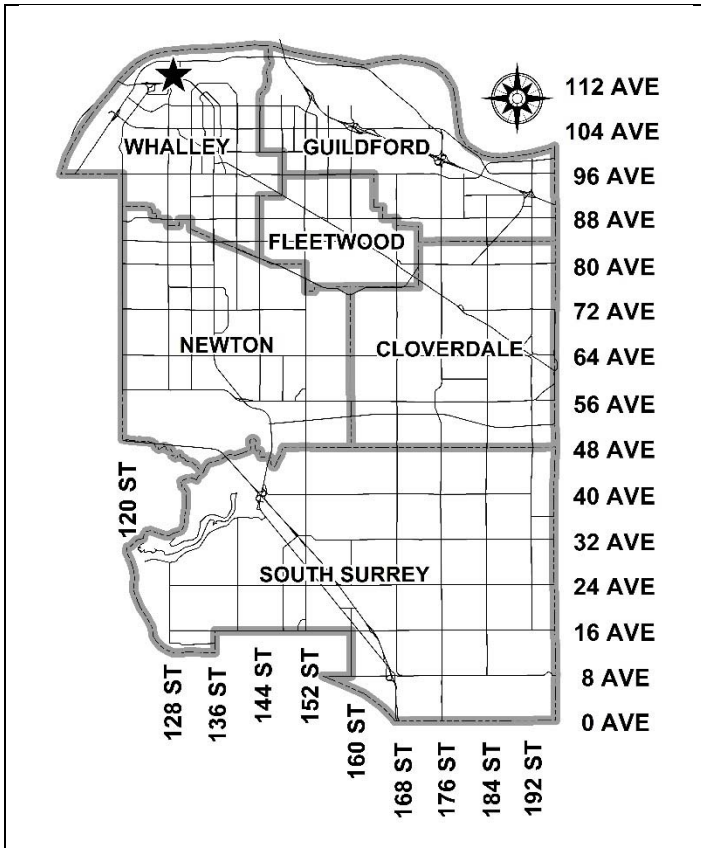


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7920-0135-00

Planning Report Date: July 27, 2020



**PROPOSAL:**

- **Rezoning** from I-4 and CHI to IL
- **Development Permit**
- **Development Variance Permit**

to permit the development of a one-storey (with mezzanine) industrial building.

**LOCATION:**

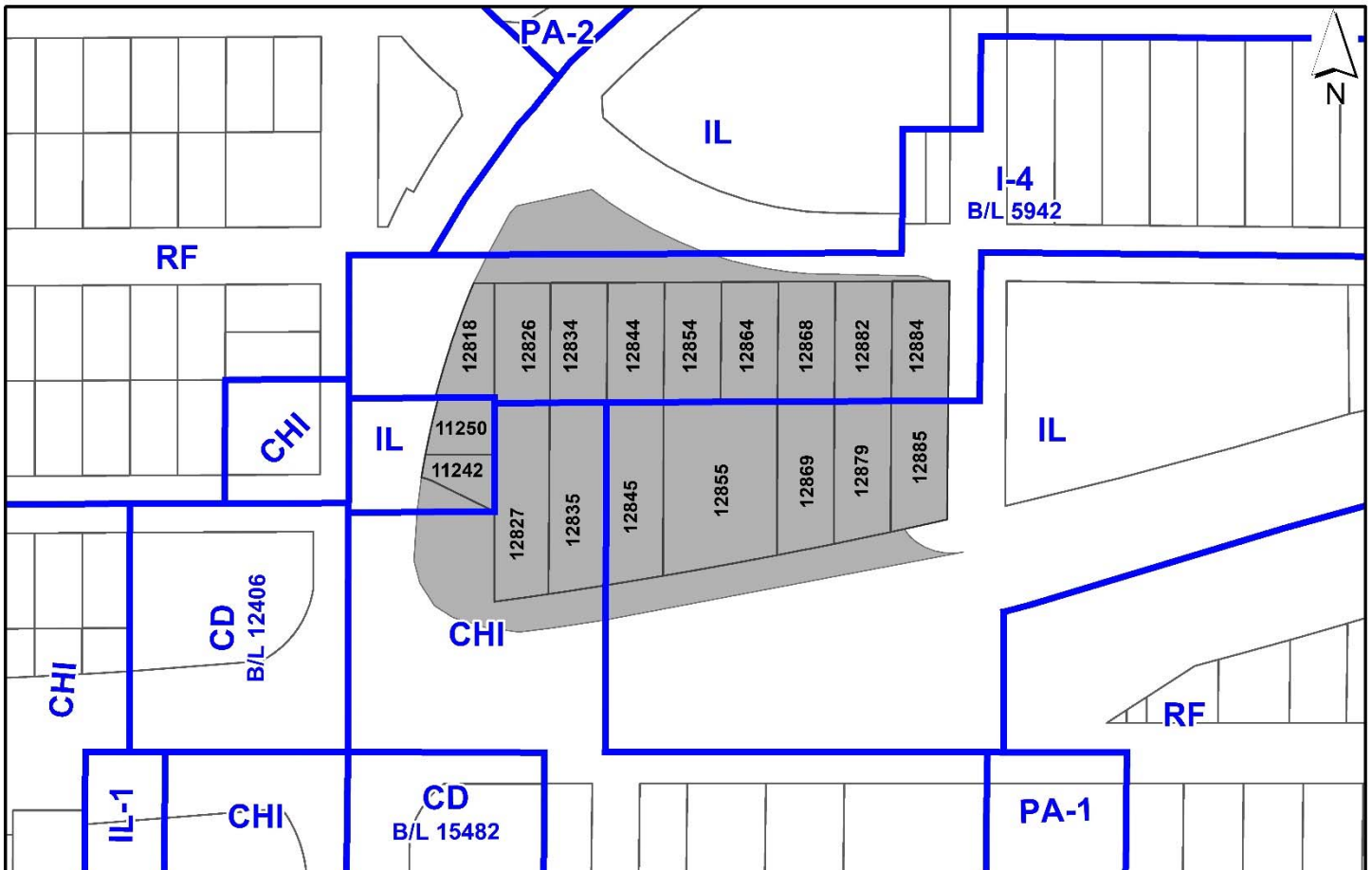
11242 and 11250 - 128 Street  
 12818, 12826, 12834, 12844, 12854,  
 12864, 12868, 12882 and  
 12884 - 112B Avenue  
 12827, 12835, 12845, 12855, 12869,  
 12879 and 12885 - King George  
 Boulevard

**ZONING:**

I-4, CHI and IL

**OCP DESIGNATION:**

Industrial



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit for Form and Character, and Hazard Lands (Flood Prone).
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the setback requirements of the "Light Impact Industrial Zone (IL)".
- Proposing to reduce the minimum landscape requirement along the east lot line from 1.5 metres to 1.0 metres.
- Proposing to vary the definition of "bond" in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended, to include the use of a Surety Bond for Servicing Agreement No. 7820-0135-00.
- Proposing to vary the Sign By-law, for a free-standing (monument) sign along the King George Boulevard frontage, through a comprehensive sign design package.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Industrial designation in the Official Community Plan (OCP) as well as the City's Employment Land Strategy.
- The proposal complies with the Development Permit requirements in the OCP for both Form and Character and Hazard Lands (Flood Prone).
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The tilt-up concrete building will include extensive glazing along the King George Boulevard, Bridgeview Drive and 112B Street frontages and the street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed signage, which is of high quality and an appropriate scale for the development, has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site as follows:
  - o 12827 and 12835 King George Boulevard and a portion of the King George Boulevard frontage road, shown as the hatched portion of Block B on the Survey Plan attached as Appendix I, from "Highway Commercial Zone (CHI)" to "Light Industrial Zone (IL)"; and
  - o 12818, 12826, 12834, 12844, 12854, 12864, 12868, 12882 and 12884 – 112 Avenue and a portion of 112B Avenue, shown as the hatched portion of Block A on the Survey Plan attached as Appendix I, from "Special Industry Zone (I-4)" to "Light Impact Industrial Zone (IL)" and a date be set for Public Hearing.
2. Council approve the applicant's request to vary the Sign By-law as described in Appendix IV.
3. Council authorize staff to draft Development Permit No. 7920-0135-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix I) and the accepted geotechnical feasibility report.
4. Council approve Development Variance Permit No. 7920-0135-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum front yard (east) setback of the IL Zone from 7.5 metres to 3.3 metres;
  - (b) to reduce the minimum side yard on a flanking street (south) yard setback of the IL Zone from 7.5 metres to 3.7 metres;
  - (c) to reduce the minimum rear (west) yard setback of the IL Zone from 7.5 metres to 3.0 metres;
  - (d) to reduce the minimum landscape requirement along the east lot line from 1.5 metres to 1.0 metres; and
  - (e) to vary the definition of "Bond" in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended, to include the use of Surety Bond for Servicing Agreement No. 7820-0135-00.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) issuance of a Certificate of Compliance from the Ministry of Environment;

- (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
- (h) submission of a finalized Geotechnical Report to the satisfaction of City staff;
- (i) completion of the road closure and acquisition of King George Boulevard frontage road and a portion of 112B Avenue (shown as Block A and Block B respectively on the Survey Plan attached as Appendix I);
- (j) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space;
- (k) registration of a Section 219 Restrictive Covenant to restrict access to the site from 112B Avenue (Right-In, Right-Out only) and 129 Street;
- (l) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
- (m) registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the Flood Construction Level (FCL) and to inform current and future Owners that the subject property is located within a floodplain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	18 (including two (2) City-owned lots) vacant industrial lots	Industrial in the OCP	CHI, I-4 and IL
North (Across 112B Street):	Vacant lots (both City-owned and private)	Industrial in the OCP	IL and I-4

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East (Across 129 Street):	Truck and industrial equipment repair center	Industrial in the OCP	IL
South (Across King George Boulevard):	Petro-Canada gas station and vehicle service and sales business.	Multiple Residential, Highway Commercial, and Parks and Open Spaces in the South Westminster NCP	CD (By-law No. 15842) and CHI
West (Across Bridgeview Drive):	Chevron gas station, vacant commercial-industrial lot and single family dwellings.	Urban and Commercial in the OCP	CD (By-law No. 12406), CHI and RF

### Context & Background

- The subject site, located at the north-east corner of the King George Boulevard and Bridgeview Drive interchange, is designated "Industrial" in the Official Community Plan (OCP) and is currently zoned "Light Impact Industrial Zone (IL)" and "Highway Commercial Industrial Zone (CHI)" under Surrey Zoning By-law, 1993, No. 12000, and "Special Industry Zone (I-4)" under Surrey Zoning By-law, 1964, No. 2265.
- The subject site is currently comprised of 18 lots, including two City-owned lots (11242 and 11250 – 128 Street), and has a site area of approximately 14,243 square metres (1.45 hectares). All of the existing lots are vacant.
- The north-west portion of the subject site contains a Class C (green-coded) watercourse. This Class C (green-coded) classification has been verified by the project Qualified Environmental Professional (QEP) and accepted by staff.
- The site is within the 200-year flood plain of the Serpentine River and is therefore within a Hazard Lands Development Permit Area for Flood Prone areas.

### DEVELOPMENT PROPOSAL

#### Planning Considerations

- In order to permit the development of a 10,200-square metre one-storey (with mezzanine) industrial building, the applicant is proposing the following:
  - Rezoning a portion of the subject site from I-4 and CHI to IL;
  - Consolidation of 18 lots (including two (2) City-owned lots at 11242 and 11250 - 128 Street) in addition to the closure and acquisition of the King George Boulevard frontage road and a portion of 112B Avenue, into 1 lot;
  - Development Permit for Form and Character as well as Hazard Lands (Flood Prone Area); and

- Development Variance Permit for reduced setbacks, landscape requirements and to vary the definition of "Bond" in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
- Although the current proposal is for a single user industrial building the applicant has indicated that there may be potential for future interior demising to allow for a two tenant configuration.

	Proposed
<b>Lot Area</b>	
Gross Site Area (Fee Simple Lots):	14,243 square metres
Gross Site Area (Road Closure):	4,201 square metres
Road Dedication:	443 square metres
Undevelopable Area:	N/A
Net Site Area:	18,001 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	12.2 metres (principal); 2.4 metres (accessory)
<b>Floor Area Ratio (FAR):</b>	0.6
<b>Floor Area</b>	
Industrial:	9,709 square metres
Office:	481 square metres
Mechanical/Electrical:	42 square metres
Total:	10,232 square metres

## Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No concerns.
Ministry of Environment (MoE):	No concerns,  The MoE has received and accepted a notice of independent remediation with respect to the subject site. As such, the City of Surrey is no longer prohibited from approving the subdivision, rezoning and development permit application as per Section 557(2)(e) of the <u>Local Government Act</u> .
Surrey Fire Department:	No concerns.  City of Surrey By-law No. 19108 for Public Radio Amplification applies to this building. A Building Permit will not be issued until a Construction Fire Safety Plan (CFSP) has been submitted for review and approval to the Fire Department.

Advisory Design Panel: The application was not referred to the ADP but was reviewed by staff and found satisfactory.

### Transportation Considerations

- As part of the subject development application the applicant will be required to complete the following road dedication and works:
  - Provide approximately 8.0-metre wide offset from the existing edge of curb of King George Boulevard to allow for ultimate future boulevard construction;
  - Provide a 20-metre x 20-metre corner cut at the intersection of Bridgeview Drive and 112B Avenue;
  - Provide a 6-metre x 6-metre corner cut at the intersection of 112B Avenue and 129 Street;
  - Construct the south side of 112B Avenue;
  - Dedicate approximately 0.65-metre for ultimate 20.0-metre 129 Street road allowance and a minimum 17.0-metre radius cul-de-sac (18.5 metres proposed) and construct the west side of 129 Street; and
  - Register a 0.5-metre wide statutory right-of-way along all lot lines.
- To complete the subdivision, as proposed, the applicant will purchase both a 1,747-square metre portion of 112B Avenue to the north and the King George Boulevard frontage road to the south of the subject site, which is 2,455 square metres in area and provides an east-west connection between 129 Street to Bridgeview Drive (see Survey Plan attached as Appendix I). The Engineering Department has deemed both portions of existing road right-of-way as surplus and, therefore, support closure and consolidation with the subject site.
- The subject site will be accessed via two driveways off both 112B Avenue and 129 Street, with 112B Avenue access restricted to right-in/right-out movements only.
- Trucks will circulate around the north side of the building to the loading bays located along the north building face.
- The main parking lot for staff and visitors will be located on the north portion of the subject site, along 112B Avenue.
- Pedestrian connections to be building are proposed along both the Bridgeview Drive and King George Boulevard frontages, adjacent to an existing bus stop. An additional pedestrian connection is proposed from the north-east building entrance to 129 Street.

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The proposal complies with the "Industrial" designation under the Metro Vancouver Regional Growth Strategy (RGS).

### Official Community Plan

#### Land Use Designation

- The proposal complies under the "Industrial" designation in the Official Community Plan (OCP).

#### Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
  - Policy B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas and spaces.
  - Policy E1.6 – Support the infill and redevelopment of under-utilized properties within Industrial land designations.
  - Policy E1.8 – Ensure a positive interface between employment lands and accompanying industrial activities and uses.
  - Policy E1.10 – Ensure sufficient, convenient, and appropriate access to employment lands, including supply and goods movement routes, and access to employment opportunities for Surrey's workforce.

### Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Light Impact Industrial Zone (IL)", and parking requirements.

IL Zone (Part 48)	Permitted and/or Required	Proposed
<b>Floor Area Ratio:</b>	1.0	0.57
<b>Lot Coverage:</b>	60%	52%
<b>Yards and Setbacks</b>		
North:	7.5 metres	21.7 metres
East:	7.5 metres	3.3 metres*
South:	7.5 metres	3.7 metres*
West:	7.5 metres	3.0 metres*
<b>Height of Buildings</b>		
Principal buildings:	18 metres	12.2 metres



IL Zone (Part 48)	Permitted and/or Required	Proposed
Accessory buildings:	6 metres	2.4 metres
Parking (Part 5)	Required	Proposed
Number of Stalls		
Industrial:	97	97
Office:	12	12
Total:	109	109
Accessible/Van-Accessible:	3 (of which 1 is to be van-accessible)	3 (of which 2 are van-accessible)
Bicycle Spaces		
Total:	0	6

\*DVP Proposed. Additional information available in the "Setback and Landscape Requirement Variance" section below.

#### Setback and Landscape Requirement Variance

- The applicant is requesting the following variances:
  - Reduce the minimum front (east) yard setback of the IL Zone from 7.5 metres to 3.3 metres;
  - Reduce the minimum side yard on a flanking street (south) yard setback of the IL Zone from 7.5 metres to 3.7 metres;
  - Reduce the minimum rear (west) yard setback of the IL Zone from 7.5 metres to 3.0 metres; and
  - Reduce the minimum landscape requirement along the east lot line from 1.5 metres to 1.0 metres.
- With re-development of the subject site no access is permitted from either King George Boulevard or Bridgeview Drive, and loading bays are proposed to be located along the north side of the new building. In order to accommodate drive aisles that allow for the full movement of vehicles on-site, including truck access to the northern loading bays, building setbacks along the north property line (112B Avenue) exceed the minimum requirements of the IL Zone.
- The proposed reduced front (east), side yard on a flanking street (south) and rear (west) setbacks will help offset the impacts of on-site vehicle circulation on the building envelope while ensuring a useable floor area for future industrial uses within the proposed building.
- The majority of landscaping buffer along the front (east) lot line meets or exceeds the minimum 1.5-metre width requirement. A partial reduction has been sought due to both the required 129 Street road dedication, specifically an off-set cul-de-sac, and to accommodate all required off-street parking. The parking lot has been designed to maximize parking efficiency and vehicular maneuverability.
- Lands to the immediate east of 129 Street are designated "Industrial" in the OCP and currently zoned "Light-Impact Industrial"

- Staff support the requested variances to proceed to Public Notification.

"Bond" Definition Variance (Subdivision and Development By-law, 1986, No. 8830, as amended)

- The applicant is requesting to vary the definition of "Bond" in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended, to include the use of Surety Bond for Servicing Agreement No. 7820-0135-00.
- In 2016, Council approved Corporate Report No. R257; 2016, which authorized a pilot program for the use of surety bonds as an alternate form of security of Servicing Agreements. Subsequently, in 2019, Council approved Corporate Report No. R227; 2019 which included a modification to the terms of the pilot program and increased the maximum number of eligible land development projects from five (5) to 12. Under the Surrey Economic Action and Recovery Plan from the COVID-19 Pandemic (Corporate Report No. R071, 2020) the maximum number of eligible land development projects was further increased from 12 to 20.
- A Surety Bond is a three-party agreement between the City, the Developer and the Surety Bond Company which obligates the Surety to pay the City of the Developer defaults in completing the off-site engineering servicing workers for the land development projects in the pilot program. The Developer's working capital will then be freed to greater liquidity that can be then encouraged for reinvestment into the City.
- The Surety will be required to maintain a minimum A level rating from A.M. Best Rating Services.
- The Engineering Department supports the variance to include the use of Surety Bond for Servicing Agreement No. 7820-0135-00.

**Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

**PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on June 23, 2020 and the Development Proposal Signs were installed on June 26, 2020. To date, staff have received no responses from area residents with respect to the subject development proposal.

**DEVELOPMENT PERMITS**

**Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character.

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to relocate off-street parking spaces to the northern portion of the site in order to provide for an improved streetscape along both King George Boulevard and Bridgeview Drive as well enhance and improve the architectural quality of the proposal given the prominence of the adjacent intersection as a "gateway" to Surrey.

### Proposed Building

- Overall, the building is proposed to have a modern, linear appearance. Architectural emphasis is placed at the northeast and southwest corners of the building through the use of full building height structural glazing containing bands of semi-frosted and frosted glass. Additional tilt-up concrete extrusions and vertical glazing have been included on the east and west facades, where the building is more visible from northbound King George Boulevard and Bridgeview Drive traffic respectively.
- The proposed tilt-up concrete is proposed to be painted pale grey ("Distant Gray") and accented with grey ("Whale Gray"), dark grey ("Wrought Iron") and black ("Twilight Zone").
- The majority of the ground floor will be used for industrial manufacturing/warehouse area. Future office area is proposed for a portion of the 2<sup>nd</sup> storey mezzanine space with the remainder to be used for light impact industrial purposes.
- All rooftop mechanical units will be well-screened by metal mesh screening.

### Mezzanine Space

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The applicant is proposing 10% mezzanine space at this time.
- As the subject proposal currently meets the off-street parking requirements of the Zoning Bylaw, with no additional parking spaces available, the applicant has agreed to register a Section 219 Restrictive Covenant restricting the mezzanine space to avoid a situation where there may be insufficient parking for the development in the future.

### Signage

- A free-standing (monument) sign is proposed along the King George Boulevard frontage, near the south-west corner of the site, in order to identify the address of the future industrial building. The proposed sign will consist of individual metal channel letters affixed to a proposed concrete retaining wall, which will be incorporated into the proposed on-site landscape buffer. As the building setback along the King George Boulevard frontage is less than 5.0 metres a variance to the Sign By-law is required (see Appendix IV).
- An additional free-standing sign is proposed along the 112B Avenue frontage, near the north-east corner of the proposed building, and will consist of individual metal channel letters affixed to a concrete retaining wall directly adjacent to the building entrance.

- Upper storey fascia signs are proposed along both the King George Boulevard and Bridgeview Drive frontages, consisting of individual metal channel letters with a maximum height of 1.0 metres.
- Final signage details will be addressed through future sign permit applications.

### Landscaping

- The proposed landscaping consists of a landscape buffer, which varies from 1.0 to 8.0 metres in width, around the entire perimeter of the subject site.
- To address the proposed grade change between the existing road allowance and the proposed building the landscape buffer along both the King George Boulevard and Bridgeview Drive frontages is to be constructed on a slight incline. A series of small, concrete retaining walls are proposed between the south building entrance and King George Boulevard; however, these will be well-screened by landscaping and integrated into the architectural language of the proposed building.
- A 1.5-metre wide accessible concrete sidewalk is proposed along the east and south building frontage in order to provide for on-site pedestrian circulation and access.
- The proposed landscaping will consist a variety of trees, including: Grand Fir, Red Maple, Autumn Blaze Maple, Autumn Purple Ash, Royal Star Magnolia, Bruns Spruce, Austrian Black Pine and Flowering Cherry.
- The proposed tree planting will be located primarily along the property's edges, within the proposed landscape buffer, as well as within the proposed employee and visitor parking area in order to provide for additional shade value. The trees will be complemented by a variety of shrubs and ground cover planting.
- A section of 1.5-metre high "Omega" (architecturally designed, black wire mesh) fencing is proposed at the north-west corner of the site in order to screen the north-facing loading bays from Bridgeview Drive.

### Amenity Space

- A small outdoor amenity area for employees is proposed along the north property line, adjacent to 112B Avenue. This area includes a landscape screened seating area. An additional amenity space, containing a raise seating area, is proposed along the west building elevation.

### **Hazard Lands (Flood Prone) Development Permit Requirement**

- The subject property falls within the Hazard Lands (Flood Prone) Development Permit Area (DPA) in the OCP, given that the site is within the 200-year floodplain of the Fraser River. The Hazard Land (Flood Prone) Development Permit is required to protect developments from hazardous conditions.

- A feasibility study, prepared by Kevin, Bodnar, *P. Eng.*, of GeoPacific Consultants Limited and dated March 22, 2019, was reviewed by staff and found to be complete and addresses the requirements in the Official Community Plan (OCP). The finalized study will be incorporated into the Development Permit.
- The study investigated issues related to flooding to determine the feasibility of developing the site and proposing recommendations to mitigate potential hazards.
- A minimum flood plain elevation of 5.0 metres geodetic is required. All habitable spaces and mechanical/electrical switchgear within the proposed building has been located at a geodetic elevation of 5.0 metres or higher, which complies with the requirements.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including preloading considerations, site preparation, foundation design, perimeter drainage, pavement structure, methane generation and utilities installation.
- Registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a floodplain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion is required as a condition of final adoption.

## TREES

- Austin Peterson, ISA Certified Arborist of Van Der Zalm + Associates, prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	0	0	0
Cottonwood	2	2	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Linden	2	0	2
Maple	2	0	2
Mountain Ash	3	3	0
Oak	3	0	3
Styrax	7	0	7
<b>Coniferous Trees</b>			
Douglas-fir	3	3	0
Pine	10	0	10
Western Hemlock	1	1	0
Western Red Cedar	3	3	0

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>34</b>	<b>10</b>	<b>24</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)	<b>85</b>		
<b>Total Retained and Replacement Trees</b>	<b>109</b>		
<b>Contribution to the Green City Program</b>	<b>Not Applicable</b>		

- The Arborist Assessment states that there is a total of 36 protected trees on the site, including two (2) Cottonwood trees (approximately 6% of the total trees on the site). It was determined that 24 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The majority of the on-site trees, approximately 33 of the 36 identified protected trees, are located within the existing and proposed King George Boulevard and Bridgeview Drive boulevards.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 22 replacement trees on the site. The applicant is proposing 85 replacement trees, exceeding City requirements.
- The proposed landscaping will consist a variety of trees, including: Grand Fir, Red Maple, Autumn Blaze Maple, Autumn Purple Ash, Royal Star Magnolia, Bruns Spruce, Austrian Black Pine and Flowering Cherry.
- In summary, a total of 109 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Rezoning Block Plan, Site Plan, Building Elevations, Landscape Plans and Perspectives
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Proposed Variance to the Sign By-law
- Appendix V. Development Variance Permit No. 7920-0135-00
- Appendix VI. Aerial Photo (COSMOS, March 2019)

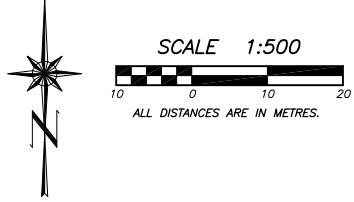
*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

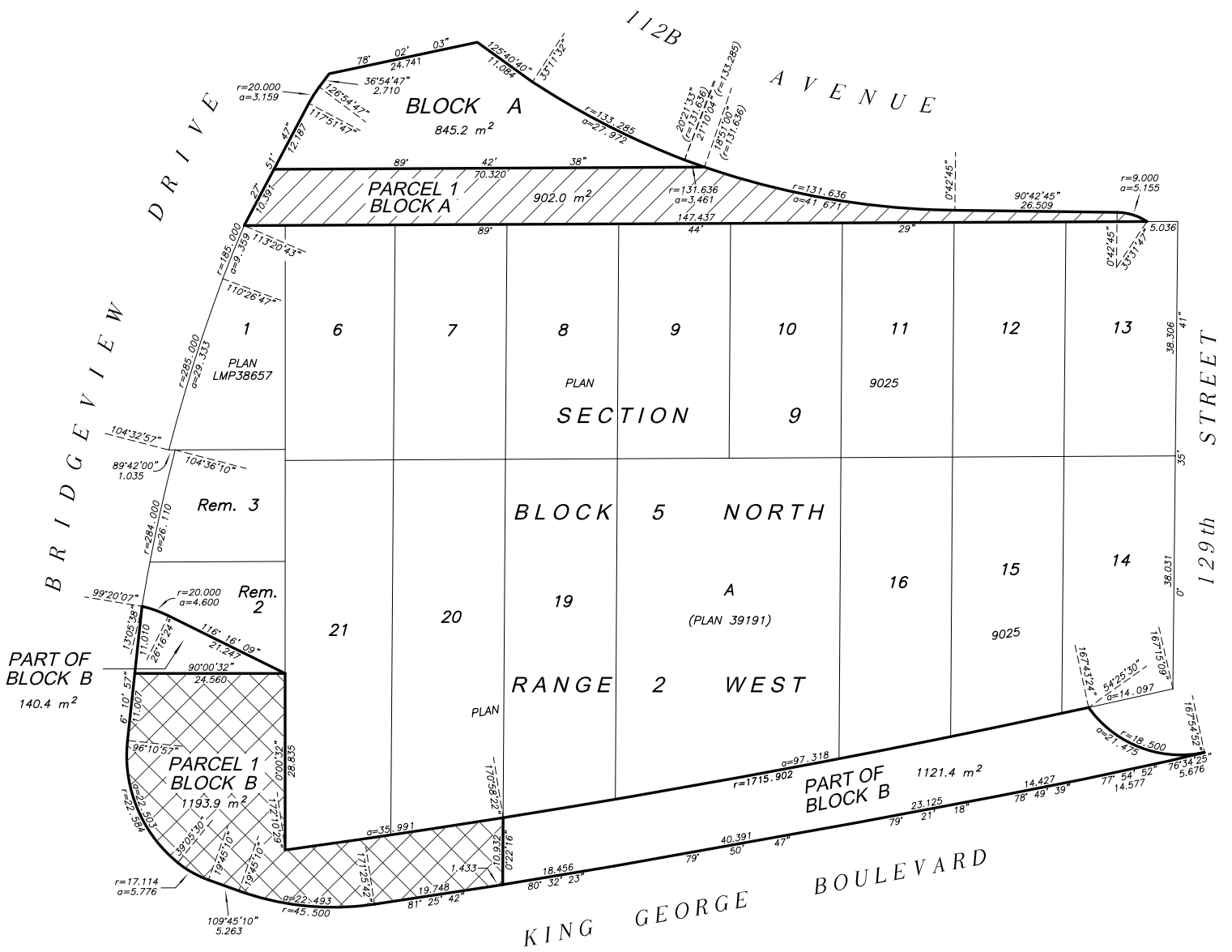
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
REZONING BYLAW No. \_\_\_\_\_ OVER  
PARTS OF ROAD DEDICATED BY PLANS 480, 5719,  
84079, LMP52739 AND BCP33638;  
ALL OF SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST,  
NEW WESTMINSTER DISTRICT**

FOR THE PURPOSE OF REZONING  
B.C.G.S. 92G.016



BOOK OF REFERENCE		
ZONE	LEGAL DESCRIPTION	AREA
PARCEL 1 BLOCK A SHOWN	PART OF: - ROAD, PLAN 480; SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.	902.0 m <sup>2</sup>
BLOCK A	PART OF: - ROAD, PLAN LMP52739; - ROAD, PLAN BCP33638; ALL OF SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.	845.2 m <sup>2</sup>
PARCEL 1 BLOCK B SHOWN	PART OF: - ROAD, PLAN 5719; - ROAD, PLAN 84079; ALL OF SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.	1193.9 m <sup>2</sup>
PART OF BLOCK B	PART OF: - ROAD, PLAN 5719; ALL OF SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.	1121.4 m <sup>2</sup>
PART OF BLOCK B	PART OF: - ROAD, PLAN 84079; ALL OF SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.	140.4 m <sup>2</sup>
TOTAL		4202.9 m <sup>2</sup>



CERTIFIED CORRECT  
THIS 16th DAY OF JULY, 2020

ROBERT ADRIAENSEN, BCLS #972

BENNETT LAND SURVEYING LTD.  
B.C. & CANADA LAND SURVEYORS  
#203-15310 103A AVENUE,  
SURREY, B.C. V3R 7A2  
PHONE : 604-582-0717

DRAWING # 31080-2 Revision #3  
FILE # 31080-2\_R3  
DATE : JULY 16, 2020

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT





# BOSA Bridgeview Re-Issued for Development Permit / Rezoning - July 17, 2020

3	July 17, 2020	REISSUED FOR DP
2	July 10, 2020	REISSUED FOR DP
1	June 05, 2020	SUBMITTED FOR DP/RZ
REV	DATE	DESCRIPTION
SCALE	DATE: June 05, 2020	DRAWN: Author
PROJECT NUMBER		19027
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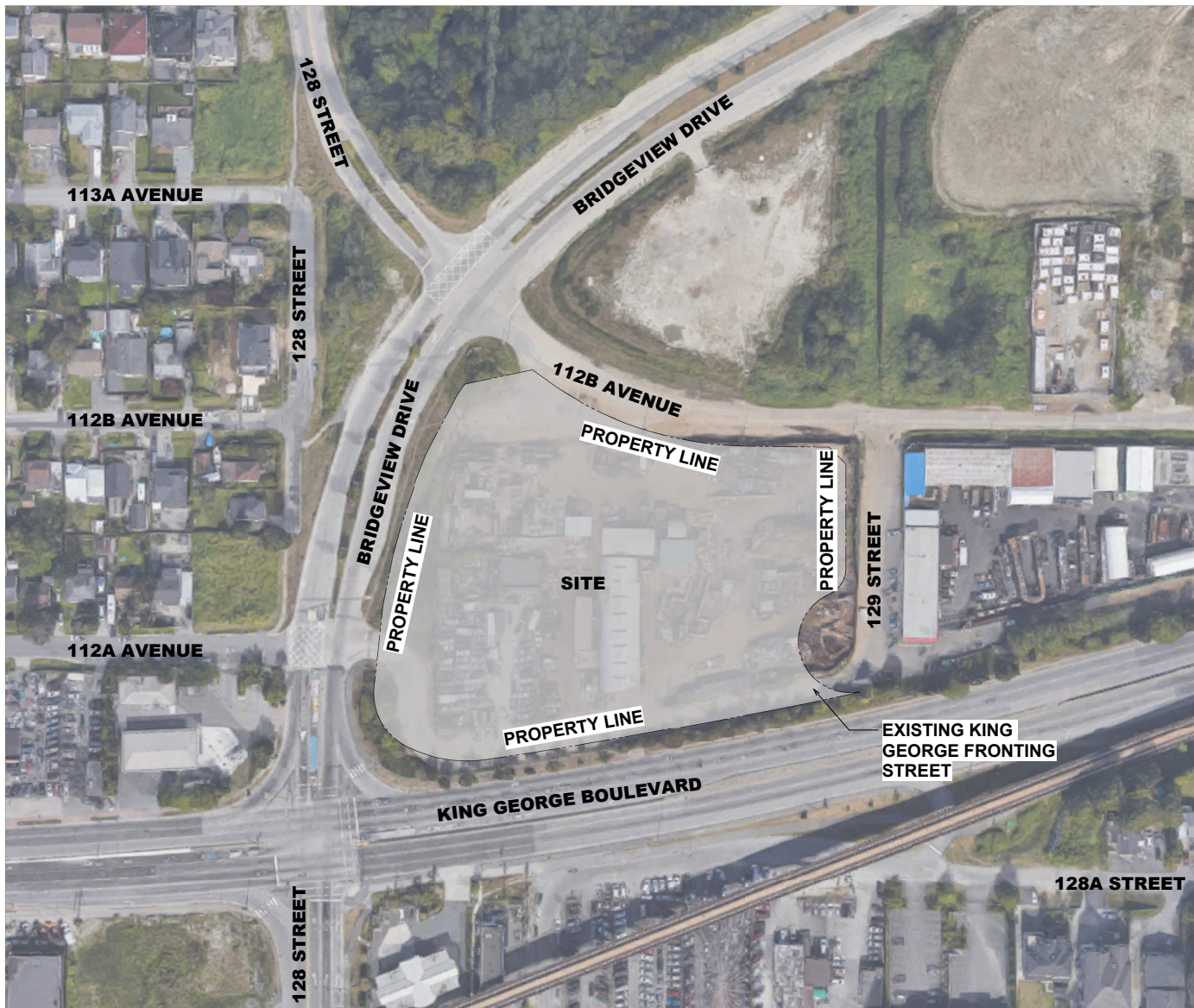
**BOSA**  
Commercial

TKA+D ARCHITECTURE + DESIGN INC  
301-1008 FREEDOM STREET VINCENNES, IN 46388-0001

**Bosa Bridgeview**  
Bridgeview Drive and King George Blvd,  
Surrey, BC

**Cover Sheet**  
PLOT DATE: 7/17/2020 9:14:26 AM

**A000**



**PROJECT ADDRESS:**  
Bridgeview Drive and 112B Avenue, Surrey, BC

**LEGAL DESCRIPTION:**  
LOT 1, PLAN LMP39857; LOT 6 TO 16 INCLUSIVE,  
19, 20, 21 AND LOT A, PLAN 9025 ALL OF SECTION  
9, BLOCK 5 NORTH, RANGE WEST, N.W.D.

**AUTHORITY:** City of Surrey

**ZONE:** Existing: CHI, IL, L4  
Proposed: CHI, IL, IL

**USES:**  
Low Impact Industrial, Office

**SITE AREA:**  
193760 SF 4.45 acres 18001 m<sup>2</sup> 1.80 hectare

**LOT COVERAGE (NET):**  
Proposed: 52%  
Permitted: 60%

**EASEMENTS:** 0.50m SRW as shown;  
5.13m Sanitary Sewer SRW as shown

**HEIGHT:** Permitted: 18.0 m (60'-0")  
Proposed: 12.2 m (40'-0")

**DENSITY (FSR):** Proposed: 0.57  
Allowed: 1.00

**SETBACKS:**

**Rear Yard Setback (West):**  
Required: 7.5 m  
Proposed: 3.0 m

**Side Yard Setback (North):**  
Required: 7.5 m  
Proposed: 21.7 m

**Side Yard Setback (South):**  
Required: 7.5 m  
Proposed: 3.7 m

**Front Yard Setback (East):**  
Required: 7.5 m  
Proposed: 3.3 m

**LANDSCAPE SETBACKS:**

**Rear Yard Setback (West):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (North):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (South):**  
Required: 1.5 m  
Proposed: 6.0 m

**Front Yard Setback (East):**  
Required: 1.5 m  
Proposed: 1.0 m

**Area Summary - By Occupancy**

Occupancy	Area (SF)	Area (SM)
Industrial	99432 SF	9238 m <sup>2</sup>
Industrial - Mezz	5065 SF	471 m <sup>2</sup>
Office	5172 SF	481 m <sup>2</sup>
Service	456 SF	42 m <sup>2</sup>
	110125 SF	10231 m <sup>2</sup>

**PARKING REQUIREMENTS**

**Parking Bylaw Requirement**  
Industrial:  
1 parking space per 100 m<sup>2</sup> [1,075 ft<sup>2</sup>] of gross floor area, excluding retail area.

**Office:**  
2.5 parking spaces per 100 m<sup>2</sup> [1,075 ft<sup>2</sup>] of gross floor area for a building outside of City Centre.

**Parking Required (by Occupancy)**

Occupancy	Area (SF)	Parking Req'd Factor (1/Area)	Spaces
Industrial	99,430	1,075.0	92.5
Industrial - Mezz	5,070	1,075.0	4.7
Office	5,170	430.0	12.0
	109,670		109.2

**Required Parking Spaces for Persons with Disabilities**

Required Stalls: 3  
Required Accessible Stalls: 3

2% Total Required: 3  
**Parking Provided:** 34

Parking Space - ADA1: 2.5 m x 5.5 m (1.5 m aisle)  
Parking Space - ADA1: 3.4 m x 5.5 m (1.5 m aisle)  
Parking Space: 90 Degrees 2.6 m x 4.9 m (Small Car)  
Parking Space: 90 Degrees 2.6 m x 5.5 m  
Parking Space: 90 Degrees 2.75 m x 4.9 m (Small Car)  
Parking Space: 90 Degrees 2.75 m x 5.5 m

Small Car Allowed: Max. 35% of 109 Parking Spaces = 38  
Provided: 34

1 **Context Plan**  
1" = 60'-0"

**LOADING REQUIREMENTS**

**Loading Provided**

Parking Space: 13' x 30' (Grade Bay)	2
Parking Space: 15' x 55' (Dock Bay)	12
	14

Note: Loading/unloading spaces not included in the calculation of off-street parking spaces

3	July 17, 2020	REISSUED FOR DP
2	July 10, 2020	REISSUED FOR DP
1	June 05, 2020	SUBMITTED FOR DPR2
REV	DATE	DESCRIPTION
SCALE: 1" = 60'-0" DATE: June 05, 2020 DRAWN: Author		
PROJECT NUMBER: 19021		
FILE: C:\Users\Gardner\OneDrive\Desktop\19021\19021.dwg USER: GARDNER DATE: 6/5/2020 10:48 AM		



① Site Plan - Lighting Plan  
1 : 400

**LIGHTING SCHEDULE**

NOTE: EXTENT & LOCATION OF LIGHTING TO BE CONFIRMED BY ELECTRICAL ENGINEER PRIOR TO BP SUBMISSION

**TYPE**

**LARGE WALL PACK**  
MANUFACTURER: LUMARK  
MODEL NO.: AXCLBA-247V  
\*OR APPROVED EQUIVALENT

**DAMP LOCATION RECESSED LED POT LIGHT**  
MANUFACTURER: COOPER LIGHTING  
MODEL NAME: HALO  
MODEL NO.: ML5612340-692SC-H750T  
\*OR APPROVED EQUIVALENT

**WALL LIGHT**  
MANUFACTURER: WAC LIGHTING  
MODEL NAME: WL-LED100 STEP AND WALL LIGHT  
MODEL NO. WL-LED100-AM-BK  
\*REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION

**BOLLARD LIGHT**  
MANUFACTURER: PERFORMANCE IN LIGHTING  
MODEL NAME: Q-LIGHT  
\*REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION

**SYMBOL**

- (Red square)
- (Orange circle)
- (Green square)
- (Blue square)

**PRECEDENT IMAGE**



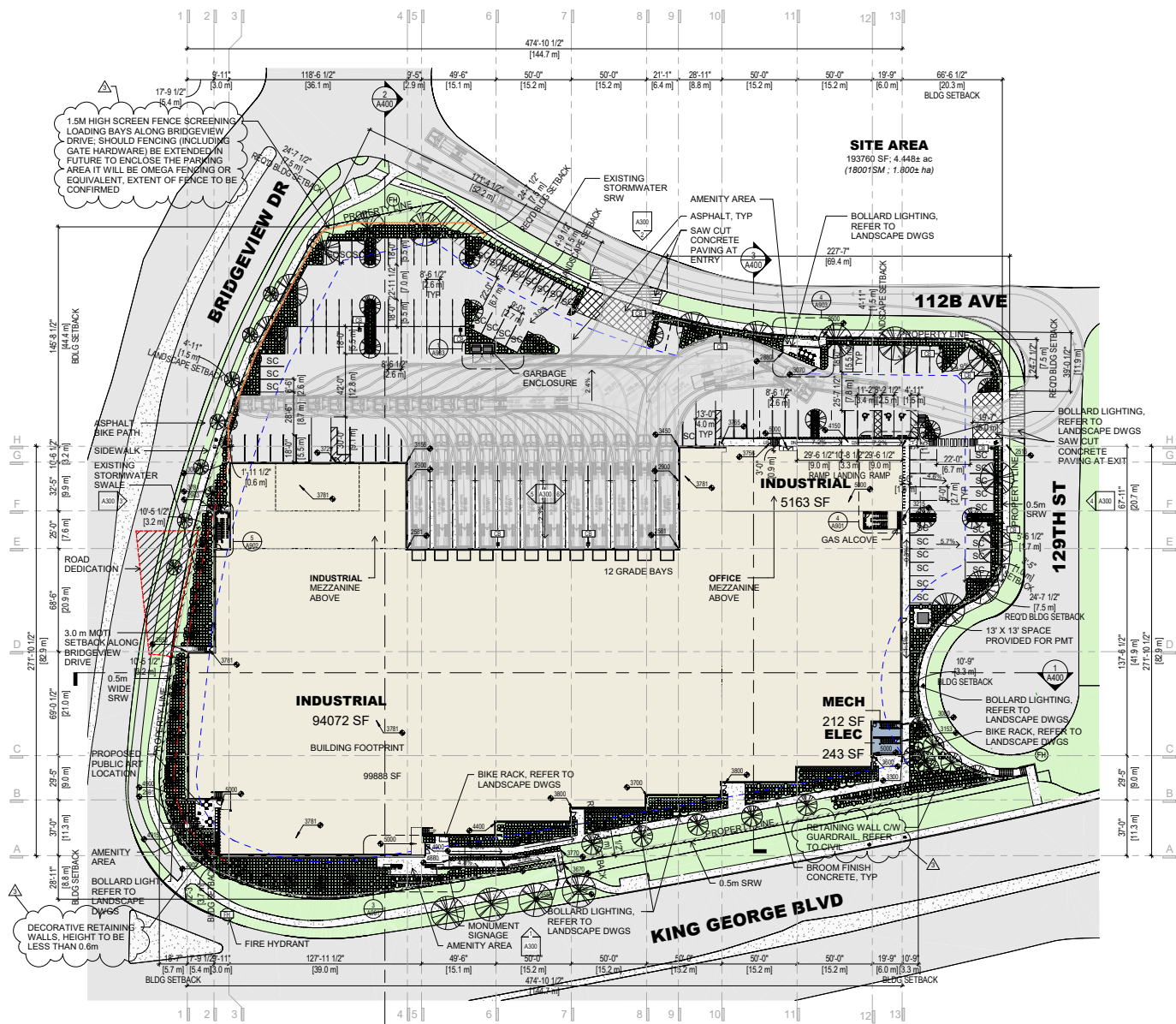
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PROJECT NUMBER	19023	
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**BOSA Commercial**  
TKA+D ARCHITECTURE + DESIGNING  
301-338-7700 | 1100-1100 STREET | VANCOUVER, BC V6C 2K6

**Bosa Bridgeview**  
Bridgeview Drive and King George Blvd,  
Surrey, BC

**Lighting Plan**  
PLOT DATE: 7/17/2020 9:15:06 AM

**A003**



**PROJECT ADDRESS:**  
Bridgeview Drive and 112B Avenue, Surrey, BC

**LEGAL DESCRIPTION:**  
LOT 1, PLAN LMP38657; LOT 6 TO 16 INCLUSIVE,  
19, 20, 21 AND LOT A, PLAN 9025 ALL OF SECTION  
9, BLOCK 5 NORTH, RANGE WEST, N.W.D.

**AUTHORITY:** City of Surrey

**ZONE:** Existing: CHI, IL, L-4  
Proposed: CHI, IL, IL

**USES:**  
Low Impact Industrial, Office

**SITE AREA:**  
193760 SF 4.45 acres 18001 m<sup>2</sup> 1.80 hectare

**LOT COVERAGE (NET):**  
Proposed: 52%  
Permitted: 60%

**EASEMENTS:**  
0.50m SRW as shown;  
5.13m Sanitary Sewer SRW as shown

**HEIGHT:**  
Permitted: 18.0 m (60'-0")  
Proposed: 12.2 m (40'-0")

**DENSITY (FSR):**  
Proposed: 0.57  
Allowed: 1.00

**TKA+D**

**KEYNOTE LEGEND**

TAG	DESCRIPTION
CB	CATCH BASIN
FH	FIRE HYDRANT

1.5M HIGH BLACK 'OMEGA' STYLE FENCE OR APPROVED EQUIVALENT

--- LINE OF REQUIRED SETBACKS

--- LINE OF 3.0M MOTI SETBACK



'OMEGA' FENCE

**SETBACKS:**

**Rear Yard Setback (West):**  
Required: 7.5 m  
Proposed: 3.0 m

**Side Yard Setback (North):**  
Required: 7.5 m  
Proposed: 21.7 m

**Side Yard Setback (South):**  
Required: 7.5 m  
Proposed: 3.7 m

**Front Yard Setback (East):**  
Required: 7.5 m  
Proposed: 3.3 m

**LANDSCAPE SETBACKS:**

**Rear Yard Setback (West):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (North):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (South):**  
Required: 1.5 m  
Proposed: 6.0 m

**Front Yard Setback (East):**  
Required: 1.5 m  
Proposed: 1.0 m

**Area Summary - By Occupancy**

Occupancy	Area (SF)	Area (SM)
Industrial	99432 SF	9238 m <sup>2</sup>
Industrial - Mezz	5065 SF	471 m <sup>2</sup>
Office	5172 SF	481 m <sup>2</sup>
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	110125 SF	10231 m <sup>2</sup>

**PARKING REQUIREMENTS**

**Parking Bylaw Requirement**

**Industrial:**  
1 parking space per 100 m<sup>2</sup> (1,075 ft<sup>2</sup>) of gross floor area, excluding retail area.

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2.5 parking spaces per 100 m<sup>2</sup> (1,075 ft<sup>2</sup>) of gross floor area for a building outside of City Centre.

**Parking Required (by Occupancy)**

Occupancy	Area (SF)	Parking Req'd Factor (1/Area)	Spaces
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	109,670		109.2

**Required Parking Spaces for Persons with Disabilities**

Required Stalls: 2  
Required Accessible Stalls: 3

2% Total Required: 3

**Parking Provided**

Parking Space - ADA1: 2.5 m x 5.5 m <sup>2</sup> (1.5 m aisle)	1
Parking Space - ADA1: 3.4 m x 5.5 m <sup>2</sup> (1.5 m aisle)	2
Parking Space: 90 Degrees 2.6 m x 4.9 m (Small Car)	7
Parking Space: 90 Degrees 2.6 m x 5.5 m	27
Parking Space: 90 Degrees 2.75 m x 4.9 m (Small Car)	67
Parking Space: 90 Degrees 2.75 m x 5.5 m	5
Small Car Allowed: Max. 35% of 109 Parking Spaces = 38 Provided: 34	109

**OVERLAY AREA KEY**

- Industrial
- Service

REV	DATE	DESCRIPTION
3	July 17, 2020	REISSUED FOR DP
2	July 10, 2020	REISSUED FOR DP
1	June 09, 2020	SUBMITTED FOR DP/R2

REV DATE DESCRIPTION

SCALE: 1:400 DATE: June 05, 2020 DRAWN: Author PROJECT NUMBER: 19021

**BOSA Commercial**

TKA+D ARCHITECTURE + DESIGN INC.

**Bosa Bridgeview**

Bridgeview Drive and King George Blvd, Surrey, BC

**Site Plan**

PLOT DATE: 7/17/2020 9:18:35 AM

**A100**

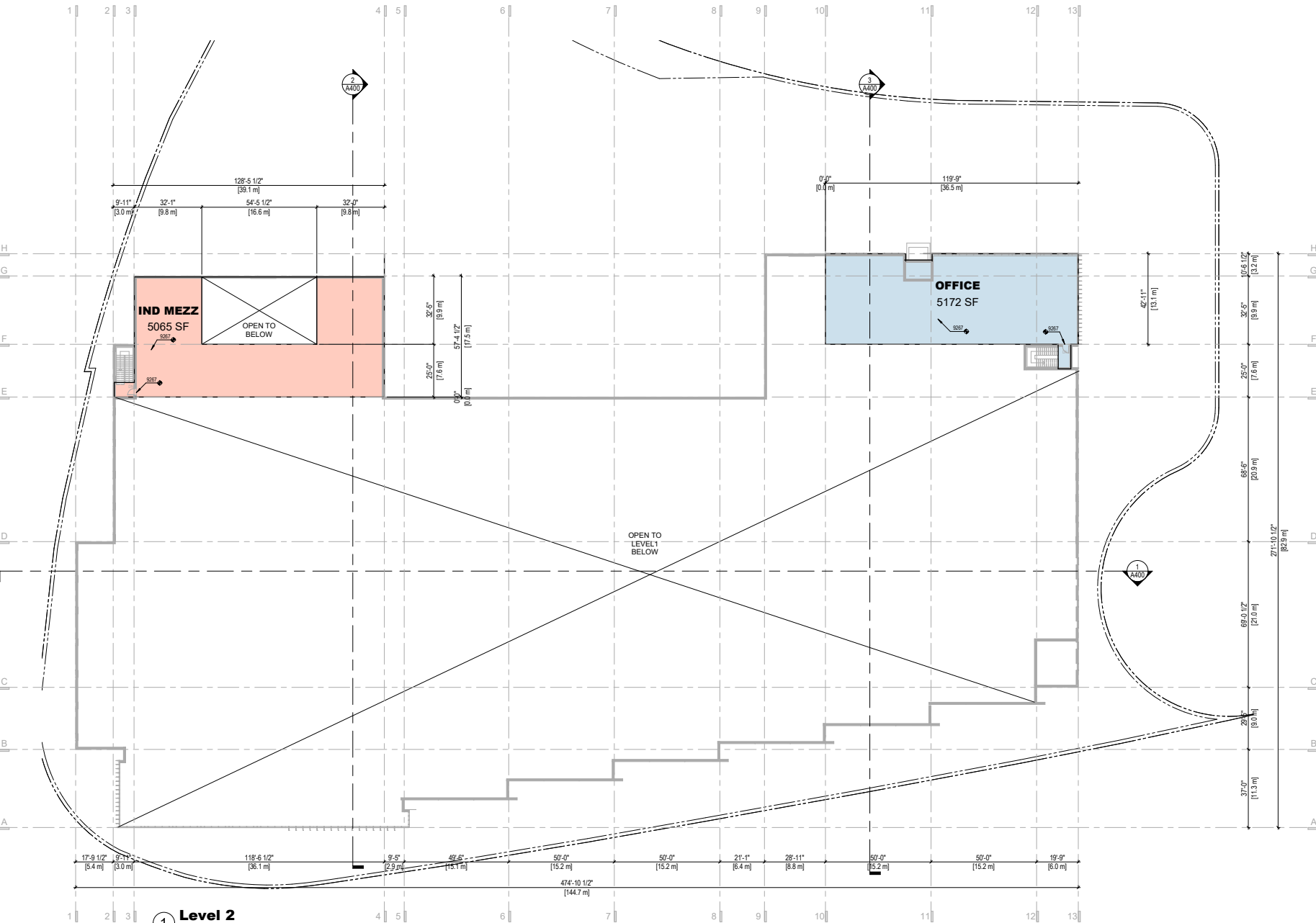
**1 Site Plan**  
1: 400

**LOADING REQUIREMENTS**

**Loading Provided**

Parking Space: 13' x 30' (Grade Bay)	2
Parking Space: 15' x 55' (Dock Bay)	12
	14

Note: Loading/unloading spaces not included in the calculation of off-street parking spaces



**1 Level 2**  
1" = 20'-0"

3	July 17, 2020	REISSUED FOR DP
2	July 10, 2020	REISSUED FOR DP
1	June 05, 2020	SUBMITTED FOR DP/R2
REV	DATE	DESCRIPTION
SCALE: 1" = 20'-0" DATE: June 05, 2020 DRAWN: Author		
PROJECT NUMBER: 19021		
FILE: C:\Users\jacob@tkad.com\Documents\Bosha Bridgeview_19021.dwg LAST PLOT FOR A102 19.08.2020		



**Bosha Bridgeview**  
Bridgeview Drive and King George Blvd,  
Surrey, BC

**Floor Plan Level 2**  
PLOT DATE: 7/17/2020 9:18:46 AM





**KEY**

- 2SSG 2 SIDED STRUCTURAL GLAZING
- AL1 ALUMINUM PREFINISHED, CLEAR ANODIZED
- CIPC CAST IN PLACE CONCRETE
- CPY CANOPY
- CTU-P1 CONCRETE - TILT UP - PAINTED P1
- CTU-P2 CONCRETE - TILT UP - PAINTED P2
- CTU-P3 CONCRETE - TILT UP - PAINTED P3
- CTU-P4 CONCRETE - TILT UP - PAINTED P4
- CW1 CURTAIN WALL - TYPE 1
- DLV DOCK LEVELLER
- FG50 FROSTED GLASS - 50%
- FG100 FROSTED GLASS - 100%
- GL1 GLAZING - TYPE 1
- GRD GUARD RAIL
- HR HAND RAIL
- L1 LIGHT FIXTURE - TYPE 1
- L2 LIGHT FIXTURE - TYPE 2
- MMS METAL MESH SCREEN
- OHV OVERHEAD DOOR
- PS PAINTED STEEL
- SB STEEL BOLLARD
- SF1 SHOP FRONT GLAZING - TYPE 1
- SGN SIGNAGE, BY OWNER
- SSH SUNSHADE

**EXTERIOR PAINT FINISH SCHEDULE**

CTU-P1 MANUFACTURER: BENJAMIN MOORE  
MODEL: DISTANT GREY  
MODEL NO.: 2124-70

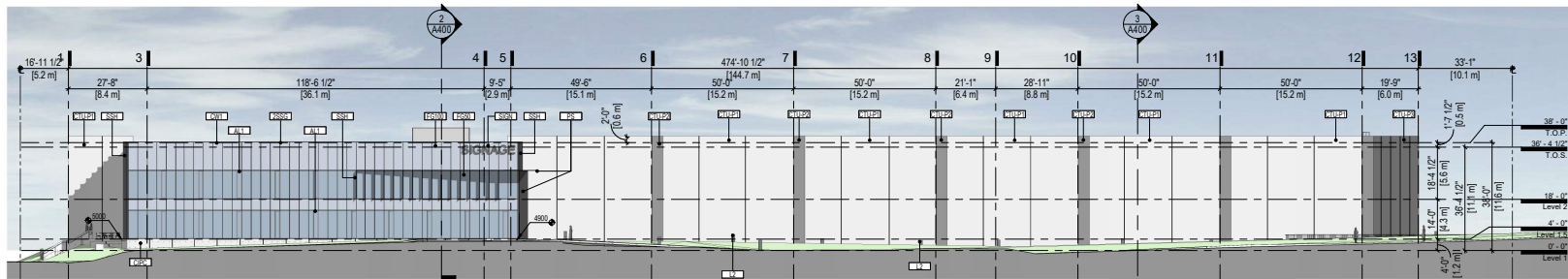
CTU-P2 MANUFACTURER: BENJAMIN MOORE  
MODEL: WHALE GRAY  
MODEL NO.: 2134-40

CTU-P3 MANUFACTURER: BENJAMIN MOORE  
MODEL: WROUGHT IRON  
MODEL NO.: 2124-10

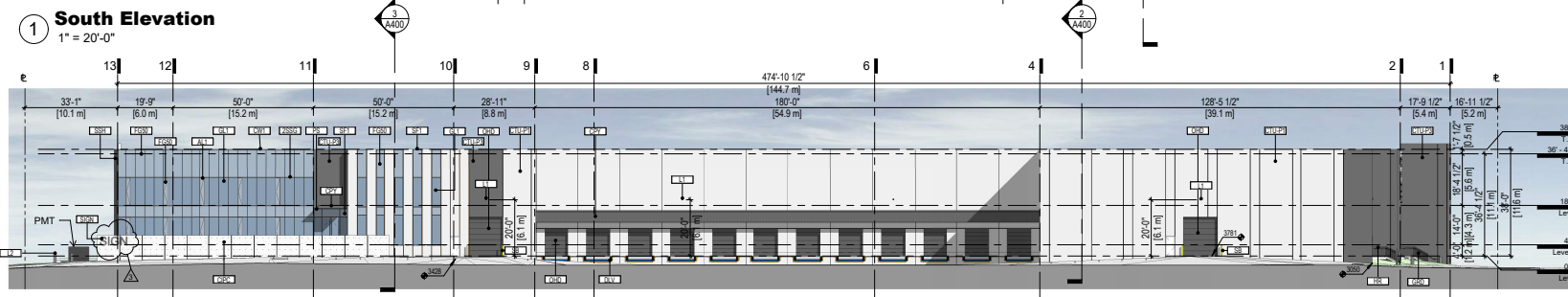
CTU-P4 - SAME COLOUR AS CTU-P3 APPLIED ON VERTICAL FLUTED CONCRETE FINISH

REV	DATE	DESCRIPTION
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2	July 10, 2020	ISSUED FOR DP
1	June 09, 2020	SUBMITTED FOR DPR/2

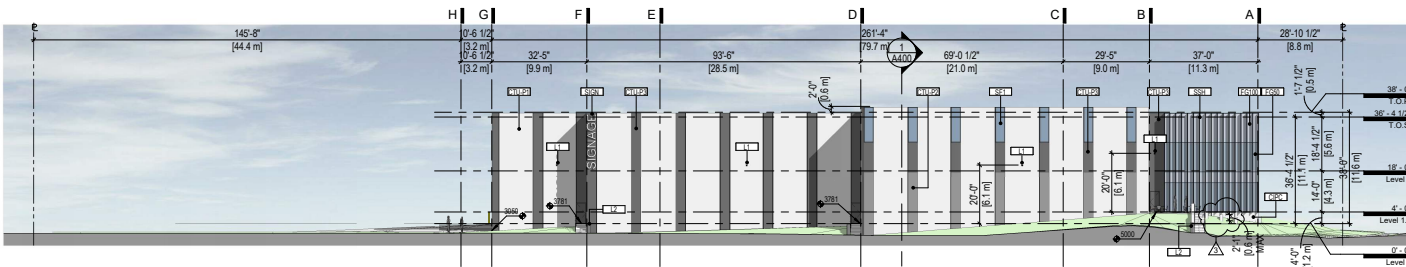
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PROJECT NUMBER: 19021



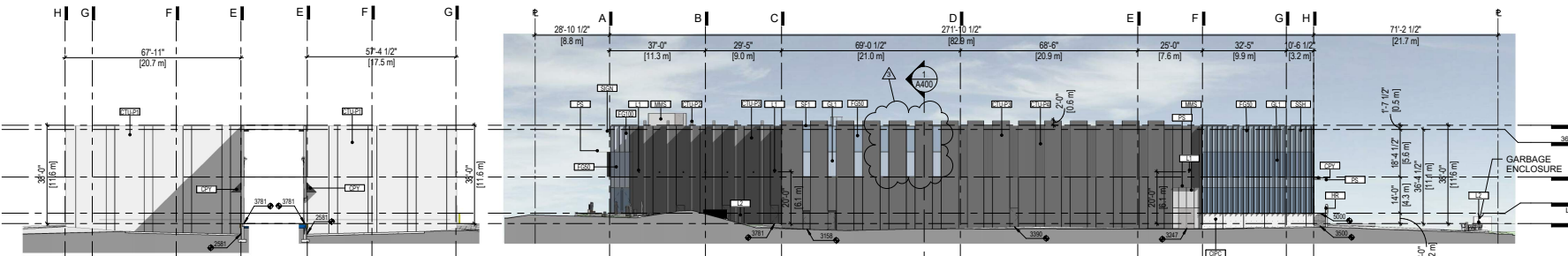
① **South Elevation**  
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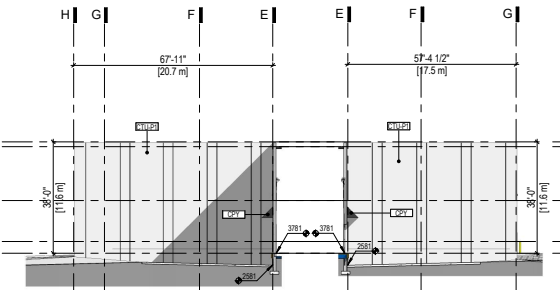
② **North Elevation**  
1" = 20'-0"



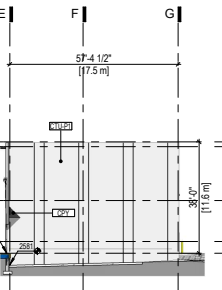
③ **West Elevation**  
1" = 20'-0"



④ **East Elevation**  
1" = 20'-0"



⑤ **Loading Bay - East**  
1" = 20'-0"



⑥ **Loading Bay - West**  
1" = 20'-0"







**TOTAL AREA SIGN PERMITTED ON BRIDGEVIEW DRIVE FRONTAGE**

261' 4" FT (79.5 M) FRONTAGE

CITY OF SURREY SIGNAGE BYLAW PART 27.2.(B) PERMITS 3 SF PER LINEAR FOOT (1 SM PER LINEAR METER).

ALLOWABLE SIGNAGE AREA 784 SF (79.5 SM)

**TOTAL SIGN AREA PROVIDED 60.0 SF (5.6 SM)**

PER SECTION 27.2.(A.1) OF CITY OF SURREY SIGNAGE BYLAW: 1 FASCIA SIGNAGE ABOVE FIRST FLOOR PERMITTED PER BUILDING FRONTAGE PROVIDED: 1 FASCIA SIGNAGE



② View from North West

**TOTAL AREA SIGN PERMITTED ON 112B AVE FRONTAGE**

474' 10 1/2" FT (144.7 M) FRONTAGE

CITY OF SURREY SIGNAGE BYLAW PART 27.2.(B) PERMITS 3 SF PER LINEAR FOOT (1 SM PER LINEAR METER).

ALLOWABLE SIGNAGE AREA 1424 SF (144.7 SM)

**TOTAL SIGN AREA PROVIDED 30.0 SF (2.8 SM)**

PER SECTION 27.1.(B) OF CITY OF SURREY SIGNAGE BYLAW: 1 FREE-STANDING SIGN PERMITTED FOR BUILDING >5M AWAY FROM ADJACENT HIGHWAY PROVIDED: 1 FREE-STANDING SIGN

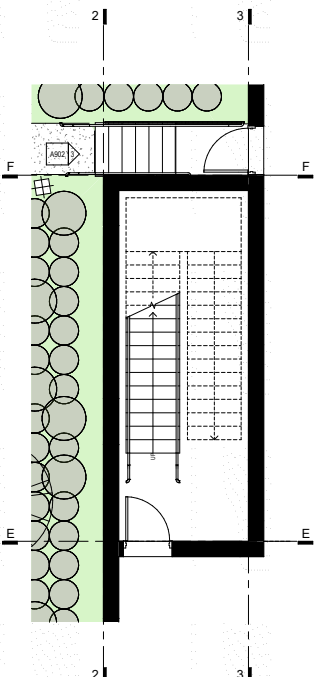
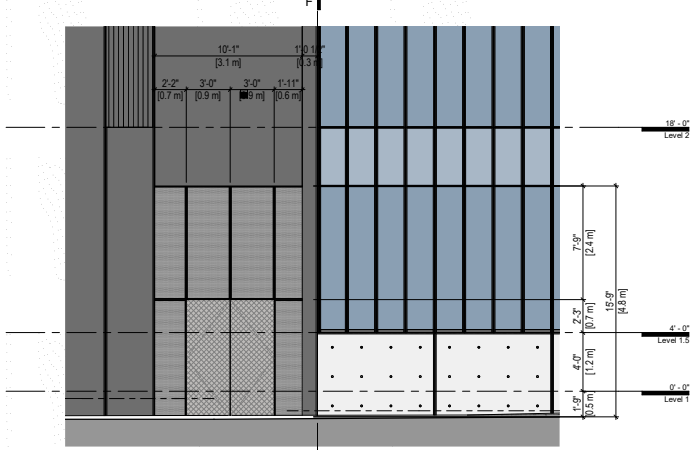
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2	June 05, 2020	SUBMITTED FOR DP/RZ
REV	DATE	DESCRIPTION
SCALE:	1/4" = 1'-0"	DATE: June 05, 2020 DRAWN: Author
PROJECT NUMBER	19021	

**BOSA Commercial**  
TKA+D ARCHITECTURE + DESIGNING  
100-1000 FRENCH STREET, VANCOUVER, V6L 4R6, BC

**Bosa Bridgeview**  
Bridgeview Drive and King George Blvd,  
Surrey, BC

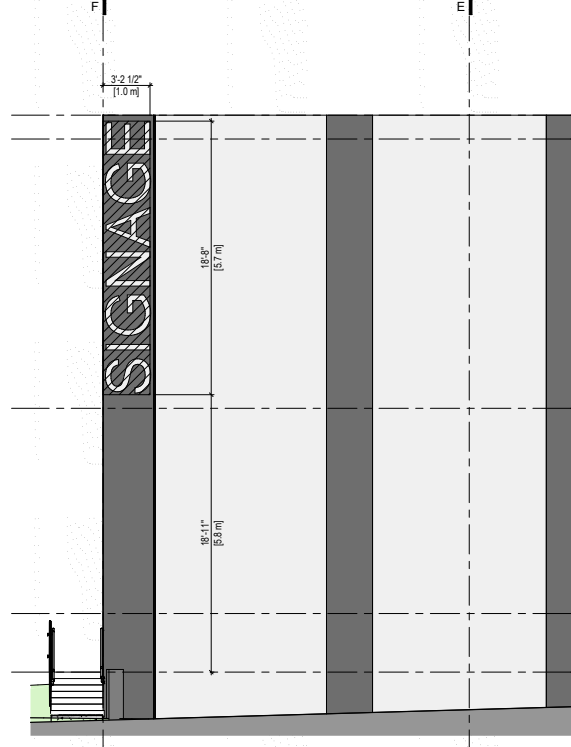
Signage  
PLOT DATE: 7/17/2020 9:21:43 AM

① Elevation - Gas Meter Alcove  
1/4" = 1'-0"

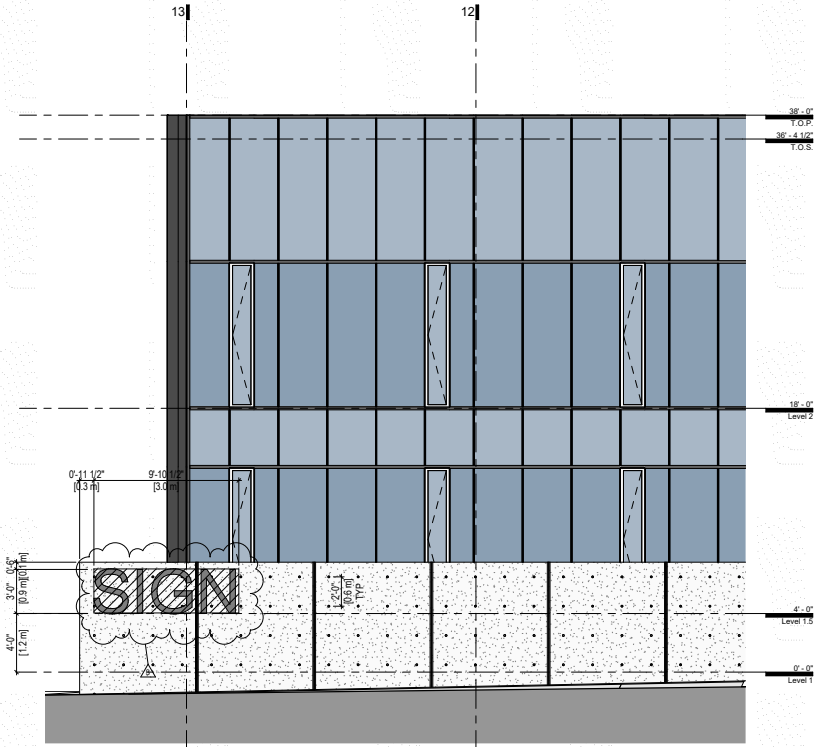


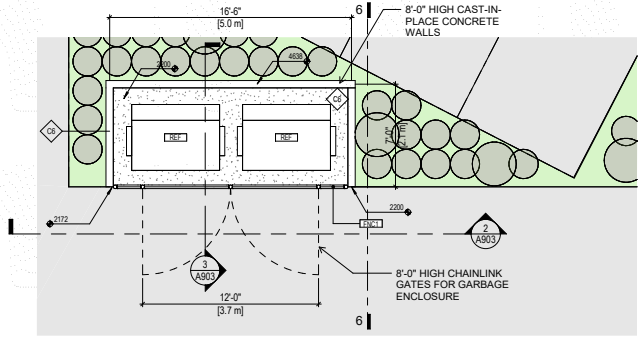
⑤ Bridgeview Drive Signage  
1/4" = 1'-0"

③ Elevation - Bridgeview Dr Signage  
1/4" = 1'-0"

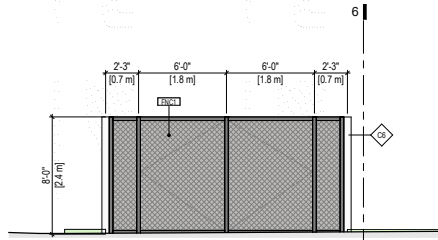


④ Elevation - Main Entry Signage  
1/4" = 1'-0"

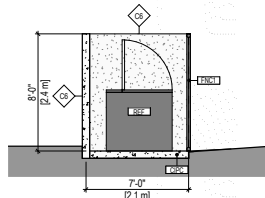




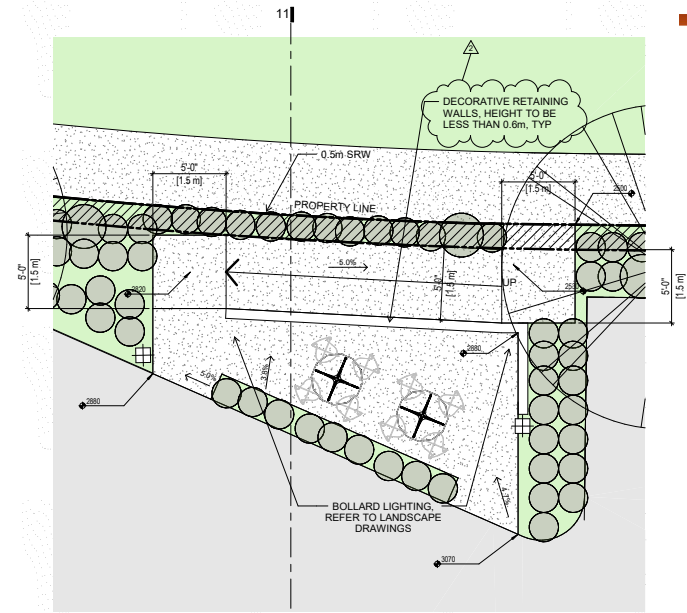
**1 Site - Garbage Enclosure**  
1/4" = 1'-0"



**2 Garbage Enclosure**  
1/4" = 1'-0"



**3 Garbage Enclosure - Section**  
1/4" = 1'-0"



**4 North Amenity Area**  
1/4" = 1'-0"



**View from Bridgeview Amenity**



**View of North Amenity Area**



**View of KGB Amenity**

2	July 17, 2020	REISSUED FOR OP
1	July 16, 2020	REISSUED FOR OP
REV	DATE	DESCRIPTION
SCALE: 1/4" = 1'-0" DATE: June 05, 2020 DRAWN: Author		
PROJECT NUMBER: 19027		
FILE: C:\Users\Casey\Documents\Bosha Bridgeview_A903\2020\REVISED FOR ISSUED SET.rvt		

**BOSA Commercial**  
TKA+D ARCHITECTURE + DESIGNING  
300 WEST HAVENWAY STREET VANCOUVER, V6V 2G7, BRITISH COLUMBIA

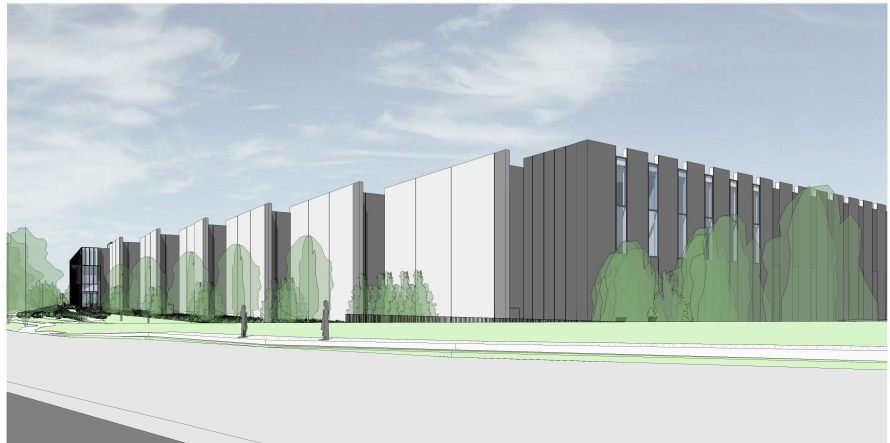
**Bosha Bridgeview**  
Bridgeview Drive and King George Blvd,  
Surrey, BC

**Garbage / Amenity**  
PLOT DATE: 7/17/2020 9:22:41 AM

**A903**



**Bridgeview Dr @ King George Blvd**



**View from South East**



**View from 112B Ave**



**View from North East**



**View from King George Blvd**



**View from Intersection**

3	July 17, 2020	REISSUED FOR DP
2	July 10, 2020	REISSUED FOR DP
1	June 05, 2020	SUBMITTED FOR DP/RZ
REV. DATE		DESCRIPTION
SCALE		DATE: June 05, 2020 DRAWN: Author
PROJECT NUMBER 19023		
FILE: C:\Users\Casey\Documents\Bosa Bridgeview\BOSA\2020\REVISED FOR A910\A910.dwg		

**BOSA Commercial**  
 TKA+D ARCHITECTURE + DESIGNING  
 101-1035 FREDSON STREET, VANGUARD, V6V 2G7, FREDSON PARK

**Bosa Bridgeview**  
 Bridgeview Drive and King George Blvd,  
 Surrey, BC

**3D Views**  
 PLOT DATE: 7/17/2020 9:23:13 AM

**A910**



**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Abies grandis / Grand Fir Nursery grown, dense tree	B&B		2.5m ht	4
	Acer rubrum / Red Maple Uniform branching, nursery grown, dense tree	B&B	6cm cal, 1.8m std.		4
	Acer x freemanii 'Autumn Blaze' / Autumn Blaze Maple Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm cal		15
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash Uniform branching, nursery grown, dense tree	B&B	6cm cal, 1.8m std.		10
	Liquidambar styraciflua 'Emerald Sentinel' / Emerald Sentinel Sweetgum Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm cal		5
	Magnolia stellata 'Royal Star' / Royal Star Magnolia Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm cal		6
	Parrotia persica 'Ruby Vase' / Ruby Vase Persian Parrotia Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm cal		11
	Pinus serotina 'Burns' / Burns Spruce Nursery grown, dense tree	B&B		2.5m ht	6
	Pinus riga 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine Nursery grown, dense tree	B&B		2.5m ht	17
	Pinus serotina 'Kwanzan' / Flowering Cherry Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm cal		7

Total trees: 85

**VDZ+A**  
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
 100-5181 Church St | 102-355 Kingsway  
 Fort Langley BC | Nanaimo, BC  
 VIM 2R8 | VST 317  
 www.vdz.ca | 604-882-0024

NO.	By:	Description	Date
4	DR	Issued for DP/Re-Zoning	July 16, 2020
3	DR	Issued for Review	July 9, 2020
2	DR	Issued for DP/Re-Zoning	June 9, 2020
1	AD	Issued for DP/Re-Zoning	April 8, 2020

REVISIONS TABLE FOR DRAWINGS

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NO.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
BOSA BRIDGEVIEW

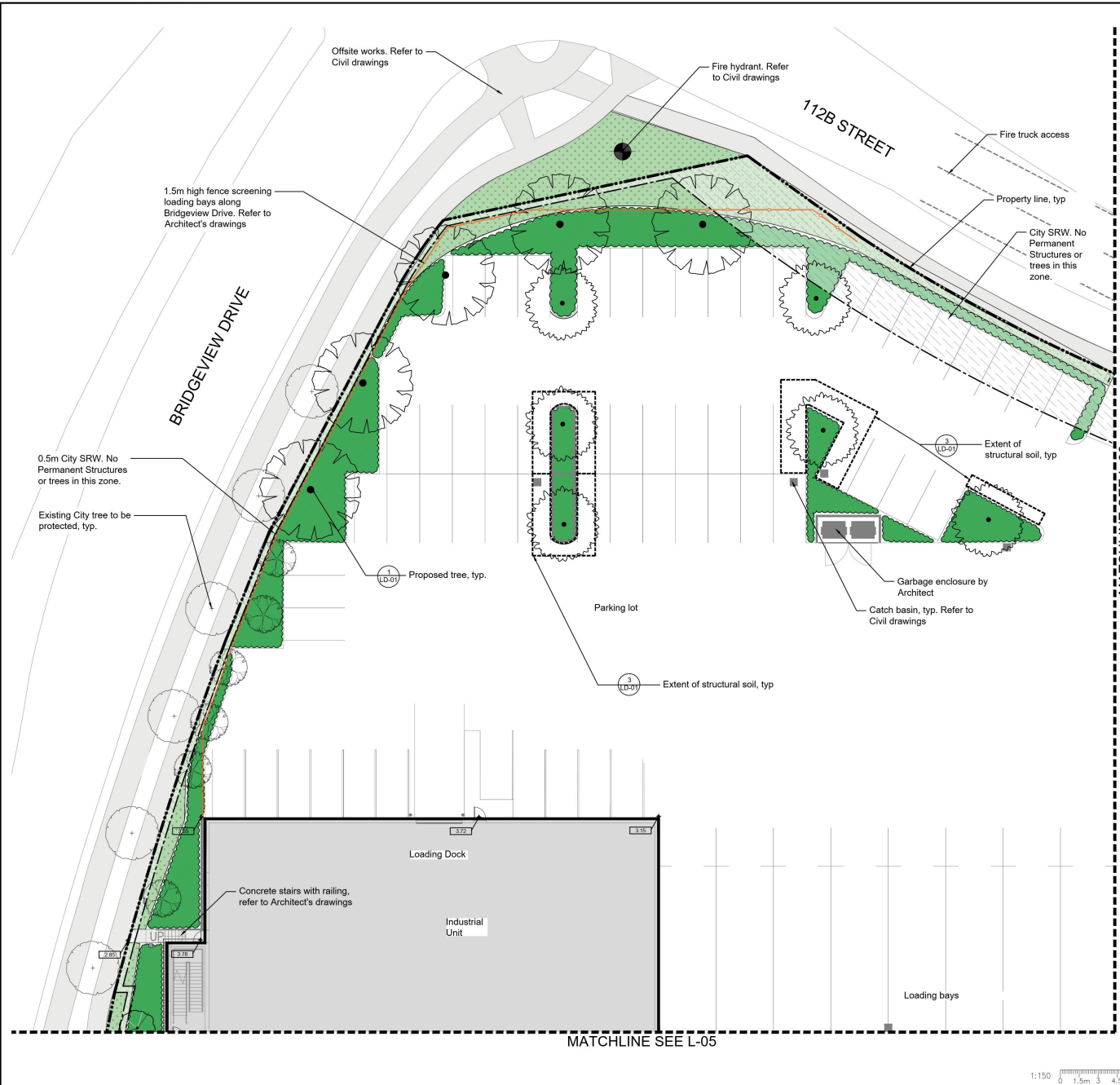
Location:  
King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD DR	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE RETURNED TO THE CONSULTANT UNLESS LABELLED SHIRAZ FOR 15MINUTE CONSTRUCTION.

Drawing Title: **OVERALL SITE PLAN**  
 Drawing #: **L-03**  
 DP2020-07

Z:\PRODUCT DEVELOPMENT\PRINTING\ACTIVATION\DP2020-07\BRIDGEVIEW.DWG SHEET L-03 OVERALL SITE PLAN.DWG

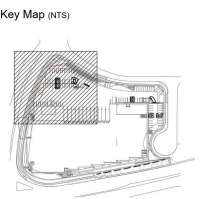
2-PROJECT DEVELOPMENT PERMIT ACTIVITY/STATUS OF BRIDGEVIEW, DRAWING SHEET L-04 SITE PLAN A.DWG



**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
		EXISTING TREE
	1 LD-01	PROPOSED TREE
	4&5 LD-01	PLANTING BED
	2 LD-02	FEATURE PAVING Behren's Ironmark paver Colour: Shoreline Stone Size: Mixed bundle Manufacturer: Behren's
	1 LD-02	CONCRETE PAVING
		CONCRETE RETAINING WALL
	7 LD-01	BIKE RACK
	3 LD-02	TABLE AND CHAIRS
	4 LD-02	BOLLARD LIGHT
	5 LD-02	WALL LIGHT
		PROPOSED GRADE
		SOD See landscape notes for specifications
		CITY SRW No construction within this space

**VDZ+A**  
LANDSCAPE ARCHITECTURE  
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
 100-5181 Church St | 102-355 Kingway  
 Fort Langley, BC | Vancouver, BC  
 VIM 2R8 | VST 3J7  
 www.vdz.ca      604-882-0024



MATCHLINE SEE L-06

MATCHLINE SEE L-05

REVISIONS TABLE FOR DRAWINGS

No.	By:	Description	Date
4	DR	Issued for DP/Re-Zoning	July 16, 2020
3	DR	Issued for Review	July 9, 2020
2	DR	Issued for DP/Re-Zoning	June 8, 2020
1	AD	Issued for DP/Re-Zoning	April 8, 2020

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project:  
**BOSA BRIDGEVIEW**

Location:  
King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD      Stamp:

Checked: TM

Approved: MVDZ      Original Sheet Size: 24"x36"

Scale: 1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE RETURNED TO THE CONSULTANT IMMEDIATELY. DIMENSIONS MUST BE RECHECKED FOR CONSTRUCTION UNLESS LABELLED SHIRRED FOR ISSUES/CONSTRUCTION.



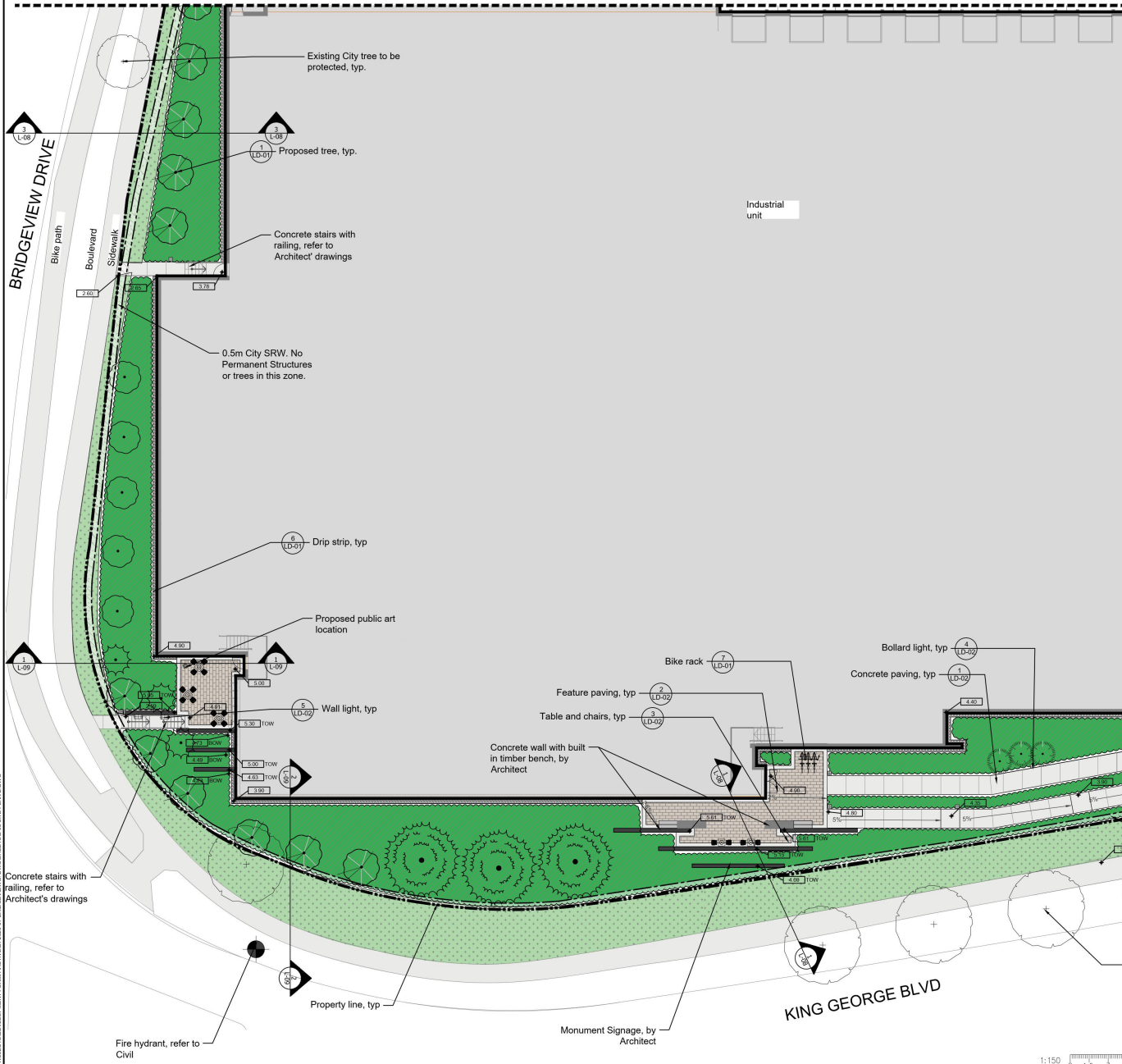
Drawing Title: **SITE PLAN A**

Drawing #: **L-04**

VDZ Project #: **DP2020-07**



MATCHLINE SEE L-04

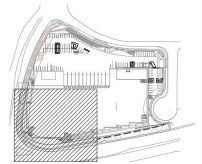


LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		EXISTING TREE
	1 LD-01	PROPOSED TREE
	4&5 LD-01	PLANTING BED
	2 LD-02	FEATURE PAVING Belmore Ironwork paver Colour: Shoreline Stone Size: Mixed bundle Manufacturer: Belknap
	1 LD-02	CONCRETE PAVING
		CONCRETE RETAINING WALL
	7 LD-01	BIKE RACK
	3 LD-02	TABLE AND CHAIRS
	4 LD-02	BOLLARD LIGHT
	5 LD-02	WALL LIGHT
		PROPOSED GRADE
		SOD See landscape notes for specifications
		CITY SRW No construction within this space

**VDZ+A**  
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
 100-5181 Church St | 102-355 Kingway  
 Fort Langley, BC | Vancouver, BC  
 VIM 2R8 | VST 317 | www.vdz.ca | 604-882-0024

Key Map (NTS)



No.	By:	Description	Date
4	DR	Issued for DP/Re-Zoning	July 16, 2020
3	DR	Issued for Review	July 9, 2020
2	DR	Issued for DP/Re-Zoning	June 9, 2020
1	AD	Issued for DP/Re-Zoning	April 8, 2020
NA	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project:  
BOSA BRIDGEVIEW

Location:  
King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD DR	Stamp: 
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE RETURNED TO THE CONSULTANT IMMEDIATELY FOR CONSTRUCTION UNLESS LABELLED SHIRAZ FOR TRADE/COORDINATION.

MATCHLINE SEE L-07



2-PROJECT DEVELOPMENT PERMIT APPLICATIONS OF BRIDGEVIEW, DEVELOPMENT OF SITE PLAN L-05

Drawing Title:  
SITE PLAN B

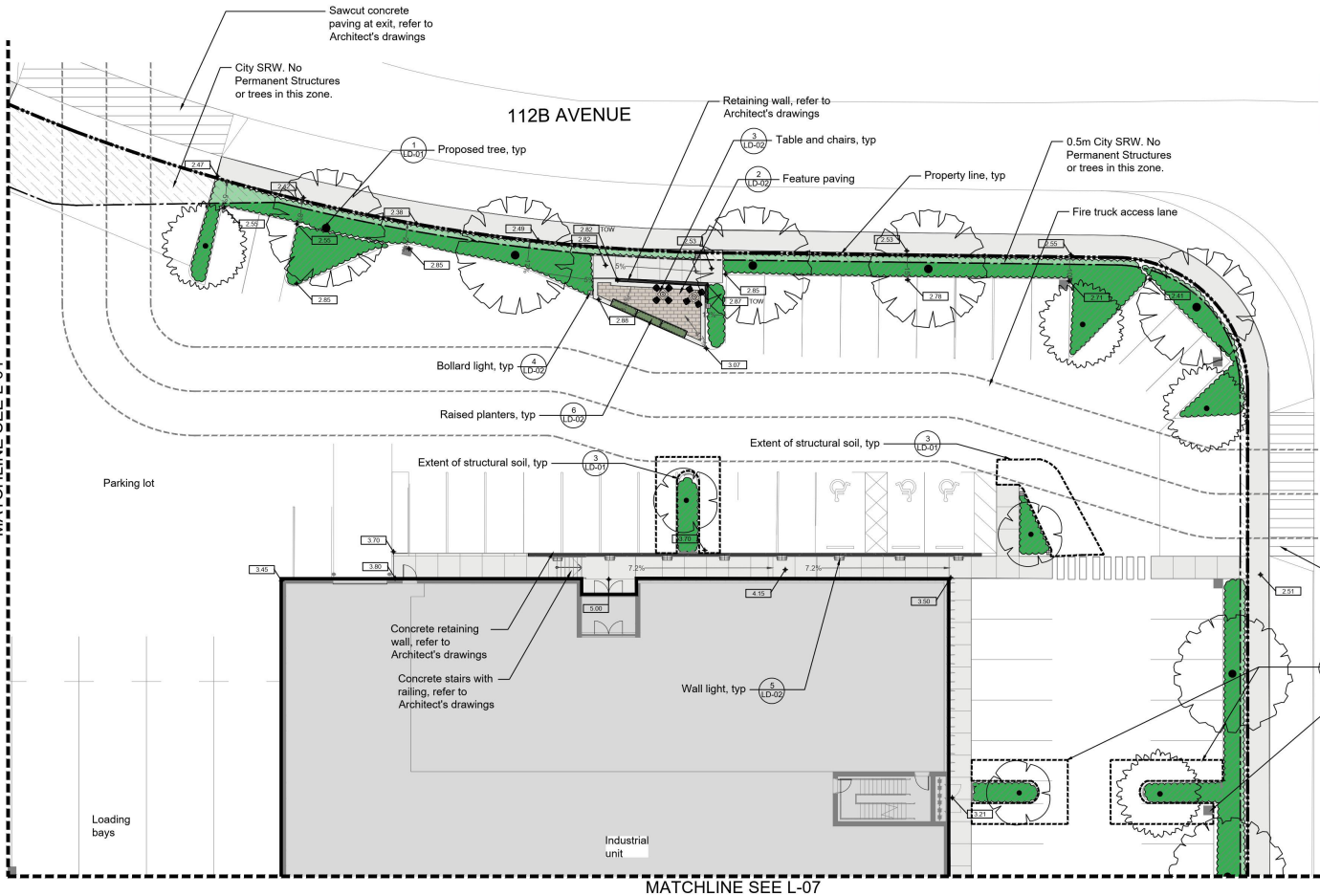


Project #:  
DP2020-07

Drawing #:  
L-05

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MATCHLINE SEE L-04



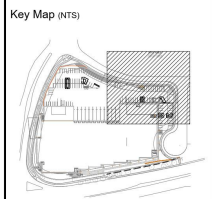
### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		EXISTING TREE
	1 (LD-01)	PROPOSED TREE
	4&5 (LD-01)	PLANTING BED
	2 (LD-02)	FEATURE PAVING Bosma's Stonecrete paver Colour: Shoreline Stone Size: Mixed bundle Manufacturer: Bosma's
	1 (LD-02)	CONCRETE PAVING
		CONCRETE RETAINING WA
	7 (LD-01)	BIKE RACK
	3 (LD-02)	TABLE AND CHAIRS
	4 (LD-02)	BOLLARD LIGHT
	5 (LD-02)	WALL LIGHT
		PROPOSED GRADE
		SOD See landscape notes for specifications
		CITY SRW No construction within this space

# VDZ+A

LANDSCAPE ARCHITECTURE

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
 140-5181 Church St | 102-355 Kingsway  
 Fort Langley BC | Vancouver BC  
 VIM 2R8 V5T 3J7  
 www.vdz.ca 604-882-0024



NO.	By:	Description	Date
4	DR	Issued for DP/Re-Zoning	July 16, 2020
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1	AD	Issued for DP/Re-Zoning	April 8, 2020

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NO.	By:	Description	Date

Project:  
BOSA BRIDGEVIEW

Location:  
King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD, DR  
 Checked: TM  
 Approved: MVDZ  
 Scale: 1:150

Stamp:

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS MUST BE RETURNED TO THE CONSULTANT IMMEDIATELY. DIMENSIONS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELLED SHOWN FOR TAKEOFF/CONSTRUCTION.



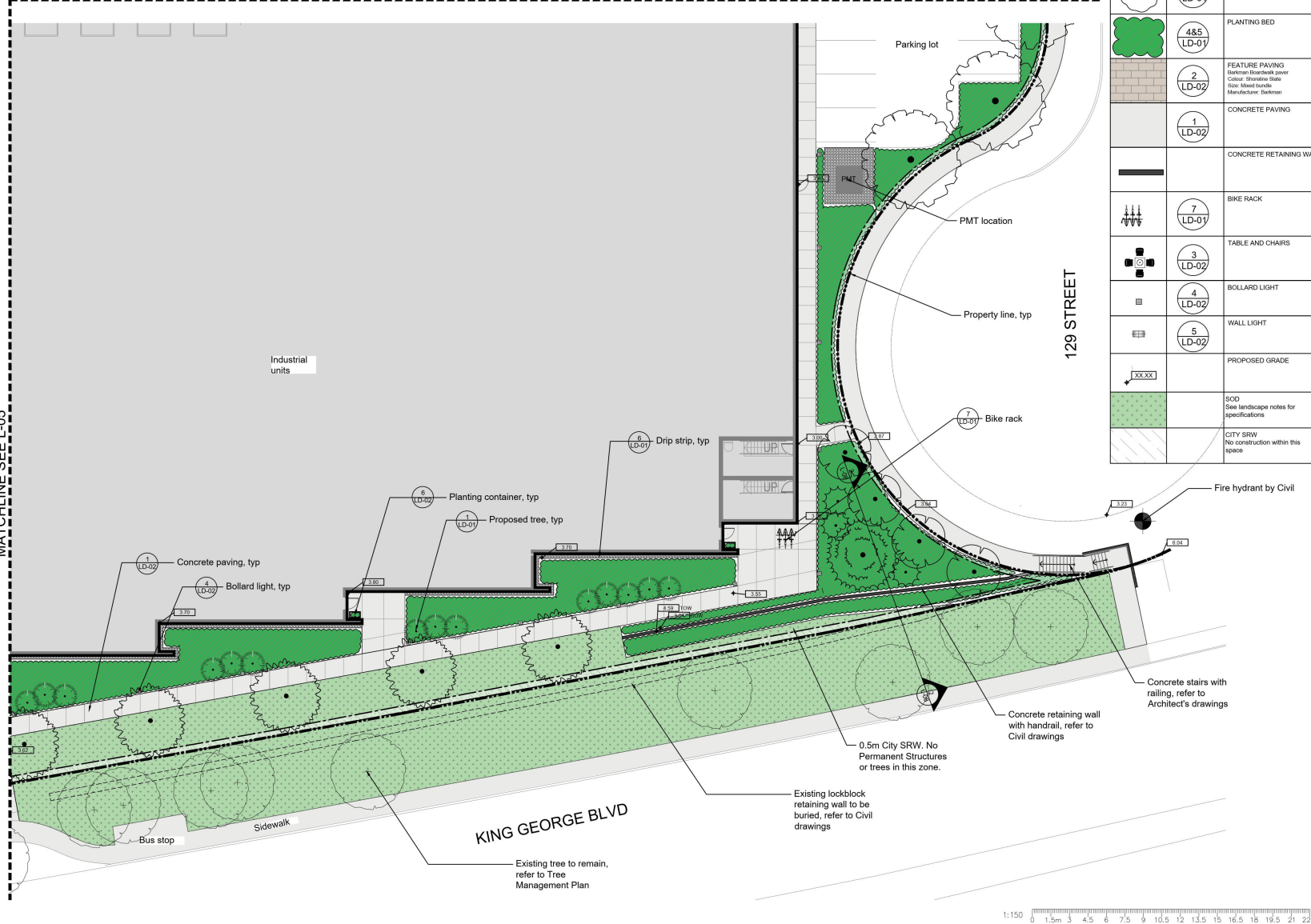
Drawing Title: SITE PLAN C  
 Drawing #: DP2020-07  
 Drawing #: L-06



Z:\PRODUCTS\DEVELOPMENT\PERMIT\ACTIVITIES\07-2020\BOSAS BRIDGEVIEW\07-2020-07 SITE PLAN L-07.DWG

MATCHLINE SEE L-05

MATCHLINE SEE L-06

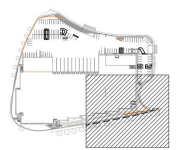


**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
		EXISTING TREE
	1 LD-01	PROPOSED TREE
	4&5 LD-01	PLANTING BED
	2 LD-02	FEATURE PAVING Behren's Brickwork paver Colour: Sherwin State Size: Mixed bundle Manufacturer: Behren's
	1 LD-02	CONCRETE PAVING
		CONCRETE RETAINING WALL
	7 LD-01	BIKE RACK
	3 LD-02	TABLE AND CHAIRS
	4 LD-02	BOLLARD LIGHT
	5 LD-02	WALL LIGHT
		PROPOSED GRADE
		SOD See landscape notes for specifications
		CITY SRW No construction within this space

**VDZ+A**  
LANDSCAPE ARCHITECTURE  
**FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO**  
 100-5181 Church St | 202-355 Kingway  
 Fort Langley BC | Vancouver BC  
 VIM 2R8 | VST 3J7  
 www.vdz.ca | 604-882-0024

Key Map (NTS)



No.	By:	Description	Date
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1	AD	Issued for DP/Re-Zoning	April 8, 2020
NA	By:	Description	Date

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No.	By:	Description	Date

**REVISIONS TABLE FOR SHEET**

No.	By:	Description	Date

Project: **BOSA BRIDGEVIEW**  
 Location: King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD DR	Stamp: 
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL WORKING ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE FOR CONSTRUCTION UNLESS LABELLED Hatched FOR ISSUES/CONSTRUCTION.



Drawing Title: **SITE PLAN D**

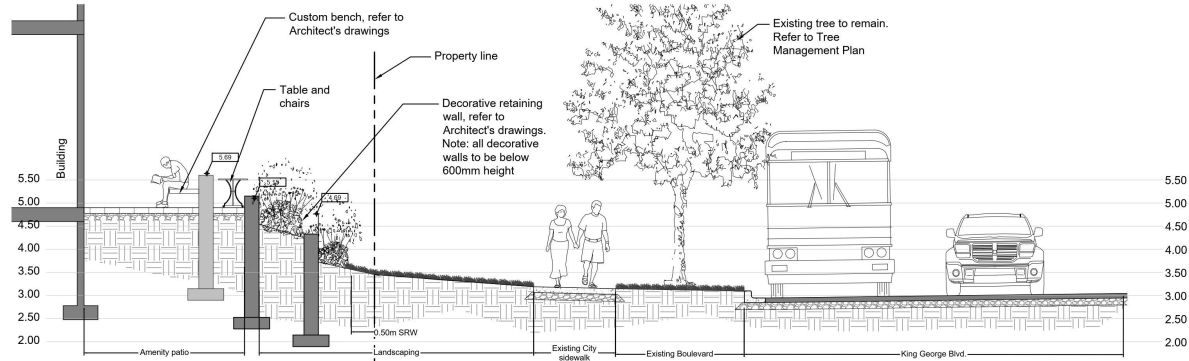


VDZ Project #: **DP2020-07**

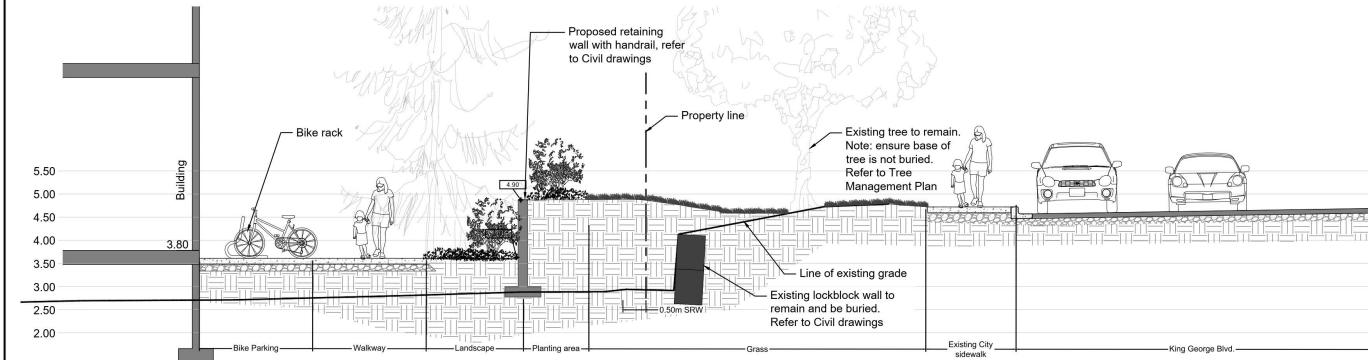
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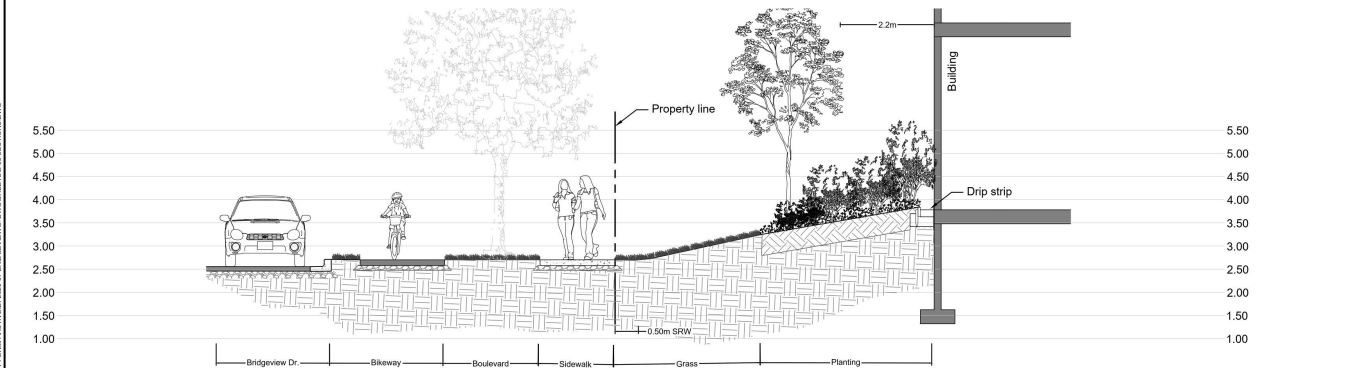
SITE PLAN  
Scale: 1:1000



1 SOUTH AMENITY PATIO AT KING GEORGE BLVD.  
Scale: 1:50



2 SOUTH-EAST BUILDING ENTRY ADJACENT KING GEORGE BLVD.  
Scale: 1:50



3 WEST EDGE LANDSCAPE ADJACENT BRIDGEVIEW DRIVE  
Scale: 1:50

NO.	By:	Description	Date
4	DR	Issued for DP/Re-Zoning	July 16, 2020
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1	AD	Issued for DP/Re-Zoning	April 8, 2020
NA	By:	Description	Date

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NO.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

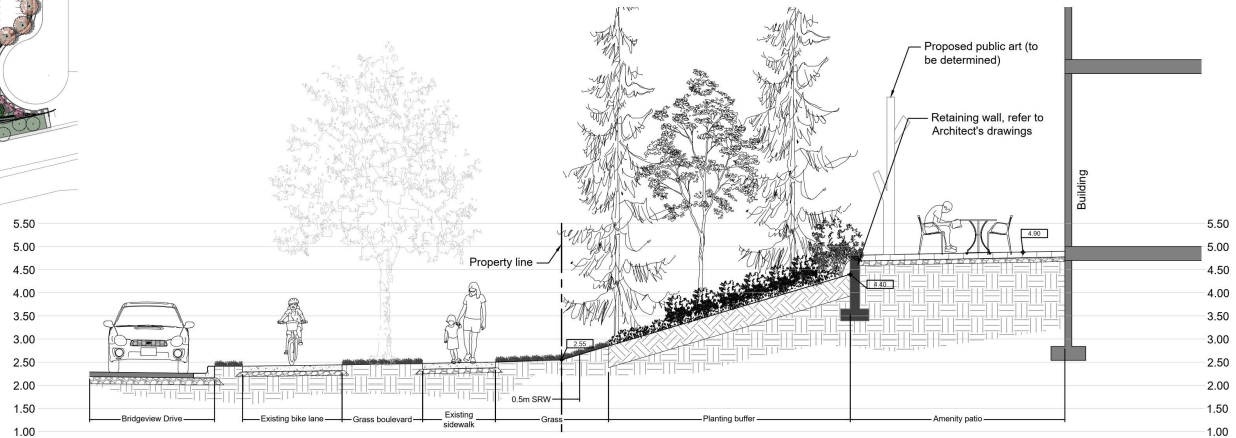
Project:  
BOSA BRIDGEVIEW

Location:  
King George Blvd and Bridgeview Drive, Surrey B.C.

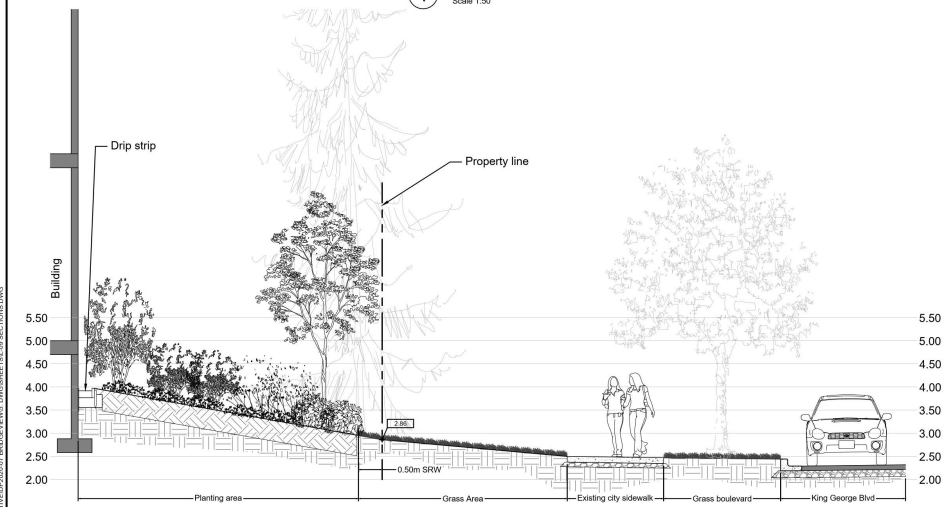
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Checked: TM	
Approved: MVDZ	
Scale: 1:50	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE RETURNED TO THE CONSULTANT WITH LABELLED SHEETS FOR CONSTRUCTION UNLESS LABELLED SHEETS FOR ISSUE/COORDINATION.



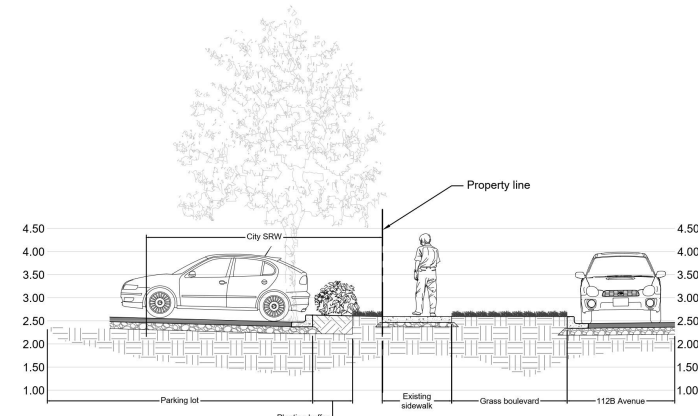
**SITE PLAN**  
 Scale: 1:1000



**1 WEST AMENITY PATIO AT BRIDGEVIEW DRIVE**  
 Scale 1:50



**2 SOUTHWEST YARD ADJACENT KING GEORGE BLVD.**  
 Scale 1:50



**3 NORTH YARD PARKING LOT PLANTED BUFFER AT 112B AVENUE**  
 Scale 1:50

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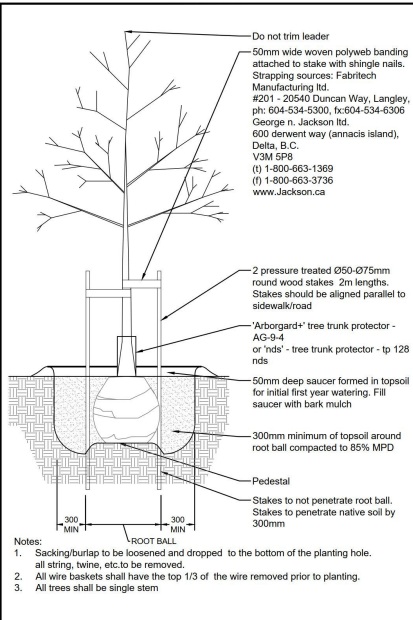
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: BOSA BRIDGEVIEW			
Location: King George Blvd and Bridgeview Drive, Surrey B.C.			

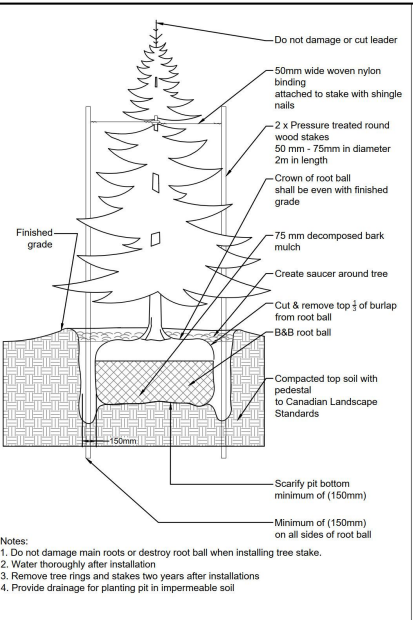
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Z:\PROJECTS\DEVELOPMENT\PERMIT\ACTIVITIES\DP\BOSA BRIDGEVIEW.DWG (SHEET 09 OF 10) (SECTION)

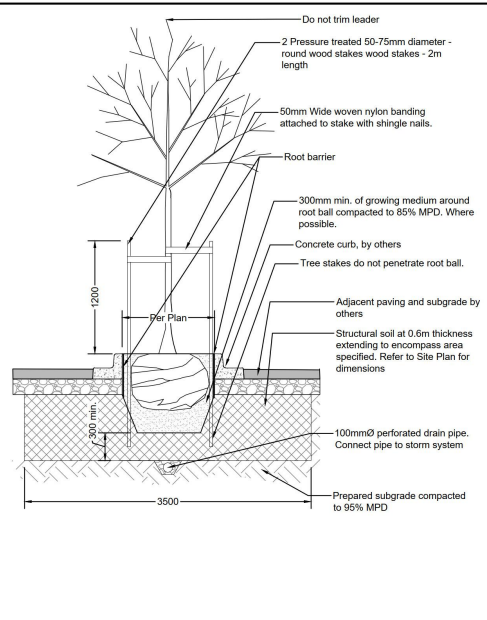




**1 DECIDUOUS TREE**  
Scale 1:25



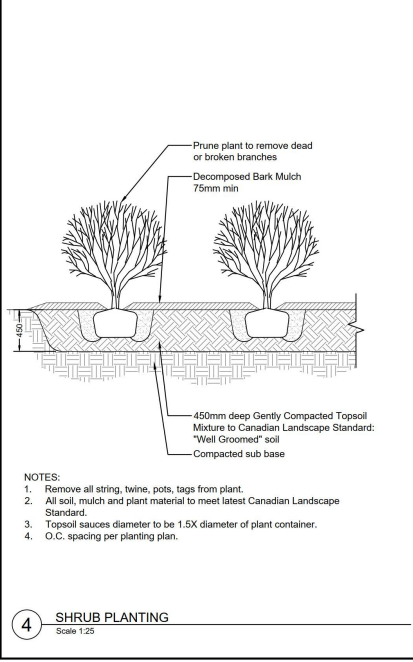
**2 CONIFEROUS TREE**  
Scale 1:25



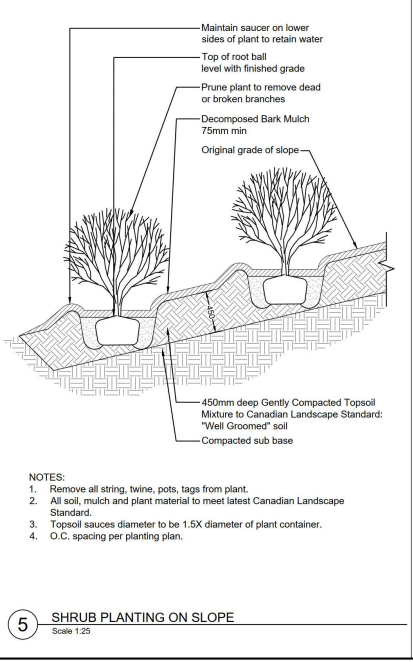
**3 TREE IN STRUCTURAL SOIL**  
Scale 1:30

**Notes:**

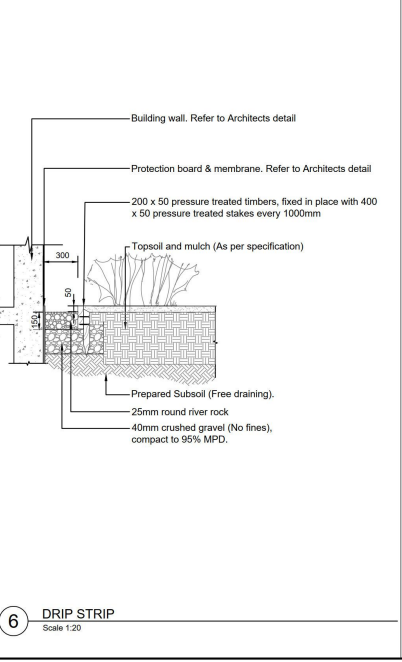
- Sacking/burlap to be loosened and dropped to the bottom of the planting hole. All string, twine, etc to be removed.
- All wire baskets shall have the top 1/3 of the wire removed prior to planting.
- All trees shall be single stem
- Root flare shall be at or above the surface of surrounding grade, as per BC Landscape Standards
- Structural soil to be SureBASE structural soil by Veratec or approved alternate, installed per manufacturers specifications to dimensions specified.
- Achieve 10m<sup>3</sup> of soil medium through organic soil and structural soil. Organic Soil 1m<sup>3</sup> = 1m<sup>3</sup>. Structural Soil 1m<sup>3</sup> = 0.25m<sup>3</sup>
- Contractor to provide soil analysis for approval by Landscape Architect prior to installation.
- Landscape Architect to review rough grading prior to installation of structural soil. Contractor to provide 72 hours notice prior to review.
- Landscape Architect to observe installation of structural soil. Contractor to provide 72 hours notice prior to installation.



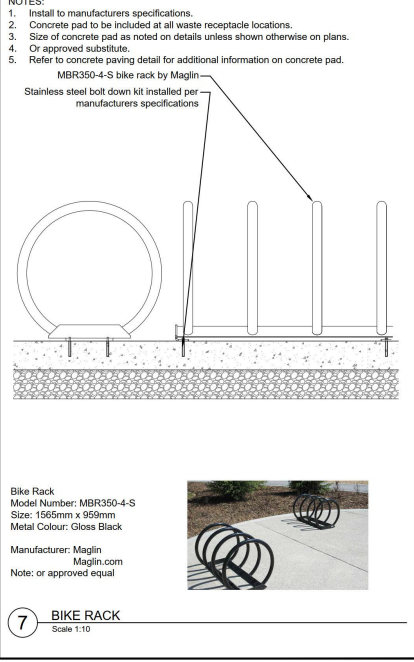
**4 SHRUB PLANTING**  
Scale 1:25



**5 SHRUB PLANTING ON SLOPE**  
Scale 1:25



**6 DRIP STRIP**  
Scale 1:20



**7 BIKE RACK**  
Scale 1:10

**NOTES:**

- Install to manufacturers specifications.
- Concrete pad to be included at all waste receptacle locations.
- Size of concrete pad as noted on details unless shown otherwise on plans.
- Or approved substitute.
- Refer to concrete paving detail for additional information on concrete pad.

MBR350-4-S bike rack by Maglin  
Stainless steel bolt down kit installed per manufacturers specifications

Bike Rack  
Model Number: MBR350-4-S  
Size: 1565mm x 959mm  
Metal Colour: Gloss Black  
Manufacturer: Maglin  
Maglin.com  
Note: or approved equal

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1	AD	Issued for DP/Re-Zoning	April 8, 2020
No.	By:	Description	Date

**REVISIONS TABLE FOR DRAWINGS**

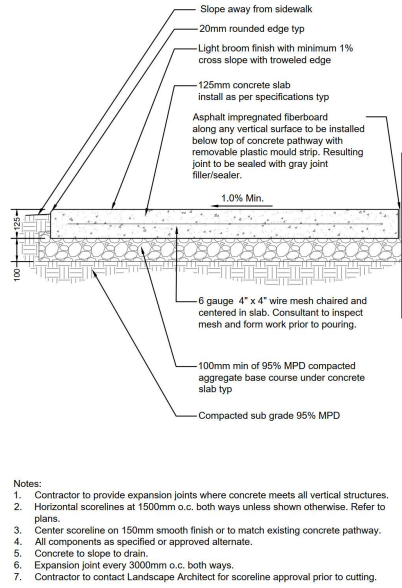
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No.	By:	Description	Date
<b>REVISIONS TABLE FOR SHEET</b>			

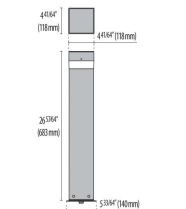
**Project:**  
BOSA BRIDGEVIEW

**Location:**  
King George Blvd and Bridgeview Drive, Surrey B.C.

<b>Drawn:</b> AD	<b>Stamp:</b>
<b>Checked:</b> TM	
<b>Approved:</b> MVDZ	<b>Original Sheet Size:</b> 24"x36"
<b>Scale:</b> AS SHOWN	<b>CONTRACTOR SHALL CHECK ALL CONDITIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS MUST BE CHECKED FOR CONSTRUCTION UNLESS LABELLED SHOWN FOR TRADE/COORDINATION.</b>

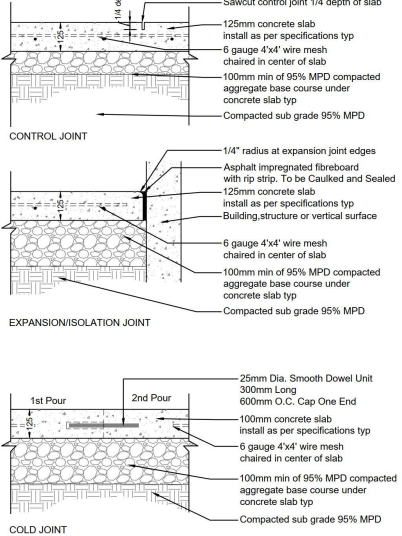


**1 CONCRETE PAVING**  
Scale 1:10

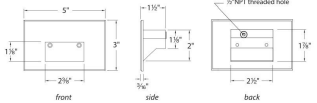


**BOLLARD LIGHT**  
Product: Q-Light  
Colour: Black  
Mount: Surface mount  
Note: ensure light shroud is downcast to qualify for Dark Sky compliance  
Manufacturer: Performance In Lighting  
www.performanceinlighting.com  
or approved equal

**4 BOLLARD LIGHT**  
Scale NTS

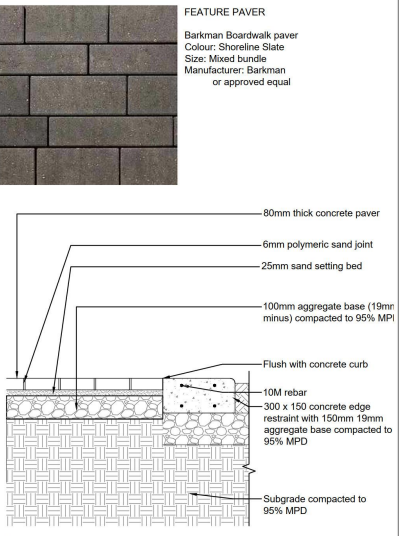


**1 CONCRETE PAVING**  
Scale 1:10



**WALL LIGHT**  
Model name: WL-LED100 Step And Wall Light  
Model No: WL-LED100-AM-BK  
Mount: Recessed  
Colour: Black  
Note: ensure light shroud is downcast to qualify for Dark Sky compliance  
Supplier: Lite-Scape Lighting Inc  
Supplier contact: 1 888-739-3555  
Manufacturer: WAC Lighting  
or approved equal

**5 WALL LIGHT**  
Scale NTS

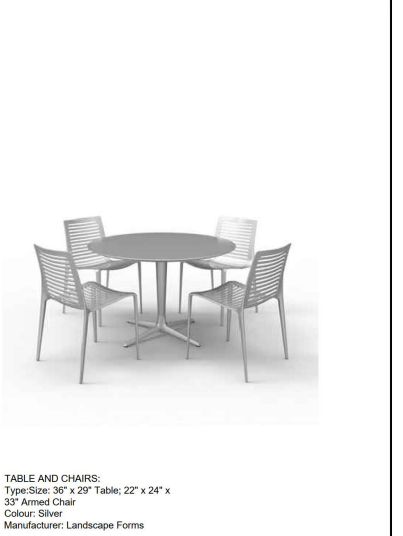


**2 FEATURE PAVING WITH CONCRETE EDGE**  
Scale 1:10



**PLANTER**  
Model name: Rectangle Wide Series  
Size: 36"L x 20"W x 24"H  
72"L x 20"W x 24"H  
Refer to Site Plan for locations  
Colour: Black  
Manufacturer: Green Theory  
greentheorydesign.com  
or approved equal

**6 PLANTER**  
Scale NTS



**3 TABLES AND CHAIRS**  
Scale NTS

**TABLE AND CHAIRS:**  
Type: Size: 36" x 29" Table; 22" x 24" x 33" Armed Chair  
Colour: Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com  
1-800-430-6209  
or approved equal

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**REVISIONS TABLE FOR SHEET**

**Project:**  
BOSA BRIDGEVIEW  
**Location:**  
King George Blvd and Bridgeview Drive, Surrey B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS MUST BE CHECKED FOR CONSTRUCTION (UNLESS OTHERWISE LABELLED HERE FOR ISSUES/CONSTRUCTION).

## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **July 16, 2020** PROJECT FILE: **7820-0135-00**

---

RE: **Engineering Requirements (Industrial)  
Location: 11242/1250 - 128 Street,  
12826/12834/12844/12854/12864/12868/12818/12882/12884 112B Avenue, and  
12855/12827/12835/12845/12869/12879/12885 King George Boulevard**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 0.65m along 129 Street.
- Dedicate a minimum R=17.0m for offset CDS bulb along 129 Street.
- Dedicate a 20.0m x 20.0m corner cut at the intersection of Bridgeview Drive and 112B Avenue.
- Dedicate a 6.0m x 6.0m corner cut at the intersection of 112B Avenue and 129 Street.
- Provide a 0.5m Statutory Right-of-Way (SRW) along all development frontages.
- Register SRW to current City criteria for the sanitary main proposed to remain in the existing alignment after the road closure.

#### *Works and Services*

- Ensure elevation at PL is +/- 300mm to CL of King George Boulevard (KGB).
- Construct south side of 112B Avenue.
- Construct west side of 129 Street.
- Construct two 11.0m concrete driveway letdowns.
- Construct storm and water mains along 129 Street.
- Abandon storm and water mains along KGB.
- Provide water, storm, and sanitary service connections to service the development.
- Provide water quality and quantity control facilities per the Bridgeview-North Slope Integrated Stormwater Management Plan.
- Register applicable legal documents as determined through detailed design.
- Pay applicable sanitary Local Area Service charges and latecomers.

A Servicing Agreement is required prior to Rezone/Subdivision. A processing fee of \$7,565.25 is required.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no additional engineering requirements relative to issuance of the Development Permit/Development Variance Permit beyond those required above.



Jeff Pang, P.Eng.  
Development Engineer  
CE4



**Table 2: Tree Replacement Summary**

**Surrey Project No:** Project No

**Address:** 12827 King George Blvd, Surrey

**Registered Arborist:** Austin Peterson

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>36</b>
<b>Protected Trees to be Removed</b>	<b>12</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>24</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio  2            X    one (1)            =    2	<b>22</b>
- All other Trees Requiring 2 to 1 Replacement Ratio  10           X    two (2)            =    20	
<b>Replacement Trees Proposed</b>	<b>22</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	<b>n/a</b>
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio  0            X    one (1)            =    0	<b>0</b>
- All other Trees Requiring 2 to 1 Replacement Ratio  0            X    two (2)            =    0	
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Off-Site Trees to be Retained</b>	<b>0</b>





Table 3: Summary of Tree Preservation by Tree Species

Tree Species	Existing	Remove	Retain
Alder	0	0	0
Cottonwood	2	2	0
<b>Deciduous Trees</b> (excluding alder and Cottonwood Trees)			
Maple	2	0	2
Mountain Ash	3	3	0
Oak	3	0	3
Linden	2	0	2
Styrax	7	0	7
<b>Coniferous Trees</b>			
Western hemlock	1	1	0
Pine	10	0	10
Douglas-fir	3	3	0
Red Cedar	3	3	0
Total (excluding Alder and Cottonwood Trees)	36	12	24
<b>Additional Trees in the proposed Open Space / Riparian Area</b>	n/a	n/a	n/a
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)		22	
<b>Total Retained and Replacement</b>		48	

Summary, report and plan prepared and submitted by:

July 9th, 2020



PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a free-standing sign within a yard abutting a highway (King George Boulevard) where the setback to the building, containing the business to which the sign pertains to, is 3.7 metres.	A free-standing sign shall not be permitted within any yard that abuts a highway if the business to which the sign pertains is located in a building whose setback adjacent to the highway is 5.0 metres or less.	<ul style="list-style-type: none"> <li>• The majority of the building setback along the King George Boulevard frontage exceeds 5.0 metres.</li> <li>• The proposed free-standing (monument) sign is located a minimum of 2.0 metres from the King George Boulevard lot line.</li> <li>• The proposed sign area is approximately 1.2 m<sup>2</sup>, which complies with the maximum 14 m<sup>2</sup> permitted for a single-faced sign.</li> <li>• The sign has been coordinated with the architectural character of the building and incorporated into the proposed landscaping</li> </ul>

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0135-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-401-620

Lot 2 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025  
Except Plans 84079 and EPP100158

11242 - 128 Street

Parcel Identifier: 003-102-823

Lot 3 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025  
Except Plans 84079 and EPP100158

11250 - 128 Street

Parcel Identifier: 024-202-894

Lot 1 Section 9 Block 5 North Range 2 West New Westminster District Plan LMP38657

12818 - 112B Avenue

Parcel Identifier: 008-262-985

Lot 6 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12826 - 112B Avenue

Parcel Identifier: 011-370-556

Lot 7 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12834 - 112B Avenue

Parcel Identifier: 002-147-858  
Lot 8 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12844 - 112B Avenue

Parcel Identifier: 011-370-599  
Lot 9 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12854 - 112B Avenue

Parcel Identifier: 011-370-661  
Lot 10 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12864 - 112B Avenue

Parcel Identifier: 011-370-726  
Lot 11 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12868 - 112B Avenue

Parcel Identifier: 011-370-882  
Lot 12 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12882 - 112B Avenue

Parcel Identifier: 011-370-921  
Lot 13 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12884 - 112B Avenue

Parcel Identifier: 011-370-751  
Lot 14 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12885 King George Boulevard

Parcel Identifier: 011-370-785  
Lot 15 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12879 King George Boulevard

Parcel Identifier: 011-370-823  
Lot 16 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12869 King George Boulevard

Parcel Identifier: 011-370-840  
Lot "A" Section 9 Block 5 North Range 2 West New Westminster District Plan 9025

12855 King George Boulevard

Parcel Identifier: 011-370-947  
Lot 19 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025  
12845 King George Boulevard

Parcel Identifier: 000-862-576  
Lot 20 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025  
12835 King George Boulevard

Parcel Identifier: 008-038-732  
Lot 21 Section 9 Block 5 North Range 2 West New Westminster District Plan 9025  
12827 King George Boulevard

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

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4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Sub-Section F. Yards and Setbacks of Part 48 "Light Impact Industrial Zone (IL)", the minimum front yard (east) setback is reduced from 7.5 metres to 3.3 metres;
- (b) In Sub-Section F. Yards and Setbacks of Part 48 "Light Impact Industrial Zone (IL)", the minimum side yard on a flanking street (south) setback is reduced from 7.5 metres to 3.7 metres;
- (c) In Sub-Section F. Yards and Setbacks of Part 48 "Light Impact Industrial Zone (IL)", the minimum rear yard (west) setback is reduced from 7.5 metres to 3.0 metres; and
- (d) In Sub-Section I. Landscaping of Part 48 "Light Impact Industrial Zone (IL)", the minimum width of a continuous landscaping strip along the developed side of a lot abutting a highway is reduced for 1.5 metres to 1.0 metres for a portion of the east lot line adjacent to 129 Street.

5. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
  - (a) In Part 1 – Interpretation – Definitions, “Bond” means cash, an irrevocable Letter of Credit or a Surety Bond in favour of the City.
6. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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Mayor – Doug McCallum

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City Clerk – Jennifer Ficocelli

To reduce the minimum rear yard (west) setback of the IL Zone from 7.5m to 3.0m.

**PROJECT ADDRESS:**  
Bridgeview Drive and 112B Avenue, Surrey, BC

**LEGAL DESCRIPTION:**  
LOT 1, PLAN LMP38657; LOT 6 TO 16 INCLUSIVE, 19, 20, 21 AND LOT A, PLAN 9025 ALL OF SECTION 9, BLOCK 5 NORTH, RANGE WEST, N.W.D.

**KEYNOTE LEGEND**

TAG	DESCRIPTION
CB	CATCH BASIN
FF	PIPE/STORM
---	1.5M HIGH BLACK 'OMEGA' STYLE FENCE OR APPROVED EQUIVALENT
---	LINE OF REQUIRED SETBACKS
---	LINE OF 3.0M MOTI SETBACK

**AUTHORITY:** City of Surrey

**ZONE:** Existing: CHI, IL, L-4  
Proposed: IL

**USES:**  
Low Impact Industrial, Office

**SITE AREA:**  
193760 SF 4.45 acres 18001 m<sup>2</sup> 1.80 hectare

**LOT COVERAGE (NET):**  
Permitted: 52%  
Proposed: 60%

**EASEMENTS:**  
0.50m SRW as shown  
5.13m Sanitary Sewer SRW as shown

**HEIGHT:**  
Permitted: 18.0 m (60'-0")  
Proposed: 12.2 m (40'-0")

**DENSITY (FSR):**  
Permitted: 0.5  
Allowed: 1.00

**SETBACKS:**

**Rear Yard Setback (West):**  
Required: 7.5 m  
Proposed: 3.0 m

**Side Yard Setback (North):**  
Required: 7.5 m  
Proposed: 21.7 m

**Side Yard Setback (South):**  
Required: 7.5 m  
Proposed: 3.7 m

**Front Yard Setback (East):**  
Required: 7.5 m  
Proposed: 3.3 m

**LANDSCAPE SETBACKS:**

**Rear Yard Setback (West):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (North):**  
Required: 1.5 m  
Proposed: 1.5 m

**Side Yard Setback (South):**  
Required: 1.5 m  
Proposed: 6.0 m

**Front Yard Setback (East):**  
Required: 1.5 m  
Proposed: 1.0 m



'OMEGA' FENCE

**OVERLAY AREA KEY**

To reduce the minimum landscaping requirement of the IL Zone from 1.5m to 1.0m for a portion of the east lot line abutting 129 Street.

To reduce the minimum front yard (east) setback of the IL Zone from 7.5m to 3.3m.

**Parking Bylaw Requirement**

Area Summary	Bylaw	Occupancy	1	2020	OR GP
Industrial	1	June 01	SUBMITTED FOR DPR2		

**Parking Required (by Occupancy)**

Occupancy	Area (SF)	Parking Req'd Factor (1/Area)	Spaces
Industrial	99,430	1,075.0	92.5
Industrial - Mezz	5,070	1,075.0	4.7
Office	5,170	430.0	12.0
	109,670		109.2

**Required Parking Spaces for Persons with Disabilities**

Required Stalls: 2% Total Required: 3  
Required Accessible Stalls: 3

**Parking Provided**

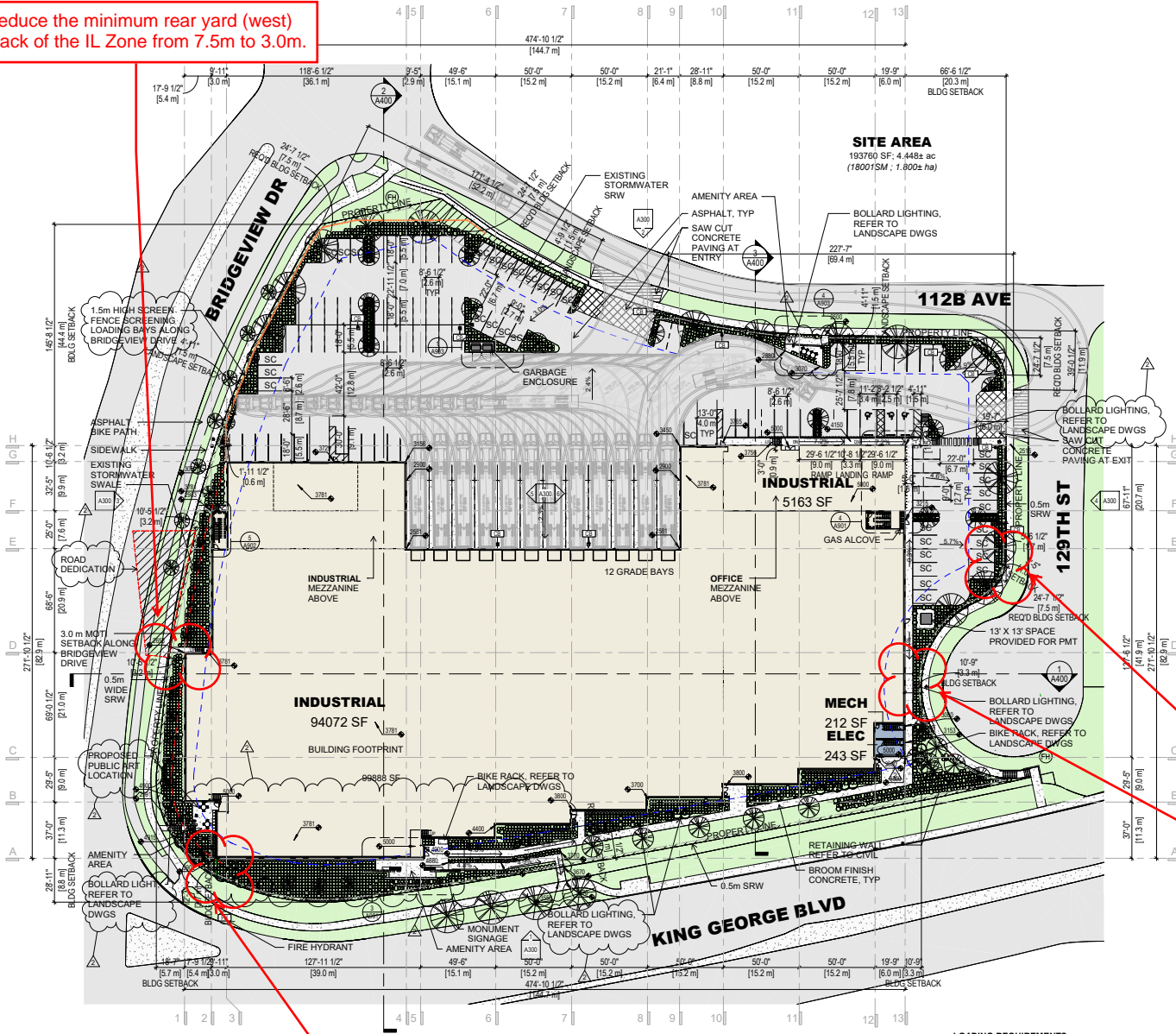
Parking Space - ADA1: 2.5 m x 5.5 m (1.5 m aisle)	1
Parking Space - ADA1: 3.4 m x 5.5 m (1.5 m aisle)	2
Parking Space: 90 Degrees 2.6 m x 4.9 m (Small Car)	7
Parking Space: 90 Degrees 2.6 m x 5.5 m	27
Parking Space: 90 Degrees 2.75 m x 4.9 m (Small Car)	67
Parking Space: 90 Degrees 2.75 m x 5.5 m	5
Small Car Allowed: Max. 35% of 109 Parking Spaces = 38 Provided: 34	109

**BOSA Commercial**  
TKA+D ARCHITECTURE + DESIGN INC.  
307 - 1400 HURON STREET, VANCOUVER, V6Z 2S4

**Bosa Bridgeview**  
Bridgeview Drive and King George Blvd, Surrey, BC

**Site Plan**  
PLOT DATE: 7/10/2020 8:25:19 AM

**A100**



**1 Site Plan**  
1: 400

To reduce the minimum side yard on a flanking street (south) setback of the IL Zone from 7.5m to 3.7m.

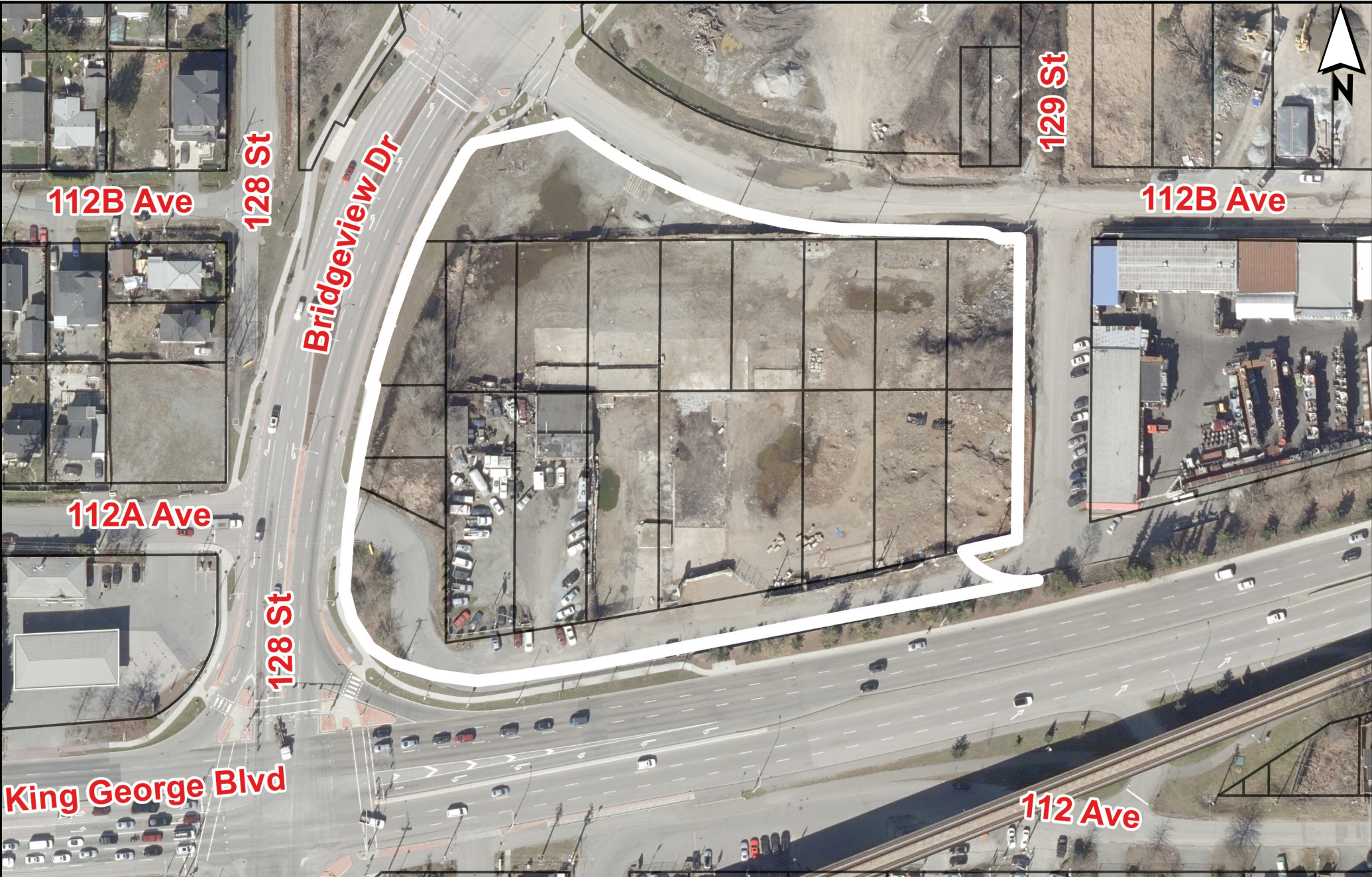
**LOADING REQUIREMENTS**

**Loading Provided**

Parking Space: 13' x 30' (Grade Bay)	2
Parking Space: 15' x 55' (Dock Bay)	12
	14

Note: Loading/unloading spaces not included in the calculation of off-street parking spaces





112B Ave

128 St

Bridgeview Dr

129 St

112B Ave

112A Ave

128 St

King George Blvd

112 Ave