of ramp

DRAINAGE MATERIALS:

- Storm sewer drain out
- Storm sewer manhole
- Lawn Drain
- Catch Basin
- Drainage direction
- 300mm Gravel drip strip

I	2020-09-10	Re-Issue for ADP
H	2020-08-12	Issue for Review
G	2020-07-14	Re-Issue for ADP
F	2020-07-08	Re-Issue for ADP
E	2020-07-08	Issue for Review
D	2020-06-23	Issue for ADP

1 Date Issue Number

Prospect & Refuge

LANDSCAPE ARCHITECTS
 4000 West 104th Avenue, Suite 100
 954.669.1003 info@prospectandrefuge.com
 Building over 25 years of history as Jonathan Lewis, Ltd.

Project File and Address:
**2337 KING GEORGE
 Car Wash**

Sheet Title:
Landscape Grading Plan

Project Number: 20200-11

Drawn By: TW Scale: 1/8" = 1'-0"

Reviewed By: AS Sheet No.:

Date: April 2020

KING GEORGE BOULEVARD

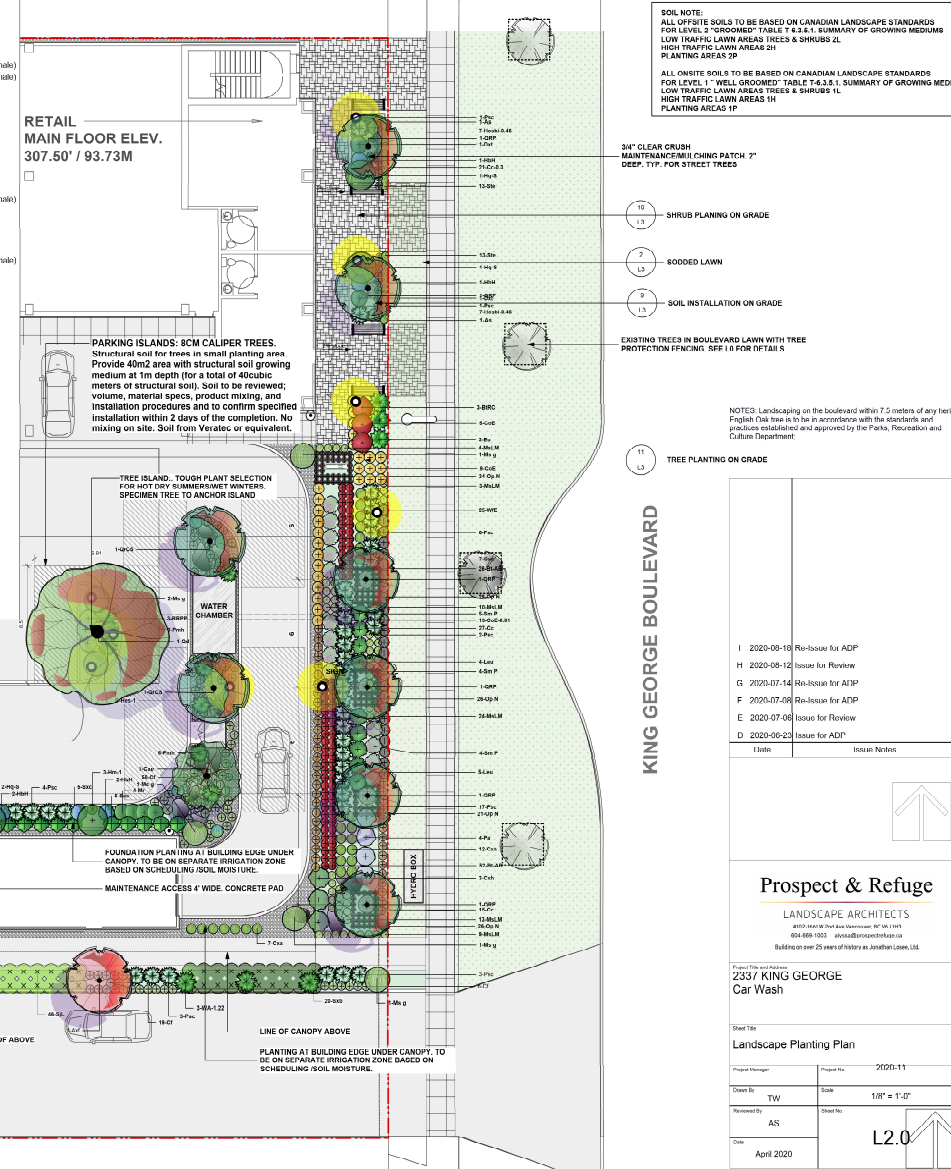


L1.1

PLANT LIST	ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES	Alb	Acer fraxinatum x Acer platanoides 'Crimson Sunset'	Crimson Sunset Maple	2	8 cm cal	B & D
	Av1	Acer x fraxinatum 'Autumn Fantasy'	Red Maple Autumn Fantasy	7	8 cm cal	R & H
	Qd	Acer x platanoides JFSJKW187 Urban Sunset	Urban Sunset Maple	7	8 cm cal	B & D
	Qxo	Cornus x dworakiana 'K303 B' PBR VENUS	Venus Dogwood	1	8cm cal	B & D
	WIA	Carpinus rotundifolia 'Green Arrow'	Winged Hawthorn Yellow Cedar	3	24 Ht.	B & D
	FJSU	Ficus carica 'Black Jack'	Black Jack Fig	1	8 cm cal	R & H
	PJP	Ficus purpurea 'Purditia'	Winged Ribes Spinee	3	7 MM Ht.	B & D
	PC	Pinus Cembra	Swiss stone pine	1	3M Ht.	BBB
	PI	Pinus Fiedleri 'Nordwacht's Pyramid'	Lambert Pine	1	2.2M Ht.	D & D
	PIE	Populus tremula 'Erecta'	Columnar Swedish Aspen	7	8 cm cal	B & D
	QRP	QUERCUS 'Regal Prince'	Regal Prince English Oak	6	8 cm cal	B & D
	QVCS	Quercus rubra 'Crimson Spire'	'Crimson Spire' hedgegate oak	2	8 cm cal	B & R
	SHRUBS	Acdstus idonensis	Beier's Brodiaea	2	#2 pot.	Cont.
		Anthrathaphylos nuchalis 'Vancouver'	Kimikiekie	33	#1 pot.	Cont.
		Aruncus dioicus	Goats Beard	3	#2 pot.	Cont.
		Ash	Asplenium shuttleworthii	Shuttleworth's wild ginger	136	#1 pot.
Asc		Ruscus japonica 'Ruscus'	Ruscus Japanese Aucuba	13	#2 pot.	Cont., (Main & Female)
BSKC		Berberis thunbergii 'Royal Cloak'	Royal Cloak Japanese barberry	3	#3 pot.	Cont.
BlAB		Berberis thunbergii var. atropurpurea 'Bagatello'	Japanese Barberry Bagatello	78	#2 pot.	Cont.
Bwo		Berberis x obtusifolia 'Supera'	Purpleleaf Japanese Barberry	4	#3 pot.	Cont.
Coa		Calluna heisteria x aquilina 'Karl Foerster'	Father's Road Grass	54	#2 pot.	Cont.
Co		Carex crinita 'Riviera Fern'	Riviera hair sedge	5	#2 pot.	Cont.
CoE		Carex flacca	Blue Sedge	134	#1 pot.	Cont.
CoE		Carex ochromioides 'EverColor 'Everlit''	Everlit Sedge	48	#2 pot.	Cont.
CoH		Calluna heisteria	Crimson Rock Rose	18	#2 pot.	Cont.
CoT		Comarostaphylos latifolia	Arcting Comarostaphylos	1	#3 pot.	Cont.
CoT		Comarostaphylos	Hutchberry	21	#2 pot.	Cont., (Main & Female)
CoT		Daphne x transatlantica 'Blafra' ETERNAL FRAGRANCE	Eternal Fragrance Daphne	7	#2 pot.	Cont.
Dev		Eugenia thymoides ssp. wulfovi 'Lambrook Gold'	Evergreen spurge	3	#2 pot.	Cont.
HWS-1		Helleborus viridis 'Helleborus Forest Grass'	Golden Japanese Forest Grass	3	#2 pot.	Cont.
HWS-1		Helleborus sempervirens 'Sappho'	Blue Out Grass	5	#2 pot.	Cont.
HeV		Hibiscus syriacus 'Blame'	River of Shanon Hibiscus	2	#1 pot.	Cont., (Main & Female)
HHH		Hortensia 'Blue Hawaii'	Blue Hortensia Hawaii	6	#2 pot.	Cont.
HL		Hortensia 'Blue Ivory'	Hortensia Blue Ivory	14	#2 pot.	Cont.
Hy-S		Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	4	#5 pot.	Cont.
Leu		Leucanthemum x 'Becky'	Becky Shasta Daisy	9	#2 pot.	Cont.
Mr		Mahonia repens	Creeping Oregon Grape	112	#3 pot.	Cont.
Md		Miscanthus dilatatus	Father's Road of the valley	62	#1 pot.	Cont.
Ms		Mitella strobilifera and cns	Oakleaf Fern	38	#2 pot.	Cont.
M5		Miscanthus 'Yapineus'	Giant Chinese Ribbon Grass	7	#3 pot.	Cont.
M6M		Miscanthus sinensis 'Little Miss'	Little Miss Maiden Grass	73	#2 pot.	Cont.
M7g		Miscanthus sinensis 'Morning Light'	Chinese Maiden Grass	18	#3 pot.	Cont.
Mo		Molinia tenuiflora	Mosses leather grass	28	#1 pot.	Cont.
OD-N		Urdroopon danicopum 'Indresons'	BLACK MOND GRASS	223	#2 pot.	Cont.
Pa	Penstemon atricordatus	Riviera Sage	4	#2 pot.	Cont.	
Pmh	Pinus mugo 'Honeycomb'	Honeycomb Mugo Pine	30	#3 pot.	Cont.	
Pm	Pinus mugo 'Shorewood Compact'	Shorewood Compact Mugo Pine	40	#3 pot.	Cont.	
Pm-1	Polydium montanum	Sward Fern	40	#2 pot.	Cont.	
RRPP	Rosa rugosa 'Purple Pavement'	Rosa Purple Pavement	30	#2 pot.	Cont.	
Rp	Rubus parviflorus	Thimbleberry	3	#2 pot.	Cont.	
SK	Sedum kambojicolum	Russian Stonecrop	15	#1 pot.	Cont.	
Ss	Sedum spurius	Diagon's blood Stonecrop	17	#1 pot.	Cont.	
Su	Sedula canadensis	Soldado Canadianist	3	#2 pot.	Cont.	
SL	Spiraea japonica 'Lemon Princess'	Lemon Princess Spirea	46	#3 pot.	Cont.	
Sub	Spiraea x bumalda 'Magic Carpet'	Magic Carpet Spirea	20	#3 pot.	Cont.	
Dev	Spiraea x vanhouttei 'Remembrance Spirea	Remembrance Spirea	10	#3 pot.	Cont.	
Sa	Symphoricarpos alba	Snowberry	1	#2 pot.	Cont.	
Sm P	Syringa meyeri 'Palibiri'	Dwarf Korean Lilac	13	#2 pot.	Cont.	
Vs	Vaccinium ovatum	Evergreen Huckleberry	15	#2 pot.	Cont.	
WIE	Wigwaga florida 'Elyora' Midnight Wine	Compact Purpleleaf Wigwaga	25	#2 pot.	Cont.	

- LANDSCAPE NOTES**
- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extends search for plant material to Washington and BC.
 - Soil on the planting plan shall be considered minimum sizes.
 - Plant shall be free of pestiferous weeds.
 - Soil mix for plants for the project shall be based on particle size, pH, and nutrient levels, and recommendations provided are amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off site minimum soil depths are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 7" (20mm) of compressed organic mulch on all shrub beds after planting and stake smooth.
 - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixture and final grading. Clearly compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grade away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass area minimum 2% and maximum 3% slopes. Slope grass swales (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 1% slope and maximum 2:1 slope.
 - Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until June 1 of the following year.
 - Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing trees, hedges, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
 - Swelling material on City Boulevard to have the approval of the Florida Dept. prior to installation. Size, species and location require approval at the time of installation.
 - All landscaping to have high efficiency irrigation system to IASIS standards.

SOIL NOTE:
 ALL OFFSITE SOILS TO BE BASED ON CANADIAN LANDSCAPE STANDARDS FOR LEVELS 2 "GROOMED" TABLE T.B.3.1. SUMMARY OF GROWING MEDIUMS LOW TRAFFIC LAWN AREAS II
 HIGH TRAFFIC LAWN AREAS II
 PLANTING AREAS 1P
 ALL ONSITE SOILS TO BE BASED ON CANADIAN LANDSCAPE STANDARDS FOR LEVEL 1 "WELL GROOMED" TABLE T.B.3.1. SUMMARY OF GROWING MEDIUMS LOW TRAFFIC LAWN AREAS III
 HIGH TRAFFIC LAWN AREAS III
 PLANTING AREAS 1P



- 3/4" CLEAR CRUSH MAINTENANCE/SMALL CHING PATCH 2" DEEP. TYP. FOR STREET TRENCH**
- SHRUB PLANNING ON GRADE**
- SODDED LAWN**
- SOIL INSTALLATION ON GRADE**
- EXISTING TREES IN BOULEVARD LAWN WITH TREE PROTECTION FENCING. SFS IS FOR DETAILS**
- TREE PLANTING ON GRADE**
- NOTES:** Landscaping on the boulevard within 7.5 meters of any heritage English Oak tree is to be in accordance with the standards and approved by the Parks, Recreation and Culture Department.
- Legend:**
- I 2020-09-10 Re-Issues for ADP
 - H 2020-08-12 Issue for Review
 - G 2020-07-14 Re-Issues for ADP
 - F 2020-07-06 Re-Issues for ADP
 - E 2020-07-06 Issue for Review
 - D 2020-06-23 Issue for ADP

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 2337 KING GEORGE CAR WASH
 416-469-1003 jared@prospectandrefuge.com
 Building over 25 years of history as Jonathan Lewis, Ltd.

Project Title: 2337 KING GEORGE Car Wash

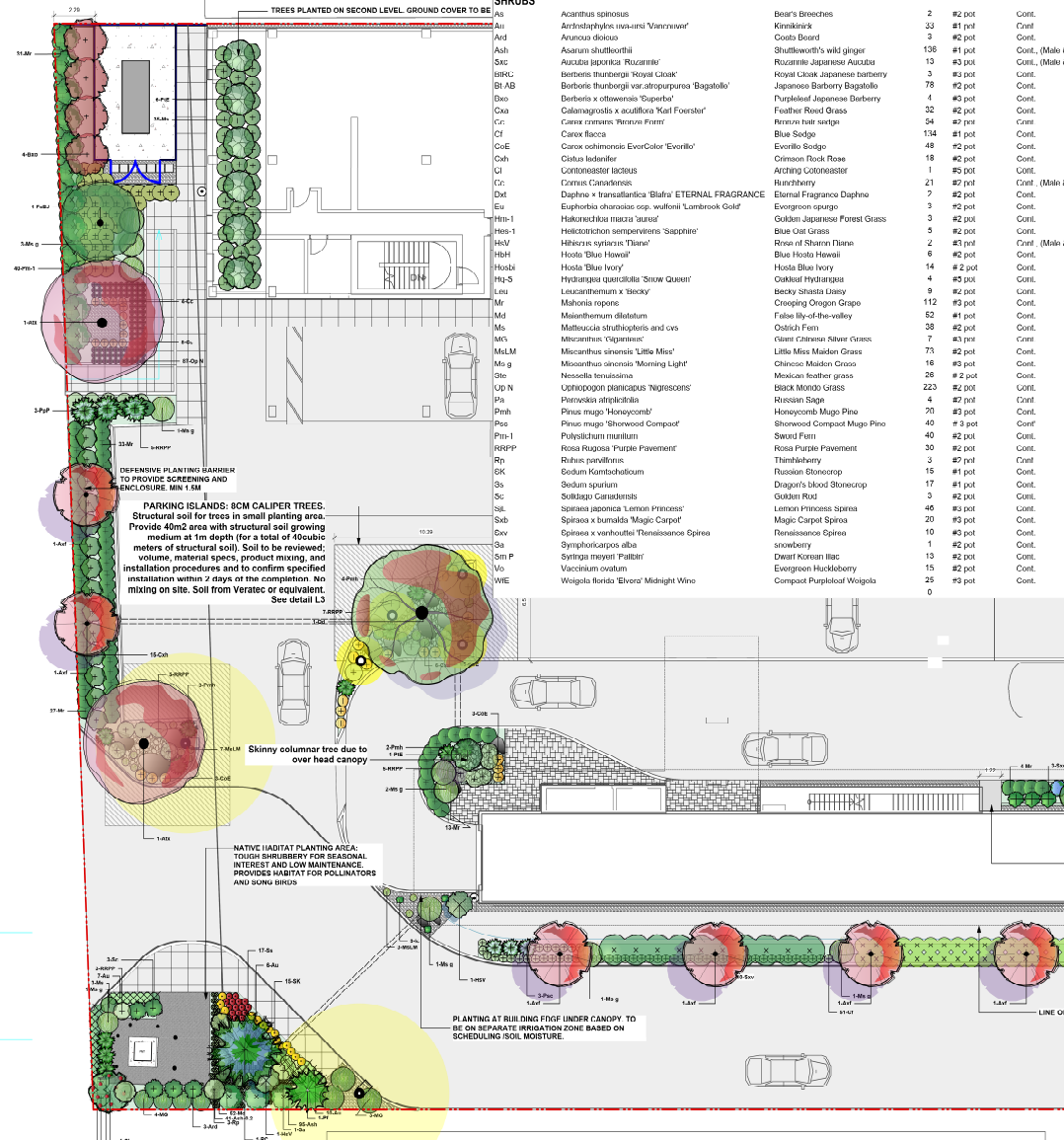
Project No.: 2020-11

Scale: 1/8" = 1'-0"

Sheet No.: AS

Date: April 2020

L2.0



PARKING ISLANDS: 8CM CALIPER TREES.
 Structural soil for trees in small planting area. Provide 40m2 area with structural soil growing medium at 1m depth (for a total of 40cubic meters of structural soil). Soil to be reviewed; volume, material specs, product mixing, and installation procedures and to confirm specified installation within 7 days of the completion. No mixing on site. Soil from Veratec or equivalent. See detail L3.

SKINNY COLUMNAR TREE DUE TO OVER HEDGE CANOPY

NATIVE HABITAT PLANTING AREA:
 TOUGH SHRUBBERY FOR SEASONAL INTEREST AND LOW MAINTENANCE. PROVIDES HABITAT FOR POLLINATORS AND SINGING BIRDS.

PLANTING AT BUILDING EDGE UNDER CANOPY TO BE ON SEPARATE IRRIGATION ZONE BASED ON SCHEDULING SOIL MOISTURE.

PLANTING AT BUILDING EDGE UNDER CANOPY TO BE ON SEPARATE IRRIGATION ZONE BASED ON SCHEDULING SOIL MOISTURE.

Project Title: 2337 KING GEORGE Car Wash

Project No.: 2020-11

Scale: 1/8" = 1'-0"

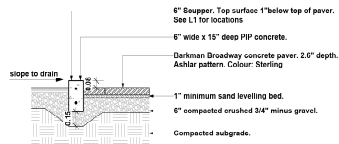
Sheet No.: AS

Date: April 2020

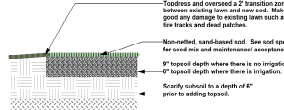
L2.0



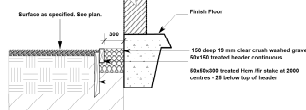
BARKMAN BROADWAY Ashlar pattern
https://www.landscape.com/online-store/products/barkman_broadway_stirling_1_sq



1 Pavers with Concrete Edger
 L3 Scale: 1:24



2 Sodded lawn
 L3 Scale: 1:24



3 Gravel strip
 L3 Scale: 1:24



W3606
 Double Sided Capacity of 7-10 Bicycles
 Colour: Ultramarine
 Surface Mount with tamper proof hardware

4 Cora Dike Rack
 L3



873 Backed Bench
 Colour: Sunburst
 Surface Mount with tamper proof hardware

13 Maglin Bench
 L3



Northwest
 Landscape & Stone Supply
 Bulk Drain Rock 1 1/2"
 See L4 for layout and locations.

5 Bulk Drain Rock 1-1/2"
 L3 Scale: 1:24



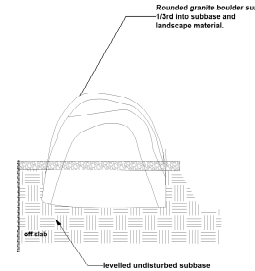
Northwest
 Landscape & Stone Supply
 Bulk Drain Rock 1 1/2"
 See L4 for layout and locations.

6 River Rock
 L3 Scale: 1:24



Northwest
 Landscape & Stone Supply
 Cheekye River Rock 12"
 See L4 for layout and locations.

7 Cheekye River Rock 12\"/>



8 Boulder
 L3 Scale: 1:24



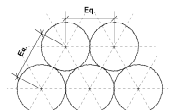
Dimensions of boulders:
 L (large = 1200mm x 900mm x 600mm)
 M (medium = 900mm x 600mm x 450mm)
 S (small = 600mm x 450mm)

OPPMUNITY: KEEP AND HOLD BOULDERS & COBBLES FROM SITE EXCAVATION.
GEO TECH REPORT:
 See L10 for details.

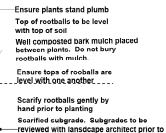
ALL supplied boulders are to be approved by the L. Arch. prior to extracting or shipping to the site. Provide photo documentation with measurements of proposed boulders.

SOIL NOTE:
 ALL OFFSITE SOILS TO BE BASED ON CANADIAN LANDSCAPE STANDARDS FOR LEVEL 2 "GROOMED" TABLE T & L.5.1. SUMMARY OF GROWING MEDIUMS
 LOW TRAFFIC LAWN AREAS TREES & SHRUBS 2L
 HIGH TRAFFIC LAWN AREAS 2H
 PLANTING AREAS 2F

ALL ONSITE SOILS TO BE BASED ON CANADIAN LANDSCAPE STANDARDS FOR LEVEL 1 "WELL-GROOMED" TABLE T & L.6.1. SUMMARY OF GROWING MEDIUMS
 LOW TRAFFIC LAWN AREAS TREES & SHRUBS 1L
 HIGH TRAFFIC LAWN AREAS 1H
 PLANTING AREAS 1F



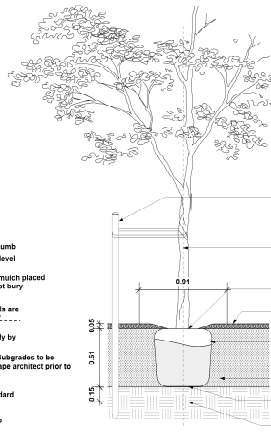
Plan view of typical planting layout. Unless otherwise noted, plants are to be spaced equally in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



9 Soil installation on grade
 L3

NOTES:
 1. Min. container size and root spread to comply with RC 1 Landscape Standard for Nursery Stock - current edition.
 2. Prune all damaged, diseased and dead limbs.
 3. Keep roots moist during installation. water container stock well prior to planting and following planting.

10 Perennial and Shrub Planting on Grade
 L3 Scale: 1:24



NOTES:
 1. Do not cut tree leader. Any corrective pruning shall be reviewed with landscape architect.
 2. Either size and root ball size shall be in accordance with Canadian Landscape Standard.
 3. Selected trees shall be approved by Landscape Architect at the nursery or via photographic with scale reference. Trees rejected on site will be replaced at the contractor's expense.
 4. Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for the duration of warranty period.

Trees shall only be staked (both sides) if stability issues are present. Review in field with Landscape Architect or submit rationale in writing to L. Arch. for approval. Tree stakes shall be removed at the end of contractor's 1 year warranty period.

Ensure tree is plumb. Visually inspect from all sides during planting.

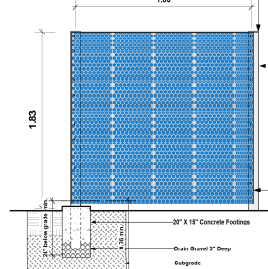
Do not bury root flare. Ensure top of root flare is flush with surrounding grades. Provide mulched free wall of min. 3" @ 8", keeping min. 6" around trunk clear. Remove any string or ties from rootball and base of tree. Cut back top 1/3rd of burlap from rootball. If wire banded remains, cut back wire loops.

Soil blend as reviewed and approved by landscape architect. Provide 2" @ depth of soil for an area of 16m². Compact lightly during backfilling to stabilize rootball. Compact soil beneath rootball.

Subgrade scarified to depth of 6". Subgrades to be reviewed with landscape architect prior to soil placement.

2" of soil to current Canadian Landscape Standards

11 Tree Planting on Grade
 L3 Scale: 1:24



12 6\"/>

Galvanized steel cap

4 x 4 Galvanized steel post anchored into concrete.

Galvanized steel perforated sheet. Colour: Blue-Pattern T.B.D.

20' x 15' Concrete Forming

Subgrade

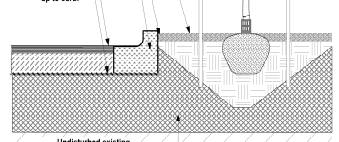
75mm (3") of compost over 1M DE approved topsoil mixture. Crown slightly for drainage. Tree planting as per detail line above.

450 mm (18") deep root barrier back of curb at perimeter of planting island.

PIP Concrete Curb. See Civil.

Asphalt parking striping on compacted 150mm minus road much. See Civil drawings.

NWA 4545 Geocellastic geotextile up to curb.



Structural soil placed under parking stalls in maximum 300 (12") lifts compacted to 95% MPD, where shown on landscape layout plan.

Supplied by: Veratrac Soils - 604 607 3002

Structural soil depth 1.0m (3.3'). Soil area dimensions to provide 40 kg per weight free.

14 Structural Soil
 L3 Scale: 1:24

I	2020-08-10	Re-Issue for ADP
H	2020-08-12	Issue for Review
G	2020-07-14	Re-Issue for ATIP
F	2020-07-08	Re-Issue for ADP
E	2020-07-08	Issue for ADP
D	2020-06-23	Issue for ADP

I Title Issue Number

Prospect & Refuge
 LANDSCAPE ARCHITECTS

4010 West Hill Avenue, Vancouver, BC V6N 1W1
 604 669-1003 info@prospectandrefuge.com
 Building over 25 years of history as Jonathan Lewis Ltd.

Project File and Address
2337 KING GEORGE Car Wash

Sheet Title
Landscape Details

Project Manager	2020-11
Drawn By	Scale
Reviewed By	Sheet No.
Date	April 2020

L3.0

TO: **Manager, Area Planning & Development-South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Sep 29, 2020** PROJECT FILE: **7820-0028-00**
(Supersedes Sep 03, 2020 Review)

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2337 King George Blvd.**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the **Development Permit** for construction of a car wash and self-storage facility under the existing CHI Zone:

- Dedicate 8.0 m width and 5.5m x 5.5m corner cuts for the proposed Commercial Lane from King George Blvd to the existing Residential Lane as voluntarily proposed by the applicant. The proposed alignment of the lane is acceptable.
- Register 0.5 m wide Statutory Right of Way along King George Boulevard.
- Register Restrictive Covenant for onsite sustainable drainage works and its maintenance to mitigate impacts of impervious surfaces and increased risk of pollutant generation.
- Register restrictive covenant to require the owner/operator to maintain and keep functional the water quality/sediment control inlet chamber.


There are no engineering requirements to be addressed as a condition of issuance of the **Development Variance Permit** to reduce the front yard setback and to increase building height as proposed.

BUILDING PERMIT

The following issues are to be addressed as a condition of the subsequent Building Permit:

- There are no construction requirements on King George Boulevard. Relocation of existing concrete sidewalk to property line can be supported at the applicant's cost.
- Construct Commercial Lane as per City standard (SSD-R.12).
- Provide Stormwater Concept Plan according to the Fergus Creek Integrated Stormwater Management Plan to determine downstream capacity.
- Provide on-site detention as required in the Fergus Creek Integrated Stormwater Management Plan.
- Provide on-site water quality treatment for on-lot parking and drive aisle areas. All wash water will be under cover, contained and discharged to on-site sanitary sewer.
- Upgrade the sanitary sewer to 250mm sewer as per current Design Criteria requirements.
- Construct adequately sized service connections to service proposed development.

A Servicing Agreement and processing fee of \$7,565.25 are required. (Fee subject to change in 2021).



Jeff Pang, P.Eng.
Development Engineer
IK1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0028-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 023-046-945
Lot 5 Section 14 Township 1 New Westminster District Plan LMP22600
2337 - King George Boulevard

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. of Part 39 "Highway Commercial Industrial Zone (CHI)" the minimum front yard (east) setback for Principal and Accessory Buildings and Structures is reduced from 7.5 metres to 4.0 metres;
 - (b) In Section G. 1. of Part 39 "Highway Commercial Industrial Zone (CHI)" the maximum height for Principal buildings is increased from 9 metres to 9.43 metres for the car wash building; and
 - (c) In Section G. 1. of Part 39 "Highway Commercial Industrial Zone (CHI)" the maximum height for Principal buildings is increased from 9 metres to 14.33 metres for the self-storage building.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

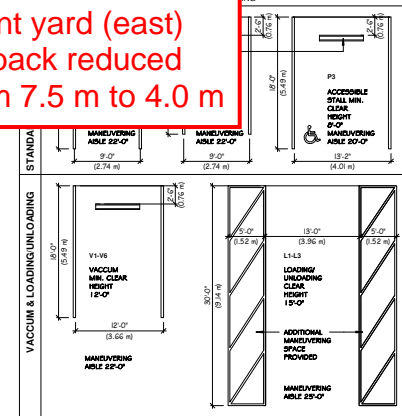
City Clerk – Jennifer Ficocelli

REVISIONS

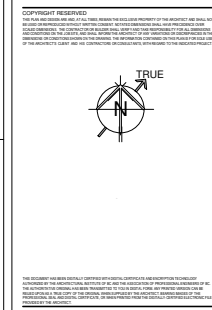
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	16 FEB 2020
2	ISSUED FOR ADP	14 JUL 2020
3	REISSUED FOR DP	29 AUG 2020

- GENERAL NOTES**
- BUILDING SHALL BE LAID OUT WITH EAST-WEST GRID LINES PARALLEL TO NORTH PROPERTY LINE WITH SET-OFF DIMENSIONS AS SHOWN
 - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
 - REFER TO CIVIL DRAWINGS FOR INFORMATION INCLUDING SITE DRAINAGE AND GRADING INFORMATION
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILED MECHANICAL & ELECTRICAL INFORMATION
 - REFER TO LOCKER DESIGN DRAWINGS FOR LOCKER LAYOUT
 - REFER TO CAR WASH MANUFACTURER'S DRAWINGS FOR CAR WASH EQUIPMENTS AND DETAILED INFORMATION
 - REFER TO SIGNAGE PACKAGE DRAWINGS FOR BUILDING SIGN LOCATIONS, SIZES AND DETAILED INFORMATION.
 - CLASSIFICATIONS OF SPACES FOR THE PURPOSE OF DETERMINING BUILDING ENVELOPE REQUIREMENTS AS DEFINED IN ASHRAE 90.1-2016: RETAIL, CUSTOMER SERVICE / AMENITY LOUNGE AND OFFICE ARE HEATED SPACES. LOCKER AREAS, STAIRS A, B & C, VESTIBULE, MECHANICAL ROOM, WASHROOMS AND SERVICE ROOM ARE SEMI-HEATED SPACES. ALL OTHER AREAS ARE UNCONDITIONED SPACES.

PARKING STALL AND LOADING BAY DIMENSIONS
FOR DETAILED INFORMATION, REFER TO CITY OF SURREY ZONING BY-LAW



- COLOUR LEGEND**
- STORAGE BUILDING
 - RETAIL
 - CARWASH BUILDING



NATIONWIDE SELF-STORAGE #808 - 609 GRANVILLE VANCOUVER, BC

PROJECT NO: 19449

PROJECT: SELF-STORAGE & CARWASH FACILITY 2337 KING GEORGE BOULEVARD, SURREY, BC

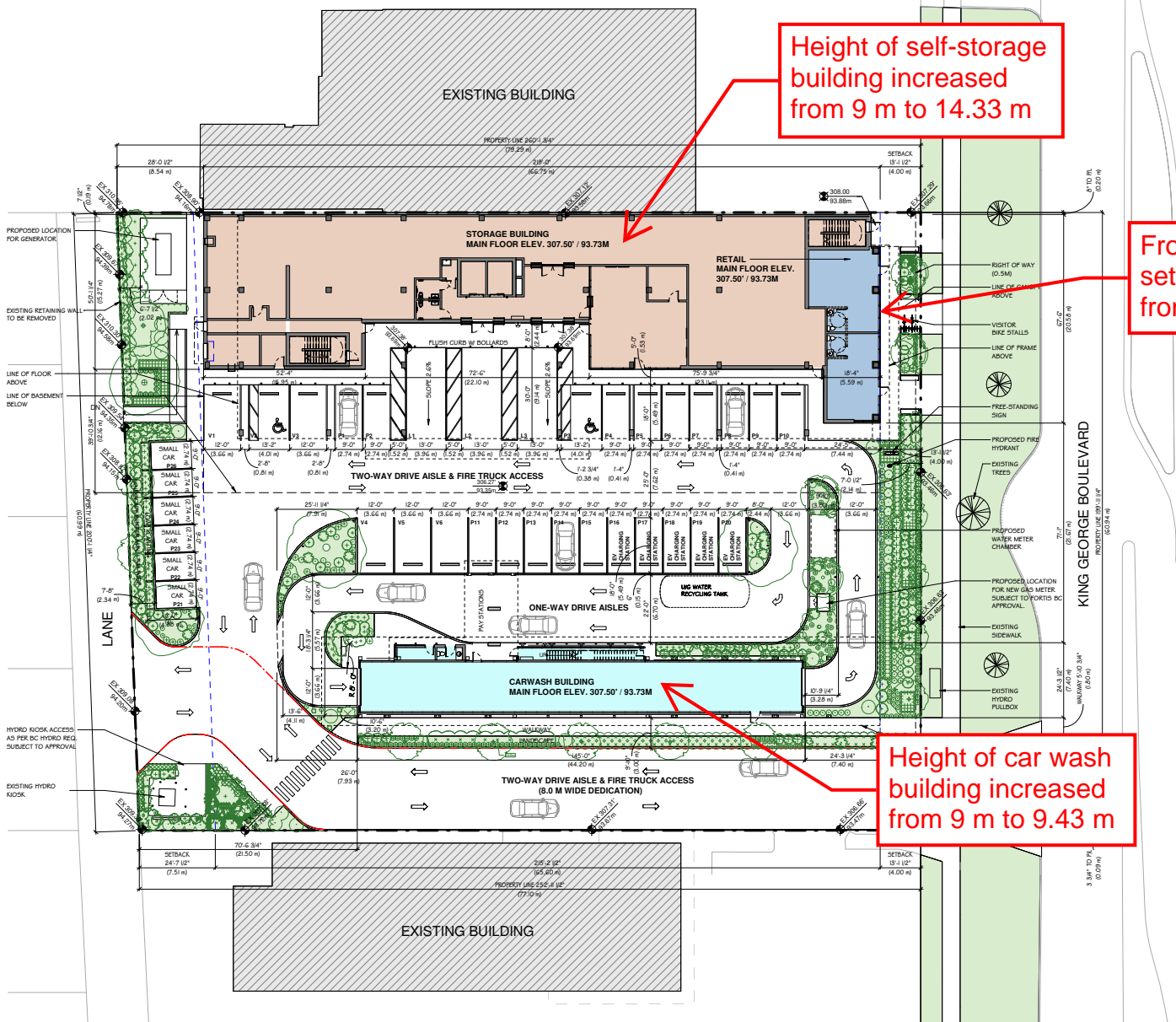
DRAWING TITLE: SITE PLAN

SCALE: As indicated

Height of self-storage building increased from 9 m to 14.33 m

Front yard (east) setback reduced from 7.5 m to 4.0 m

Height of car wash building increased from 9 m to 9.43 m



1 SITE PLAN
1/16" = 1'-0"



Advisory Design Panel Minutes

Location: Virtual
Thursday, July 23, 2020
Time: 3:00 pm

Present:**Panel Members:**

R. Drew, Chair
I. MacFadyen
L. Mickelson
M. Patterson
R. Dhall
R. Jenkins
T. Bunting
W. Chong

Guests:

Alyssa Semczyszyn, Propect & Refuge Landscape Architects
Frank Lin, 1134038 BC Ltd.
Helen Besharat, BFA Studio Architects
Henk Kampman and Charles Kryvenchuk, Thinkspace Architecture, Planning, Interior Design
Hugh Cartwright, 1206984 BC Ltd.
Sean Mac Aodh, M & E-Sustainability and Energy-BES
Shaun Smakal and Daryl Tyacke, MBCSLA ETA Landscape Architecture

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
C. Eagles, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by R. Jenkins
Seconded by M. Patterson
That the minutes of the Advisory Design
Panel meeting of July 9, 2020 be received.
Carried

T. Bunting joined the meeting at 3:14 p.m.

B. NEW SUBMISSIONS**1. Time: 3:00 p.m.**

File No.: 7920-0028-00
Address: 2337 King George Blvd, King George Highway Corridor
Land Use/Development Concept Plan
New or Resubmit: New
Last Submission Date: N/A
Description: DP to allow a 345 sq. m. car wash and 3,840 sq. m. self-storage building, with 105 sq. m. of retail space, under the existing CHI Zone. The application includes a DVP to reduce the front yard setback along King George Blvd from 7.5 m to 4.1 m and to increase the building height for the carwash from 9.14 m to 9.43 m and for the self-storage building from 9.14 m to 14.33 m. The site is designated Commercial in the OCP and King George Highway Corridor Land Use/Development Concept Plan.
Developer: Hugh Cartwright, 1206984 BC Ltd.
Architect: Helen Besharat, Architect, AIBC, BFA Studio Architects, Sean Mac Aodh, M & E-Sustainability and Energy-BES
Landscape Architect: Alyssa Semczyszyn, MBCSLA, Prospect & Refuge Landscape Architects

Planner: Erin MacGregor
Urban Design Planner: Nathan Chow

The Urban Design Planner presented an overview of the area, site and policy context, and advised that staff have no specific issues.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by M. Patterson
Seconded by R. Dhall
That the Advisory Design Panel (ADP):

1. SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department; and
2. Recommend that the landscaping submission return to staff for further development.

Carried

Key Points:

- Consider scale of the insulated metal panels (IMP) along the north elevation.
- Consider further coordination of the diagonal structural members.
- Consider locating the street signage closer to building.
- Consider acoustic attenuation of the car wash.
- Consider increasing the depth of the buffer zone along west property line.
- Consider configuring the King George plaza areas to promote pedestrian interaction.
- Consider measures to soil requirements for trees are met.
- Consider ensuring the plant maintenance program is in place.
- Consider working with BC Hydro to relocate the kiosk and or access requirements.
- Consider measures to reduce light pollution.
 - Consider power doors at all entrances.

Site

- Consider moving the freestanding sign closer to the building and then reorganize the trees to ensure tree planting in place.
- Consider consolidating plaza at north east corner.
- Consider making the parking stalls long enough for larger trucks to not protrude into the drive aisle (V4 to P20 parking stalls).

Form and Character

- At the North elevation to zero lot line, suggest being cautious of scale and joints of IMP panels so not to be too intimidating the neighbour.
- Consider a vocabulary for canopies, encourage measures to slim down.
- Consider further coordination with respect to the exposed diagonal structural supports for the car wash canopy structure and mitigating possible conflicts with vehicles of different sizes.
- Consider further design development to the perforated metal back lighting.
- Consider enhanced acoustical measures to mitigate sound transmission from the cash wash process to the neighboring single-family homes which may include automating the overhead doors when vehicles are being washed.
- Consider using restraint when details are finalized.

Landscape

- Further design development to the bollards. Consider stainless steel and lighting.
- Recommend further design development to path lighting so it will not affect neighbouring properties.
- Consider increasing the buffer towards the residential area.
- Recommend coordination with BC Hydro for landscape at transformer location.
- Recommend adequate soil volumes, such as at the trees that line the access roads.
- Consider a maintenance program for the landscape.

CPTED

- No specific issues were identified.

Sustainability

- Consider expanded future EV charging stations.

Accessibility

- Recommend adequate universal access to rental office.
- Recommend that the public restrooms be accessible.
- Recommend that the entrance door be power operated.

City of Surrey

20 August 2020

Area Planning & Development Department – South Division

13450 – 104 Avenue, Surrey, BC Canada V3T 1V8

Attention: Ms. Erin MacGregor, Planner

Reference: **Development Application 20-0028**

Nationwide - Self-Storage and Carwash Development
2337 King George Boulevard, Surrey, BC

Dear Ms. MacGregor:

Please refer to attached architectural drawings dated, 18 August 2020 including landscape and Electrical drawings with revisions and improvements responding to ADP Minutes, dated July 23, 2020 and after clarifications during our debriefing call. Below is an itemized reply by our team.

NW & BTY	Nationwide & BTY (Owner and Project Manager)
BFA	BFA Studio Architects (Architectural Consultant)
BES	Building Energy Solutions Ltd. (M & E Consultant)
P & R	Prospect & Refuge (Landscape Consultant)
CENTRAS	Centras Engineering Ltd. (Civil Consultant)

Key Points

- Consider scale of the insulated metal panels (IMP) along the north elevation.
BFA – Revised scale refer to A402.
- Consider further coordination of the diagonal structural members.
BFA – Refer to A401 elevations and note vehicular clearance outline including adjustment to the last structural support maintaining required clearance.
- Consider locating the street signage closer to building.
P & R – Street signage moved closer to building. L1
- Consider acoustic attenuation of the car wash.
BFA – Refer to attached acoustical consultant report prepared by BAP acoustical consultant dated 20 August 2020.

- Consider increasing the depth of the buffer zone along west property line.
P & R – Depth of vegetative buffer zone has been increased by extending shrub bed to curb. L1
- Consider configuring the King George plaza areas to promote pedestrian interaction.
P & R – Consideration has been given to re-configuring. A bench is added facing another bench for increased interactive opportunities. L1
- Consider measures to soil requirements for trees are met.
P & R – L2.0 notes soil depths for shrubs and trees. Tree soil volume has been calculated along the driveway entry where every tree has 10m³ of soil available along trench design. L2.
- Consider ensuring the plant maintenance program is in place.
P & R – Plant selection has been discussed with the developer who understands the plant maintenance requirements for the design proposed. L2
- Consider working with BC Hydro to relocate the kiosk and or access requirements.
BES - After consideration Nationwide team decided to maintain the BC Hydro kiosk as per present location, refer to landscape plan noting revisions for BC Hydro landscaping for ease of maintenance.
- Consider measures to reduce light pollution.
BES - BES has performed light level calculations to ensure compliance with City of Surrey requirements. Refer to revised lighting layout on E1.0 and E1.1
- Consider power doors at all entrances.
BFA – Keynotes added to power doors at all entrances, refer to A202.

Site

- Consider moving the freestanding sign closer to the building and then reorganize the trees to ensure tree planting in place.
P & R – Covered under Key Points.
- Consider consolidating plaza at north east corner.
P & R – Covered under Key Points.
- Consider making the parking stalls long enough for larger trucks to not protrude into the drive aisle (V4 to P20 parking stalls).
BFA – Parking stalls meet Surrey parking by-law size requirements and 3 loading and unloading stalls are provided for both small and larger trucks.
BFA+ P & R+ CENTRAS : A flush parking edge with bollards vs a curb is designed, coordinated with notes on L1.

Form and Character

- At the North elevation to zero lot line, suggest being cautious of scale and joints of IMP panels so not to be too intimidating the neighbour.
BFA – Revised scale refer to A402 and covered under Key Points.
- Consider a vocabulary for canopies, encourage measures to slim down.
BFA – Carwash canopy fascia is further developed now to working drawing level and is increased by 9 inches to allow adequate roof drainage and insulation. Refer to A505.

- Consider further coordination with respect to the exposed diagonal structural supports for the car wash canopy structure and mitigating possible conflicts with vehicles of different sizes.
BFA – Already covered under Key Points. Refer to A401 elevations and note small pickup truck outline indicating clearance.
- Consider further design development to the perforated metal back lighting.
BES - Refer to revised lighting layout on E1.0 and E1.1.
- Consider enhanced acoustical measures to mitigate sound transmission from the cash wash process to the neighboring single-family homes which may include automating the overhead doors when vehicles are being washed.
BFA – Already covered under Key Points. Refer to attached acoustical consultant report prepared by BAP acoustical consultant dated August 20, 2020.
- Consider using restraint when details are finalized.
BFA – Detailing at working drawings will be carefully considered to maintain the expression of design.

Landscape

- Further design development to the bollards. Consider stainless steel and lighting.
BES: Refer to revised lighting layout on E1.0 and E1.1 and note SS bollards with integrated lighting in selected areas.
- Recommend further design development to path lighting so it will not affect neighbouring properties.
BES: Refer to revised lighting layout on E1.0 and E1
- Consider increasing the buffer towards the residential area.
P & R: Buffer increased by extending planting bed to curb. Addition of 2 trees along lane.
- Recommend coordination with BC Hydro for landscape at transformer location.
BES: Covered under Key Points.
- Recommend adequate soil volumes, such as at the trees that line the access roads.
P & R: L2.0 notes soil depths for shrubs and trees. Tree soil volume has been calculated along the driveway entry where every tree has 10m³ of soil available along trench design. Notes on L3P & R
- Consider a maintenance program for the landscape.
P & R– Plant selection has been discussed with the developer who understands the plant maintenance requirements for the design proposed.

CPTED

- No specific issues were identified.

Sustainability

- Consider expanded future EV charging stations.

BES - Each parking stall in the facility to have the capability for Level 2 EV charging stations. Nationwide to confirm.

Accessibility

- Recommend adequate universal access to rental office.

BFA – Rental office entry door is equipped with pressure plates on both sides.

Note added on A202.

- Recommend that the public restrooms be accessible.

BFA – Self-Storage washrooms on all floors are universal meeting BCBC 2018 requirements.

- Recommend that the entrance door be power operated

BFA – Retail entry doors are wired for future installation of pressure plate actuation plates. Note added to A202.

In addition we are submitting an updated Arborist report addressing all comments by parks department.

Thank you for your assistance to date, please contact us if you need any further information and we look forward to the continuation of the approval process.

Respectfully,



Helen Besharat,

Architect AIBC MRAIC RID LEED BD+C

CC:

NW / BTY:

Landscape:

Civil:

M & E:

Mr. Hugh Cartwright, Mr. Radu Popa

Mr. Ayssa Semczyszyn

Mr. Steve O'Connell

Mr. Sean Mac Aod

Tree Preservation Summary

Surrey Project No: 7920-0028-00
 Address: 2337 King George Blvd
 Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	4
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	4
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 0 </u> X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

17-Aug-20

 Date