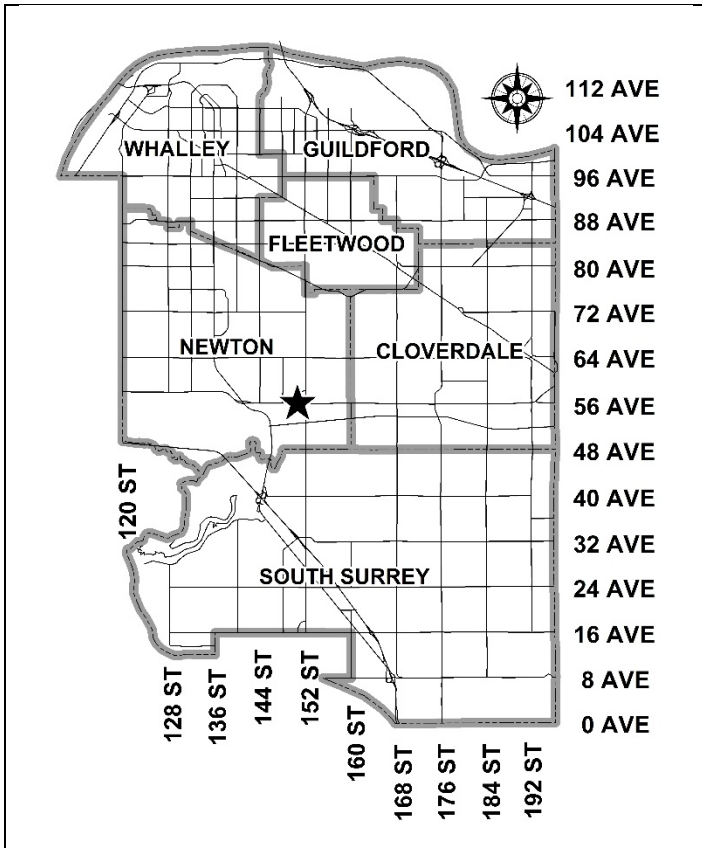


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7920-0094-00

Planning Report Date: April 26, 2021



**PROPOSAL:**

- **Development Permit**

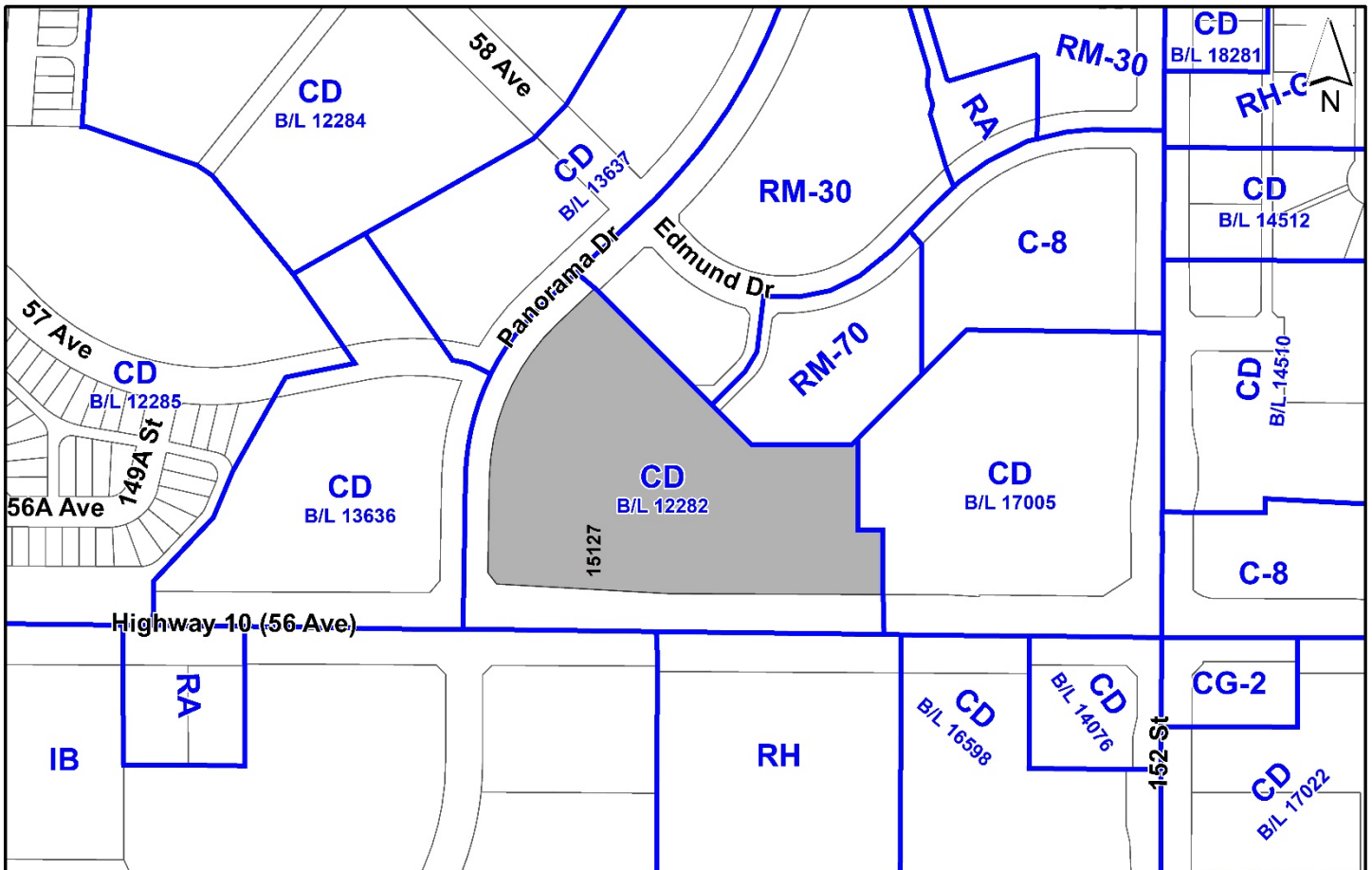
to permit renovations to an existing drive-through restaurant.

**LOCATION:** 15127 – No. 10 (56 Avenue) Highway

**ZONING:** CD Zone (By-law No. 12282)

**OCF DESIGNATION:** Commercial

**NCP DESIGNATION:** Commercial



**RECOMMENDATION SUMMARY**

- Approval to draft Development Permit for Form and Character.
- Approval to vary the Sign By-law through a comprehensive sign design package.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- The applicant is seeking to vary the Sign By-law through a comprehensive design package to increase the maximum number of permitted fascia signs from two (2) to eight (8) and to permit more than one (1) fascia sign to be located on the same façade.

**RATIONALE OF RECOMMENDATION**

- The proposed exterior renovations to the existing McDonald's Restaurant represents a new modern design character while maintaining desirable elements of the existing building.
- The proposed renovations will continue the architectural design of the surrounding multi-tenant commercial complex, approved under Development Application No. 7916-0292-00.
- The applicant proposes six (6) additional fascia signs beyond the two (2) signs permitted under the Sign By-law for a total of eight (8) fascia signs. The proposed fascia signs are under the maximum sign area permitted under the Sign By-law, are of high-quality design, and are of an appropriate size and scale in relation to the building.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7920-0094-00, generally in accordance with the attached drawings in Appendix I.
2. Council approve the applicant's request to vary the Surrey Sign By-law, No. 13656 through a Comprehensive Sign Design Package as described in Appendix III.
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
  - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Drive-through restaurant	Commercial	CD Zone (By-law No. 12282)
North:	Apartments	Apartments (65 u.p.a. max)	RM-70
East:	Multi-tenant Commercial Complex	Commercial	CD Zone (By-law No. 17005)
South (Across No. 10 (56 Avenue) Highway):	Single Family Dwelling on large acreage	Proposed Business Park	RH
West (Across Panorama Drive):	YMCA	Mixed Commercial-Recreational	CD Zone (By-law No. 13636)

### Context & Background

- The subject site is located at 15145 – No. 10 (56 Avenue) Highway, within the Panorama Village Shopping Centre. The site is comprised of multiple commercial businesses including a grocery store, various eating establishments, an animal hospital, and health clinic. The site is designated “Commercial” in the Official Community Plan, “Commercial” in the South Newton Neighbourhood Concept Plan and is zoned “CD By-law (No. 12282)”.
- The site is currently occupied by a single-story McDonald's Restaurant, with a drive-through. The existing design of the restaurant was approved under Development Application No. 7997-0227-00 on February 28, 1998.
- The Panorama Village Shopping Centre underwent an exterior upgrade under Development Application No. 7916-292-00, approved on September 12, 2016. The upgrades modernized and enhanced the overall appearance of the site. The subject McDonald's Restaurant was not included in these exterior upgrades.

- As part of a rebranding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's in the Metro Vancouver area, including those restaurants located within the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve a consistent branding and to increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.

## **DEVELOPMENT PROPOSAL**

### **Planning Considerations**

- The applicant is proposing a Development Permit in order to allow exterior renovations to the existing single-storey drive-through restaurant, including new fascia signage, minor reconfiguration of the drive-through queuing lane, and new landscaping.
- The applicant is also proposing to vary the Sign By-law through a comprehensive sign design package in order to allow six (6) additional fascia signs, for a total of eight (8) fascia signs.
- The existing footprint of the restaurant will remain unchanged. The proposal includes a reconfiguration of the drive-thru queuing lane, parking to the west of the building, and landscaping.

### **Referrals**

Engineering:                              The Engineering Department has no objection to the project.

### **Transportation Considerations**

- The existing restaurant gains access from an internal private drive aisle within the Panorama Ridge Shopping Centre.
- Restaurant parking is located to the east, north, and west of the restaurant, while the existing drive-through lane is located along the west side of the building.
- The proposal includes the relocation of the drive-through aisle further west in order to create a dual-lane drive-through with increased vehicular capacity. As part of the drive-through lane relocation, three parking spaces will be impacted and reconfigured.
- No parking spaces will be lost due to the proposal.

### **PUBLIC ENGAGEMENT**

- Development Proposal Signs were installed on June 11, 2020. No responses were received from neighbouring property owners.

## DEVELOPMENT PERMITS

### Building Design

- The proposed development complies with the Form and Character Development Permit guidelines in the OCP.
- The proposed changes to the exterior of the building are intended to implement McDonald's new contemporary restaurant design while maintaining elements and materials of the existing building. The proposed design retains the existing brick façade and location of windows and doors. Many of the existing exterior elements and finishes will be retained and painted charcoal grey, red and brown to implement McDonald's new colour scheme.
- Red metal panels and grey cement lap siding will be installed on the east and south elevations of the existing tower feature as the key design element of the renovated exterior. This red and grey treatment will be emphasized through the retention of the corner tower feature on the south east corner of the building.

### Drive-Through and Parking

- The existing single-lane drive-through lane west of the building will be reconfigured into a dual-lane drive-through in order to add additional queuing space.
- Three existing parking spaces will be impacted by the drive-through lane reconfiguration but will be fully replaced by three new parking spaces in the same area.
- The drive-through lane reconfiguration will impact existing landscaping, which is proposed to be fully replaced.

### Landscaping

- The relocation of the drive-through lane further west requires the removal of existing landscaping to the west of the existing building.
- Replacement landscaping has been proposed for the area north and south of the relocated drive-through lane. Replacement planting will consist of a mix of deciduous shade trees, coniferous trees, deciduous shrubs, perennial flowers, and ornamental grasses.

### Proposed Signage

- The existing free-standing pylon sign located at the Highway 10 entrance will remain in place.
- The on-site directional signage and drive-through signage will be relocated west to the new drive-through lane entrance.

- The applicant proposes to remove eight (8) existing fascia signs and replace these with eight (8) new illuminated fascia signs on the building. Two fascia signs along the west elevation will be removed, while two additional signs will be added to the east and south elevations.
- Three (3) fascia signs are proposed on the east elevation including a yellow "Arches" sign, a brown and white "McCafé" sign, and a white "McDonald's" sign consisting of illuminated individual channel letters.
- Two (2) fascia signs are proposed on the north elevation including a yellow "Arches" sign and a white "McDonald's" sign consisting of illuminated individual channel letters.
- Two (2) fascia signs are proposed to be removed on the west elevation including two yellow "Arches" signs.
- Three (3) fascia signs are proposed on the south elevation including a yellow "Arches" sign, a brown and white "McCafé" sign, and a white "McDonald's" sign consisting of illuminated individual channel letters.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the same façade.
- The applicant proposes a total of eight (8) fascia signs, and as a result, a relaxation is required to allow six (6) additional fascia signs and multiple signs on the same façade.
- The proposed signage design has been reviewed by staff and found to have merit. The location and scale of the proposed signage is modest, similar to the existing sign area and complementary to the building design. The signage is constructed of high-quality materials.
- Staff support the proposed variances as part of a comprehensive sign design package.

## TREES

- Keven Goodearle, ISA Certified Arborist of PGL Environmental Consultants prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Dawn Redwood	2	0	2
American Sycamore	2	0	2
Norway Maple	4	0	4
Japanese Maple	2	2	0
Maple sp.	5	0	5
Magnolia sp.	11	1	10
Wych Elm	1	0	1

Tree Species	Existing	Remove	Retain
<b>Coniferous Trees</b>			
Deodar Cedar	1	0	1
Blue Spruce	3	1	2
Emerald Cedar	1	0	1
<b>Total</b>	<b>32</b>	<b>4</b>	<b>28</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>8</b>	
<b>Total Retained and Replacement Trees</b>		<b>36</b>	
<b>Contribution to the Green City Program</b>		<b>N/A</b>	

- The Arborist Assessment states that there are a total of 32 mature trees on the site, excluding Alder and Cottonwood trees. It was determined that 28 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 8 replacement trees on the site. The applicant is proposing 8 replacement trees, meeting City requirements.
- In summary, a total of 36 trees are proposed to be retained or replaced on the site.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Perspectives, and Landscape Plans
- Appendix II. Summary of Tree Survey and Tree Preservation
- Appendix III. Proposed Sign By-law Variances Table

*approved by Shawn Low*

Jean Lamontagne  
General Manager  
Planning and Development

DZ/cm

## McDonald's - Panorama

15145 No.10 Highway, Surrey, BC



### Drawing List:

ARCHITECTURAL				
NO.	DESCRIPTION	REV.	DATE	CONTRACTOR
A0.0	COVER SHEET			
A0.1	GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS			
AS0.0	CONTEXT PHOTOS (EXISTING)			
A1.0	EXISTING FLOOR PLAN			
A1.1	EXISTING ROOF PLAN			
A2.0	EXISTING & PROPOSED EAST ELEVATIONS			
A2.1	EXISTING & PROPOSED NORTH ELEVATIONS			
A2.2	EXISTING & PROPOSED WEST ELEVATIONS			
A2.3	EXISTING & PROPOSED SOUTH ELEVATIONS			
A2.4	COLOURED ELEVATIONS			
A2.5	PERSPECTIVES			
A3.0	BUILDING SECTIONS			
CIVIL & LANDSCAPE				
SP1.0	SITE PLAN			
C2.0	SURFACE AND GRADING LAYOUT			
L1.0	LANDSCAPE PLAN			
L2.0	LANDSCAPE DETAILS			

NO.	DESCRIPTION	REV.	DATE	CONTRACTOR
	ISSUED FOR PERMIT			
	ISSUED FOR ALTERNATION			

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY BC, V5C 6G6

### Project Team: ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.  
 3707 1st AVENUE,  
 BURNABY, B.C., V5C 3V6  
 Contact: Reilen Reyes  
 t: 604.298.3700 e.108  
 e: reyles@lovickscott.com

### CIVIL

IBI GROUP  
 SUITE 308-30 EGLINTON AVENUE WEST  
 MISSISSAUGA, ONTARIO, L5R 3E7  
 Contact: Tony Withall  
 t:(905) 890-3550  
 e: tony.withall@bigroup.com

### SIGNAGE

PATTISON SIGN GROUP  
 14928 - 56th AVE., SUITE 509  
 SURREY, B.C., V3S 2N5  
 Contact: Garry Sigouin  
 t: 604-787-7321  
 f: 855-215-0696  
 e: gsigouin@pattisonsign.com

### CLIENT

McDONALD'S RESTAURANTS OF CANADA LTD.  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6G6  
 Contact: Steve Chow  
 t: 604-763-2469  
 e: steve.chow@ca.mcd.com

Harpo Restaurant's Ltd.  
 McDonald's Restaurants  
 Contact: James Harper  
 Owner Operator  
 Office: 604-575-1691  
 Cell: 604-836-0413  
 Email: james.harper@post.mcdonalds.ca

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



3707 1ST AVENUE  
 BURNABY, B.C. V5C 3V6  
 ADMIN @ LOVICKSCOTT.COM  
 604 298 3700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL SEAL

COPYRIGHT © LOVICK SCOTT ARCHITECTS LTD. THIS MATERIAL IS AN INSTRUMENT OF SERVICE AND REMAINS AT ALL TIMES THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR REUSE IS PROHIBITED WITHOUT THE WRITTEN CONSENT AND NAME OF LOVICK SCOTT ARCHITECTS LTD. INFORMATION SHOWN IS FOR USE ON THE DESIGNATED PROJECT ONLY.

DESIGNED BY: **JMS** PROJECT APPROVED

**McDonald's - Panorama**  
 15145 No.10 Highway,  
 Surrey BC

DRAWING

COVER SHEET

PROJECT NUMBER: 14-021 DRAWING NUMBER: A0.0  
 SCALE: 1/4" = 1'-0" MAPS NATIONAL NUMBER: 2941  
 DATE: DECEMBER 2014 REVISION: JAN 08/2021

Project Number: 14-021 Drawing Number: A0.0  
 Scale: 1/4" = 1'-0" Maps National Number: 2941  
 Date: December 2014 Revision: January 2021







WEST VIEW  
SCALE: NOT TO SCALE



EAST VIEW  
SCALE: NOT TO SCALE

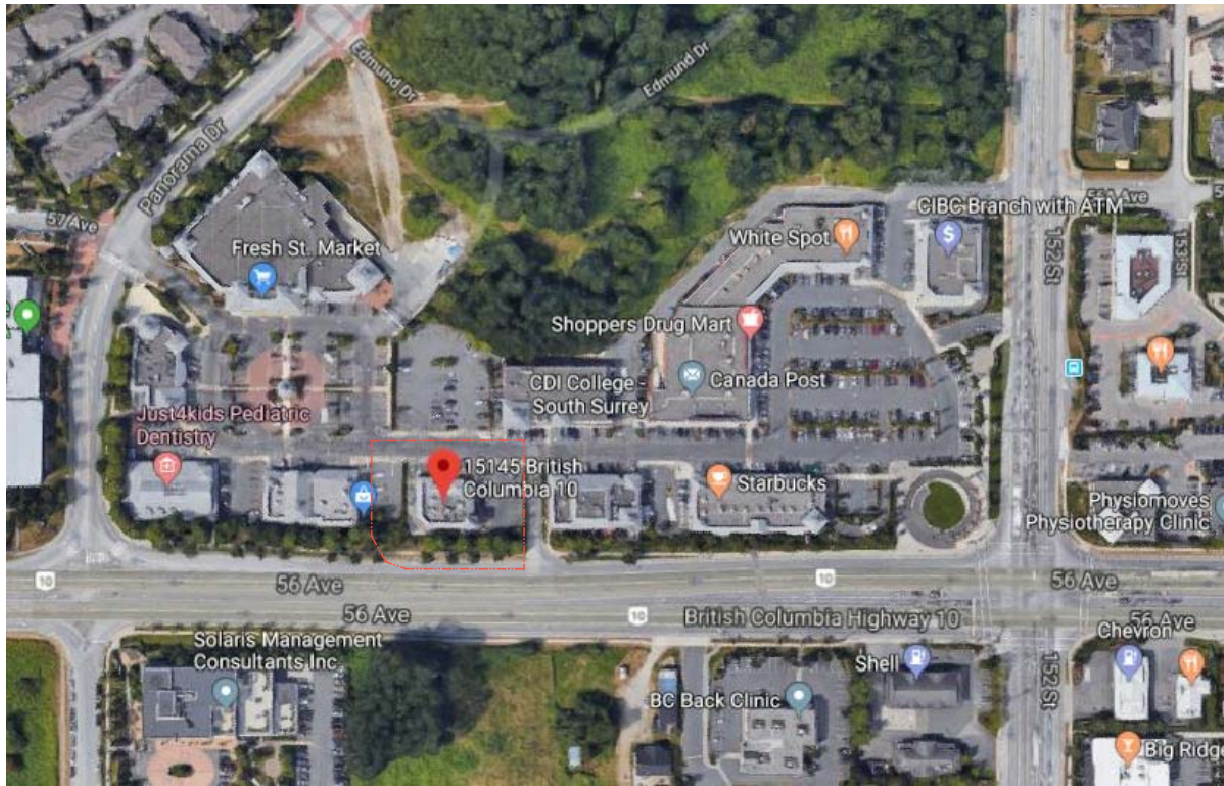


REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION

**McDonald's®**  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, BC, V5C 6G6



NORTH VIEW  
SCALE: NOT TO SCALE



KEY MAP  
SCALE: NOT TO SCALE



SOUTH EAST VIEW  
SCALE: NOT TO SCALE

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL INFORMATION ON SITE. CHANGES SHALL NOT BE SCALED.



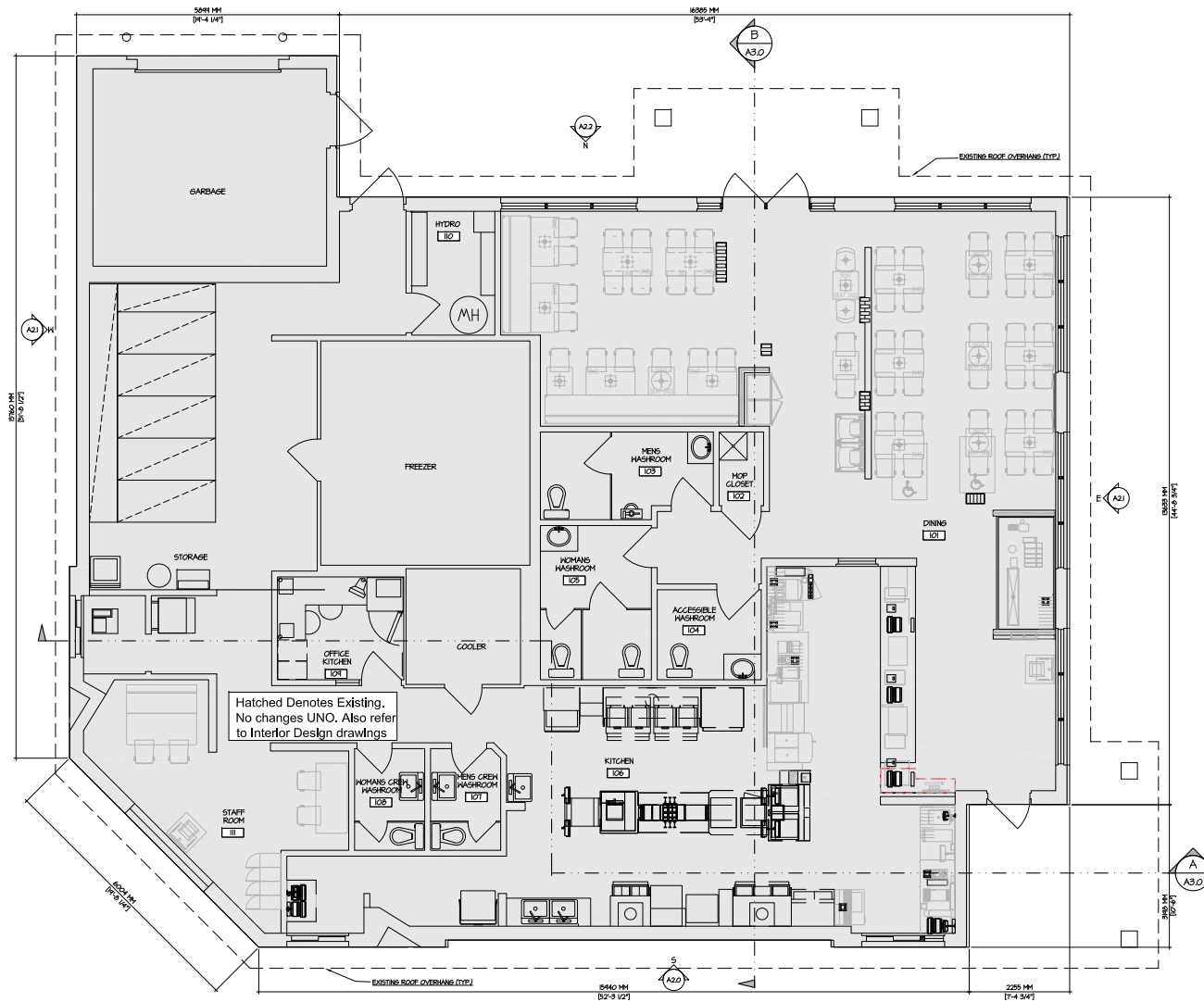
3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604 298 5700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL SEAL

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL IS AN INSTRUMENT OF SERVICE AND REMAINS AS SUCH THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR REGULAR OR PROHIBITED WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF LOVICK SCOTT ARCHITECTS LTD. IS PROHIBITED.

PROJECT: **McDonald's - Panorama**  
 15145 No.10 Highway  
 Surrey, BC

CONTEXT PHOTOS (EXISTING)

PROJECT NUMBER	DRAWING NUMBER
14-021	A50.0
SCALE	NORTH ARROW NUMBER
NOT TO SCALE	200
DATE	REVISION
DECEMBER 2014	



**FLOOR PLAN LEGEND**

[XXX] ROOM NUMBER

ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE

**TYPICAL WALL LEGEND:**

[---] EXTERIOR WALL  
[---] INTERIOR WALL

NOTES:  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL, AND INTERIOR DESIGN DRAWINGS AS A COMPLETE SET. IF DISCREPANCIES OCCUR, CONTACT ARCHITECT PRIOR TO CONSTRUCTION & ORDERING MATERIALS.


NO INTERIOR WORK TO BE PERFORMED. FLOOR PLAN IS FOR REFERENCE ONLY UNLESS NOTED

NO.	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

ARCHITECT



**LOVICK  
SCOTT  
ARCHITECTS**

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 8700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

ARCHITECT

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 8700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL.

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL IS A INSTRUMENT OF SERVICE AND REMAINS THE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR REGULAR PROMOTION WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF LOVICK SCOTT ARCHITECTS LTD. IS PROHIBITED. THIS DRAWING IS FOR USE ON THE DESIGNATED PROJECT ONLY.

DESIGNED BY: [Signature] APPROVED:

ENR/AM/JS  
PROJECT:  
**McDonald's - Panorama**  
15145 No. 10 Highway  
Surrey BC

DRAWING:

EXISTING FLOOR PLAN

PROJECT NUMBER: [ ] DRAWING NUMBER: [ ]

14-021 A1.0

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DATE: NOVEMBER, 2017

REVISION:

**EXISTING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
BUILDING AREA (E) = 4,071 SQ. FT. (378.2 SQ. M)  
SEATING (E) = 62 SEATS

CONSULTANT

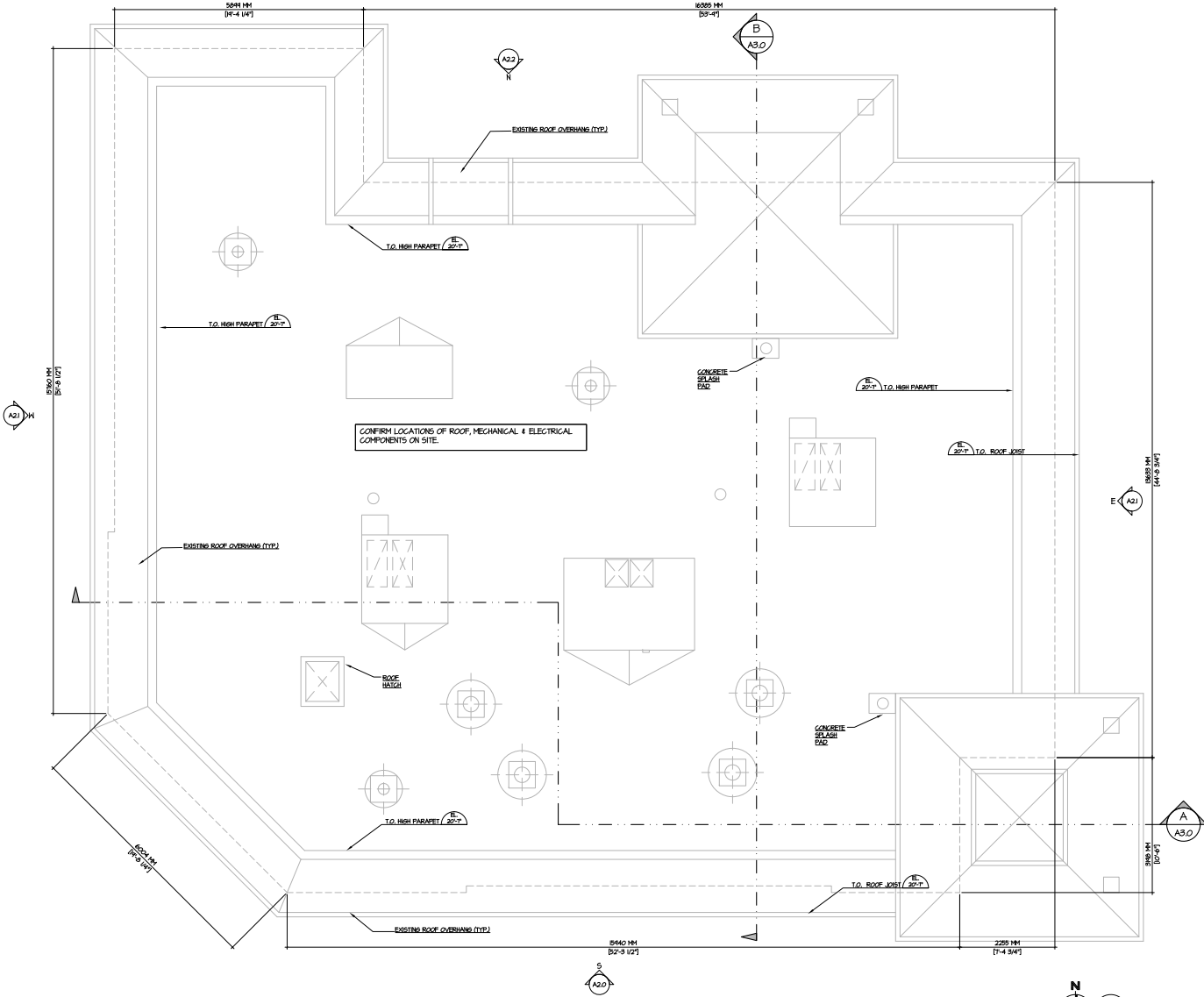
NO.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

DEM/EXIST ROOF PLAN LEGEND  
 --- BUILDING LINE BELCH

ALL DIMENSIONS ARE TO BE  
 CONFIRMED ON SITE

NOTES:  
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL, AND INTERIOR DESIGN DRAWINGS AS A COMPLETE SET. IF DISCREPANCIES OCCUR, CONTACT ARCHITECT PRIOR TO CONSTRUCTION & ORDERING MATERIALS.



CONFIRM LOCATIONS OF ROOF, MECHANICAL & ELECTRICAL COMPONENTS ON SITE.

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
 BURNABY, B.C. V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604 298 8700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL SEAL

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL AND INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR RESALE IS PROHIBITED WITHOUT THE WRITTEN CONSENT AND SIGNED BY LOVICK SCOTT ARCHITECTS LTD. PERMISSION IS GIVEN FOR USE ON THE DESIGNATED PROJECT ONLY.  
 DRAWN BY: APPROVED

3/1/15  
 PROJECT  
**McDonald's - Panorama**  
 15145 No. 10 Highway  
 Surrey, BC

DRAWING  
**EXISTING ROOF PLAN**

PROJECT NUMBER	14-021	DRAWING NUMBER	A1.1
SCALE	1/4" = 1'-0"	WAPS NATIONAL NUMBER	2941
DATE	JANUARY 2020	REVISION	

EXISTING ROOF PLAN  
 SCALE: 1/4" = 1'-0"

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION 4 PLANS FOR NEW FINISHES. ITEMS TO REMAIN TO BE REMOVED, REPAINTED AND DETAILS (BUILDINGS/HALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.

**PROPOSED ELEV. LEGEND:**

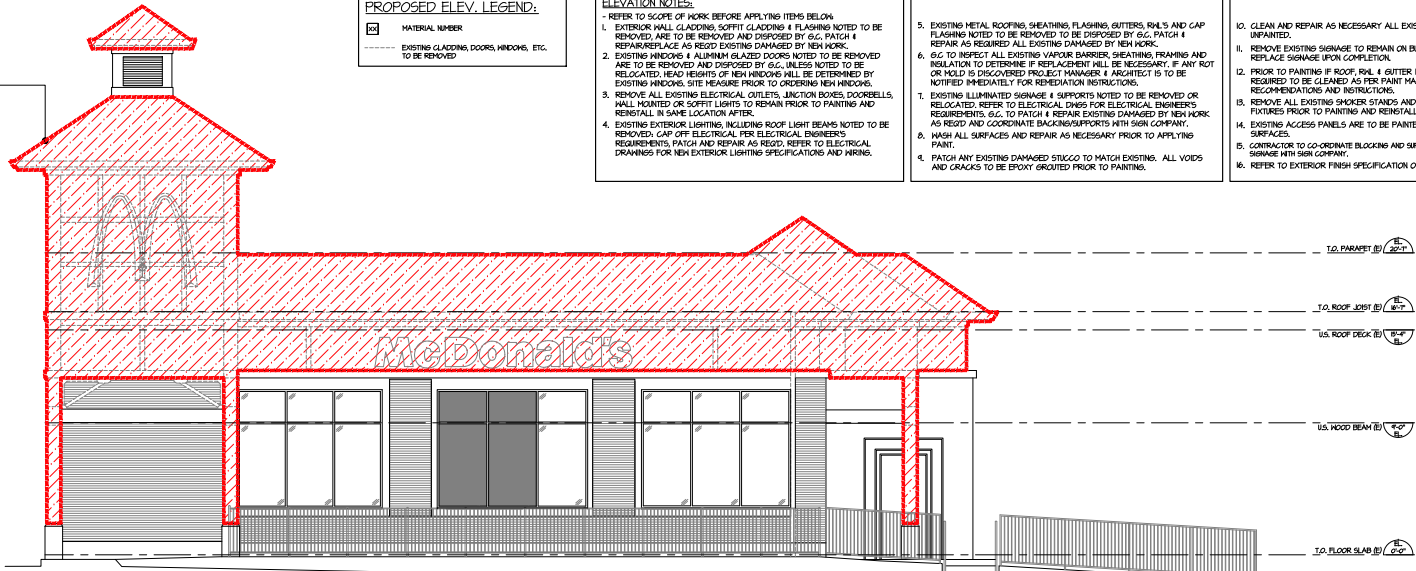
**MATERIAL NUMBER**  
 - - - - - EXISTING GLAZINGS, DOORS, WINDOWS, ETC. TO BE REMOVED

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND RENOVATION. IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEERS REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.

- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DINGS FOR ELECTRICAL ENGINEERS REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKLOGS/ISSUES WITH SIGN COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL JOINTS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.

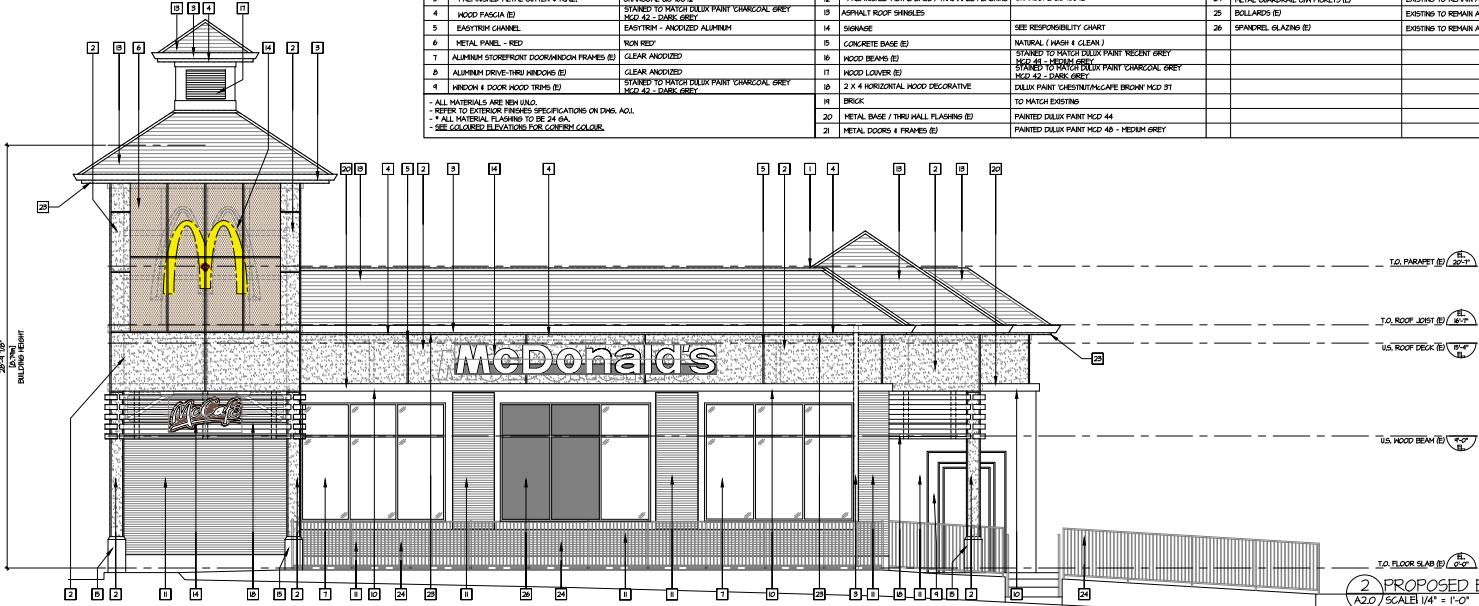
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING SMOKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND RENOVATION.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A2.0.



1 EXISTING EAST ELEVATION  
 A2.0 SCALE: 1/4" = 1'-0"

**EXTERIOR FINISHES**

NO	MATERIAL	COLOUR	NO	MATERIAL	COLOUR	NO	MATERIAL	COLOUR
1	* PREFINISHED METAL CAP FLASHING	CHARCOAL GC-1072	10	HORIZONTAL HOOD TRIMS (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY 1502-52 - DARK GREY	22	OVER HEAD ROLL UP DOOR (E)	PAINTED DILLIX PAINT HCD 48 - MEDIUM GREY
2	* PEER GRANT PANEL	PAINTED DILLIX PAINT VICENT GREY 1502-41	11	BRICK (E)	TO REMAIN AS IS. SEE ELEVATION NOTES.	23	HOOD SOFFIT (E)	PAINTED WHITE
3	* PREFINISHED METAL GUTTER & RAIL	CHARCOAL GC-1072	12	* PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL GC-1072	24	METAL GUARNAL GUN PROCKETS (E)	EXISTING TO REMAIN AS IS
4	HOOD FASCIA (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY 1502-52 - DARK GREY	13	ASPHALT ROOF SHINGLES	CHARCOAL GC-1072	25	BELLARDS (E)	EXISTING TO REMAIN AS IS
5	EASYTRIM CHANNEL	EASYTRIM - ANODIZED ALUMINUM	14	SIGNAGE	SEE RESPONSIBILITY CHART	26	PANELLED GLAZING (E)	EXISTING TO REMAIN AS IS
6	METAL PANEL - RED	IRON RED	15	CONCRETE BASE (E)	NATURAL (WASH & CLEAN)			
7	ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED	16	HOOD BEAMS (E)	STAINED TO MATCH DILLIX PAINT VICENT GREY 1502-41 - MEDIUM GREY			
8	ALUMINUM DRIVE-THRU WINDOWS (E)	CLEAR ANODIZED	17	HOOD LOUVER (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY 1502-52 - DARK GREY			
9	WINDOW & DOOR HOOD TRIMS (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY 1502-52 - DARK GREY	18	2 X 4 HORIZONTAL HOOD DECORATIVE	DILLIX PAINT CHESTNUT/LAFITE BROWN HCD 31			
- ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. - REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A2.0. - ALL MATERIAL FLASHING TO BE 24 GA. - SEE COLOURED ELEVATIONS FOR COLOURS & GLAZING.			19	BRICK	TO MATCH EXISTING			
			20	METAL BASE / THRU WALL FLASHING (E)	PAINTED DILLIX PAINT HCD 44			
			21	METAL DOORS & FRAMES (E)	PAINTED DILLIX PAINT HCD 48 - MEDIUM GREY			



2 PROPOSED EAST ELEVATION  
 A2.0 SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 A D M I N @ L O V I C K S C O T T . C O M  
 6 0 4 2 9 8 3 7 0 0 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AIA, SAA, MAA

ARCHITECTURAL SEAL

DATE: APRIL 2014

REVISIONS

NO.	DATE	DESCRIPTION

DESIGNED BY: RHR/LM/LS

PROJECT: McDonald's - Panorama

15145 No.10 Highway, Surrey BC

SCALE: 1/4" = 1'-0"

DATE: APRIL 2014

REGION: SEP/O/14

DRAWING: EXISTING & PROPOSED EAST ELEVATIONS

PROJECT NUMBER: 14-021

DRAWING NUMBER: A2.0

SCALE: 1/4" = 1'-0"

DATE: APRIL 2014

REGION: SEP/O/14

**McDonald's**  
 MCDONALD'S RESTAURANTS OF CANADA, LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, BC, V5C 6C6

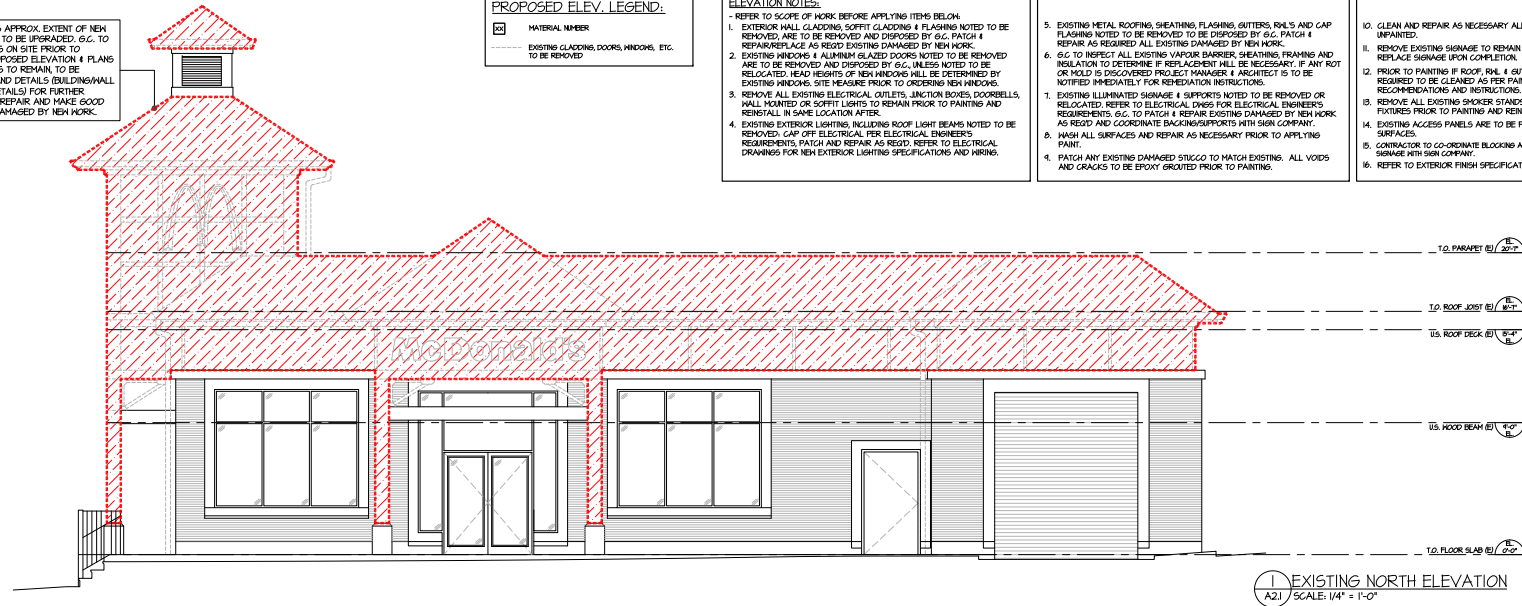
SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES. ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDINGS/HALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION, PATCH, REPAIR, AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.

**PROPOSED ELEV. LEGEND:**

- NO MATERIAL NUMBER
- EXISTING GLASSING, DOORS, WINDOWS, ETC. TO BE REMOVED

**ELEVATION NOTES:**

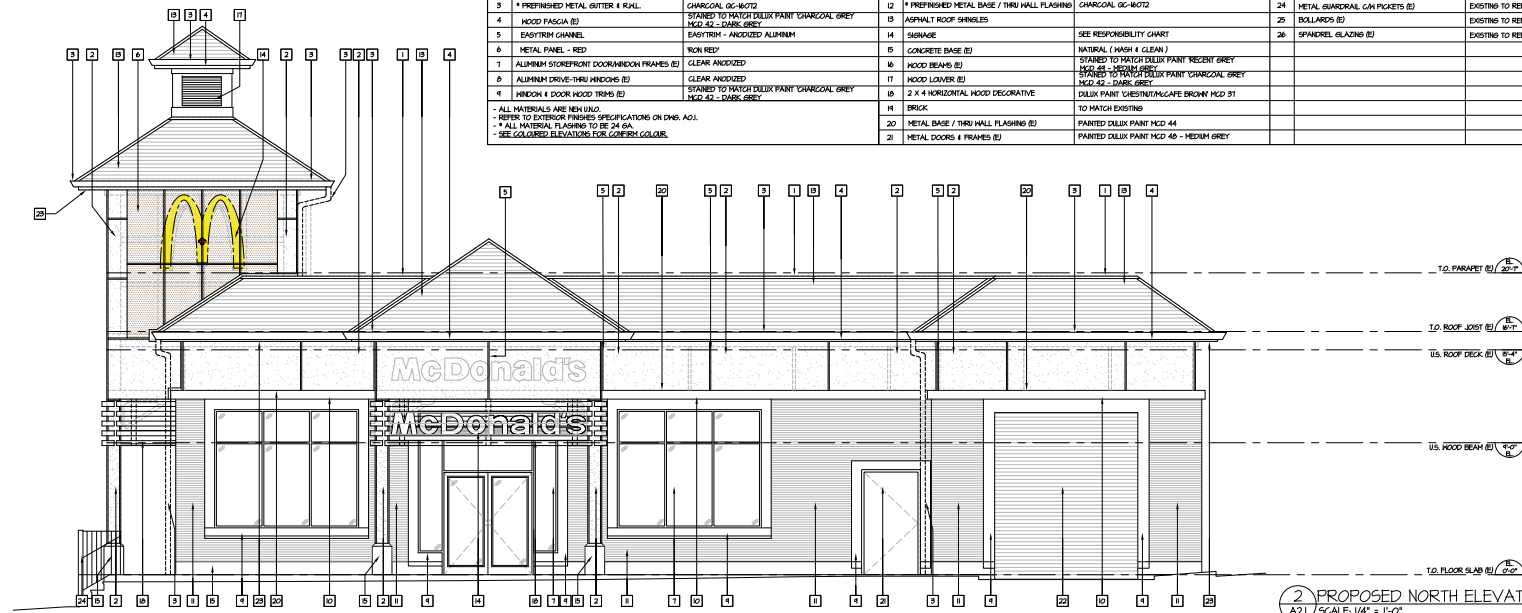
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXTERIOR HALL GLASSING, SOFFIT GLASSING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND RESTAINTAL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF RE-ALIGNMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DYES FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND LOCKSMITH ENGAGE/SUPPORTS WITH SIGN COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING SMOKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A-01.



**1 EXISTING NORTH ELEVATION**  
A-21 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES					
NO	MATERIAL	COLOUR	NO	MATERIAL	COLOUR
1	* PREFINISHED METAL CAP FLASHING	CHARCOAL G2-NOTD	10	HORIZONTAL HOOD TRIMS (E)	STAINED TO MATCH DALLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY
2	FEER CEMENT PANEL	PAINTED DALLIX PAINT VEGENT GREY MCD 44	11	BRICK (E)	TO REMAIN AS IS. SEE ELEVATION NOTES.
3	* PREFINISHED METAL GUTTER & RAIL	CHARCOAL G2-NOTD	12	* PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL G2-NOTD
4	HOOD FASCIA (E)	STAINED TO MATCH DALLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY	13	ASPHALT ROOF SHINGLES	TO REMAIN AS IS. SEE ELEVATION NOTES.
5	EASYTRIM CHANNEL	SMOOTH - ANODIZED ALUMINUM	14	SIGNAGE	SEE RESPONSIBILITY CHART
6	METAL PANEL - RED	IRON RED*	15	CONCRETE BASE (E)	NATURAL (WASH & CLEAN)
7	ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED	16	HOOD BEAMS (E)	STAINED TO MATCH DALLIX PAINT VEGENT GREY MCD 44 - MEDIUM GREY
8	ALUMINUM DRIVE-THRU WINDOWS (E)	CLEAR ANODIZED	17	HOOD LOUVER (E)	STAINED TO MATCH DALLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY
9	WINDOW & DOOR HOOD TRIMS (E)	STAINED TO MATCH DALLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY	18	2 X 4 HORIZONTAL HOOD DECORATIVE	DALLIX PAINT CHESTNUT/LAURE BROWN MCD 31
			19	BRICK	TO MATCH EXISTING
			20	METAL BASE / THRU WALL FLASHING (E)	PAINTED DALLIX PAINT MCD 44
			21	METAL DOORS & FRAMES (E)	PAINTED DALLIX PAINT MCD 48 - MEDIUM GREY
			22	OVER HEAD ROLL UP DOOR (E)	PAINTED DALLIX PAINT MCD 48 - MEDIUM GREY
			23	HOOD SOFFIT (E)	PAINTED WHITE
			24	METAL GUARNRAL GYM POCKETS (E)	EXISTING TO REMAIN AS IS
			25	BALLARDS (E)	EXISTING TO REMAIN AS IS
			26	SPANDREL GLAZING (E)	EXISTING TO REMAIN AS IS

\* ALL MATERIALS ARE NEW UNLD.  
\* REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A-01.  
\* ALL MATERIAL FLASHING TO BE 24 GA.  
\* SEE COLORED ELEVATIONS FOR CORRECT COLORE.



**2 PROPOSED NORTH ELEVATION**  
A-21 SCALE: 1/4" = 1'-0"

NO.	REVISED DATE	REVISION	DESCRIPTION	REV.	DATE
1	14-02-21	1	ISSUED FOR PERMIT		
2	14-02-21	2	ISSUED FOR PERMIT		
3	14-02-21	3	ISSUED FOR PERMIT		
4	14-02-21	4	ISSUED FOR PERMIT		

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY BC, V5C 6C6

CONTRACTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. CHANGES SHALL NOT BE SCALED.

PROJECT:

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
A D M I N @ L O V I C K S C O T T . C O M  
604 298 8700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
A D M I N @ L O V I C K S C O T T . C O M  
604 298 8700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

PROJECT: **McDonald's - Panorama**  
15145 No.10 Highway  
Surrey, BC

DATE: APRIL 2014

SCALE: 1/4" = 1'-0"  
DRAWING NUMBER: A-21  
SHEET NUMBER: 2/41  
REVISION: SEP/10/14

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXISTING WALL GLAZING, SOFFIT GLAZING & FLASHINGS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.

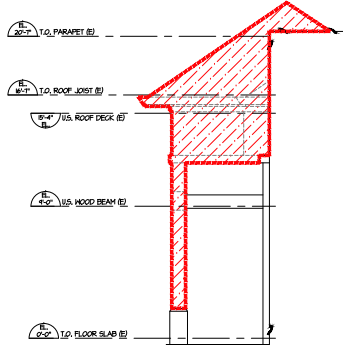
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWG'S FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQUIRED AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
- HASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STICCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.

- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING SHAKER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO COORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A-01.

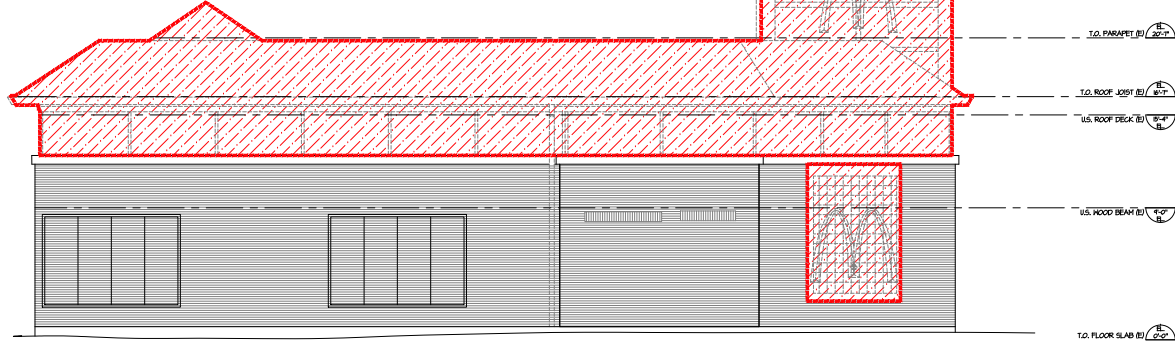
**PROPOSED ELEV. LEGEND:**

- 20 MATERIAL NUMBER
- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PROCEEDING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.

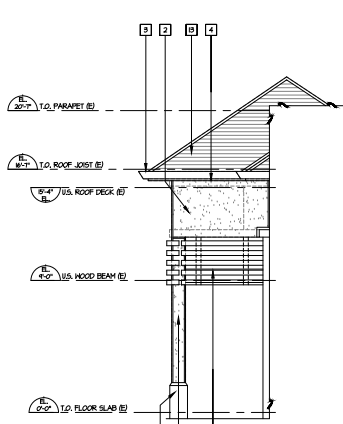


**1 EXISTING PARTIAL WEST ELEVATION**  
A2.2 SCALE: 1/4" = 1'-0"

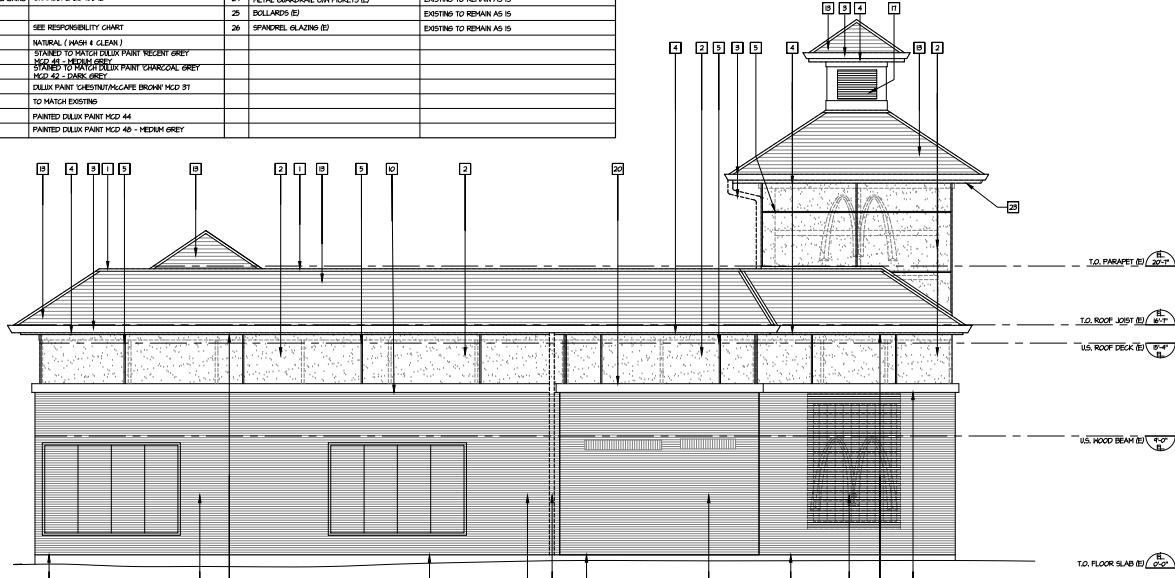


**3 EXISTING WEST ELEVATION**  
A2.2 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES					
NO	MATERIAL	COLOUR	NO	MATERIAL	COLOUR
1	* PREFINISHED METAL CAP FLASHING	CHARCOAL GC-HOTD	10	HORIZONTAL HOOD TRIMS (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY
2	FRONT CORNER PANEL	PAINTED DILLIX PAINT REGENT GREY MCD 4N	11	BRICK (E)	TO REMAIN AS IS. SEE ELEVATION NOTES.
3	* PREFINISHED METAL GUTTER & RAIL	CHARCOAL GC-HOTD	12	* PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL GC-HOTD
4	HOOD FASCIA (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY	13	ASPHALT ROOF SHINGLES	25
5	EAST/FRONT CHANNEL	EXOTREM - ANODIZED ALUMINUM	14	SIGNAGE	SEE RESPONSIBILITY CHART
6	METAL PANEL - RED	IRON RED*	15	CONCRETE BASE (E)	NATURAL (HASH & CLEAN)
7	ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED	16	HOOD BEAMS (E)	STAINED TO MATCH DILLIX PAINT REGENT GREY MCD 46 - MEDIUM GREY
8	ALUMINUM DRIVE-THRU WINDOWS (E)	CLEAR ANODIZED	17	HOOD LOUVER (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY
9	WINDOW & DOOR HOOD TRIMS (E)	STAINED TO MATCH DILLIX PAINT CHARCOAL GREY MCD 42 - DARK GREY	18	2 X 4 HORIZONTAL HOOD DECORATIVE	DILLIX PAINT CHESTNUT/LACATE BROWN MCD 31
* ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A-01.			19	BRICK	TO MATCH EXISTING
* ALL MATERIAL FLASHING TO BE 24 GA.			20	METAL BASE / THRU WALL FLASHING (E)	PAINTED DILLIX PAINT MCD 44
* SEE COLORED ELEVATIONS FOR CORNER/EDGE COLOR.			21	METAL DOORS & FRAMES (E)	PAINTED DILLIX PAINT MCD 48 - MEDIUM GREY
22	OVER HEAD ROLL UP DOOR (E)	PAINTED DILLIX PAINT MCD 48 - MEDIUM GREY	23	HOOD SOFFIT (E)	PAINTED WHITE
24	METAL GUARNERAL C/A PICKETS (E)	EXISTING TO REMAIN AS IS	26	SPANDREL GLAZING (E)	EXISTING TO REMAIN AS IS



**2 PROPOSED PARTIAL WEST ELEVATION**  
A2.2 SCALE: 1/4" = 1'-0"



**4 PROPOSED WEST ELEVATION**  
A2.2 SCALE: 1/4" = 1'-0"

McDonald's®  
MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

NO.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
1	2014/02/02	ISSUED FOR DP*			
2	2014/02/02	ISSUED FOR PERMITS			
3	2014/02/02	ISSUED FOR SALES REVIEW			

CONSULTANT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
BURNABY, B.C. V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

APPROVED

RHR/AM/LS  
PROJECT

**McDonald's - Panorama**  
15145 No.10 Highway  
Surrey, BC

DATE REGION  
APRIL 2014 JUNE/11/20

EXISTING & PROPOSED WEST ELEVATIONS

PROJECT NUMBER DRAWING NUMBER  
14-021 A2.2

SCALE  
1/4" = 1'-0"

DATE REGION  
APRIL 2014 JUNE/11/20

Copyright Lovick Scott Architects Ltd. This material is an instrument of service and remains the property of Lovick Scott Architects Ltd. Reproduction or use in any form without the written consent and name of Lovick Scott Architects Ltd. is prohibited. This drawing is for use on the designated project only.

19-021 A2.2

15145 No.10 Highway  
Surrey, BC

DATE REGION  
APRIL 2014 JUNE/11/20

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REPAIR. ALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.

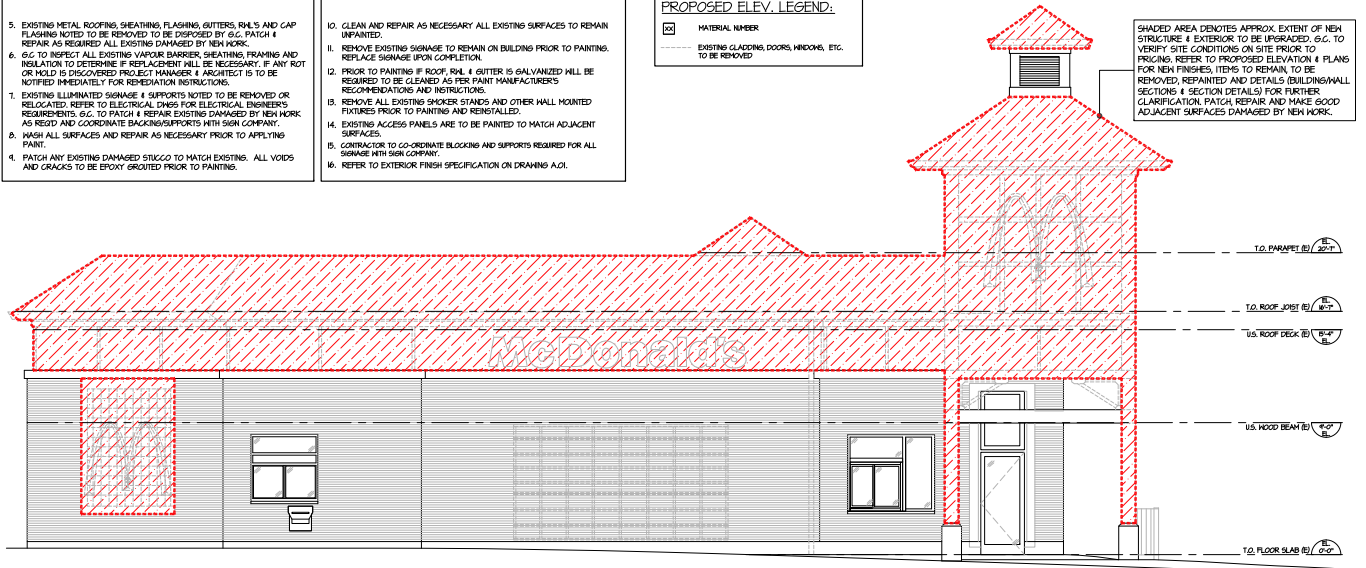
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, R/L'S AND GAP FLASHING NOTED TO BE REMOVED TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- 6. G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DMSG FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BLOCKING/SUPPORTS WITH SIGN COMPANY.
- 8. PATCH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.

- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, R/L & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SHAKER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND RENEWALS.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A-01.

**PROPOSED ELEV. LEGEND:**

- [X] MATERIAL NUMBER
- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/SWALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.

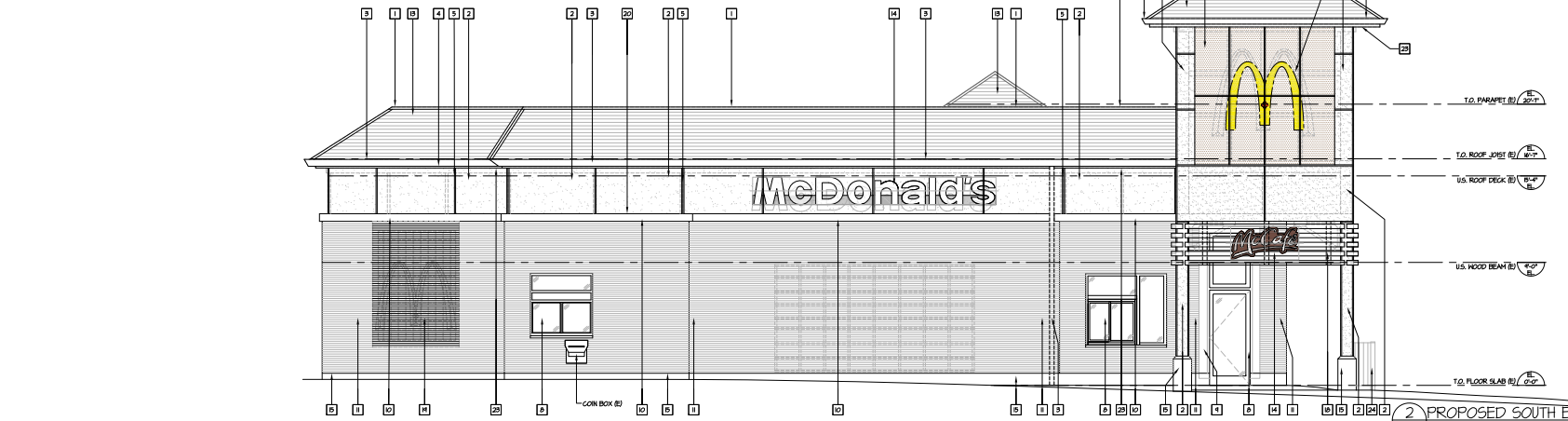


NO.	DATE	BY	DESCRIPTION
1	14-02-21	AM	ISSUED FOR PERMIT
2	14-02-21	AM	ISSUED FOR ALTERNATIVE
3	14-02-21	AM	ISSUED FOR ALTERNATIVE

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, BC, V5C 6C6

EXTERIOR FINISHES					
NO	MATERIAL	CLOUR	NO	MATERIAL	CLOUR
1	* PREFINISHED METAL CAP FLASHING	CHARCOAL GC-1072	11	HORIZONTAL HOOD TRIMS (E)	PAINTED DELUXE PAINT MCD 40 - MEDIUM GREY
2	FIBER CEILING PANEL	PAINTED DELUXE PAINT REGENT GREY MCD 41	12	BRICK (E)	TO REMAIN AS IS. SEE ELEVATION NOTES.
3	* PREFINISHED METAL BUTTER & RAIL	CHARCOAL GC-1072	13	* PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL GC-1072
4	HOOD FASCIA (E)	STAINED TO MATCH DELUXE PAINT CHARCOAL GREY MCD 42 - DARK GREY	14	ASPHALT ROOF SHINGLES	25
5	EASTERN CHANNEL	EASTERN - ANODIZED ALUMINUM	15	SIGNAGE	SEE RESPONSIBILITY CHART
6	METAL PANEL - RED	IRON RED	16	CONCRETE BASE (E)	NATURAL (WASH & CLEAN)
7	ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED	17	HOOD BEAMS (E)	STAINED TO MATCH DELUXE PAINT REGENT GREY MCD 41 - MEDIUM GREY
8	ALUMINUM DRIVE-THRU WINDOWS (E)	CLEAR ANODIZED	18	HOOD LOUVER (E)	STAINED TO MATCH DELUXE PAINT CHARCOAL GREY MCD 42 - DARK GREY
9	WINDOW & DOOR HOOD TRIMS (E)	STAINED TO MATCH DELUXE PAINT CHARCOAL GREY MCD 42 - DARK GREY	19	2 X 4 HORIZONTAL HOOD DECORATIVE	DELUXE PAINT CHESTNUT/FALGATE BROWN MCD 31
- ALL MATERIALS ARE NEW UNDO.					
- REFER TO EXTERIOR FINISH SPECIFICATIONS ON DWG. A-01.					
- ALL MATERIAL FLASHING TO BE 24 GA.					
- SEE COLOURED ELEVATIONS FOR CORRECT COLOUR.					

1 EXISTING SOUTH ELEVATION  
 A2.3 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
 A2.3 SCALE: 1/4" = 1'-0"

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, CHANGES SHALL NOT BE SCALED.  
 PROJECT  
**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604.298.9700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL SEAL

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL AND INFORMATION CONTAINED HEREIN AND REMAINS AT ALL TIMES THE SOLE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR RESALE IS PROHIBITED WITHOUT THE WRITTEN CONSENT AND APPROVAL OF LOVICK SCOTT ARCHITECTS LTD. PERMISSION IS GIVEN BY FOR USE ON THE DESIGNATED PROJECT ONLY.  
 DRAWING NO. 14-021 APPROVED

PROJECT  
**McDonald's - Panorama**  
 15145 No.10 Highway  
 Surrey BC

EXISTING & PROPOSED SOUTH ELEVATIONS  
 PROJECT NUMBER 14-021 DRAWING NUMBER A2.3  
 SCALE 1/4" = 1'-0" NOTS NATIONAL NUMBER 2941  
 DATE 14/02/21 REVISION SEP/20/14  
 APRIL 2014







1 SOUTH EAST VIEW  
A2.5 SCALE: NTS



2 NORTH EAST VIEW  
A2.5 SCALE: NTS



3 NORTH WEST VIEW  
A2.5 SCALE: NTS

Name	Title	Date	Signature
Michael Carlin	Hull Design Manager	September 10, 2019	

NO.	DATE	BY	DATE	DESCRIPTION

**McDonald's®**  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY BC, V5C 6G6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, DIMENSIONS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK  
SCOTT  
ARCHITECTS**

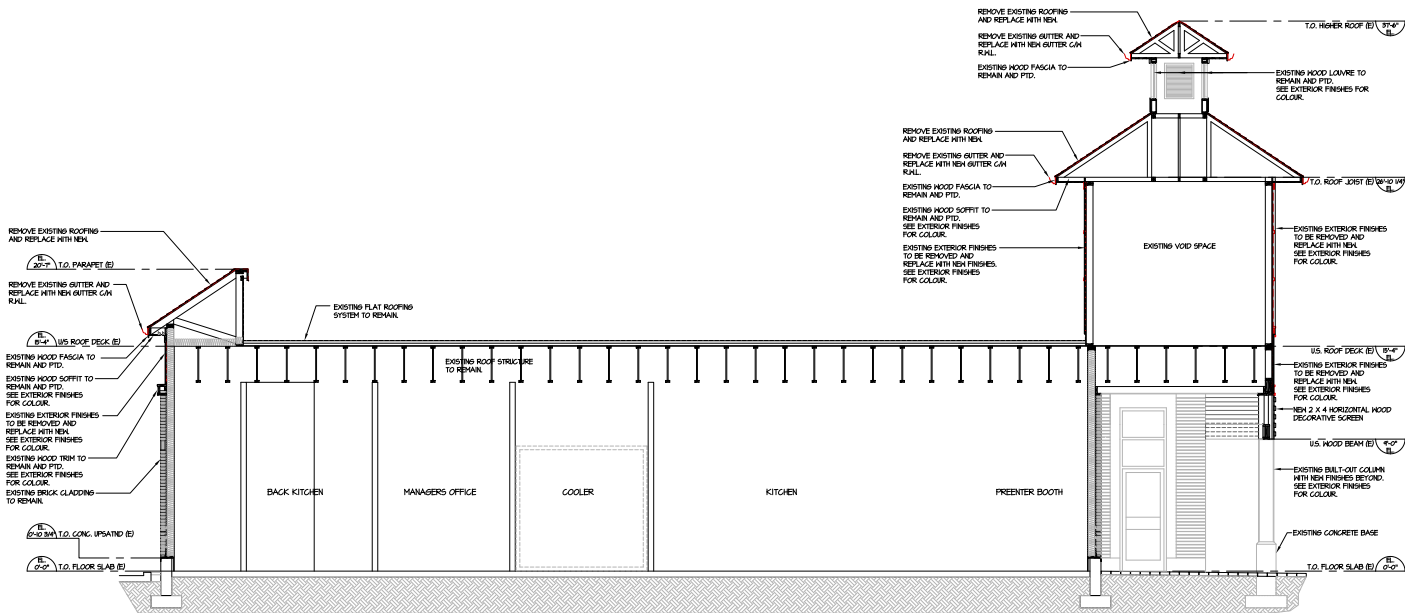
3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN @ L O V I C K S C O T T . C O M  
 604 298 8700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL SEAL

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL IS AN INSTRUMENT OF SERVICE AND REMAINS AT ALL TIMES THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR RESALE IS PROHIBITED WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF LOVICK SCOTT ARCHITECTS LTD. INFORMATION IS PROVIDED FOR USE ON THE DESIGNATED PROJECT ONLY.

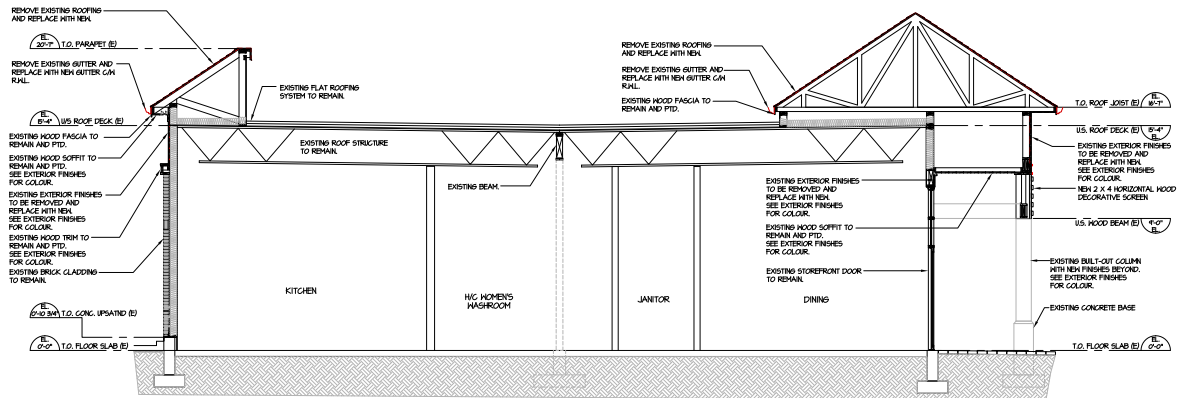
DRAWN BY: **EMR/LM** APPROVED: **EMR/LM**  
 PROJECT: **McDonald's - Panorama**  
 15145 No.10 Highway  
 Surrey BC

DRAWING: **PERSPECTIVES**  
 PROJECT NUMBER: **14-021** DRAWING NUMBER: **A2.5**  
 SCALE: **1/4" = 1'-0"** NORTH ARROW NUMBER: **2041**  
 DATE: **APRIL 2019** REVISION: **SEP/0/19**

Panorama - 19-021



1 BUILDING SECTION -A  
A1.0 SCALE: 1/4"=1'-0"



2 BUILDING SECTION -B  
A1.0 SCALE: 1/4"=1'-0"

NO.	REV.	DATE	DESCRIPTION

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY, BC, V5C 6C6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 8700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THE MATERIAL AND INSTRUMENT OF SERVICE AND RETAINMENT OF ALL RIGHTS THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR RESALE IS PROHIBITED WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF LOVICK SCOTT ARCHITECTS LTD. PERMISSION IS GRANTED FOR USE ON THE DESIGNATED PROJECT ONLY.

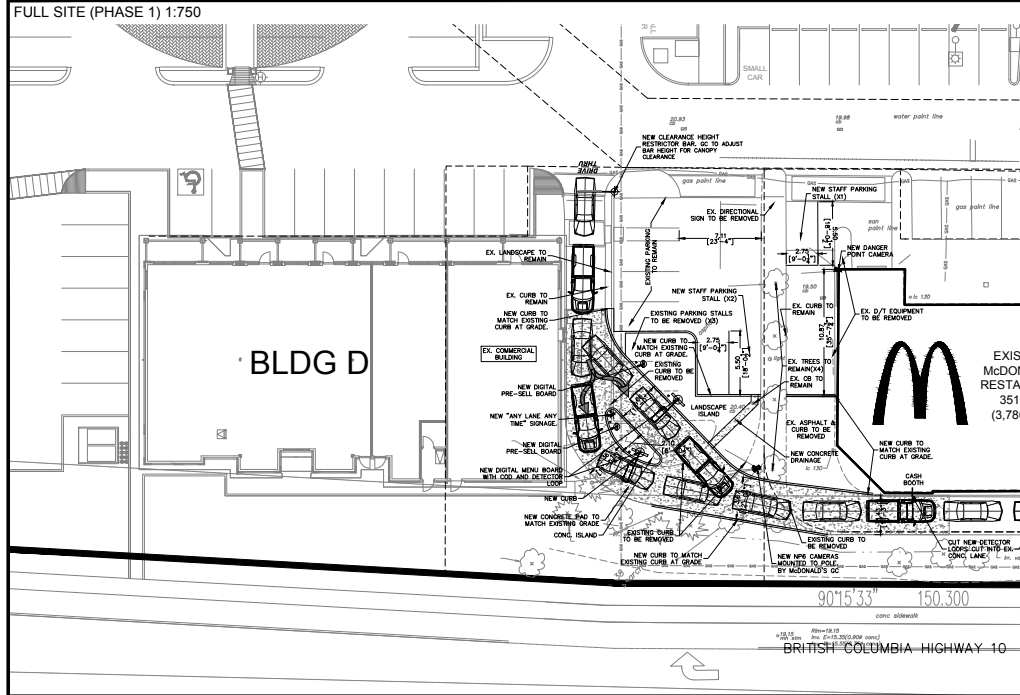
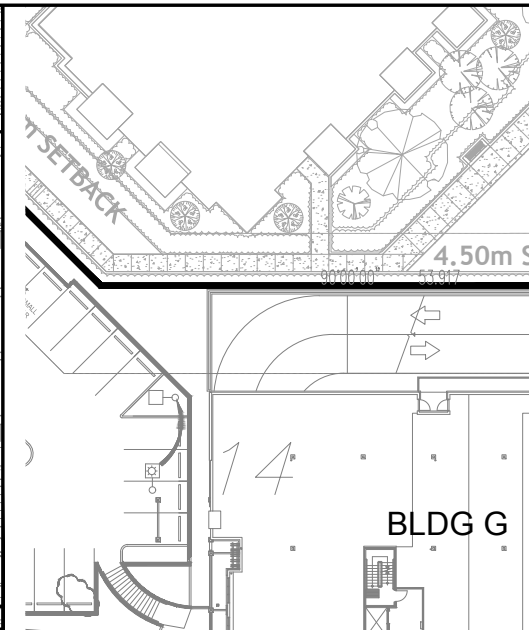
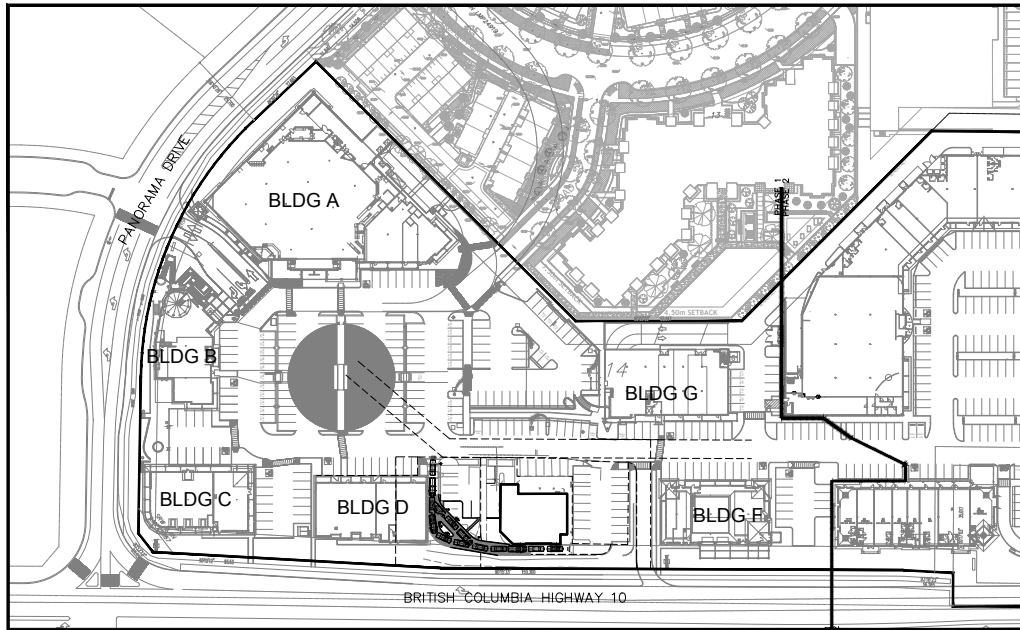
Drawn By: [Signature] Approved: [Signature]


PROJECT  
McDonald's - Panorama  
15145 No.10 Highway,  
Surrey BC

DRAWING: BUILDING SECTIONS

PROJECT NUMBER: 14-021  
DRAWING NUMBER: A3.0

SCALE: 1/4" = 1'-0"  
DATE: DECEMBER 2014





McDonald's Restaurants  
of Canada Ltd.  
4405 5th Street  
Surrey, BC  
V3C 5G6  
Tel: 604-294-2181

COPYRIGHT  
All rights reserved or distribution for any purpose other than authorized  
McDonald's Restaurants of Canada Ltd. McDonald's Restaurants of Canada Ltd.  
Contractor shall verify all information and conditions on the site and the City of Surrey  
prior to the start of construction. Once approved and as advised by the City of Surrey  
before any construction work begins.

IBI GROUP PROFESSIONAL SERVICES (CANADA) INC. COPYRIGHT © 2020

CLIENT

ISSUED FOR TENDER

DATE: 2020/11/13

DESCRIPTION: DRAWING ISSUE RECORD

DETAILS OF DEVELOPMENT	
DATA	REQUIRED / PROPOSED
ZONING	COMPREHENSIVE DEVELOPMENT (CD) ZONE
TOTAL SITE AREA	24,316.8 sq. m (PHASE 1)
TOTAL EXISTING GFA (ALL BLDG)	7,403.1 sq.m
McDONALD'S RESTAURANT GFA	351 sq.m
LOT COVERAGE	11.9% (MAX 50%)
TOTAL PARKING REQUIRED	185 STALLS
TOTAL EXISTING PARKING	1 STALLS
TOTAL PARKING GAIN	1 STALLS
TOTAL PROPOSED PARKING	319 STALLS
PARKING RATIO	4.0 STALLS/1000SF
REGULAR CAR STALL	2.75 m X 5.5 m (DRIVE AISLE 6.7 m)
REGULAR CAR STALL	2.6 m X 5.5 m (DRIVE AISLE 7.0 m)
BARRIER FREE (1 PER 100 STALLS)	3.7 m X 5.5 m
SMALL CAR STALL (MAX 25%)	2.6 m X 2.75 m X 4.9 m
LOADING SPACE (MIN.)	4.0 m X 9.2 m
MANEUVERING AISLE (WIDTH/LOADING SPACE)	7.5 m

NOTES

- ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED.
- THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY McDONALD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
- GC TO COORDINATE AND PROVIDE SERVING LOCATES TO IBI GROUP PRIOR TO CONSTRUCTION START TO CONFIRM THERE ARE NO CONFLICTS WITH PROPOSED.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.

LEGAL DESCRIPTION

PART OF LOT 14, EXCEPT: DEDICATED ROAD ON PLAN LMP34965 & PART ON PLAN LMP42689, SECTION 10 TO TOWNSHIP 22 WESTMINSTER DISTRICT PLAN LMP42616

IBI GROUP  
200-300 James Street North  
Hamilton ON L8L 1Y6 Canada  
Tel: 905-562-1000  
ibigroup.com

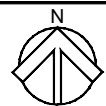
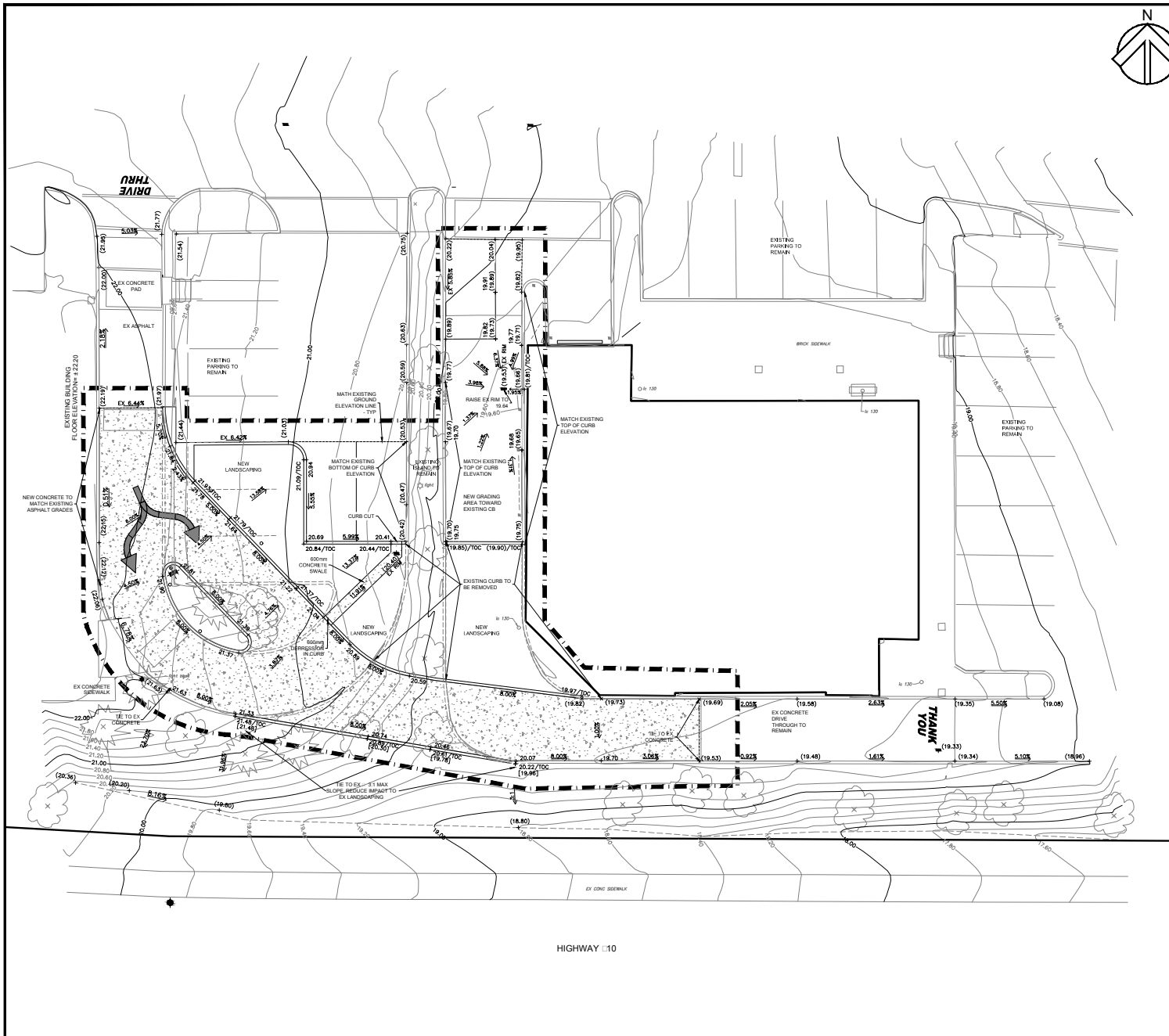
PROJECT: McDonald's 23911-PANORAMA  
15145 No. 10 HIGHWAY, SURREY, BC

PROJECT NO: 120446  
DRAWN BY: SC  
CHKD BY: TW  
SCALE: 1:200  
DATE: 2020/11/13

SHEET TITLE: SITE PLAN

**SP1.0**

SHEET 1 OF 2



**LEGEND**

- CONSTRUCTION BOUNDARY
- CONCRETE CURB
- STORM SEWER MAIN
- SANITARY SEWER MAIN
- WATER MAIN AND VALVE
- GAS LINE
- OVERHEAD POWERLINE
- CATV
- COMMUNICATION
- STREET LIGHT/UNDERGROUND POWERLINE
- MATCH EXISTING GROUND ELEVATION LINE
- PUMPER HYDRANT
- SAMPER CONNECTION
- CATCH BASIN
- GRATED TOP MANHOLE
- PROPOSED POWERPOLE
- EXISTING BIOMETER
- STREET LIGHT
- EXISTING STATUTORY IRON SURVEY POST
- MAIN FLOOR FINISHED ELEVATION
- ENTRANCE DOOR
- HANDICAPPED PARKING
- EXISTING SIGN
- EXISTING GROUND CONTOURS (0.10m INTERVAL)
- DESIGN ELEVATION
- SURFACE CONSTRUCTION
- UNDERGROUND CONSTRUCTION
- DSSP SUBMISSION 3
- DSSP SUBMISSION 2
- DSSP SUBMISSION 1
- DEVELOPMENT PERMIT APPROVAL
- REVISIONS
- ISSUES

**NOTES**

- TOTAL DEVELOPMENT AREA = 0.067ha
- SITE PLAN PROVIDED BY IB GROUP DATED 2020-12-07
- TOPOGRAPHIC SURVEY PROVIDED BY MURRAY AND ASSOCIATES, DATED MAY 24, 2016
- LEGAL INFORMATION SURVEY PROVIDED BY MURRAY AND ASSOCIATES, DATED MAY 24, 2016
- BOUNDARY EMBLEMES DERIVED FROM REGISTERED PLANS AND CERTIFICATES OF TITLE
- ALL CONCRETE AND ASPHALT WORK SHALL BE CONSTRUCTED ACCORDING TO THE CORRECT STREET SPECIFICATION
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS AND REPORT ALL ERRORS OR OMISSIONS TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWING
- IN-ELEVATIONS TO THE EXISTING SURFACE TO BE CONFIRMED PRIOR TO CONSTRUCTION

**CLIENT**

McDonald's Restaurants of Canada Ltd.  
4400 588 Creek Drive  
Burnaby, BC  
V5C 6C6  
Tel: 604-294-2181

**REVISIONS**

No.	DATE	APPR.	DESCRIPTION
1	2020-01-31	NS	DEVELOPMENT PERMIT

**ISSUES**

No.	DATE	DESCRIPTION
G		As-Built Linen Submission
F		Surface Construction
E		Underground Construction
D		DSSP Submission 3
C		DSSP Submission 2
B		DSSP Submission 1
A		Development Permit Approval

**SEALS**


**FRIME CONSULTANT**

**IB GROUP**  
310 Floor - 227 11 Avenue SW  
Calgary AB T2R 1R9 Canada  
Call: 403 270 5000 Fax: 403 270 9910  
ibgroup.com

**PROJECT**

23911-PANORAMA  
15145 NO. 10 HIGHWAY,  
SURREY, BC

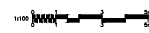
**PROJECT NO:** 120445  
**DRAWN BY:** DH  
**CHKD BY:** NS  
**SCALE:** 1:100  
**DATE:** FEBRUARY 2020

**SHEET TITLE**  
SURFACE AND  
GRADING LAYOUT

**C2.0**

SHEET 2 OF 3

**SITE INFORMATION**  
LOT 14 PLAN LMP 39588  
D.P.#  
ADDRESS: 15145 NO. 10 HIGHWAY, SURREY BC  
LEGAL DESCRIPTION: SECTION 10 TOWNSHIP 2





**Outdoor Planter /  
Jardinière extérieur**

DIMENSIONS: 48.0W (1219.2mm) x 16.0D (406.4mm) x 30.0H (762.0mm)

Code: **MCD-0069**

- (MT) PLATED YELLOW ZINC & POWDERCOAT PRISM GREY SANDTEX # MCR2
- (MT) STAINLESS STEEL 20
- (WD) HIGH WOOD COLLECTION COLOR TOFFEE



(4X) ANCHOR TUBE &  
STAINLESS STEEL THREADED ROD .5 8-13

ARTITALIAGroup Contact Info:

**Reddy Kestler - Bates | Venetia**  
Placement of PO's, New project  
ReddyKestler.ca, 514-684-4832 ext. 204

**ARTITALIAGROUP**  
WWW.ARTITALIAGROUP.COM | 1.855.844.7899

© 2014 & modified  
The content of this drawing is the property of ARTITALI Group. This drawing may not be reproduced or used in any way without the written consent of ARTITALI Group. For more information, please contact ARTITALI Group at 1.855.844.7899.

© 2014 & modified  
Ce contenu de ce dessin est la propriété de ARTITALI Group. Toute réimpression ou utilisation non autorisée sans la permission écrite de ARTITALI Group est formellement interdite. Pour plus d'informations, veuillez contacter ARTITALI Group au 1.855.844.7899.



1 PLANTER  
L2.0 / N.T.S.



KEY PLAN - N.T.S.

CLIENT

McDonald's Restaurants of Canada Ltd.  
4402 538 Creek Drive  
Surrey, BC  
V5C 5C5  
Tel: 604-294-2181

**COPYRIGHT**  
Not to be reproduced or distributed for any purpose other than authorized by IBI Group or Venetia. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify the magnitude for all dimensions and conditions on the job and IBI Group will be liable for any errors that result from the drawings and conditions shown on the drawing. Shop drawings that are submitted to IBI Group for review shall be prepared by the contractor.

**COPYRIGHT © 2021**  
IBI GROUP PROJECTS, DESIGN & CONSULTING INC.

NO.	DATE	DESCRIPTION
1	2021.06.07	FOR SUBMISSION
2	2021.06.07	DESCRIPTION

**DRAWING ISSUE RECORD**

SEALS

SUB-CONSULTANT

PRIME CONSULTANT

**IBI GROUP**  
200-500 James Street North  
Hamilton ON L8L 1H6 Canada  
WE 905.546.1810  
ibigroup.com

PROJECT

**McDONALD'S  
23911-PANORAMA**  
15145 No. 10 HIGHWAY, SURREY, BC

PROJECT NO: 120445  
DRAWN BY: CL  
CHK'D BY: TW  
SCALE: N.T.S.  
DATE: 2109.06.07

SHEET TITLE

**LANDSCAPE  
DETAILS**

**L2.0**

23911 Panorama, Surrey, BC PGL File No.: 0585-06.01  
Date: February 25, 2021

## Tree Preservation Summary

**Surrey Project No:**

**Address:** 23911 Panorama, Surrey, BC

**Registered Arborist:** Keven Goodearle, B.Sc., R.P.Bio. (PN-6291A)

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	32
<b>Protected Trees to be Removed</b>	4
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	28
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{0} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{4} \times \text{two (2)} = 8</math></li> </ul>	8
<b>Replacement Trees Proposed</b>	8
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	N/A

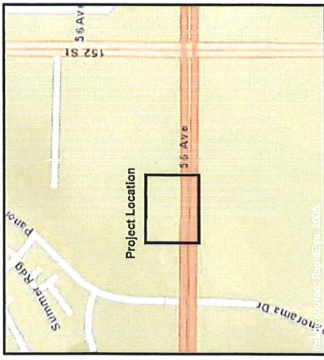
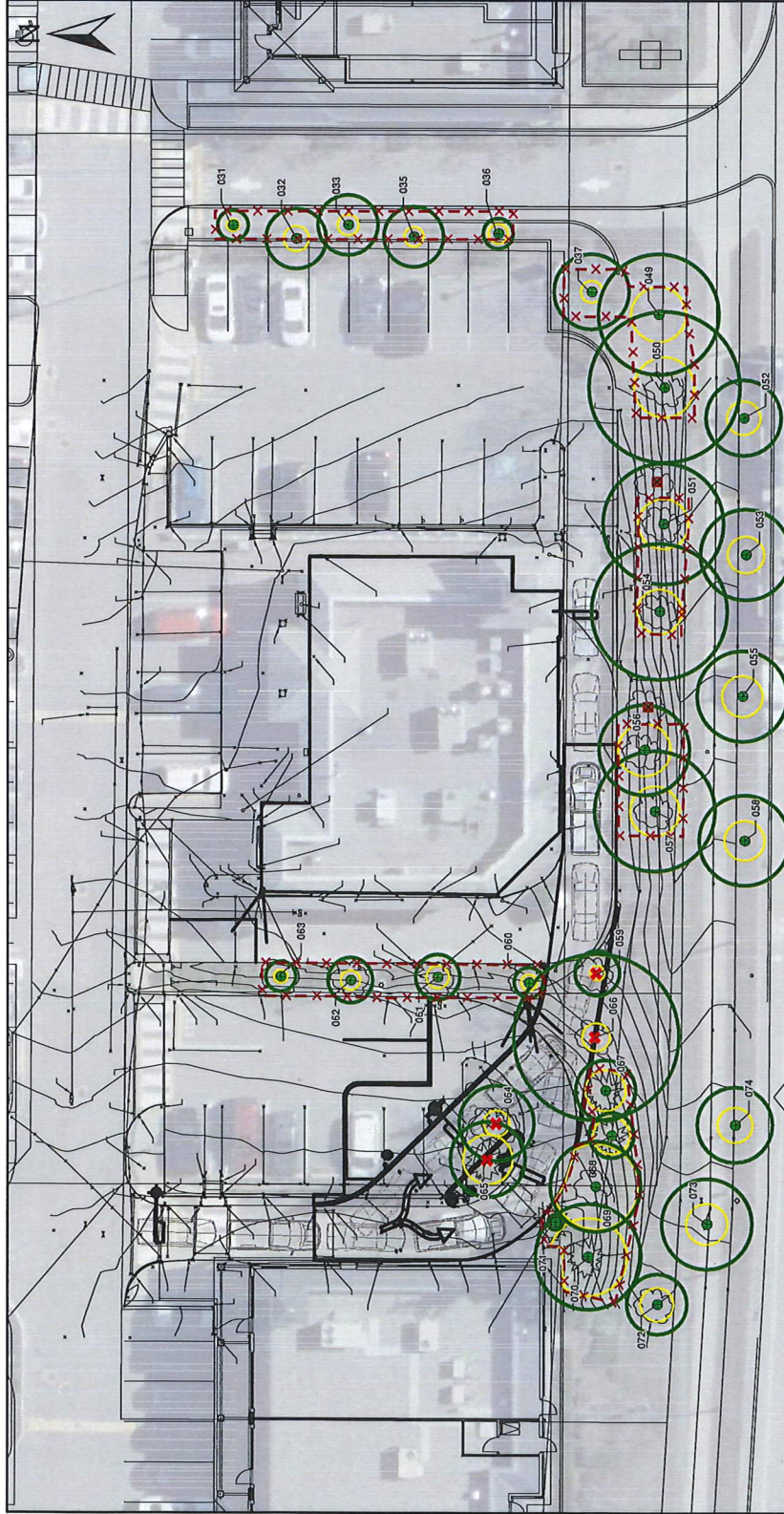
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{0} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{0} \times \text{two (2)} = 0</math></li> </ul>	0
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	0

Summary, report and plan prepared and submitted by:

  
\_\_\_\_\_  
(Signature of Arborist)

February 25, 2021  
\_\_\_\_\_  
Date





### Tree Retention Plan

- Trees
- Stump
- ✕ To be Removed
- - - - - Tree Protection Fencing
- Existing Elements
- Proposed New Elements
- Crown Spread Radius (Symbol size - CSR in metres)
- Critical Root Zone (Symbol size - CRZ in metres)

solid barrier (4' x 4')  
minimum outside of branches (drip-line)  
plastic mesh covering

Note: no storage of building materials within or against protection barrier

Scale: 0 to 15 Metres

Coordinates: NAD 1983 UTM Zone 10N

**PGL**  
ENVIRONMENTAL CONSULTANTS

Date: January 7, 2021  
Map ID: 0585-06-01\_002  
Drawn by: RMS  
File Number: 0585-06-01

Tag #	Tree Code	dbh (cm)	Estimated Height (m)	Approximate Crown Spread (m)	Critical Root Zone (m)	Action
031	Mf	6.6	3	1	0.4	Retain
032	Mf	13.9	5	2	0.8	Retain
033	Mf	11.7	4	2	0.7	Retain
035	Mf	10.9	4	2	0.7	Retain
036	Mf	9.3	4	1	0.6	Retain
037	Mf	12.2	5.5	2.5	0.7	Retain
049	Po	30.3	11	4	1.8	Retain
050	Mn	35.2	11	5	2.0	Retain
051	Mn	27.7	11	4	1.7	Retain
052	Ur	18.4	7	2.5	1.1	Retain
053	Ur	20.2	9	3	1.2	Retain
054	Mn	24.6	10	4.5	1.5	Retain
055	M	22.5	9	3	1.4	Retain
056	Or	29.1	12	3	1.8	Retain
057	Mn	27.4	10	4	1.7	Retain
058	M	22	8	3	1.3	Retain
059	Mia	8.1	6	1.5	0.5	Remove
060	Mf	9.1	4	1	0.5	Retain
061	Mf	12.7	5	1.5	0.8	Retain
062	Mf	11	5	1.5	0.7	Retain
063	Mf	7.3	4	1	0.4	Retain
064	Mf	14.1	7	2.5	0.8	Remove
065	Pb	27.4	12	2.5	1.7	Remove
066	Mia	15.5, 14.6, 6.9, 8.7, 14.8	9	5.5	0.9	Remove
067	Pb	22.6	12	2	1.4	Retain
068	Pb	20.4	11	1.5	1.2	Retain
069	Or	46.6	14	3	2.8	Retain
070	Yo	45.1	15	3.5	2.6	Retain
071	Ce	5.5, 6.3, 9.1	3.5	0.5	0.6	Retain
072	Po	18.5	8	2	1.1	Retain
073	M	22.8	8	3	1.4	Retain
074	M	19.4	8	2.5	1.2	Retain

Ce - Thuja occidentalis  
M - Acer sp.  
Mg - Magnolia sp.  
MJa - Acer platanoides  
Mn - Acer platanoides  
Or - Metasequoia glyptostroboides  
Pb - Picea pungens  
Po - Platanus occidentalis  
Ug - Ulmus glabra  
Yo - Cedrus deodora

Source: Imagery - Open Government License - City of Surrey (image date: 2019)

Figure 2

## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of eight (8) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.
2	To allow four (3) fascia signs to be installed on the (east) building facade and to allow three (3) fascia signs to be installed on the (south) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are consistent with other drive-thru restaurants in the City and are under the maximum allowable sign area under the Sign By-law.