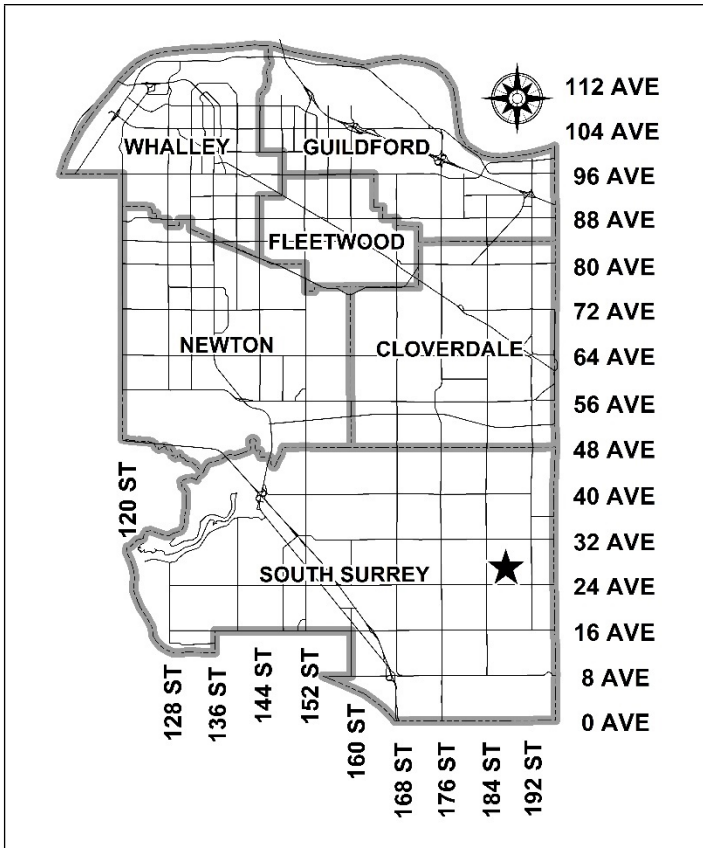


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7920-0133-00

Planning Report Date: April 26, 2021



PROPOSAL:

- **Development Permit**

to permit the development of four industrial buildings on four industrial lots.

LOCATION:

- 18660 - 28 Avenue
- 2775 - 188 Street
- 2727 - 188 Street
- 2635 - 188 Street

ZONING:

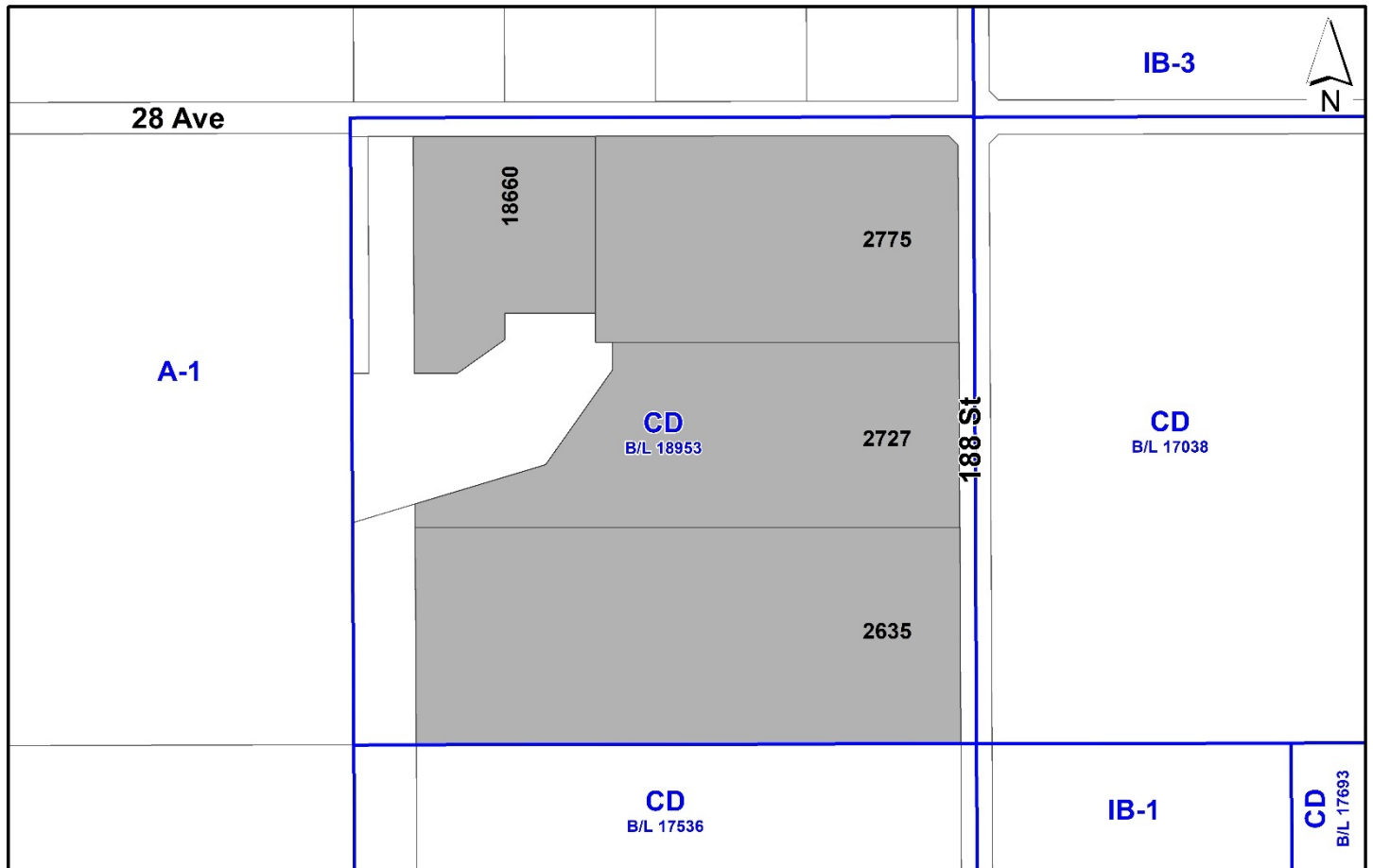
CD (Bylaw No. 18953)

OCP DESIGNATION:

Mixed Employment

LAP DESIGNATION:

Technology Park or Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The four proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The applicant complies with the "Mixed Employment" designation in the Official Community Plan and with the "Business Park" designation in the Campbell Heights Local Area Plan.
- The developable area of the site is configured to respect the riparian area along the western side of the parcel which was previously conveyed to the City under the original application (7916-0068-00), which includes significant tree retention.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7920-0133-00 generally in accordance with the attached drawings (Appendix I).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (d) registration of access easements to ensure access to the proposed shared parking and amenity facilities within the development.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant	Technology Park or Business Park	CD Bylaw No.
North (Across 28 Ave):	Forested land in Keery Park	Open Space Corridors/ Buffers	A-1
East (Across 188 Street):	Existing 39,160 square metres warehouse and distribution facility (Approved under Development Application No. 7907-0395-00)	Technology Park or Business Park	CD Bylaw No. 17038
South:	Under construction for the development of 8,082 square metre manufacturing facility (Approved under Development Application No. 7914-0036-00)	Mixed Employment/ Open Space Corridors/ Buffers	CD Bylaw No. 17536
West (Across):	Agricultural land, within the Agriculture Land Reserve (ALR)	Agriculture in the OCP	A-1

Context & Background

- The subject property is 15.3 hectares (37.8 acres) in size. It is located at the southwest corner of the intersection of 28 Avenue and 188 Street in the Campbell Heights area and is designated "Mixed Employment" in the Official Community Plan (OCP).
- The site is located along the Western edge of the Campbell Heights Plan area. Lands to the west are outside Campbell Heights and are within the Agricultural Land Reserve (ALR).
- The western half of the site is heavily forested and contains a Natural Class A Watercourse, Dall Brook. A Class B Watercourse is located in the road right-of-way for 28 Avenue.
- In July 2019, the site was rezoned from "General Agriculture Zone (A-1)" to "Comprehensive Development Zone (CD)" under Bylaw No. 18953 (Application No. 7916-0068-00) and subsequently subdivided into four industrial lots. A General Development Permit (DP) for form and character and a Development Permit for Sensitive Ecosystem and Hazards Land was also established.
- The applicant is proposing a detailed Development Permit in order to allow the development of a multi-tenant industrial buildings on each of the four industrial lots.

Referrals

Engineering:	The Engineering Department has no objection to the project as outlined.
Parks, Recreation & Culture:	The proposed retaining wall is to be setback 4.5 metres from the shared property line on the subject site, with native species landscaping provided in front of the retaining wall. A black picket fence is to be installed at the property line bordering the existing park.

DEVELOPMENT PROPOSAL

Transportation Considerations

- Each lot provides two or three accesses to each of the proposed buildings. Building A provides two accesses from 28 Avenue and one access from 188 Street, Building B provides two accesses from 28 Avenue and Buildings C and D both provides two accesses each from 188 Street.
- A main entrance for passenger vehicle traffic and an access to facilitate both trucks and passenger vehicular traffic is provided for each building.

- The proposal includes a total of 863 parking stalls, which exceeds the parking requirements of the Zoning By-law for light impact industrial uses (825 spaces required).
- A minimum of 10% of the floor area is to be allocated to ground floor office or mezzanine space. The applicants are proposing 16% of office space for Building A, 30% of office space for Building B, 18% of office space for Building C and 7% of office space for Building D. As the applicants are providing an additional 38 spaces than required per the zoning bylaw, staff do not have concerns about 7% office space allocated for Building D. As such, a Restrictive Covenant for parking will not be required for this application.
- The proposed truck bays are located internally away from public streets along 28 Avenue and 188 Street. The truck bays will be screened by the proposed buildings, fencing, and landscaping in accordance with the requirements of the Zoning By-law.
- A shared parking agreement is being provided for these four industrial lots. A Restrictive Covenant and blanket Cross Access Easement will be provided to ensure the shared parking is functional for this site.

Sustainability Considerations

- The applicant has met the majority of the sustainable development criteria, as indicated in the Sustainable Development Checklist. The Climate Adaptation Strategy policy suggests a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 0.75 be provided.
- The purpose of a high-albedo roof is to reduce the internal building temperature by reflecting sunlight, and to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.
- The applicant is proposing a High Albedo Roof with a white roof membrane, mechanically fastened, which provides an SRI value of greater than 0.75.
- The proposed roofing system meets the Climate Adaptation Strategy policy objective for a green roof or a high-albedo roof.

Natural Area Considerations

- As part of the original application (7916-0068-00), approximately 2.57 hectares (6.34 acres) of riparian land, equivalent to 16.7% of the total site area was conveyed to the City for the purposes of conservation.
- This riparian area is being conserved as part of the Detailed Development Permit. Trees within the riparian area are being retained, except for those that are in hazardous condition.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The development proposes a gross floor area of each building as follows:
 - Building A: 191,188 square feet
 - Building B: 81,342 square feet
 - Building C: 202,510 square feet
 - building D: 269,374 square feet
- The four buildings represent a total net floor area (FAR) of 0.55, which is less than the 1.0 FAR allowed under the CD Zone.
- The façades consists of simple concrete tilt-up panels and includes glazing and a canopy to help define the main entrances into each building. The colour scheme utilizes tones of grey and white. The proposed buildings incorporate high quality materials and design.
- Overall, the buildings have a modern linear appearance. Architectural emphasis is placed on the main entrances to the units with the use of glazing and articulation to provide visual interest. The units will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED) principles.
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD Zone, including for floor area, lot coverage, building height and setbacks.

Landscaping

- Substantial landscaping and a bioswale feature are proposed, which includes 7.5 m wide landscaped strips along 188 Street and 28 Avenue. The proposed landscaping will consist of Gary Oak, Katsura Tree, European Hornbeam, Green Vase Zelkova, Japanese Flowering Cherry, Bigleaf Maple, Sweet Gum, Autumn Applause Ash, Littleleaf Fantasy Maple, Three Flowered Maple, Western Hemlock, White Spruce, Nootka Cypress, as well as a variety of shrubs and grass covers.
- The proposed stormwater management plan consisting of bioswales demonstrates the requirement in Campbell Heights North to accommodate on-site storm water in a sustainable manner. Detailed design of these bioswales will be undertaken as part of the servicing review by the Engineering Department.

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	162	162	0
Cottonwood	12	12	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	31	31	0
Decid.	1	1	0
Bitter Cherry	2	2	0
Silver Birch	2	2	0
Paper Birch	70	70	0
Western Flowering Dogwood	1	1	0
Coniferous Trees			
Douglas-Fir	396	396	0
Grand Fir	16	16	0
Lawson Cypress	1	1	0
Sitka Spruce	1	1	0
Western Hemlock	9	9	0
Western Redcedar	329	329	0
Total (excluding Alder and Cottonwood Trees)	858	858	0
Additional Trees in the proposed Riparian Area	133	8	125
Total Replacement Trees Proposed (excluding Trees in Open Space & Boulevard Street Trees)		344	
Total Retained and Replacement Trees		344	
Contribution to the Green City Program		\$618,400	

- The Arborist Assessment states that there is a total of 858 mature trees on the site, excluding Alder and Cottonwood trees. 174 existing trees, approximately 18 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees, outside of the riparian area, can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- Table 1 includes an additional 133 protected trees that are located within the riparian area. The trees within the riparian area will be retained, except where removal is required due to hazardous conditions. Approximately 8 trees are proposed for removal which will be reviewed in detail prior to Development Permit issuance.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 1,890 replacement trees on the site. Since only 344 replacement trees can be accommodated on the site, the deficit of 1,546 replacement trees will require a cash-in-lieu payment of \$618,400, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Gary Oak, Katsura Tree, European Hornbeam, Green Vase Zelkova, Japanese Flowering Cherry, Bigleaf Maple, Sweet Gum, Autumn Applause Ash, Littleleaf Fantasy Maple, Three Flowered Maple, Western Hemlock, White Spruce, Nootka Cypress, as well as a variety of shrubs and grass covers.
- In summary, no trees are proposed to be retained or replaced on the site with a contribution of \$618,400 to the Green City Program. 125 trees are proposed to be retained within the adjacent riparian area.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Memo
Appendix III.	Tree Preservation Summary
Appendix IV.	Tree Management Plan

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

HS/cm



BUILDING A - VIEW TO THE SOUTH WEST



BUILDING B - VIEW TO THE SOUTH WEST

PROPOSED BUILDING for:

SUNMARK

INDUSTRIAL CAMPUS

ADDRESS: 18718 28 AVE, SURREY, BC
 LEGAL ADDRESS: SECTION 21 TOWNSHIP 7 NWD PART E 1/2 OF N 1/2 OF SW 1/4,
 EXC: FIRSTLY: N 33'; SECONDLY: E 33'.
 D.P. FILE NO. 7920-0133-00

CHIP BARRETT ARCHITECT
 110 - 11600 72 AVENUE, SUITE 100, V4A 1A4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ARDERSFORD, B.C., V2B 3J9
 TEL: (604) 607-9555 EMAIL: DFB@DFORCE.COM

This drawing is an integral part of approval in the form of a permit issued by the City of Surrey. It is the responsibility of the applicant to ensure that the drawing is used only for the purposes for which it was issued. Any other use of this drawing without the written consent of the City of Surrey is prohibited.

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2	DEC 23 20	RESPONSE TO MARKING COMMENT
1	DEC 11 20	CLIENT REVIEW
0	AUG 27 20	DRG COMMENT RESPONSE
	JUL 20 20	ISSUED FOR CP
	JUN 05 20	ISSUED FOR CP
	DEC 18 19	ISSUED FOR CLIENT REVIEW
	DEC 06 19	ISSUED FOR CLIENT REVIEW
NO.	DATE	DESCRIPTION

ARCHITECTURAL DRAWING LIST

COVER SHEET 1	A-0
COVER SHEET 2	A-0.1
OVERALL SITE PLAN	A-1
BUILDING A SITE PLAN	A-1.1
BUILDING A SITE PLAN WITH CIVIL BASE	A-1.1a
BUILDING B SITE PLAN	A-1.2
BUILDING B SITE PLAN WITH CIVIL BASE	A-1.2a
BUILDING C SITE PLAN	A-1.3
BUILDING C SITE PLAN WITH CIVIL BASE	A-1.3a
BUILDING D SITE PLAN	A-1.4
BUILDING D SITE PLAN WITH CIVIL BASE	A-1.4a
BASE PLAN	A-1.5
STREETSCAPE AND SITE SECTIONS	A-1.6
SITE DETAILS	A-1.7
BUILDING A FLOOR PLANS	A2-2.0
BUILDING A ROOF PLAN	A1-3.0
BUILDING A COLOURED ELEVATIONS	A1-4.0
BUILDING B FLOOR PLANS	A2-2.0
BUILDING B ROOF PLAN	A2-3.0
BUILDING B COLOURED ELEVATIONS	A2-4.0
BUILDING C FLOOR PLANS	A3-2.0
BUILDING C ROOF PLAN	A3-3.0
BUILDING C COLOURED ELEVATIONS	A3-4.0
BUILDING D FLOOR PLANS	A4-2.0
BUILDING D ROOF PLAN	A4-3.0
BUILDING D COLOURED ELEVATIONS	A4-4.0

Sunmark
 #108-12827 - 78TH AVENUE
 SURREY, BC, T9W 2Y3
 PHONE: (604) 597-7888
 INFO@SUNMARKDESIGNPOINTS.COM

PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR
SUNMARK
 INDUSTRIAL CAMPUS
 ADDRESS: 28TH AVE & 18TH ST SURREY
 DRAWING

COVERSHEET

SEAL	DATE	DRAWN
	DESIGNED	BY
	CHECKED	BY
	PLOT DATE	
PROJECT - DRAWING NUMBER		REV.
A-0		8



BUILDING C - VIEW TO THE NORTH WEST



BUILDING D - VIEW TO THE SOUTH WEST

PROPOSED BUILDING for:

SUNMARK

INDUSTRIAL CAMPUS

ADDRESS: 18718 28 AVE, SURREY, BC
 LEGAL ADDRESS: SECTION 21 TOWNSHIP 7 NWD PART E 1/2 OF N 1/2 OF SW 1/4,
 EXC: FIRSTLY: N 33'; SECONDLY: E 33'.
 D.P. FILE NO. 7920-0133-00

CHIP BARRETT ARCHITECT
 P.L.L.C.
 2625A ALLIANCE STREET, ABROTHFORD, B.C., V2S 3J9
 TEL: (604) 607-9555 EMAIL: DARR@CBARRETT.COM

D.FORCE DESIGN INC.
 IN ASSOCIATION WITH
 2625A ALLIANCE STREET, ABROTHFORD, B.C., V2S 3J9
 TEL: (604) 607-9555 EMAIL: DARR@DFORCE.COM

This drawing is an instrument of service in the Province of British Columbia. It is the property of the Architect and shall remain the property of the Architect. It is to be used only for the project and site identified on the drawing. It is not to be used for any other project or site without the written consent of the Architect.

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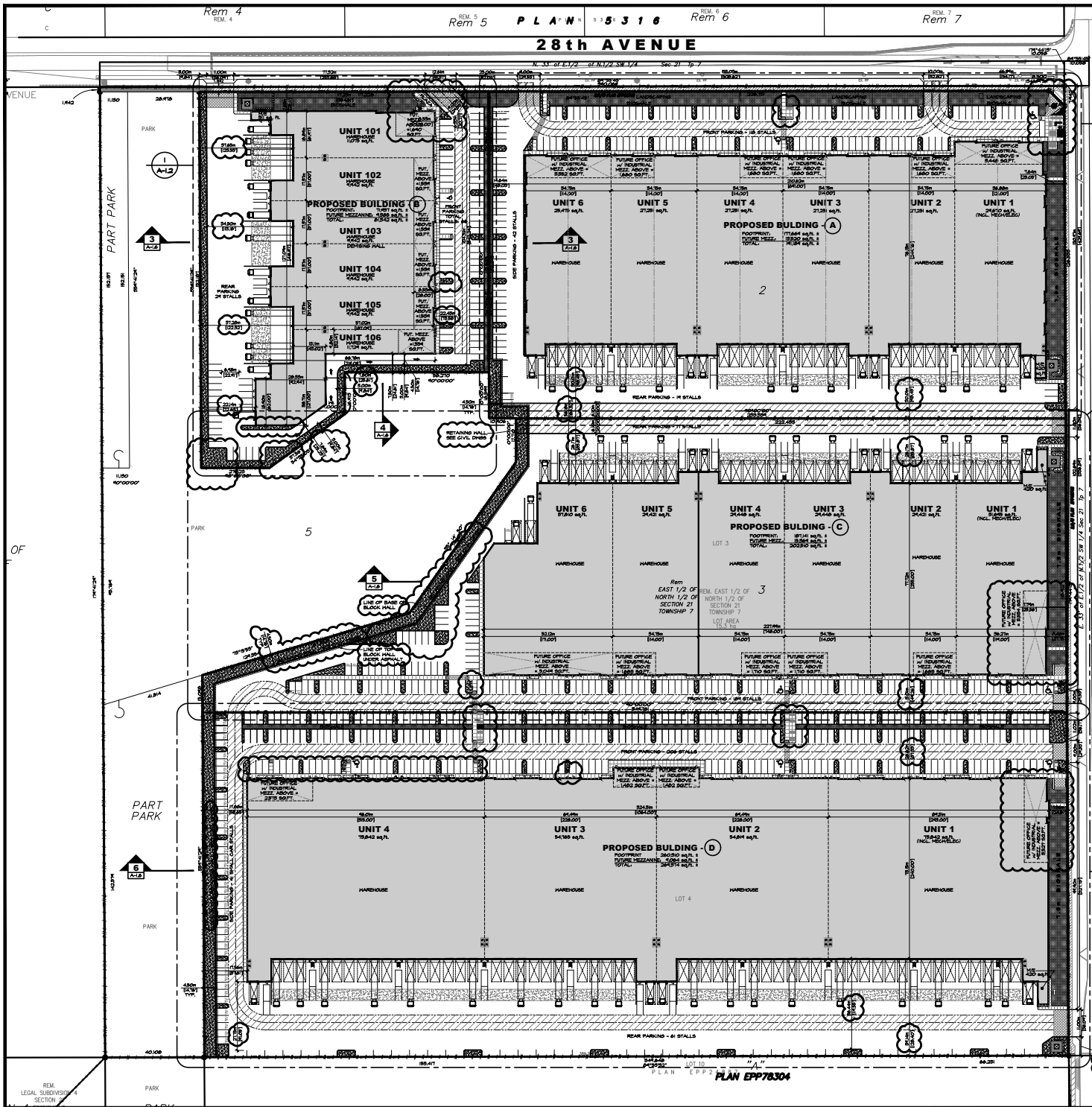
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BUILDING D SITE PLAN WITH CIVIL BASE	A-1-4a
BASE PLAN	A-1-5
STREETSCAPE AND SITE SECTIONS	A-1-6
SITE DETAILS	A-1-7
BUILDING A FLOOR PLANS	A-2-0
BUILDING A COLOURED ELEVATIONS	A-1-4-0
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BUILDING C COLOURED ELEVATIONS	A3-4-0
BUILDING D FLOOR PLANS	A4-2-0
BUILDING D ROOF PLAN	A4-3-0
BUILDING D COLOURED ELEVATIONS	A4-4-0

Sunmark
 #100-1287, 71TH AVENUE
 SURREY, BC V3W 0J3
 PHONE: 604 947 7858
 WWW.SUNMARKBUILDINGS.COM

PROJECT: OFFICE/WAREHOUSE COMPLEX FOR INDUSTRIAL CAMPUS
 ADDRESS: 28TH AVE & 36TH ST SURREY
 DRAWING

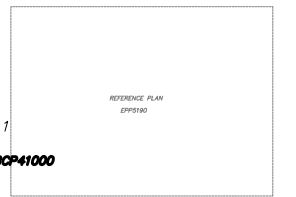
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CHECKED	C.B.		
DATE	REV.		
FEB.23.21			
PROJECT - DRAWING NUMBER			
A-0.1			8



Sunmark Industrial Campus - Major Site Data

On-Site Use	Building A	Building B	Building C	Building D	Overall Campus
Site Area	161,884 sq-ft	34,632 sq-ft	124,942 sq-ft	114,583 sq-ft	337,041
Site Coverage (Net) w/ 10% YIELD	55.5%	45.0%	54.6%	49.7%	51.2%
Building	177,969 sq-ft	71,267 sq-ft	187,144 sq-ft	190,510 sq-ft	626,890
Upper Floor Area	15,510 sq-ft	0,380 sq-ft	11,110 sq-ft	8,054 sq-ft	45,054
Parking	38,448 sq-ft	48,265 sq-ft	264,539 sq-ft	268,275 sq-ft	720,527
Industrial	184,190 sq-ft	62,877 sq-ft	174,777 sq-ft	213,268 sq-ft	635,112
Office (Net Floor)	15,510 sq-ft	0,380 sq-ft	11,110 sq-ft	8,054 sq-ft	45,054
Office Floor Area	15,510 sq-ft	0,380 sq-ft	11,110 sq-ft	8,054 sq-ft	45,054
Office Floor Coverage	9.6%	1.1%	9.7%	7.0%	8.6%
Building Shell Required	1,674 sq-ft	1,074 sq-ft	1,074 sq-ft	1,074 sq-ft	5,900
Office - 1100 sq-ft per 1000 sq-ft per	250	250	250	250	250
Office Floor Coverage	188	93	229	112	184
Small car stalls allowed	52	51	52	52	207



CHIP BARETT ARCHITECT
 110-11055 228th Street, Surrey, BC V3R 5V6
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 2025A Alliance Street, Abbotsford, BC, V2S 3J9
 TEL: (604) 907-7955 FAX: (604) 907-7956

PROJECT DEVELOPER
Sunmark
 #101-1817, 18th Avenue
 Surrey, BC V3R 2V9
 PHONE: (604) 877-7700
 WWW.SUNMARKDEVELOPMENTS.COM
 PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR
SUNMARK INDUSTRIAL CAMPUS
 ADDRESS: 28th Ave & 188th St Surrey
 DRAWING
OVERALL SITE PLAN
 SCALE: 1" = 50'-0"

NO.	DATE	DESCRIPTION
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2	DEC 19 18	ISSUED FOR CLIENT REVIEW
3	DEC 19 18	ISSUED FOR CLIENT REVIEW
4	DEC 19 18	ISSUED FOR CLIENT REVIEW
5	APR 17 19	ISSUED FOR CONSULTANT USE
6	MAY 20 19	ISSUED FOR CONSULTANT USE
7	MAY 20 19	ISSUED FOR CONSULTANT USE
8	JUN 20 19	ISSUED FOR CP
9	JUL 20 19	RE-ISSUED FOR CP
10	AUG 20 19	ERIC COMPANY RESPONSE
11	DEC 08 19	CONSULTANT USE
12	DEC 11 19	CLIENT REVIEW
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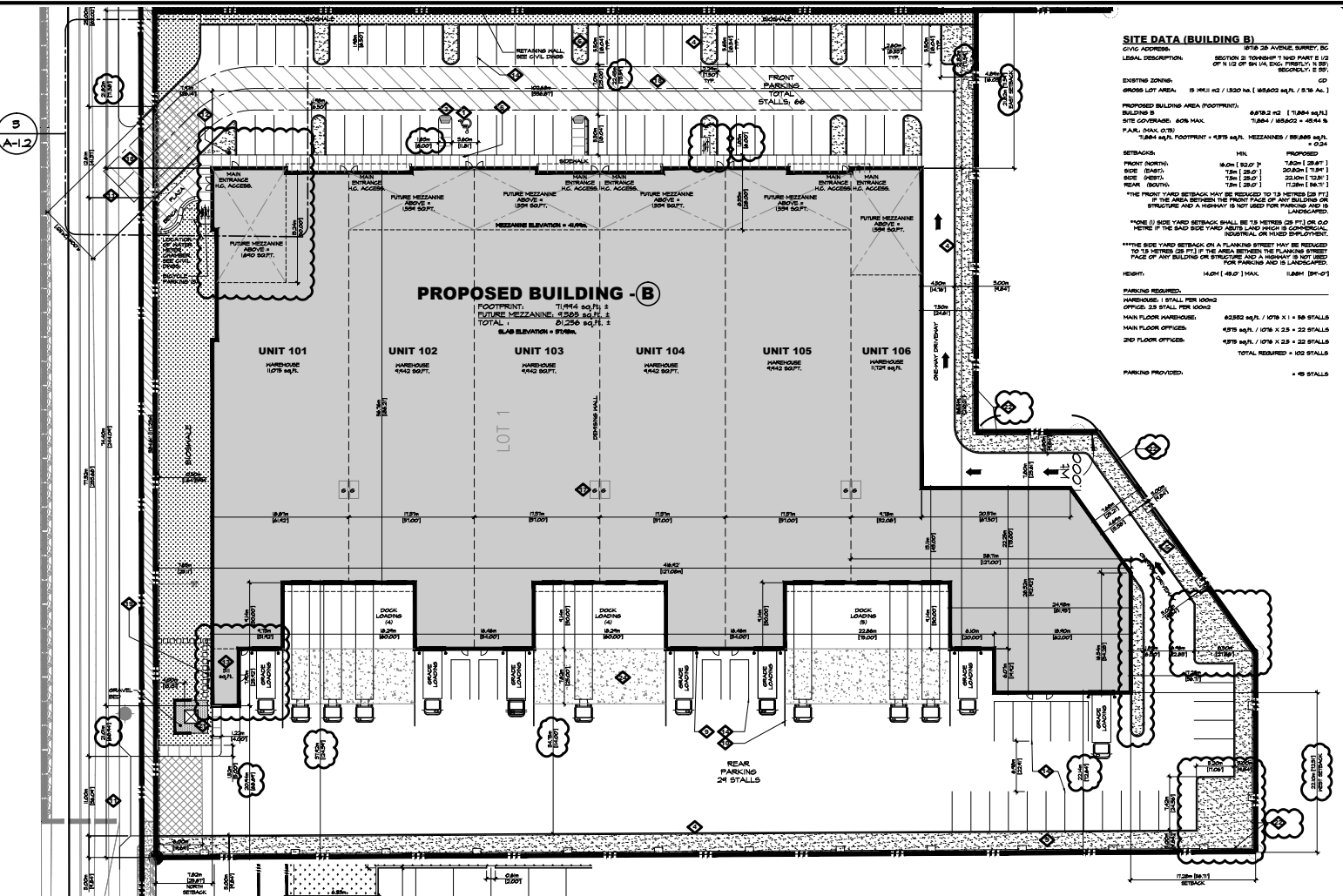
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GENERAL NOTES:

- SERVICES SHOWN ARE APPROXIMATE ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS.
- ASPHALT & SUBBASE DESIGN PER SOILS REPORT.
- CONTRACTOR TO PROVIDE FINISH & WALL SURVEYS BY REGISTERED A.L.S. DURING CONSTRUCTION SURVEY CORRESPOND TO CITY BUILDING DEPT.
- SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION, 4 HOSE BIBBS.
- SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
- ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODES. ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
- SUBCONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUFFICIENT DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTS.
- THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER'S MANUFACTURER.
- ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION, ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.
- VAPOUR BARRIERS SHALL BE CONTINUOUS AND REPAIRED SO THAT ALL JOINTS ARE SEALED OR LAPPED 50 MM AND GASKET AT PENETRATIONS, TURNING OR FLOORING. ALL SEALS THROUGH VAPOUR BARRIERS SHALL BE MADE AT THE INSTALLATION OF ELECTRICAL BOXES OR FIXTURES SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.
- THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
- THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
- ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
- THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL MAJOR BUILDING COMPONENTS THAT SHALL BE READY IN TIME FOR ADJUSTIVE CHECKING BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE.
- ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF PROCEEDING.
- SAMPLES OF ALL INTRODUCED PRODUCTS, COLORS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCED TO ALLOW ADEQUATE TIME FOR REVIEW.
- ROOF TO BE CONSTRUCTED IN CONFORMANCE WITH A.S.C.A. OR EQUAL METHODS AND PRACTICES. PROVIDE ROOF PARALLEL TO ADJACENT ARCHITECT/ENGINEER.
- PROVIDE SEALED SHOP DRAWINGS FOR ALL DOORS, WINDOWS/SLIDING GUARDRAILS, HANDRAILS, STAIRS, RATED ASSEMBLIES (E. JOINTS), FIRE STOPPERS (IF APPLICABLE).
- ALL PROPERTY LINE DIMENSIONS & BEARING ANALYSIS ARE PROVIDED & ARE REQUIRED TO BE CONFIRMED BY SURVEY.
- ROOF SYSTEM TO BE SUBMITTED BY 3RD PARTY INSPECTOR DURING CONSTRUCTION. PROVIDE DOCUMENTATION TO ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR SHOP PARTY INSPECTION OF ALL WORK, FINISHING AND THERMAL CONSTRUCTION. PROVIDE DOCUMENTATION TO ARCHITECT.

NOTE: ALL GRATE AND OFFERED GRADING TO BE CONFIRMED WITH CIVIL ENGINEER.
NOTE: ALL GARBAGE STORED INSIDE BUILDING.
NOTE: TO PRESTRESSING SHOP PROVIDED.



SITE DATA (BUILDING B)
 2102 28th AVENUE, SURVEY BC
 LEGAL DESCRIPTION: SECTION 21 TOWNSHIP 1 1/2D PART E 1/2 OF 1/2 OF 24th AL. E.C. DIST. 12
 SECTION 21, 201

EXISTING ZONING: CP
 GROSS LOT AREA: 18,941 sq. ft. / 1,530 sq. m. (88,600 sq. ft. / 8,150 sq. m.)

HIGHEST BUILDING AREA FOOTPRINT: 6,819.2 sq. ft. (1,984 sq. m.)
 BUILDING B: 11,914 sq. ft. (1,384 sq. m.)
 SITE COVERAGE: 62% MAX: 7,984 / 68,600 = 11.64 %
 PARKING: 24 STALLS
 11,914 sq. ft. FOOTPRINT + 1,978 sq. ft. MEZZANINES / 68,600 sq. ft. = 17.24 %

SETBACKS: MIN. PROPOSED
 FRONT (SOUTH): 18.0m (59'0") 17.0m (56'0")
 SIDE (EAST): 17.5m (57'7") 20.0m (65'6")
 SIDE (WEST): 17.5m (57'7") 22.0m (72'0")
 REAR (NORTH): 17.5m (57'7") (7.23m (23'7"))
 THE FRONT YARD SETBACK MAY BE REDUCED TO 18 METRES (59 FT.) IF THE AREA BETWEEN THE FRONT FACE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

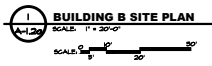
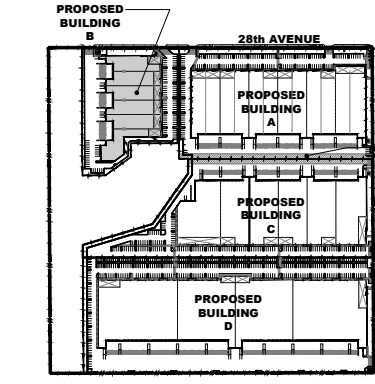
*SIDE (E) SIDE YARD SETBACK SHALL BE 18 METRES (59 FT.) OR 0.0 METRES IF THE SAID SIDE YARD SETBACK LAND USE IS COMMERCIAL, INDUSTRIAL OR HEAVY EMPLOYMENT.

*SIDE (W) SIDE YARD SETBACK ON A PLANNING STREET MAY BE REDUCED TO 15 METRES (50 FT.) IF THE AREA BETWEEN THE FRONT FACE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

HEIGHT: 14.0M (46'0") MAX. 13.8M (45'0")

PARKING PROVIDED: 102 STALLS

PARKING REQUIRED:
 WAREHOUSE: 12 STALL PER 1,000 SQ. FT. OFFICE: 23 STALL PER 1,000 SQ. FT.
 MAIN FLOOR WAREHOUSE: 82,932 sq.ft. / 1,078 x 1 = 80 STALLS
 MAIN FLOOR OFFICES: 4,978 sq.ft. / 1,078 x 23 = 23 STALLS
 2ND FLOOR OFFICES: 4,978 sq.ft. / 1,078 x 23 = 23 STALLS
 TOTAL REQUIRED = 102 STALLS



KEYED NOTE LEGEND

- INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT PER DETAIL 20A-1.1
- CONCRETE SIDEWALK (P) ABOVE ADJACENT ASPHALT. BROOM FINISH
- 3/8" SIDEWALK LUTERON ON MIN 5/8" CLEAR @ TOP OF LUTERON. SEE DETAIL 10A-1.1
- 5/8" EXTRUDED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING. PER DETAIL 3A
- LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS
- POST MOUNTED H.C. SIGN PER DETAIL 6A-1.1
- BUILDING MOUNTED H.C. SIGN PER DETAIL 6A-X
- LINE OF CANOPY ABOVE. SEE PLANS AND DETAILS FOR MORE INFORMATION
- 6" X 1/4" THK CONIC FILLED STEEL BOLLARD PAINTED COLOUR C3 @ EA SIDE OF GRADE LEVEL. SEE DETAIL 71P @ ALL GRADE CROSSINGS. SEE DETAIL 6A-1.1
- REINFORCING WALL UNPAINTED 208.42 CIP REINFORCING PER DETAIL GUARDRAILS REQUIRED UNTIL THE CROSSING SPEED IS LESS THAN 7.0' (208MM)
- ASPHALT CROSSING TO MANIPAL SPIES
- SWAEMSE CONNECTION. SEE MECHANICAL DRAWINGS
- ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
- 4" PAINT STRIPS, TYPICAL
- TRAVEL DISTANCE (HYDRANT TO SWAEMSE) (147' (50M) MAX CONFIRM ON SITE)
- GARBAGE ENCLOSURE. PER DETAIL 10A-1.1
- GARBAGE LOCATION INSIDE BUILDING, TYPICAL
- HATCHED AREA INDICATES FIRE TRUCK ACCESS ROUTE. DESIGN REQUIREMENTS PER SOILS REPORT. HAVING A CLEAR WIDTH NOT LESS THAN 10'. HAVING AN OVERHEAD CLEARANCE NOT LESS THAN 10'. HAVING A MINIMUM OF 3' CLEARANCE TO THE SIDE. HAVING A MINIMUM OF 3' CLEARANCE TO THE SIDE. HAVING A MINIMUM OF 3' CLEARANCE TO THE SIDE. HAVING A MINIMUM OF 3' CLEARANCE TO THE SIDE.

SEE DETAIL 10A-1.1 FOR PROTECTIVE DEVICES
 SEE DETAIL 10A-1.1 FOR PROTECTIVE DEVICES
 PAINT ON ASPHALT - PEDESTRIAN WALKWAY
 LANDSCAPING PER DETAIL 10A-1.1
 REINFORCED CONCRETE DOLLY PAD. SEE STRUCTURAL FOR THICKNESS AND REINFC
 BICYCLE PAVING. SEE LANDSCAPE DRAWINGS FOR RACK DETAILS

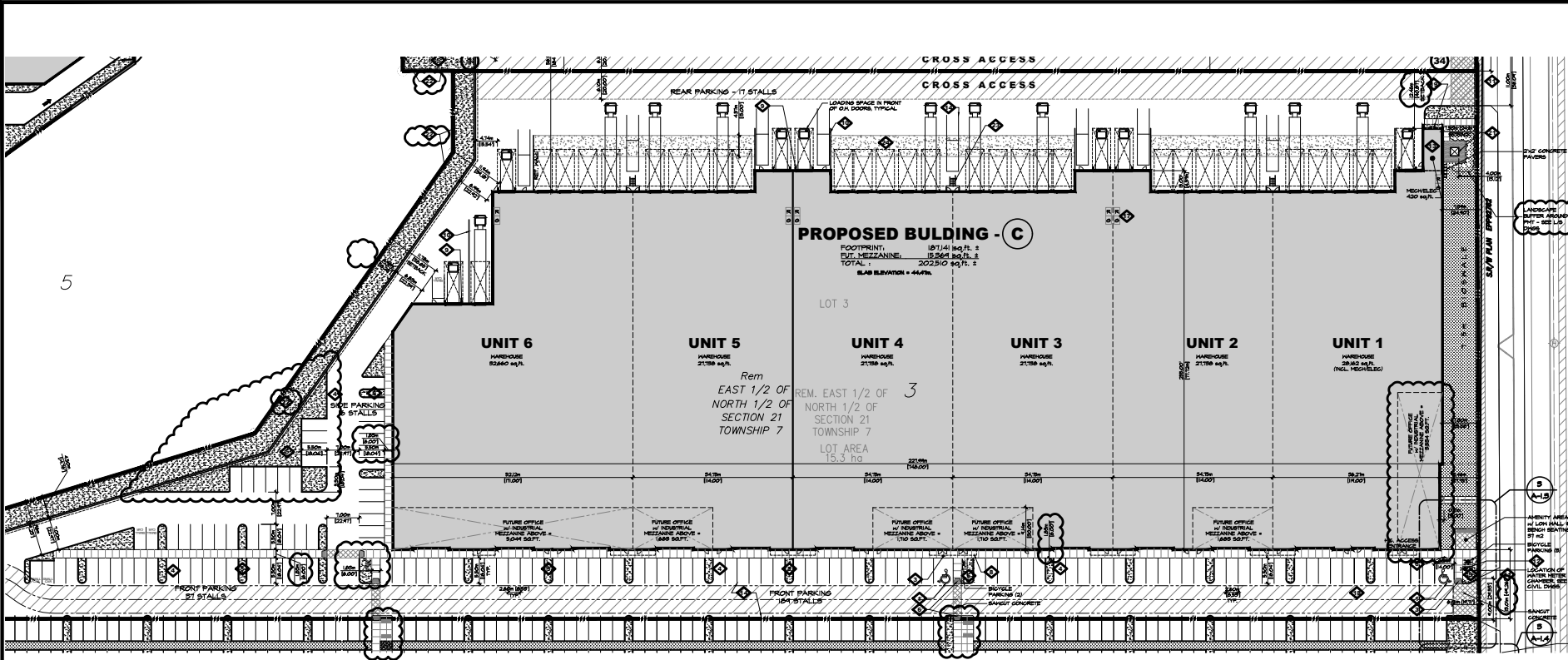
CHIP BARETT ARCHITECT
 110-1105 16th AVENUE S.W., VANCOUVER, BC V6E 2R4
 TEL: (604) 683-7855 FAX: (604) 683-7856 EMAIL: CBARETT@CHIPARCH.COM

D.FORCE DESIGN INC.
 IN ASSOCIATION WITH
 2025A ALLIANCE STREET, ANNEBORO, B.C. V2B 3J9
 TEL: (604) 937-9585 EMAIL: DARE@DFORCE.COM

SUNMARK INDUSTRIAL CAMPUS BUILDING A
 ADDRESS: 28th AVE & 188th ST SURVEY
 DRAWING: **BUILDING B SITE PLAN WITH CIVIL BASE**
 SHEET: A-1.2a

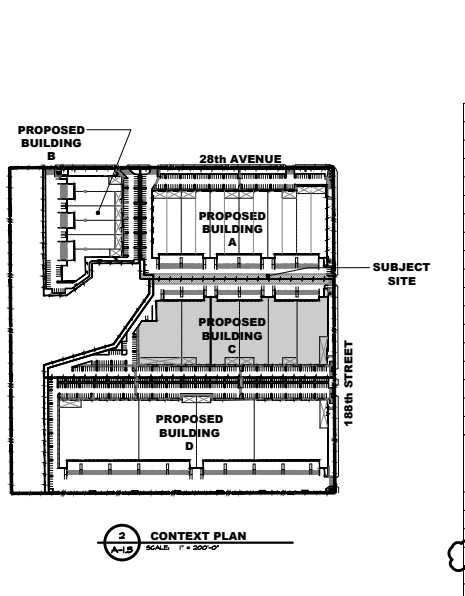
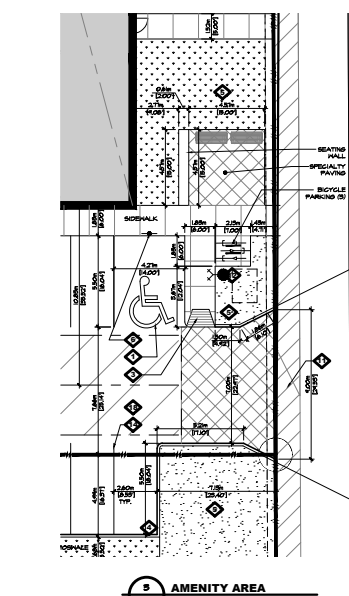
DATE	FOR NO.	BY	DATE
ISSUED	1-26-20	DR	1-26-20
REVISION			
CHECKED			
DATE			

PROJECT: DRAWING NUMBER: REV: **A-1.2a** 7



CHIP BARETT ARCHITECT
 110-1155 24th Avenue SW, Unit 100, Victoria, BC V8M 4E6
 TEL: (250) 403-9999 FAX: (250) 403-9998
 EMAIL: INFO@CHIPBARETT.COM

D.FORCE DESIGN INC.
 AN ASSOCIATION WITH
 2025A ALLIANCE STREET, AIRDERSFORD, B.C. V2B 3J9
 TEL: (604) 927-9595 EMAIL: DAND@DFORCE.COM



1 BUILDING C SITE PLAN
 SCALE: 1" = 50'-0"
 SCALE: 1" = 20'

KEY NOTE LEGEND

- INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT PER DETAIL 20A-1.1
- CONCRETE SIDEWALK 6" ABOVE ADJACENT ASPHALT, BROOM FINISH
- 5'X2 SIDEWALK LETDOWN ON MIN 5'X2 CLEAR @ TOP OF LETDOWN, SEE DETAIL 10A-1.1
- 4'X6 EXTENDED CONCRETE CURB FINISH, AT EDGE OF LANDSCAPING, PER DETAIL 30A-1.1
- LANDSCAPING PER LANDSCAPE ARCHITECT'S DRAWINGS
- POST MOUNTED H.C. SIGN PER DETAIL 80A-1.1
- BUILDING MOUNTED H.C. SIGN PER DETAIL 80A-1.1
- LINE OF CANOPY ABOVE, SEE PLANS AND DETAILS FOR MORE INFORMATION
- 3'0" X 1/4" THK CONC. FILLED STEEL BOLLARDS PAINTED COLOUR C3 @ EA SIDE OF GRADE LEVEL SIGN, TYPE B ALL GRADE SIGNAGE, SEE DETAIL 80A-1.1
- RETAINING WALL UNPAINTED CMU AT 2' PER CURB WALL DETAIL, GUARDRAIL REQUIRED ABOVE THE GRADE DIFFERENCE IS LESS THAN 2'00" (MIN)
- ASPHALT CROSSING TO MANHOLES, SPECIALS
- SMALLE CONNECTIONS, SEE MECHANICAL DRAWINGS
- ELECTRICAL & MECHANICAL ROOMS: EQUIPMENT
- 4" PAINT STRIPS, TYPICAL
- TRAVEL DISTANCE HYDRANT TO SHABEE, (147' (54M) MAX CONFIRM ON SITE)
- GARAGE ENCLOSURE PER DETAIL 70A-1.1
- GARAGE LOCATION INSIDE BUILDING, TYPICAL
- HATCHED AREA INDICATES FIRE TRUCK ACCESS ROUTE
 SECTION 21 TOWNSHIP 7
 HAVE A CLEAR WIDTH NOT LESS THAN 10'
 HAVE A CENTERLINE PERCESSION NOT LESS THAN 120"
 HAVE A CONTINUOUS SLOPE NOT LESS THAN 1:50
 HAVE A CHANGE OF GRADE NOT GREATER THAN 1:5 OVER A MIN. DISTANCE OF 10'
 ASPHALT MUST BE CONCRETE FUTURE LANDING OF ROAD OR COVER
 CONCRETE SHALL BE CONCRETE FUTURE LANDING OF ROAD OR COVER
 BE CONNECTED WITH A FARIABLE THROUGHT GAP
- TOP SURFACE PER PERCESSION: 1000000000
 SEE DETAIL 50A-1.1
 DISTANCE AND PROTECTION AS REQUIRED BY SIG AND MANUFACTURER
- PAINT ON ASPHALT - PEDESTRIAN HIGHLIGHT
- BLACK POWDER COATED POCKET FENCE 42" HIGH
- CONCRETE STAIR W/ STEEL HANDRAILS
- REINFORCED CONCRETE DOLLY PAD, SEE STRUCTURAL FOR THICKNESS AND REIN.
- BICYCLE PARKING, SEE LANDSCAPE DRAWINGS FOR RACK DETAILS

SITE DATA (BUILDING C)
 CIVIC ADDRESS: 1878 28 AVENUE SURVEY, BC
 LEGAL DESCRIPTION: SECTION 21 TOWNSHIP 7 1/2 PART 2, 1/2 OF N 1/2 OF 24 SEC. 21 TOWNSHIP 7 S16, SECONDUITY E 29.

EXISTING ZONING: S1 846 X2 / S1809 N1 (S4230 sq.ft. / 7.87 AC.)
 69555 LOT AREA: S1 846 X2 / S1809 N1 (S4230 sq.ft. / 7.87 AC.)

PROPOSED BUILDING AREA FOOTPRINT: 17 586 X2 (31744 sq.ft.)
 SITE COVERAGE: 40% MAX. 181248 X1 (S4230 X 18462 N)
 F.A.R. (MAX. G.R.): 0.75
 181248 sq.ft. FOOTPRINT = 8562 sq.ft. MEZZANINES / 54248 sq.ft. G.S.R.

SETBACKS:

FRONT (28th)	REAR (188th)
MIN: 12M (39.4') MAX: 12M (39.4')	MIN: 12M (39.4') MAX: 12M (39.4')

*THE FRONT YARD SETBACK MAY BE REDUCED TO 7.5 METRES (25 FT) IF THE AREA BETWEEN THE FRONT FACE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

**SIDE YARD SETBACK SHALL BE 1.5 METRES (5 FT) ON 0.0 METRE IF THE SIDE YARD AND ADJUT LAND ARE CONSERVED, REDUCED OR NOT DEVELOPED.

***SIDE YARD SETBACK ON A PLANNING STREET MAY BE REDUCED TO 1.5 METRES (5 FT) IF THE AREA BETWEEN THE PLANNING STREET FACE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

HEIGHT: 14.0M (46.0') MAX. 18.8M (61.7') FT

PARKING PROVIDED:
 HANDED: 121 PAIR PER 1000
 OFFICE: 23 STALL PER 1000
 MAIN FLOOR OFFICES: 17.586 M² / 078 X 1 = 80 STALLS
 2ND FLOOR OFFICES: 5362 M² / 078 X 2.5 = 86 STALLS
 TOTAL REQUIRED = 262 STALLS

GENERAL NOTES:

1. SERVICES SHOWN ARE APPROXIMATE ONLY. SEE CIVIL DRAWINGS FOR FINAL LOCATIONS.
2. ASPHALT & BEREASE DESIGN PER SOILS REPORT.
3. CONTRACTOR TO PROVIDE FOOTING & WALL SERVICES BY REFERENCED AS-14 DURING CONSTRUCTION. SHIRT COPIES TO CITY BUILDING DEPT.
4. SEE GENERAL BUILDING NOTES FOR ALL OTHER REQUIREMENTS WITH THE SUPPLIER, MANUFACTURER, OR OTHER CONSULTANTS RESPONSIBLE FOR THE SUPPLY OF MATERIALS AND TESTING.
5. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALUMINUM PANEL.
6. ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL APPLICABLE CODES, REGULATIONS, STANDARDS, SPECIFICATIONS, AND TESTS. LETTERS AS WELL AS ALL CONSTRUCTION OF AUTHORITY HAVING JURISDICTION.
7. SUBCONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS MEET ALL APPLICABLE CODES, REGULATIONS, STANDARDS, SPECIFICATIONS, AND TESTS. LETTERS AS WELL AS ALL CONSTRUCTION OF AUTHORITY HAVING JURISDICTION.
8. THE CONTRACTOR MUST GUARANTEE ALL DIMENSIONS AND OTHERWISE ASSUME RISK OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.
9. ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINALS. THE CONTRACTOR SHALL GUARANTEE ALL DIMENSIONS WITH THE SUPPLIER, MANUFACTURER, OR OTHER CONSULTANTS RESPONSIBLE FOR THE SUPPLY OF MATERIALS AND TESTING.
10. ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION, ALL EQUIPMENT AND FITTINGS MUST BE GRADE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
11. VAPOR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED 100% AND COVERED BY FINISHING MATERIALS OR BOLLARDS. ALL JOINTS SHALL BE SEALED WITH VAPOR BARRIERS SUCH AS THOSE SHOWN FOR THE INSTALLATION OF ELECTRICAL BONES OR OUTLET BOXES. ALL JOINTS SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOR BARRIER OVER THE ENTIRE SURFACE.
12. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
13. THE CONTRACTOR IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
14. ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
15. ALL MATERIALS AND PRODUCTS TO BE USED FOR ALL MAJOR BUILDING COMPONENTS SHALL BE SEALED IN THE WORK. ACCURATE CHECKING BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE FOR THE SUPPLY OF MATERIALS AND TESTING SHALL BE ASSEMBLED (IF APPLICABLE).
16. ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF THE CONTRACTOR.
17. SAMPLES OF ALL INTENDED PRODUCTS, COLORS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW APPROVAL FOR REVIEW.
18. ROOF TO BE CONFORMANT WITH AREA A OR B OVAL, NETWORK AND PRACTICES. PROVIDE ROOF WARRANTY TO COORDINATING ARCHITECT/ENGINEER.
19. PROVIDE SEALING AND OTHER DETAILS FOR ALL JOINTS. PROVIDE DETAILS FOR BOLLARDS, HANDRAILS, STAIRS, RATED ASSEMBLIES (IF APPLICABLE).
20. ALL PROPERTY LINE DIMENSIONS & BEARING ANGLES ARE PROVIDED & ARE REQUIRED TO BE GUARANTEED BY SURVEY.
21. ROOF SYSTEMS TO BE INSTALLED BY 2ND PARTY INSPECTOR DURING CONSTRUCTION. PROVIDE DOCUMENTATION TO ARCHITECT.
22. CONTRACTOR IS RESPONSIBLE FOR 2ND PARTY INSPECTION OF LINE AND BOLLARDS AND THERMAL PROTECTION. PROVIDE DOCUMENTATION TO ARCHITECT.

NOTE: ALL GRIND AND OFFSITE GRADING TO BE CONFIRMED WITH CIVIL ENGINEER.
 NOTE: ALL GARAGE STORED INSIDE BUILDING.
 NOTE: NO FREESTANDING SIGN PROVIDED.

PROJ. NO. 2025-01
 DATE: FEB. 23, 2025

DATE	DESCRIPTION	
25	PROJECT DEVELOPER	
24		
23		
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7	FEB. 23, 2025	ENR COMMENTS RESPONSE
6	FEB. 18, 2025	CONSULTANT USE
5	DEC. 23, 2024	RESPONSE TO PLANNING COMMENT
4	DEC. 11, 2024	CLIENT REVIEW
3	AUG. 21, 2024	ENR COMMENTS RESPONSE
2	JUL. 25, 2024	REVISION OF DDP
1	JUN. 25, 2024	ISSUED FOR PERMIT

PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR BUILDING A

SUNMARK
 4100-1027, 10TH AVENUE
 SUITE 100, VICTORIA, BC V8M 2V9
 PHONE: 250-400-7706
 PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR BUILDING A

SUNMARK
 INDUSTRIAL CAMPUS
 BUILDING A

ADDRESS: 28th AVE & 188th ST SURVEY
 DRAWING: BUILDING C SITE PLAN

DATE: FEB. 23, 2025

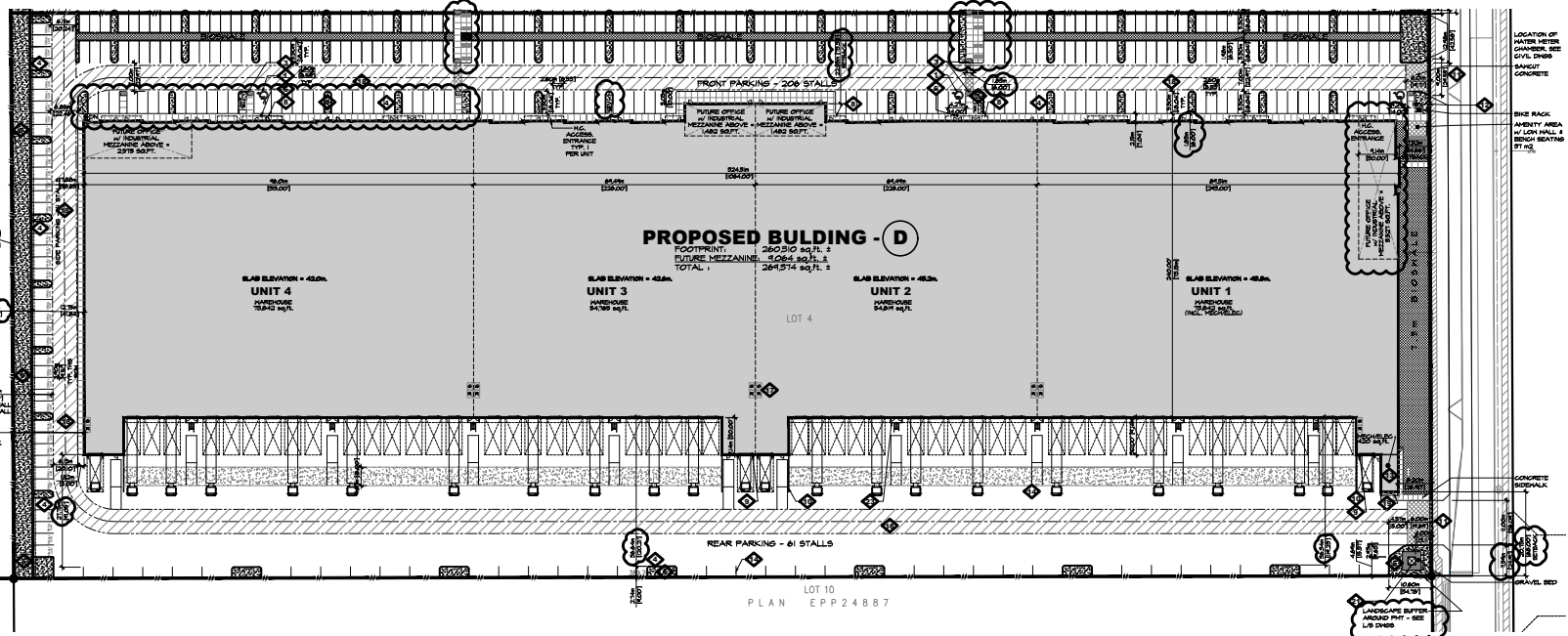
SCALE	DATE	DRAWN D.P.

PROJECT: DRAWING NUMBER: A-1.3
 REV: 7

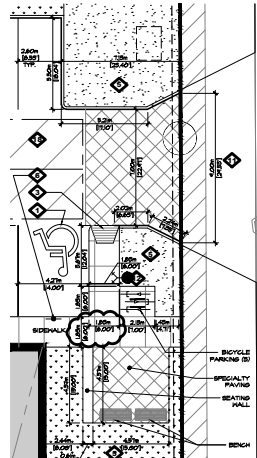
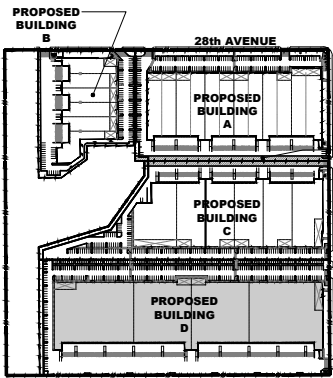
PART PARK

PARK

PARK



1 BUILDING D SITE PLAN
 SCALE: 1" = 40'-0"



KEYED NOTE LEGEND

- INTERNATIONAL SYMBOLS OF ACCESS PAVED ON ASPHALT PER DETAIL 3A-1.1
- CONCRETE SIDEWALK 6" ABOVE ADJACENT ASPHALT, BROOM FINISH
- 5'X7' SIDEWALK LETCHOW ON MAIN FLOOR CLEAR @ TOP OF LETCHOW, SEE DETAIL 3A-1.1
- 6'X6' EXTRUDED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING, PER DETAIL 3A-1.1
- LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS
- POST MOUNTED H.C. SIGN PER DETAIL 4B-1.1
- BUILDING MOUNTED H.C. SIGN PER DETAIL 4B-1.1
- LINE OF CANOPY ABOVE, SEE PLANS AND DETAILS FOR MORE INFORMATION
- 3"X 1/4" THK CONG FLEED STEEL BOLLARD PAINTED COLOUR C3 @ EA SIDE OF GRACE LEVEL DOOR, TYP @ ALL GRACE DOORS, SEE DETAIL 6A-1.1
- RETAINING WALL, OPERATED ON OF THE GRADELINE PER DETAIL 6A-1.1
- ASPHALT CROSSING TO MUNICIPAL STREETS
- BARRESE CONNECTION, SEE MECHANICAL DRAWINGS
- ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
- PAINT STRIKE, TYPICAL
- TRAVEL DISTANCE HYDRANT TO BARRESE (47'30" MAX CONFORM ON SITE)
- GARAGE ENCLOSURE PER DETAIL 3A-1.1
- GARAGE LOCATION INSIDE BUILDING, TYPICAL
- SWISS CLEAR WRECK PROTECTIVE DEVICE
- HAVE A CENTERLINE INDICATOR NOT LESS THAN 100mm
- HAVE AN OVERSIGHT SIGNATURE PER DETAIL 3A-1.1 OVER A MAXIMUM OF 100mm
- ASPHALT MUST BE DESIGN TO CARRY TRUCK LOADINGS OF 120,000 LBS OVER 100mm
- SEE NOTES PER MECHANICAL DRAWINGS
- SEE DETAIL 3A-1.1
- WITH FENCES AND PROTECTIBLES AS REQUIRED BY BC HIGHWAY AND MUNICIPALITY
- PAINT ON ASPHALT - FIDES TRAIL WALKWAY
- BLACK POWDER COATED FENCE 40" HIGH
- CONCRETE TYPICAL
- REINFORCED CONCRETE DOLLY PAD, SEE STRUCTURAL FOR THICKNESS AND REINP
- BI-CYCLE PARKING, SEE LANDSCAPE DRAWINGS FOR BACK DETAILS

SITE DATA (BUILDING D)

LEGAL ADDRESS: 5716 28 AVENUE, SURREY, BC
 LEGAL DESCRIPTION: SECTION 2; TORRONSER 1 AND PART 6 (2 OF N 1/2 OF 64 1/4 AC. FRASER, 1 & 2); BROWN, 1 & 2

EXISTING ZONING: C0
 GROSS LOT AREA: 48 641 SQ M / 4,869 SQ FT / 112,022 AC.

PROPOSED BUILDING AREA (FOOTPRINT): 24 982 SQ M / 2,680,804 SQ FT
 BUILDING D: 24 982 SQ M / 2,680,804 SQ FT
 SITE COVERAGE: 60% MAX: 28,904 M / 312,896 SQ FT
 FLOOR MAX (SQ M): 28,904 M / 312,896 SQ FT
 28,904 SQ M FLOORPRINT = 4,084 SQ FT MEZZANINE / 312,896 SQ FT

REAR YARD SETBACK: MIN. PROPOSED: 1.53M [50' 0"]
 FRONT REAR: 6.0M [20' 0"] 1.53M [50' 0"]
 SIDE (NORTH): 1.5M [50' 0"] 30.75M [100' 0"]
 SIDE (SOUTH): 1.5M [50' 0"] 30.75M [100' 0"]
 REAR (WEST): 1.5M [50' 0"] 116.0M [381' 0"]

THE FRONT YARD SETBACK MAY BE REDUCED TO 1.5 METRES (5 FT) IF THE AREA BETWEEN THE FRONT FAÇADE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

THE SIDE YARD SETBACK ON A PLANNING STREET MAY BE REDUCED TO 1.5 METRES (5 FT) IN THE AREA BETWEEN THE PLANNING STREET AND THE SIDE FAÇADE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

HEIGHT: 14.0M [46' 0"] MAX: 15.8M [52' 0"]

PARKING REQUIRED:
 1 STALL PER 100 SQ M (1000 SQ FT)
 OFFICE: 28 STALL PER 1000 SQ M
 MAN FLOOR GARAGE: 28,246 SQ M / 1076 x 1 = 284 STALLS
 4084 SQ M / 1076 x 28 = 21 STALLS
 2ND FLOOR OFFICES: 4084 SQ M / 1076 x 28 = 21 STALLS
 TOTAL REQUIRED = 308 STALLS

PARKING PROVIDED: = 308 STALLS

- GENERAL NOTES:**
- SERVICES SHOWN ARE APPROXIMATE ONLY; SEE CIVIL DRAWINGS FOR FINAL LOCATIONS.
 - APPLY A SUBGRADE DESIGN FOR SOILS REPORT.
 - CONTRACTOR TO PROVIDE FOOTING & WALL BARRIERS BY REGISTERED A.S.J. DURING CONSTRUCTION, BARRIERS TO BE COPIED TO CITY BUILDING DEPT.
 - SEE MECHANICAL DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & SIDE SIBS.
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
 - ALL CONTRACTOR PROVIDED AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODES. ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS OR VULS. AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
 - SEE MECHANICAL DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & SIDE SIBS.
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
 - ALL CONTRACTOR PROVIDED AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODES. ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS OR VULS. AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
 - ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFORM ACTUAL DIMENSIONS WITH THE SUPPLIER'S MANUFACTURER.
 - ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THESE ITEMS AND ABOVE AND THEREAFTER MUST BE AS ISLANDION STANDARDS ASSOCIATION APPROVED.
 - IF VAPOUR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED 100 MM AND COVER AT FINISHED SURFACE. ALL JOINTS SHALL BE SEALED THROUGH VAPOUR BARRIERS, SUCH AS JOINTS CUT FOR THE INSTALLATION OF ELECTRICAL BONES OR DUCTWORK, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.
 - THE CONTRACTOR IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
 - THE CONTRACTOR IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
 - ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO BE RESPONSIBLE FOR OBTAINING PERMITS FOR ALL MAJOR BUILDING COMPONENTS THAT SHALL BE ISSUED IN THE FORM OF RESOLUTIONS BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE.
 - ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.
 - ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH A.S.J. OR B.S.A. OR B.S.A. METHODS AND PRACTICES. PROVIDE ROOF MEMBRANE TO COORDINATING ARCHITECT/ENGINEER.
 - PROVIDE SEALED SHOP DRAWINGS FOR ALL MAJOR BUILDING COMPONENTS THAT SHALL BE ISSUED IN THE FORM OF RESOLUTIONS BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE.
 - ALL PROPERTY LINE DIMENSIONS & BARRIERS ANGLES ARE PROPOSED & ARE REQUIRED TO BE CONFIRMED BY SURVEY.
 - CONTRACTOR IS RESPONSIBLE FOR BID PARTY INSPECTION OF CONSTRUCTION, PROVIDE DOCUMENTATION TO ARCHITECT.
 - CONTRACTOR IS RESPONSIBLE FOR BID PARTY INSPECTION OF CONSTRUCTION, PROVIDE DOCUMENTATION TO ARCHITECT.
- NOTE: ALL DIMENSIONS AND OFFSETS GRADING TO BE CONFIRMED WITH CIVIL ENGINEER.
 NOTE: ALL GARAGE STORED INSIDE BUILDING.
 NOTE: TO PRE-EXISTING SIGN PROPOSED

CHIP BARRETT ARCHITECT
 110-11000 166 STREET, SURREY, B.C. V3R 6V4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ABERTFORD, B.C. V2B 3J9
 TEL: (604) 907-9695 EMAIL: DMB@DFORCE.COM

PROJECT DEVELOPER: Sunmark

1101-1207, 18TH AVENUE
 SURREY, BC V3R 2V9
 PHONE: 604 807 7806
 WWW.SUNMARKDEVELOPMENTS.COM

PROPOSED OFFICE/WAREHOUSE COMPLEX FOR BUILDING A

ADDRESS: 28TH AVE & 18TH ST SURREY
 DRAWING: BUILDING D SITE PLAN

DATE	DESCRIPTION
7 FEB 23 21	DRG COMMENTS RESPONSE
8 FEB 23 21	CONSULTANT USE
1 DEC 23 20	RESPONSE TO PLANNING COMMENT
1 DEC 11 20	CLIENT REVIEW
3 AUG 21 20	DRG COMMENTS RESPONSE
7 JUL 20 20	REVISION OF DDP
1 JUN 20 20	ISSUED FOR DP
NO DATE	DESCRIPTION

DATE: FEB 23 21

PROJECT: DRAWING NUMBER: REV: 7

A-1.4a



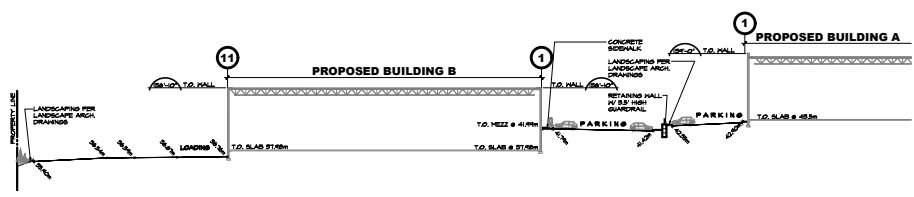
28TH AVENUE

1 STREETScape - EAST
SCALE: NTA

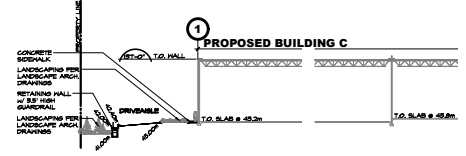


188TH STREET

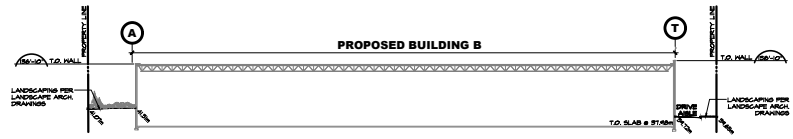
2 STREETScape - NORTH
SCALE: NTA



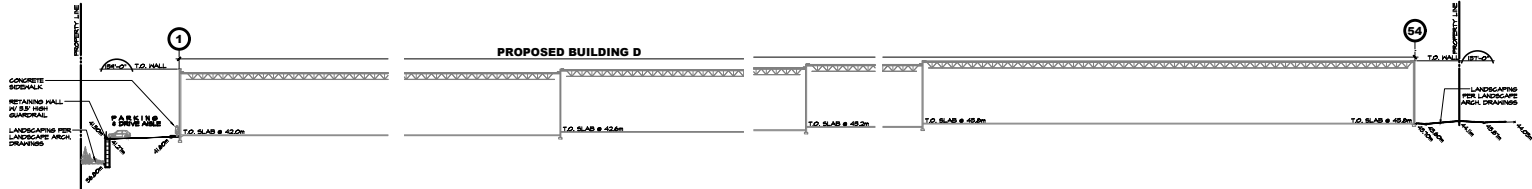
3 SITE SECTION
SCALE: 1:50



5 SITE SECTION
SCALE: 1:50



4 SITE SECTION
SCALE: 1:50



6 SITE SECTION
SCALE: 1:50

CHIP BARETT ARCHITECT
110-11055 24th Street, Suite 107, VALE, BC
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2625 ALLIANCE STREET, ARDERSFORD, B.C. V2B 3J9
TEL: (604) 907-9695 EMAIL: DAND@DFORCE.CA

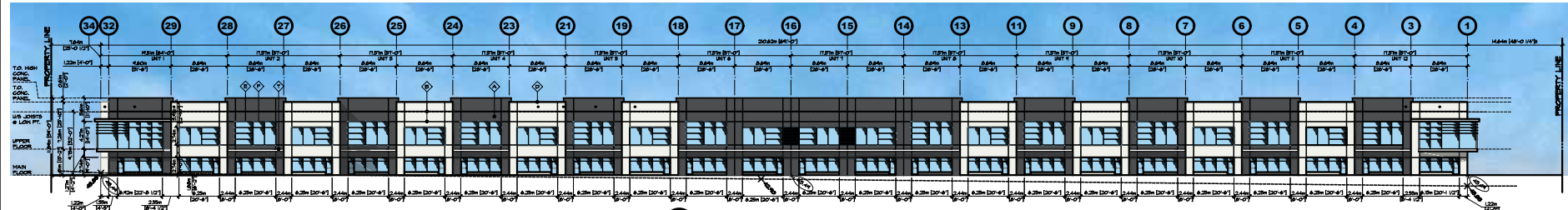
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4	FEB 23 21	DRG COMMENTS RESPONSE
3	DEC 23 20	RESPONSE TO PLANNING COMMENT
2	DEC 11 20	CLIENT REVIEW
1	AUG 21 20	DRG COMMENTS RESPONSE
NO.	DATE	DESCRIPTION

Sunmark
#10912817 - 18TH AVENUE
SURREY, BC V3H 2V9
PHONE 604.887.7700
WWW.SUNMARKDEVELOPMENTS.COM

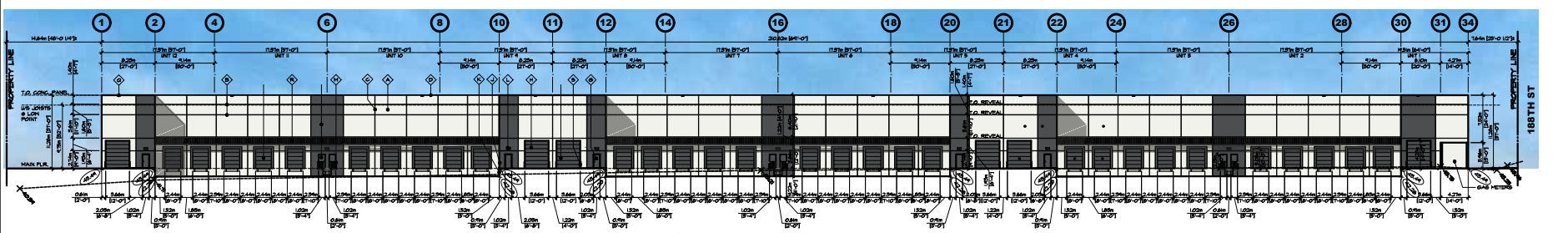
SUNMARK
INDUSTRIAL CAMPUS
ADDRESS: 28TH AVE & 188TH ST SURREY
DRAWING

STREETSCAPES & SITE SECTIONS

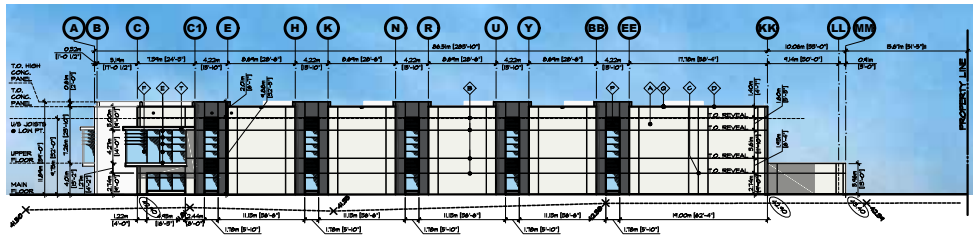
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	18.05	N.P.A./C.
RECORDED	D.F.	
CHECKED	C.B.	
PLUT DATE	FEB 23 21	
PROJECT - DRAWING NUMBER		REV.
A-1.6		4



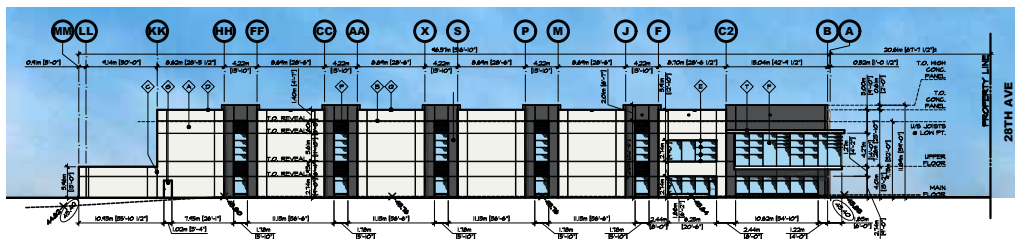
1 OVERALL NORTH ELEVATION (FRONTING 28TH AVE)
SCALE: 3/4"=1'-0"



2 OVERALL SOUTH ELEVATION
SCALE: 3/4"=1'-0"



3 OVERALL WEST ELEVATION
SCALE: 3/4"=1'-0"



4 OVERALL EAST ELEVATION (FRONTING 188TH ST)
SCALE: 3/4"=1'-0"

PAINTING NOTES

ALL INTERIORS AND FINISH SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTERS CONTRACTORS ASSOCIATION.

FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY DRYSPOT PAINT.

IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BRACKERS AND PAINT OR PRIMER. IT IS ALSO THE PAINTING CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICATION & PREPARATIVE PROCEDURES AS ADVISED BY THE BOND BRACKER MANUFACTURER.

THE PAINTING CONTRACTOR IS TO EVALUATE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNLESS ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, FOREIGN MATTER, REMOVE OIL OR GREASE WITH THE MAIN WASH AND LET DRY.

PROTECT ALL OTHER SURFACES DURING PAINTING.

ALL EXTERIOR PAINT COLOURS PER LISTED ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER, PAINTING SUBCONTRACTOR TO PAINT A 300MM TEST PATCH OR WALL FOR APPROVAL BEFORE PAINTING REMAINDER OF BUILDING.

ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER EXCEPT AS NOTED FOR SAFETY PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.

PAINT SURFACES AS FOLLOWS:

- CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.
- VERTICAL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
- ALICAT PRIMER 2 COATS OF ALICAT PRIMER.
- WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.
- ALL PAINT TO BE BENJAMIN MOORE APPROVED DETAIL.
- ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED, CONFORM WITH GENERAL CONTRACTOR AS REQUIRED.
- OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE HALLS AND JOISTS AND DECK TO BE PAINTED.

MATERIAL LEGEND

- ⊠ CONCRETE SANDWICH TILT-UP WALL PANEL TYP. - PAINTED
- ⊠ REVEAL IN CONCRETE - PAINTED
- ⊠ PANEL JOINT
- ⊠ PRE-FINISHED METAL GAP FLASHING
- ⊠ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- ⊠ STOREFRONT OR CURTAIN WALL GLASS
- ⊠ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ⊠ STEEL GUARDRAILS - PAINTED
- ⊠ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ⊠ LIGHT FIXTURE - SEE ELECTRICAL DWGS
- ⊠ CONCRETE STAIR w/ STEEL PIPE GUARDRAIL
- ⊠ 45° RECESS IN CONCRETE
- ⊠ SPANDREL GLAZING (SCISSOR)
- ⊠ SCUPPER
- ⊠ METAL GLAD GANTRY
- ⊠ STEEL COLLAR - PAINTED
- ⊠ STEEL GANTRY - PAINTED

PROJECT COLOURS

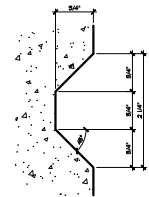
- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.
- MAIN FIELD COLOUR 1
 - FIELD ACCENT COLOUR 1
 - EXTERIOR GUARDRAILS
 - ALUMINUM STOREFRONT WALLINGS
 - TYPICAL GLAZING
 - TYPICAL METAL GAP FLASHING
 - SPANDREL
- HEATING HEART 401
WHITE HERON 00-31
POWDER COAT BLACK VELVET
ANODIZED ALUMINUM
TYPICAL GLAZING
LOW E. AIRMAE 401 3006 COMPLIANT
8700C METAL GRAY

NOTE: COFFER ALL COLOURS & FINISH WITH THE OTHER PRIOR TO FUMIGATOR AND PAINTING.

NOTE: ALL GLAZING TO BE AIRMAE 401 3006 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.

NOTE: EXTERIOR GLAZING TO BE GUARDRAIL GRAY OR APPROVED EQUAL, ALL INTERIOR GLAZING TO BE CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E. BEHLD GLAZING SHALL BE FILLED WITH ARGON.

NOTE: ALL GULLIES/DRAINAGE ARE TO BE PAINTED TO MATCH THE BUILDING.



5 REVEAL DETAIL
SCALE: N/A

SYMBOL LEGEND

- PROPOSED GRADE
- EXISTING GRADE

CHIP BARETT ARCHITECT
110-11055 248 AVENUE, SUITE 101, V1A 0R6
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2625A ALLIANCE STREET, AIRDRIE, B.C. T2B 3J0
TEL: (800) 907-9895 EMAIL: DARC@DFORCE.COM

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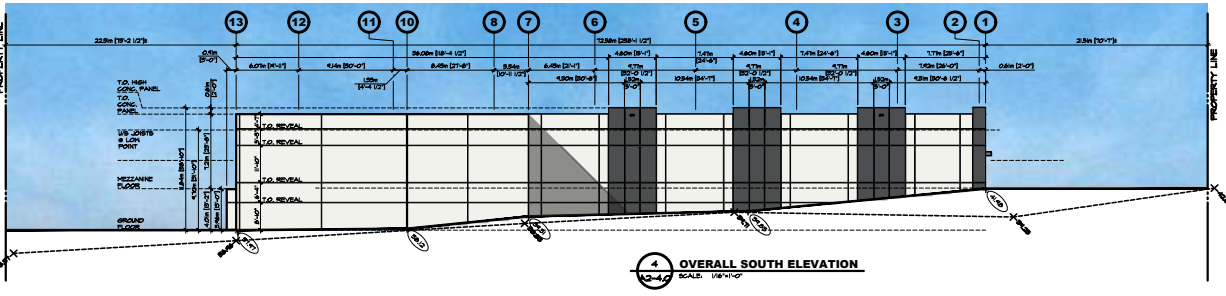
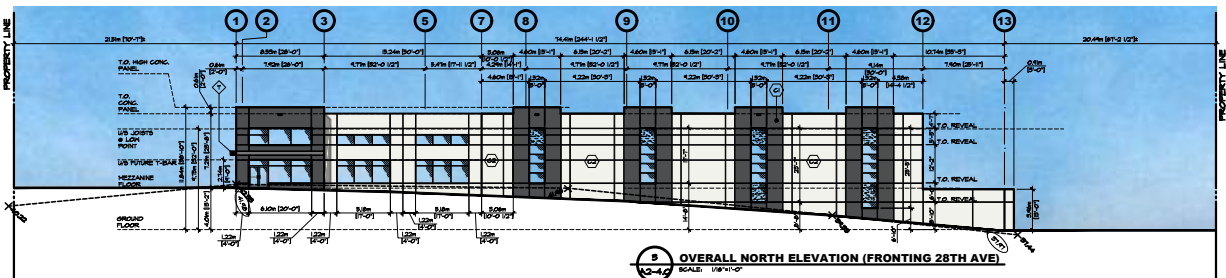
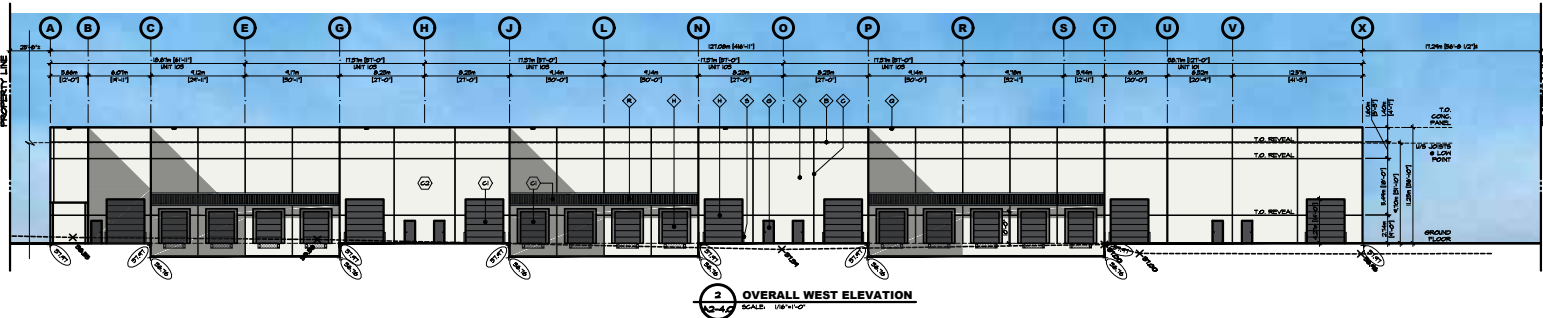
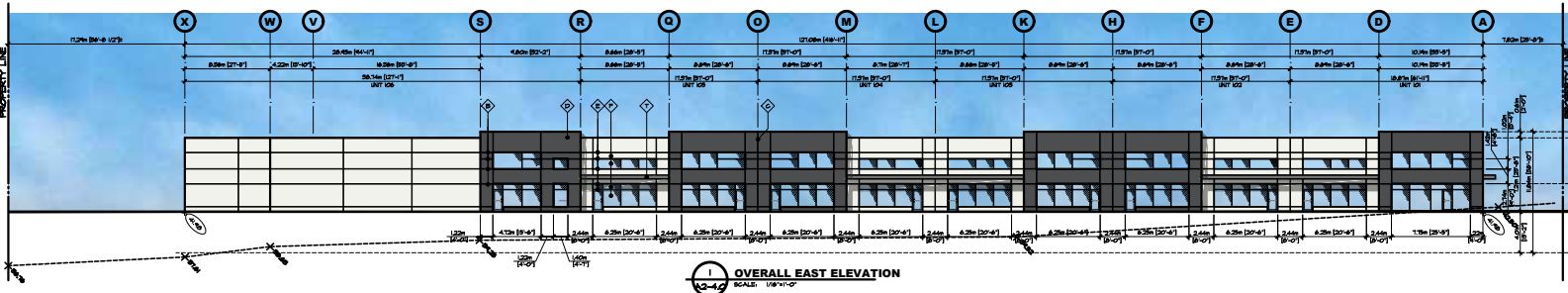
Sunmark
1101-1207, 18TH AVENUE
SURREY, BC V3M 2V9
PHONE: 604-807-7800
WWW.SUNMARKVELOCITIES.COM
PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR

SUNMARK
INDUSTRIAL CAMPUS
BUILDING A
ADDRESS: 28TH AVE & 188TH ST SURREY
DRAWING

BUILDING A COLOURED ELEVATIONS

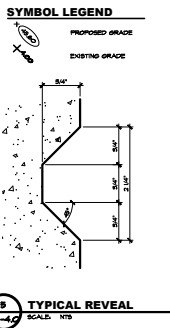
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PROJECT: DRAWING NUMBER: **A1-4.0** REV: 6



- ### MATERIAL LEGEND
- CONCRETE BANDHOOP TILT-UP WALL PANEL - PAINTED
 - REVEAL IN CONCRETE - PAINTED
 - PANEL JOINT
 - PRE-FINISHED METAL CAP FLASHING
 - STOREFRONT OR CURTAIN HALL FLASHING - CLEAR ANODIZED ALUMINUM
 - STOREFRONT OR CURTAIN HALL GLASS
 - STEEL WOODWORK - PAINTED
 - STEEL SECTIONAL OVERHEAD DOORS - PAINTED
 - CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
 - LIGHT FIXTURE - SEE ELECTRICAL DWGS
 - CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
 - REINFORCED IN CONCRETE
 - SPANDREL GLAZING (SCISSOR)
 - SCUPPER
 - METAL CLAD CANOPY
 - STEEL BOLLARD - PAINTED
 - STEEL CANOPY - PAINTED

- ### PROJECT COLOURS
- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.
- MAIN FIELD COLOUR 1: GREATING HEART ST
 - FIELD ACCENT COLOUR I: WHITE HERON CC-SIT
- EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
 ALUMINUM STOREFRONT MULLIONS: ANODIZED ALUMINUM
 TYPICAL GLAZING: T.B.C.
 TYPICAL METAL CAP FLASHING: LOVE E. ABRAS 901 300 COMPLIANT
 EDGE METAL GRAY: T.B.C.
 SPANDREL: T.B.C.
- NOTE: ALL SPANDRELS/SLAB/ROOF ARE TO BE PAINTED TO MATCH THE BELOW



PAINTING NOTES

ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CONCRETE FINISHING CONTRACTORS ASSOCIATION FOR THE PAINTING OF CONCRETE SURFACES. THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY EXPOSED SURFACE.

IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BRANCHES AND PAINT OR PRIMER. IT IS ALSO THE PAINTING CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL SPECIFIC MANUFACTURER'S INSTRUCTIONS.

THE PAINTING CONTRACTOR IS TO CLEANSE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REMOVE ALL DEBRIS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL AND OIL FROM PAINTER. REMOVE OIL FROM ALL OTHER SURFACES DURING PAINTING.

ALL EXTERIOR PAINT COLOURS PER LISTED ON ELEVATIONS, AND TO BE APPROVED BY THE DESIGNER/ARCHITECT AND OWNER. PAINTER SHALL SUBCONTRACTOR TO PAINT A 50% PATCH ON WALL FOR APPROVAL BEFORE PAINTING REMAINDER OF BUILDING.

ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER EXCEPT AS NOTED FOR SAFETY. PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.

PAINT SURFACES AS FOLLOWS:
 CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
 2DRY-HALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
 METAL DOORS AND FRAMES AND OTHER METAL SURFACES - 1 COAT AUTO PRIMER & 2 COATS OF ACRYLIC LATEX.
 WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.
 ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.
 ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED CONFORM WITH GENERAL CONTRACTOR AS REQUIRED.
 OWNER TO CONFIRM IF INTERIOR SIDE OF HANDICAP HALLS AND JOINTS AND DECK TO BE PAINTED.

CHIP BARRETT ARCHITECT
 110 - 11000 17TH AVENUE S.W. SUITE 1000
 BURNABY, B.C. V5A 4E6
 TEL: (604) 807-5655 EMAIL: DARR@CHIPBARRETT.COM

D-FORCE DESIGN INC.
 IN ASSOCIATION WITH
 2625A ALLIANCE STREET, AIRDREDFORD, B.C. V2B 3A9
 TEL: (604) 807-5655 EMAIL: DARR@D-FORCE.COM

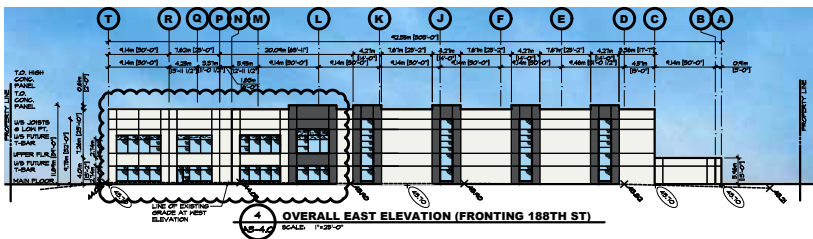
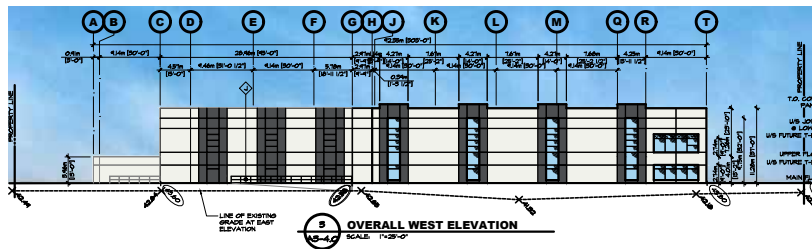
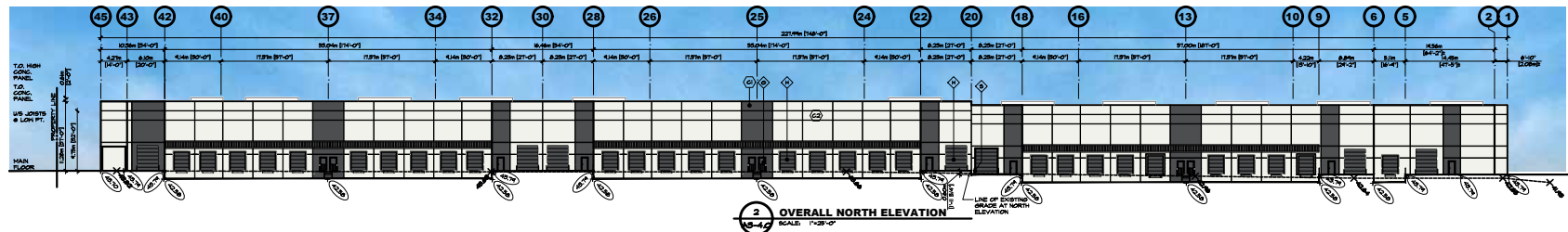
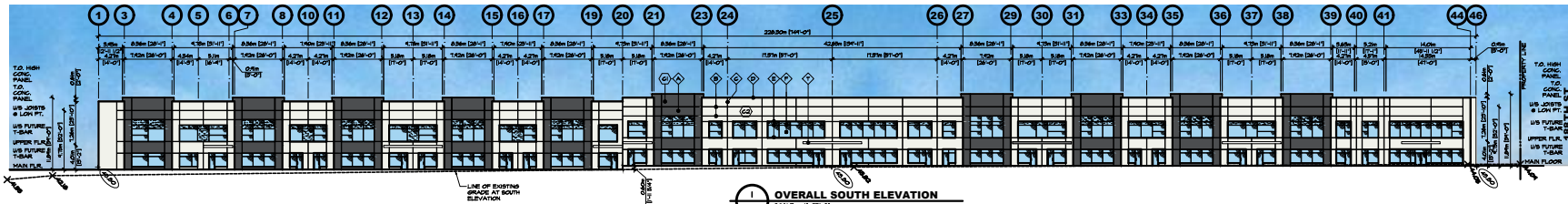
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PROJECT DEVELOPER:
Sunmark
 #109-1027, 78TH AVENUE
 SURREY, BC, V3W 2W3
 PHONE: (604) 277-7887
 FAX: (604) 277-7888
 WWW: WWW.SUNMARK.COM/POINTS
 PROJECT: PROPOSED OFFICE BUILDING COMPLEX FOR
SUNMARK
 INDUSTRIAL CAMPUS
 BUILDING A
 ADDRESS: 28TH AVE & 18TH ST SURVEY
 DRAWING:
**BUILDING B
 OVERALL ELEVATIONS**

SEAL: [Signature] DATE: [Date] DRAWN: [Name] N.P./V.C.
 DESIGNED: [Name] C.B.
 CHECKED: [Name] C.B.
 PLOT DATE: FEB 23, 21

PROJECT / DRAWING NUMBER: **A2-4.0** REV: **5**



MATERIAL LEGEND

- ① CONCRETE SANDWICH FILUP HALL PANEL TYP. - PAINTED
- ② REVEAL IN CONCRETE - PAINTED
- ③ PANEL JOINT
- ④ PRE-FINISHED METAL GAP FLASHING
- ⑤ STOREFRONT OR CURTAIN HALL GLASS
- ⑥ STOREFRONT OR CURTAIN HALL ALUMINUM
- ⑦ STEEL HANDDOORS - PAINTED
- ⑧ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ⑨ STEEL GUARDRAILS - PAINTED
- ⑩ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ⑪ LIGHT FIXTURE - SEE ELECTRICAL SHEETS
- ⑫ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- ⑬ 8" W/ RECESS IN CONCRETE
- ⑭ SPANDREL GLAZING (CONCRETE)
- ⑮ SCUPPER
- ⑯ METAL GLAD CANOPY
- ⑰ STEEL BALLIARD - PAINTED
- ⑱ STEEL CANOPY - PAINTED

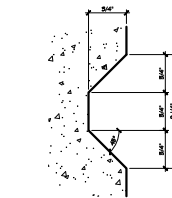
NOTE - NOT ALL MATERIALS ARE APPLICABLE

⑰ SPANDREL GLAZING

NOTE: ALL BUILDING AND PARKING LOT LIGHTING WILL INCLUDE FULL GUT OFF FIXTURES

SYMBOL LEGEND

① PROPOSED GRADE
② EXISTING GRADE



PROJECT COLOURS

- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.
- ① MAIN FIELD COLOUR 1 CHEATING HEART HT
- ② FIELD ACCENT COLOUR 1 WHITE HERON CC-SIT
- ③ EXTERIOR GUARDRAILS POWDER COAT BLACK VELVET
- ④ ALUMINUM STOREFRONT HALLINGS ANODIZED ALUMINUM
- ⑤ TYPICAL GLAZING TYPICAL GLAZING
- ⑥ 8" W/ RECESS IN CONCRETE LON E. ADVANCE RD 300 COMPLIANT
- ⑦ BRICK METAL GRAY BRICK METAL GRAY
- ⑧ SPANDREL T.B.C.

NOTE: CONFIRM PAINT COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION AND PAINTING

NOTE: ALL BUILDINGS TO BE ADVANCE RD 300 COMPLIANT. PROVIDE ALL RESSSED DOCUMENTATION.

NOTE: ALL GRILL/LOW/SCREENS ARE TO BE PAINTED TO MATCH THE BUILDING

PAINTING NOTES

- ALL MATERIALS AND FINISHES SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.
- FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY SPREADY PAINT.
- IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BREAKER AND PAINT OR FINISHES. IT IS ALSO THE PAINTING CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICATION & PREPARATION PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.
- PROTECT ALL OTHER SURFACES DURING PAINTING.
- ALL EXTERIOR PAINT COLOURS PER LEGEND ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER. PAINTING SUBCONTRACTORS TO FURNISH A PATCH ON WALL FOR APPROVAL.
- ALL INTERIOR COLOURS BY INTERIOR DECORATOR OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.
- PAINT SURFACES AS FOLLOWS:
 - 1) CONCRETE FILUP WALLS - PAINT EXTERIOR FACE ONLY WITH 3 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
 - 2) CURTAIN WALLS - TO BE PAINTED WITH 2 COATS LATEX PAINT.
 - 3) METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALKYLID PRIMER, 2 COATS OF ALKYLID ENAMEL.
 - 4) WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.
 - ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.
- ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED CONFORM WITH GENERAL CONTRACTOR AS REQUIRED.
- OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE HALLS AND OR LOISTS AND DECK TO BE PAINTED.

CHIP BARETT ARCHITECT
1410-11655 24TH AVENUE, S.W., VANICU
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2625A ALLIANCE STREET, AIRDREDFORD, B.C., V2B 3J9
TELE: (604) 907-9695 EMAIL: DMB@DFORCE.COM

1	2024.01.15	PROJ. DEVELOPER	
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NO DATE DESCRIPTION

PROJECT DEVELOPER

Sunmark

41012017, 18TH AVENUE
SURREY, BC V3W 2V9
PHONE: 604.597.7800
WWW.SUNMARKDEVELOPMENTS.COM

PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR

SUNMARK
INDUSTRIAL CAMPUS
BUILDING C

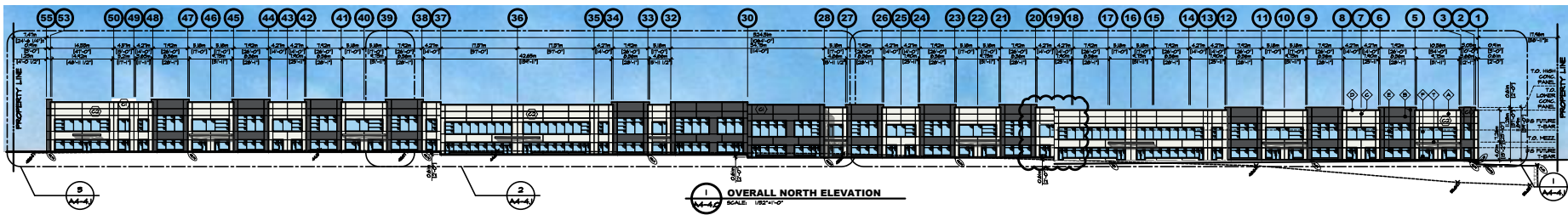
ADDRESS: 28TH AVE & 188TH ST SURREY

DRAWING

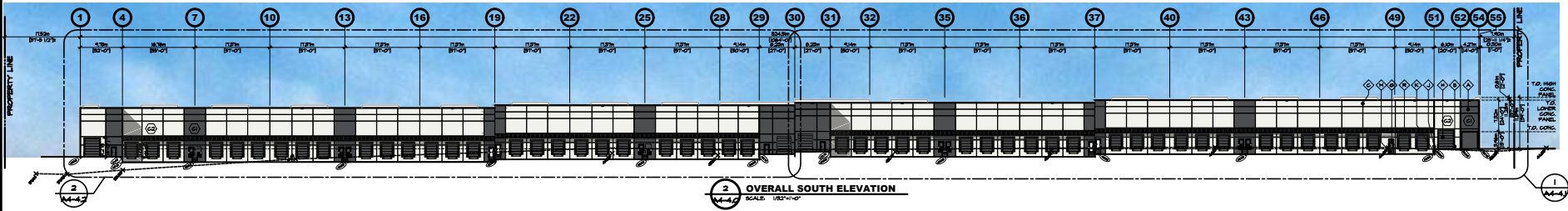
BUILDING C
OVERALL ELEVATIONS

SCALE	DATE	BY	REV.

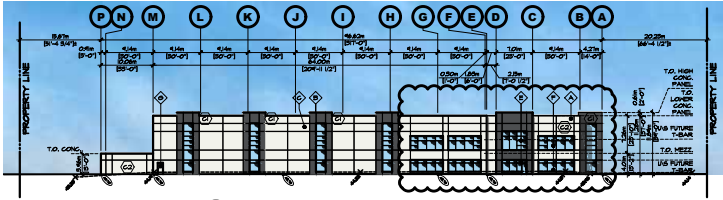
PROJECT - DRAWING NUMBER: **A3-4.0** REV: **5**



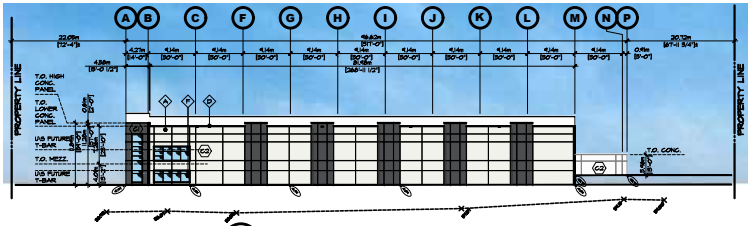
1 OVERALL NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 OVERALL SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 OVERALL EAST ELEVATION (FRONTING 188TH ST)
SCALE: 1/8"=1'-0"



4 OVERALL WEST ELEVATION
SCALE: 1/8"=1'-0"



5 REVEAL DETAIL
SCALE: ACTUAL SIZE

PROJECT COLOURS

- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.
- CREATING HEART 817
- WHITE HERON 00-91
- MAIN FIELD COLOUR 1
- FIELD ACCENT COLOUR 1
- EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
- ALUMINUM STOREFRONT MULLIONS: ANODIZED ALUMINUM
- TYPICAL GLAZING: T.E.G.
- (LOW E, AIRRAE 400 SONS COMPLIANT) STOCK METAL GRAY
- TYPICAL METAL CAP FLASHING: STOCK METAL GRAY
- SPANDREL: T.B.G.

NOTES: CONFORM ALL COLOURS & FINISHES WITH THE OTHER PRIOR TO FINISHING AND PAINTING.

NOTES: ALL GLAZING TO BE AIRRAE 400 SONS COMPLIANT, PROVIDE ALL REQUIRED DISPOSITIONS.

- EXTERIOR GLAZING TO BE SHOWN IN RED AS NOT APPROVED EQUAL IN QUALITY
- EXTERIOR GLAZING CLEAR ANODIZED ALUMINUM FINISH, THE LOW E SEALING GLAZING SHALL BE SEALED WITH

NOTES: ALL WELLS/GOVERNMENTS ARE TO BE PAINTED TO MATCH THE BUILDING

PAINTING NOTES

ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.

FOR THE PAINTING OF CONCRETE SURFACES THE HANDBOOK GOVERNMENT OF CANADA'S CONTRACTORS SHALL BE AS FOR ANY BRONZE PAINT.

IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE PAINTING WORK TO BE PERFORMED. THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL APPLICABLE & PREPARATION PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.

THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED TO DETERMINE THE NECESSARY PREPARATION WORK. THE PAINTING CONTRACTOR IS TO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, CONSTRUCTION WASTE, REMOVE OIL OR GREASE WITH TSP, WASH, RINSE AND LET DRY.

PROTECT ALL OTHER SURFACES DURING PAINTING.

ALL EXTERIOR PAINT COLOURS ARE LISTED ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OTHER PAINTING SUBCONTRACTOR TO PAINT AROUND THE PATCH OR HALL FOR APPROVAL BEFORE PAINTING REPAIRS OF BUILDING.

ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.

PAINT SURFACES AS FOLLOWS:

- 1. CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX, APPLIED FOR MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 2. EXTERIOR WALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
- 3. METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALLOY PRIMER, 2 COATS OF ALLOY ENAMEL.
- 4. WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS PRESH.
- 5. ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.

ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED, CONFORM WITH GENERAL CONTRACTOR AS REQUIRED. ORDER TO CONFIRM IF INTERIOR SIDE OF HANDHOUSE WALLS AND/OR CEILING AND DECK TO BE PAINTED.

MATERIAL LEGEND

- CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
- REVEAL IN CONCRETE - PAINTED
- PANEL JOINT
- PRE-FINISHED METAL CAP FLASHING
- STOREFRONT OF CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- STOREFRONT OR CURTAIN WALL GLASS
- STEEL HANDDOORS - PAINTED
- STEEL REGIONAL OVERHEAD DOORS - PAINTED
- STEEL GUARDRAILS - PAINTED
- CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- LIGHT FIXTURE - SEE ELECTRICAL DWG'S
- CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- 5/8" RECESS IN CONCRETE
- SPANDREL GLAZING (CONCRETE)
- SUPPER
- METAL GLAZ CANOPY
- STEEL BOLLARD - PAINTED
- STEEL CANOPY - PAINTED

NOTES

- NOT ALL MATERIALS ARE APPLICABLE
 - SPANDREL GLAZING
- NOTES: ALL BUILDING AND PARKING LIGHT FIXTURES WILL INCLUDE FULL GUT OFF FIXTURES

SYMBOL LEGEND

- PROPOSED GRADE
- EXISTING GRADE

CHIP BARRETT ARCHITECT
140 - 10055 DANIELS BLVD. SUITE 1000
VANCOUVER, BC V6P 1G1
TEL: (604) 607-5655

D.FORCE DESIGN INC.
IN ASSOCIATION WITH
2025A ALLIANCE STREET, ANNEBORO, B.C. V2S 3A0
TEL: (604) 607-5655 EMAIL: DANDY@DFORCE.COM

The drawings are prepared at the office of the architect. The architect is not responsible for the accuracy of the information provided by the client or other parties. The architect is not responsible for the accuracy of the information provided by the client or other parties.

NO.	DATE	DESCRIPTION
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Sunmark
4100 WEST 117TH AVENUE
SURREY, BC V2V 2V3
PHONE: (604) 261-7800
INFO@SUNMARKDEVELOPMENTS.COM

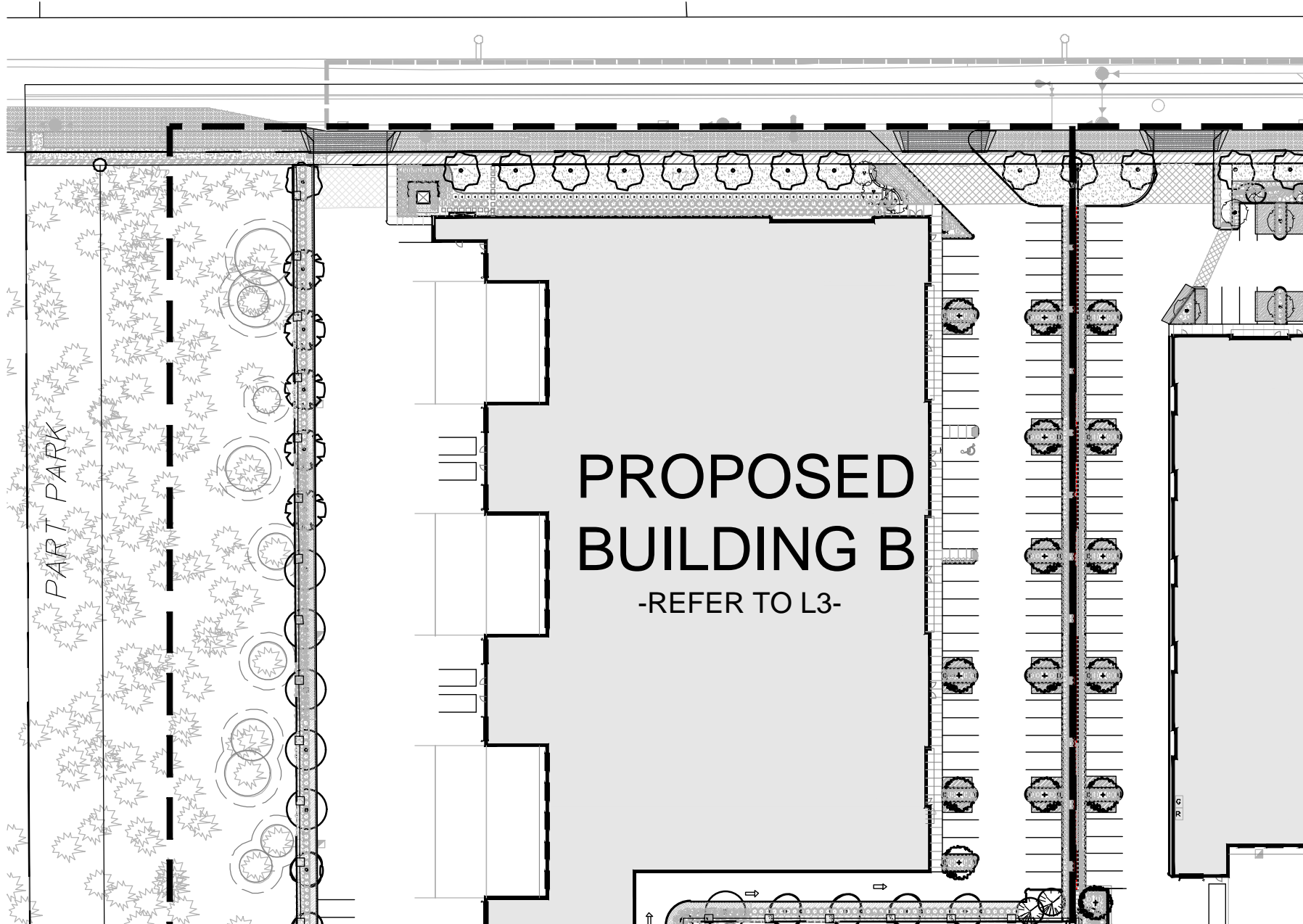
PROJECT: PROPOSED OFFICE/WAREHOUSE COMPLEX FOR

SUNMARK
INDUSTRIAL CAMPUS
BILLOD D
ADDRESS: 26TH AVE & 166TH ST SURREY

DRAWING: **BUILDING D OVERALL ELEVATIONS**

DESIGNED	DRAWN: D.F.
CHECKED: C.B.	
PROJECT DATE: FEB.23.21	

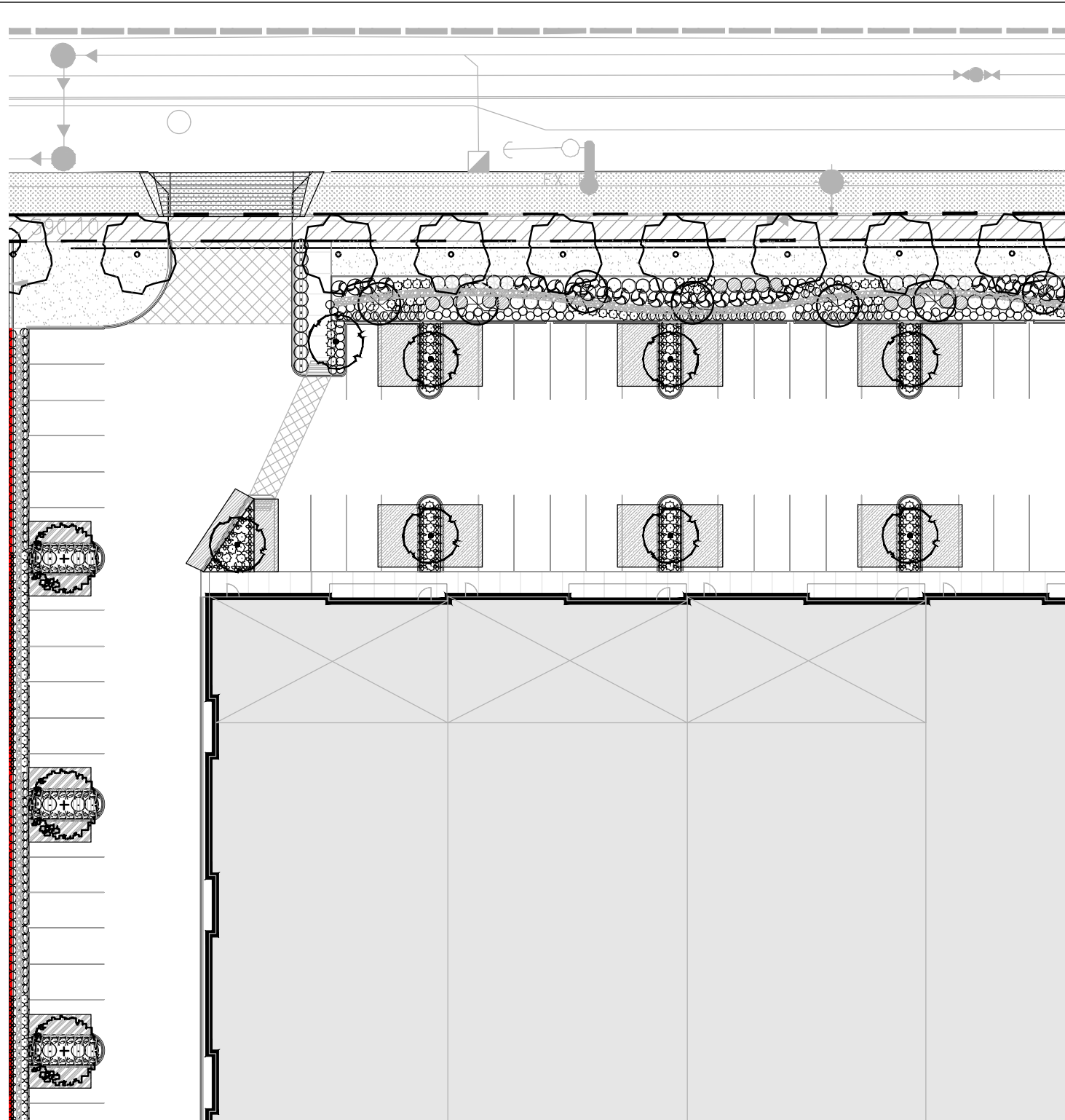
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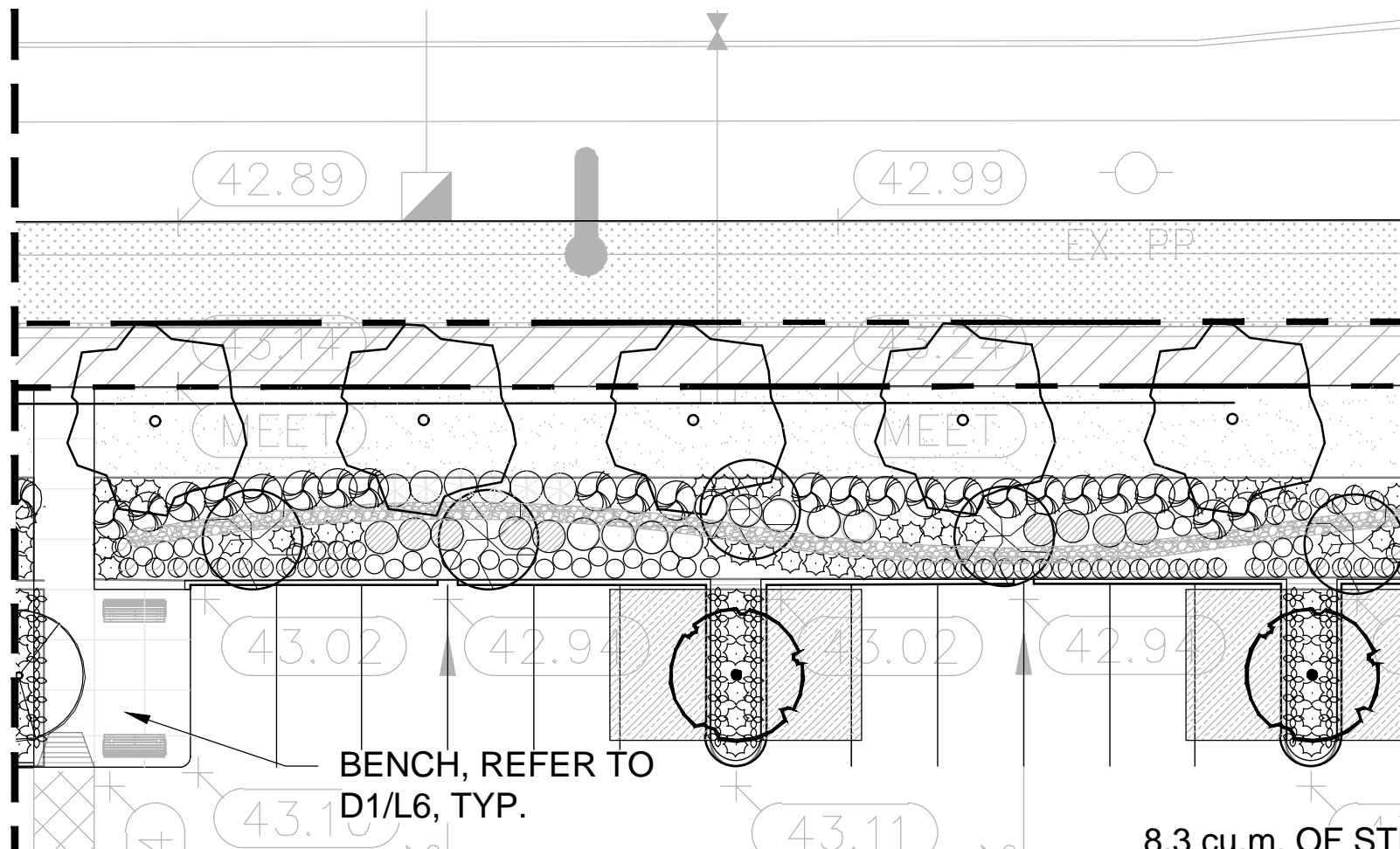


PART PARK

PROPOSED
BUILDING B
-REFER TO L3-

26





42.89

42.99

43.14

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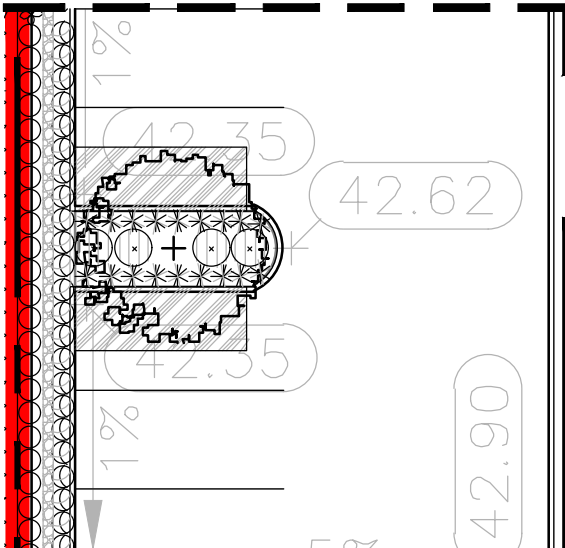
43.11

MEET

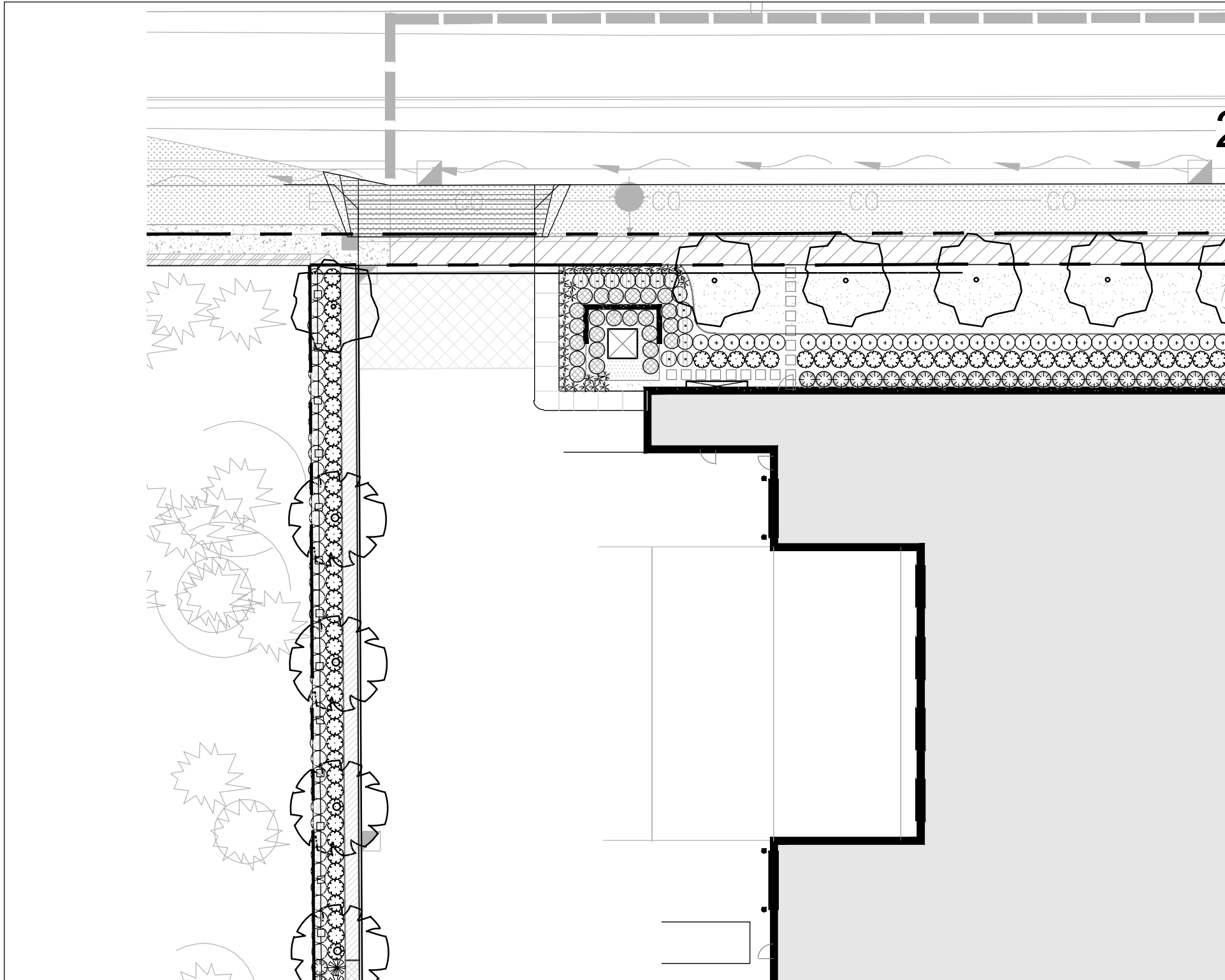
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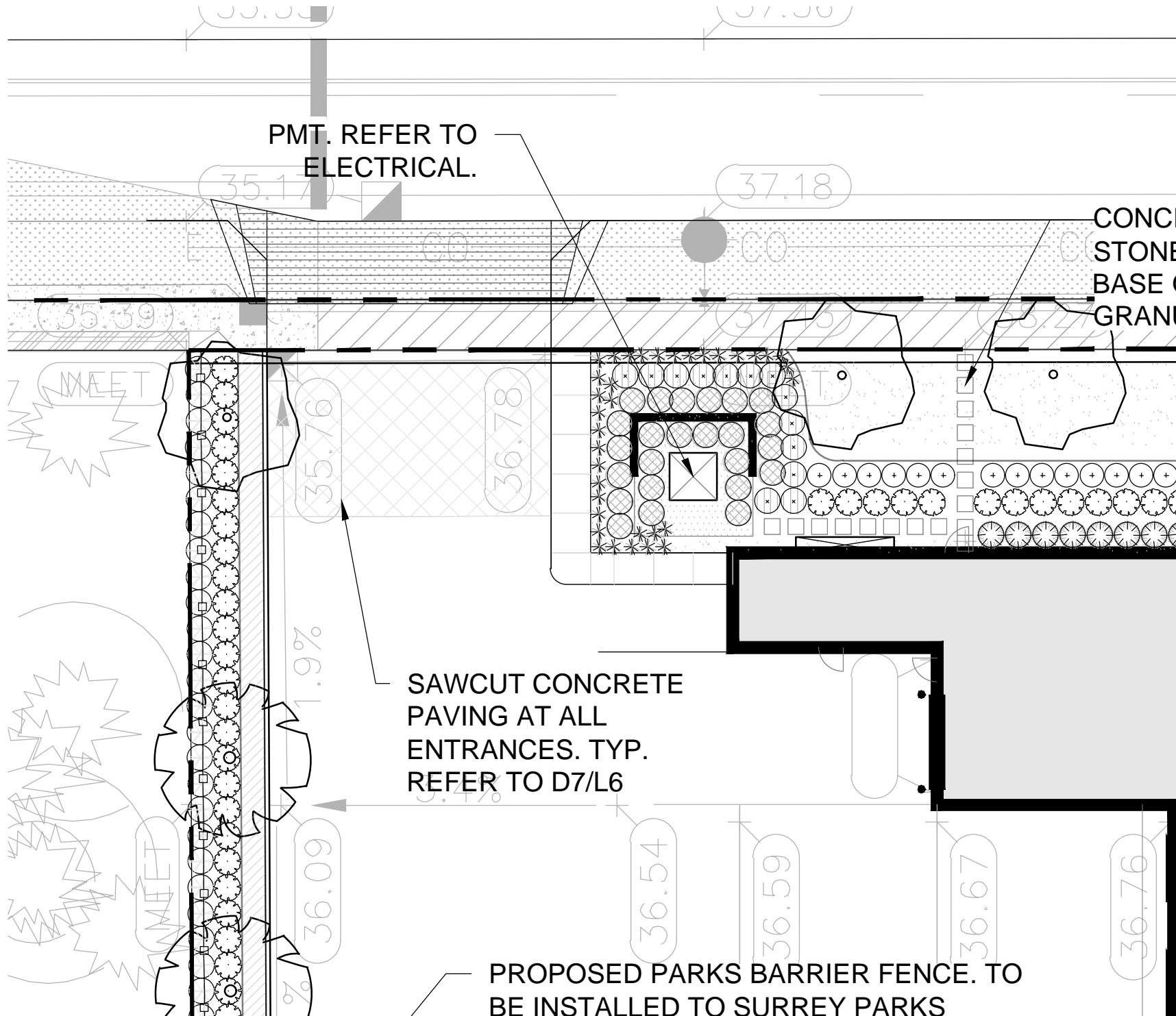
BENCH, REFER TO
D1/L6, TYP.

8.3 cu m. OF ST



PROPOSED





PMT. REFER TO ELECTRICAL.

CONC
STONE
BASE
GRAN

SAWCUT CONCRETE
PAVING AT ALL
ENTRANCES. TYP.
REFER TO D7/L6

PROPOSED PARKS BARRIER FENCE. TO
BE INSTALLED TO SURREY PARKS

35.17

37.18

35.39

37.15

35.27

MEET

35.76

36.78

MEET

1.9%

36.09

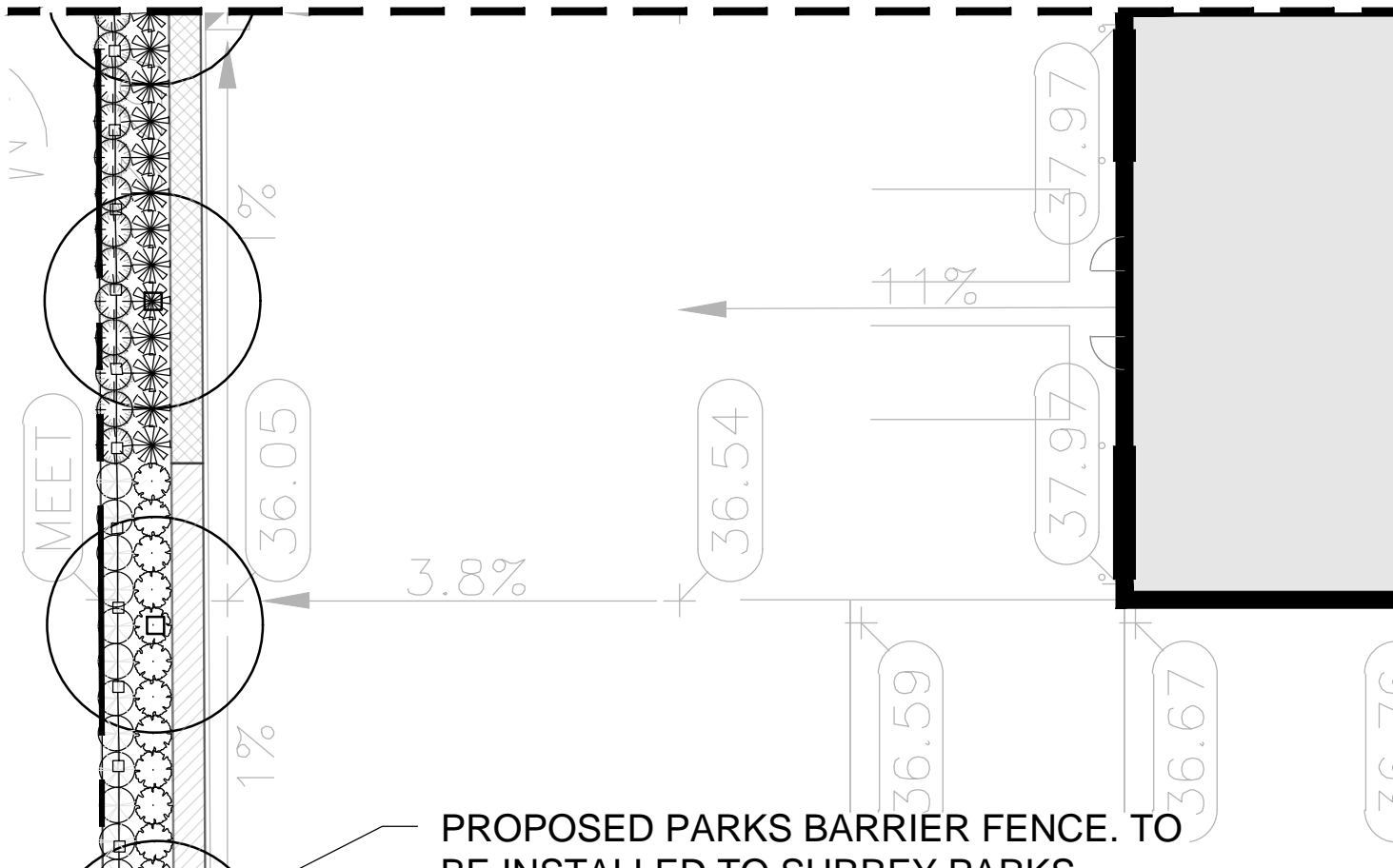
36.54

36.59

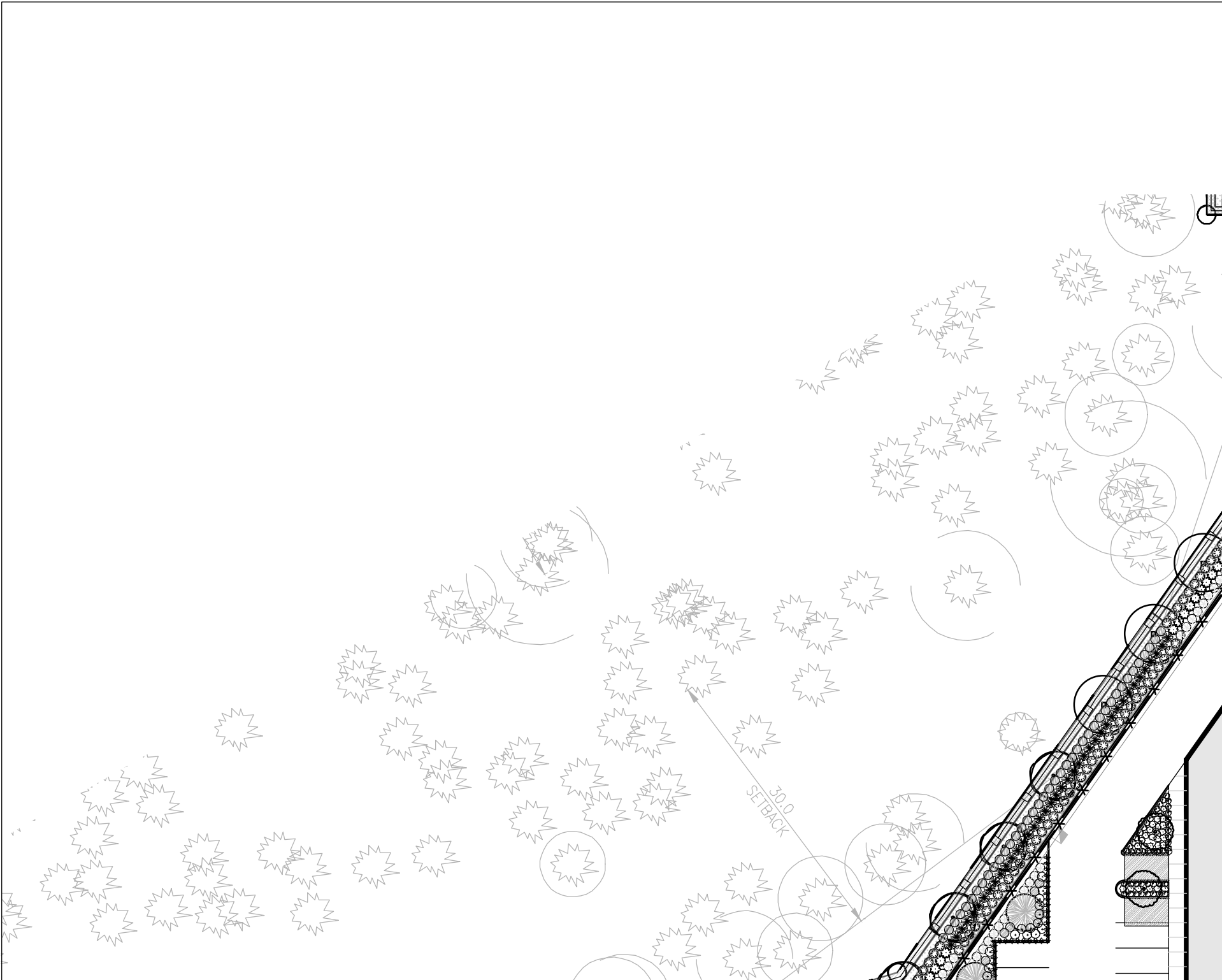
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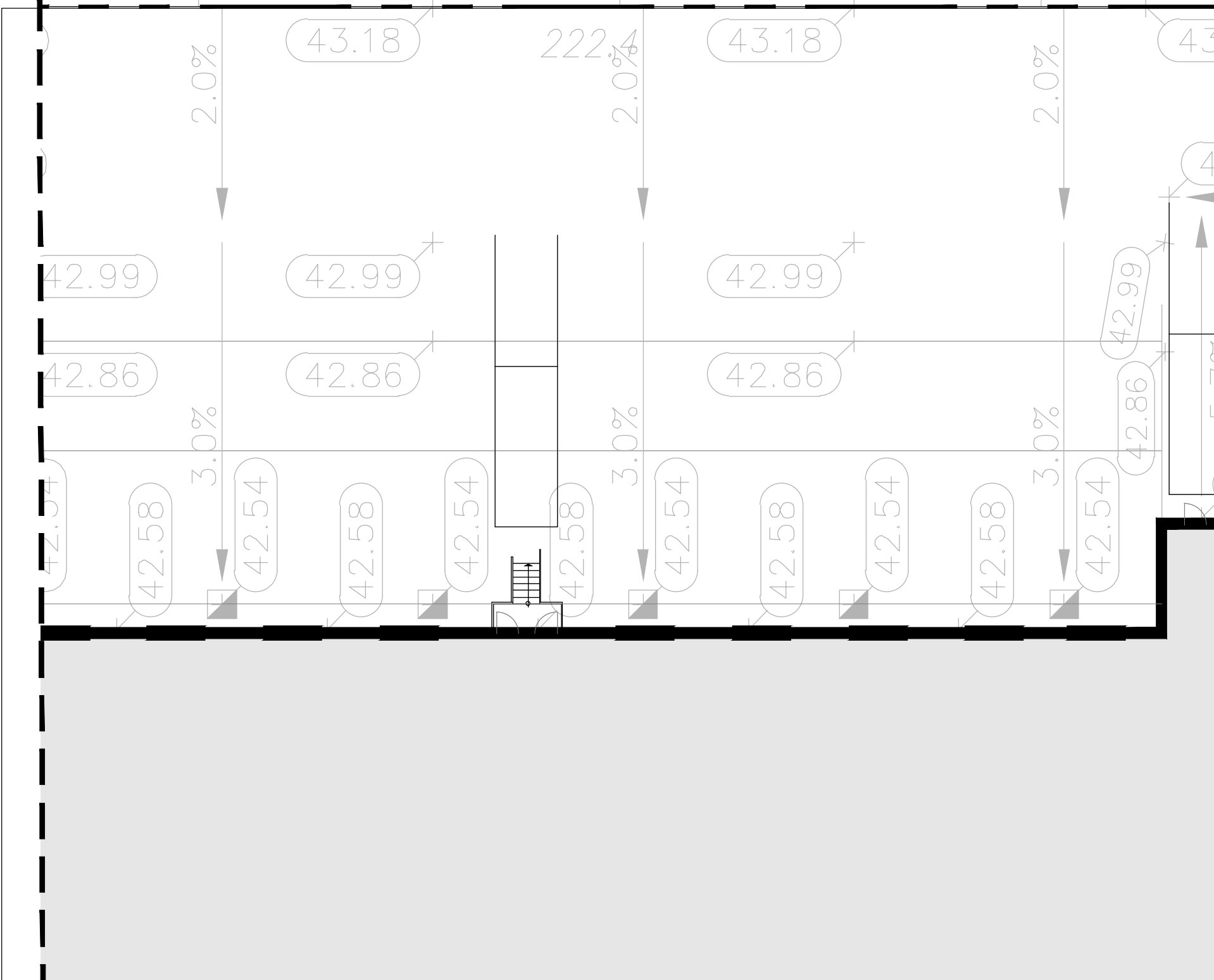
36.76

MEET

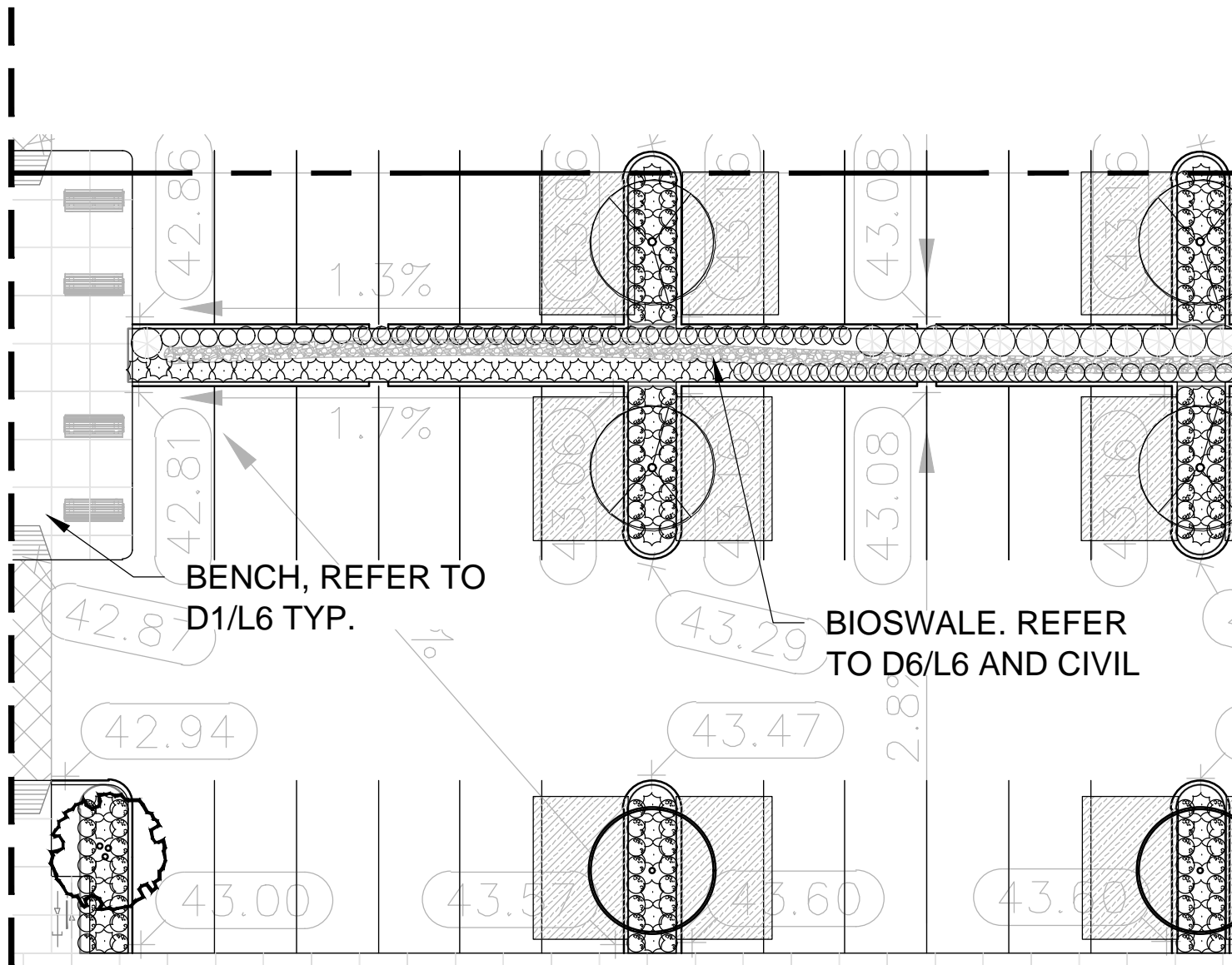


PROPOSED PARKS BARRIER FENCE. TO
BE INSTALLED TO SURREY PARKS





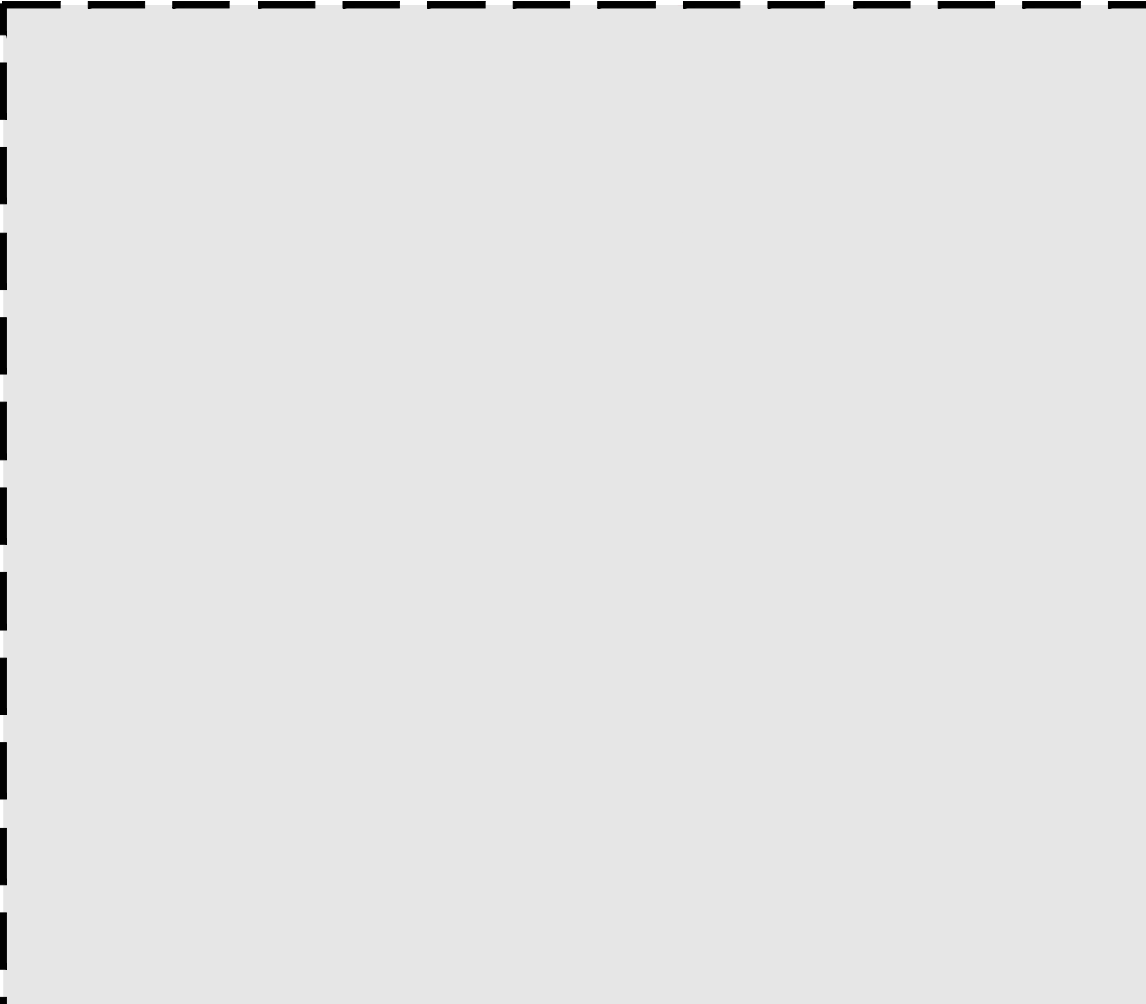




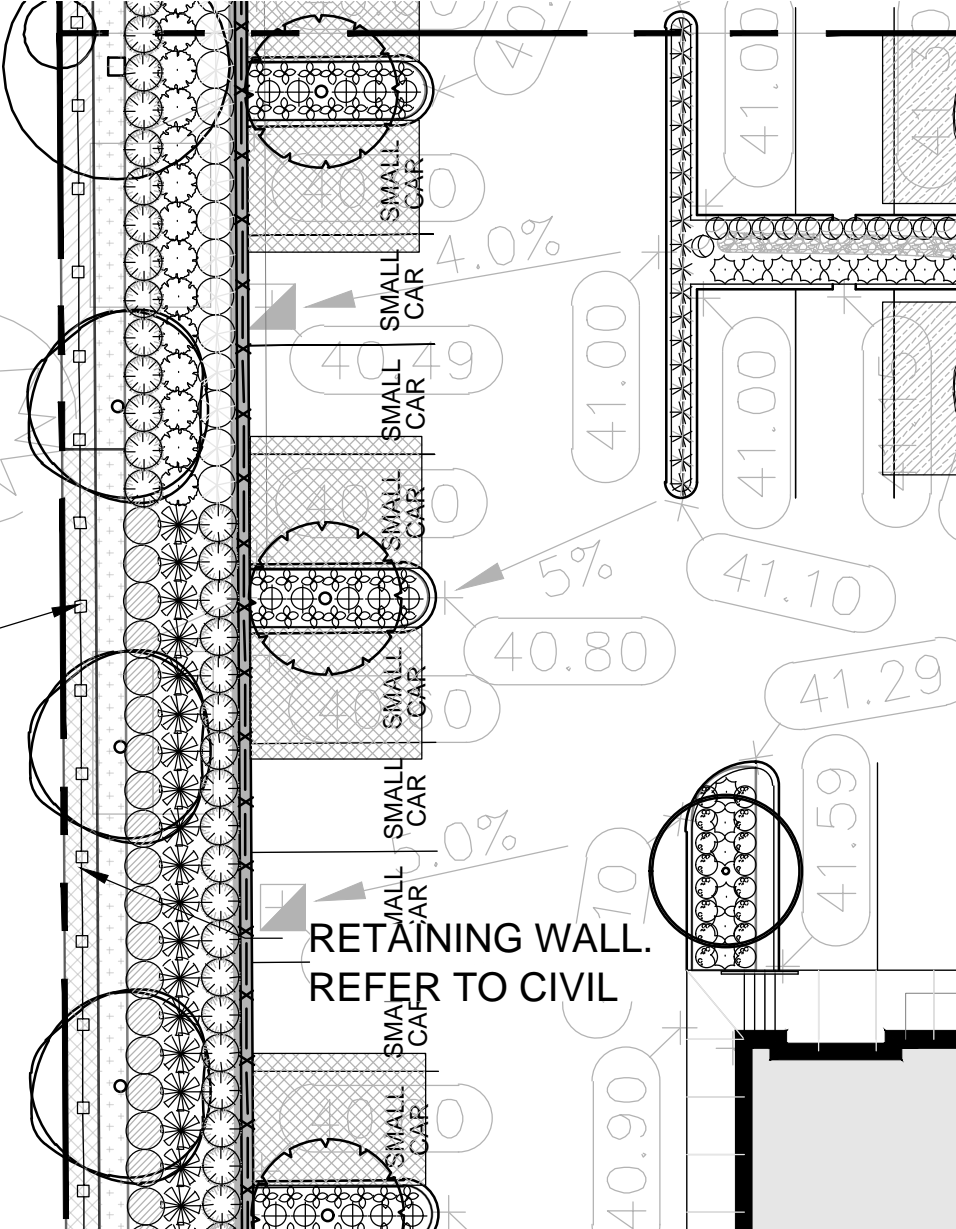
BENCH, REFER TO D1/L6 TYP.

BIOSWALE. REFER TO D6/L6 AND CIVIL

REFER TO SHEET L5.1











**PROPOSED PARKS BARRIER
FENCE. TO BE INSTALLED TO
SURREY PARKS STANDARD
SSD-PK5005. TO BE
INSTALLED JUST INSIDE THE
PROPERTY LINE.**





LEGEND

-  TURF GRASS
-  CONCRETE SIDEWALK PAVING
-  STAMPED CONCRETE
-  UNIT PAVERS
-  BENCH
-  EXISTING TREE TO BE RETAINED
-  PARKS BARRIER FENCE
-  CHAINLINK FENCE

5	26/02/21	RE-ISSUED FOR DP
4	23/12/20	RE-ISSUED FOR DP
3	23/09/20	RE-ISSUED FOR DP
2	05/09/20	ISSUED FOR DP
1	04/09/20	ISSUED FOR CLIENT REVIEW
NO.	DATE (YYYY)	DESCRIPTION
ISSUES & REVISIONS:		

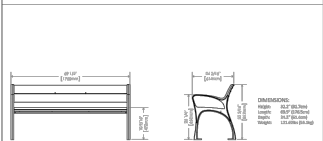
SCALE:



MLB870-W 870 SERIES



MATERIALS: Bench made from heavy duty cast aluminum. The seat supports for wood slats.
FINISH: The High Performance System provides a durable finish on all metal surfaces.
INSTALLATION: This bench is designed for easy assembly. While DUT can be installed in any location, it is designed to be used in open spaces.
TO SPECIFY: Select 870-W
FINISH: Select Finish Color



COLOUR: BLACK POWDER COAT.

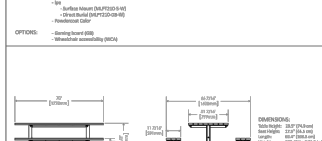


D1 BENCH N.T.S.

MLPT210-S-W 210 SERIES



MATERIALS: Table frames made from 2" x 3" MP aluminum frame with stainless corners. Horizontal support beams are used for structural stability and structural strength. Tables are made of 1" thick. **FINISH:** All steel components are protected with a clear coat finish. The High Performance System provides a durable finish on all metal surfaces.
INSTALLATION: The MLPT210 Series Cluster Seating can be installed in any location, it is designed to be used in open spaces.
TO SPECIFY: Select MLPT210-S-W
FINISH: Select Finish Color
OPTIONS: - Slatted bench top
 - Wheelchair accessibility (WC)



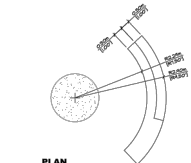
COLOUR: BLACK POWDER COAT.



D2 CLUSTER SEATING N.T.S.

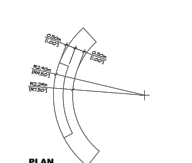


D3 BIKE RACK N.T.S.



PLAN
 NATURAL CONCRETE
 FINISH TO SURFACE
 150mm SLAB BEATING
 150mm COMPACT AT ALL SIDES
 CONCRETE SIDEWALK
 LANDSCAPE

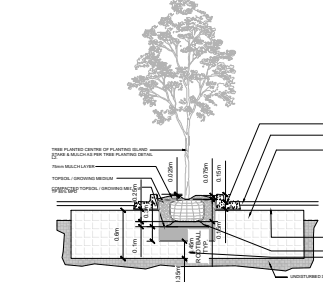
SECTION



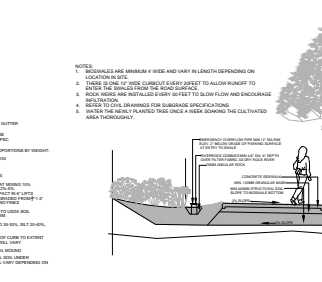
PLAN
 NATURAL CONCRETE
 FINISH TO SURFACE
 150mm SLAB BEATING
 150mm COMPACT AT ALL SIDES
 CONCRETE SIDEWALK
 LANDSCAPE

SECTION

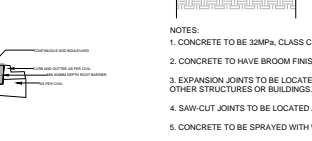
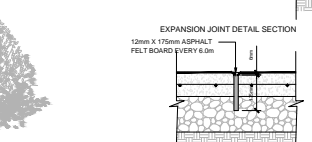
D4 CUSTOM BENCHES N.T.S.



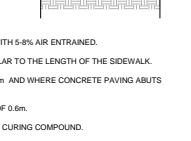
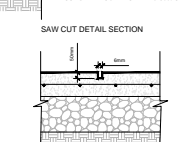
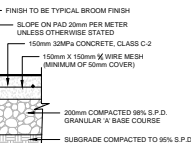
D5 STRUCTURAL SOIL N.T.S.



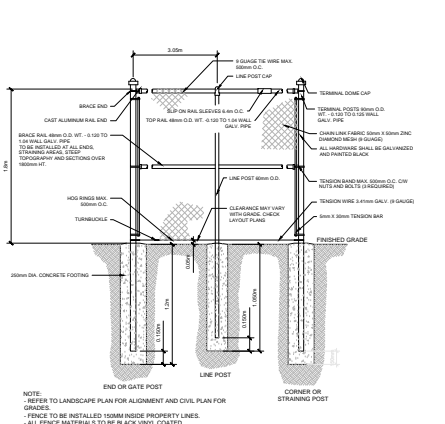
D6 BIO-SWALE N.T.S.



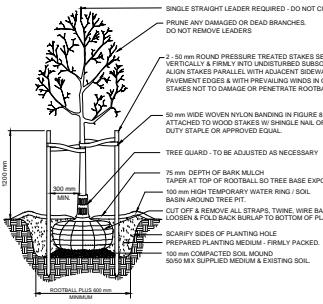
D7 SAW-CUT PAVING N.T.S.



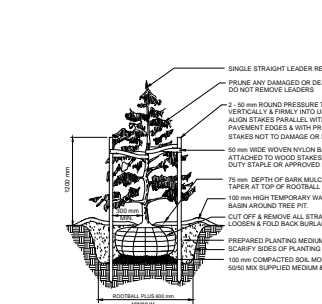
D7 SAW-CUT PAVING N.T.S.



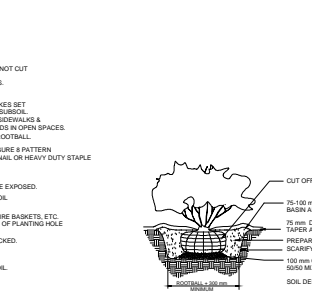
D8 CHAINLINK FENCING N.T.S.



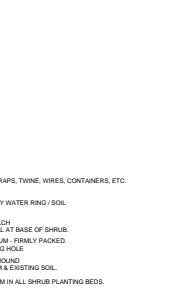
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.

NO.	DATE (MM/DD)	DESCRIPTION
1	26/02/21	RE-ISSUED FOR DP
2	23/12/20	RE-ISSUED FOR DP
3	23/09/20	ISSUED FOR DP
4	05/09/20	ISSUED FOR CLIENT REVIEW
5	04/06/20	ISSUED FOR CLIENT REVIEW

ISSUES & REVISIONS:

SCALE:



PROJECT NAME:
SUNMARK INDUSTRIAL CAMPUS

PROJECT ADDRESS:
**28TH AVE & 188TH STREET
 SURREY, BC**

DRAWING TITLE:
DETAILS

SCALE:	NTS
DESIGN:	JT
CHECKED:	JT
PROJECT NO.:	200089
DRAWING NO.:	

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 20, 2021** PROJECT FILE: **7820-0133-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18660 28 Avenue**

DEVELOPMENT PERMIT

The following are to be addressed as condition of issuance of Development Permit:

- Register a reciprocal access/parking easement for all the lots to ensure that adequate access/parking is provided for this development.

BUILDING PERMIT

The site was serviced under Surrey Project 7816-0068-00 which is complete. The following are to be addressed prior to the issuance of Building Permit:

- Construct minimum 9.0 m wide concrete letdowns to City standards for all accesses.
- Water quality treatment is requirement for all on-lot surface runoff prior to exfiltrating into the ground.
- Construct onsite infiltration and water treatment features as per Erickson Integrate Stormwater Management Plan and Campbell Heights Land Use Plan requirements under Restrictive Covenants on title.
- Evaluate services (water and sanitary sewer connections) provided to the site by 7816-0068-00 and relocate/modify through BP process.
- Provide water meter and service connection sizing calculations to confirm sizing requirements.
- Install permanent hard fencing along property lines bordering Park land and contact the Parks Development Inspector (604-501-5166) in the Park Development Services Section to coordinate the removal of hazardous trees in Park land.

The applicant is advised to review the sustainable drainage and water quality control Restrictive Covenants registered on title prior to submitting building permit application.

A processing fee of \$1,722.00 (GST included) is needed to administer the legal document required above.



Tommy Buchmann, P.Eng.
Development Services Manager

AY

4.0 Tree Preservation Summary

Table 3: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address 2635, 2727, 2775 188th Street & 18660 28th Ave Campbell Heights Surrey, BC

Registered Arborist Max Rathburn

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	1033
Protected Trees to be Removed	1033
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 174 X one (1) = 174 - All other Trees Requiring 2 to 1 Replacement Ratio 858 X two (2) = 1716	1890
Replacement Trees Proposed	344
Replacement Trees in Deficit	1546
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	125

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	3
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 3 X two (2) = 6	6
Replacement Trees Proposed	0
Replacement Trees in Deficit	6

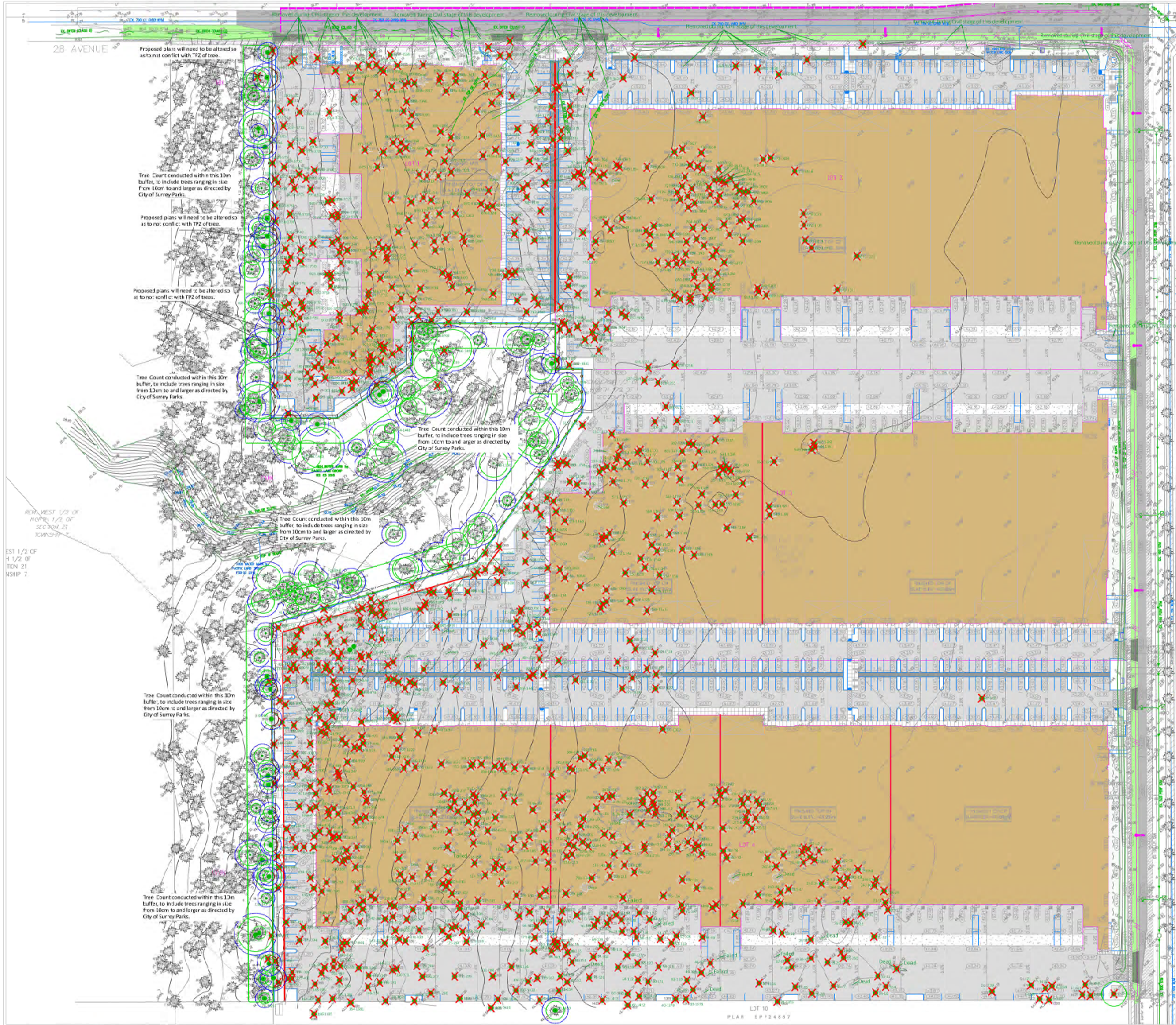
Summary, report and plan prepared and submitted by



April 20, 2021

Signature of Arborist

Date



Arborist notes:

1. Any work within 1.5m of a retained riparian tree will require arborist supervision.
2. Any landscaping work within the TPZ of retained riparian trees must be pre-approved by project arborist.

APPENDIX IV

- LEGEND
- TREE PROTECTION ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION FENCE
 - TREE TO BE RETAINED
 - IN-SURVEYED TREE
 - ✖ TREE TO BE REMOVED
 - EXTENT OF STEM COUNT

NOTES

1. The location of surveyed trees on this plan is approximate. Their location and cover may cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from 75cm to edge of the plan of the tree.
3. This tree protection zone sticker is a graphical representation of the critical root zone measured from the outer edge of the stem of the tree. A tree stem diameter was added to the graphical tree protection circles to accommodate the survey point being in the corner of the stem.
4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
5. This plan is based on a topographic and tree location survey provided by the owner Registered British Columbia Land Surveyor (BCLS) and licensed drawings provided by the owner's Engineer (P.E.C.).
6. This plan is provided for context only, and is not certified as to the accuracy of the location of trees or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE PLAN
09/10/20

REFERENCE DRAWING
09/10/20

REFERENCE DRAWINGS

- 1 Base Survey by:

DATE PLAN 10/03/14



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