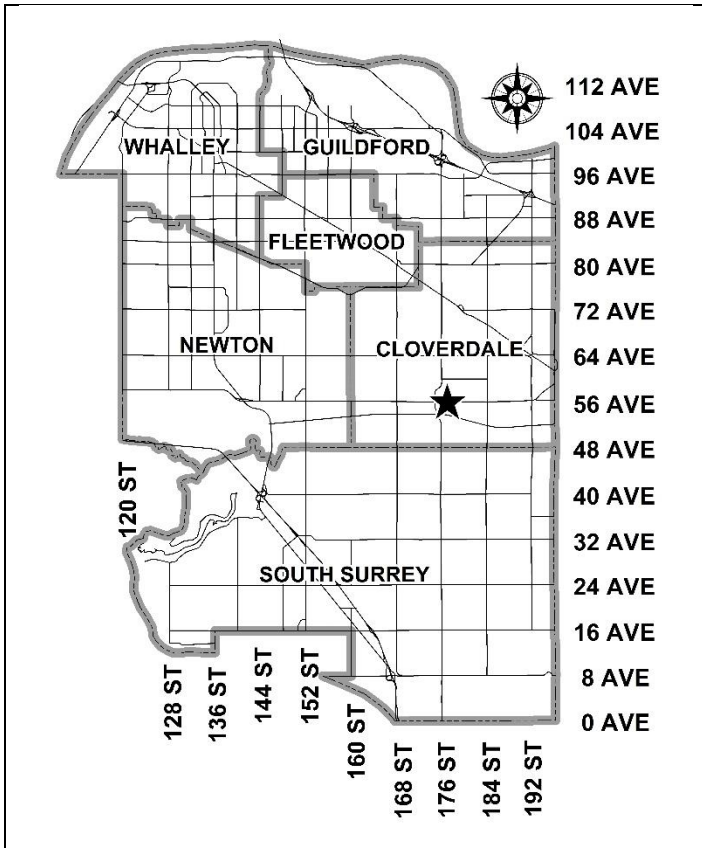


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0223-00

Planning Report Date: October 18, 2021



PROPOSAL:

- Rezoning from C-15 to CD (based on RM-70)
- Development Permit
- Heritage Revitalization Agreement

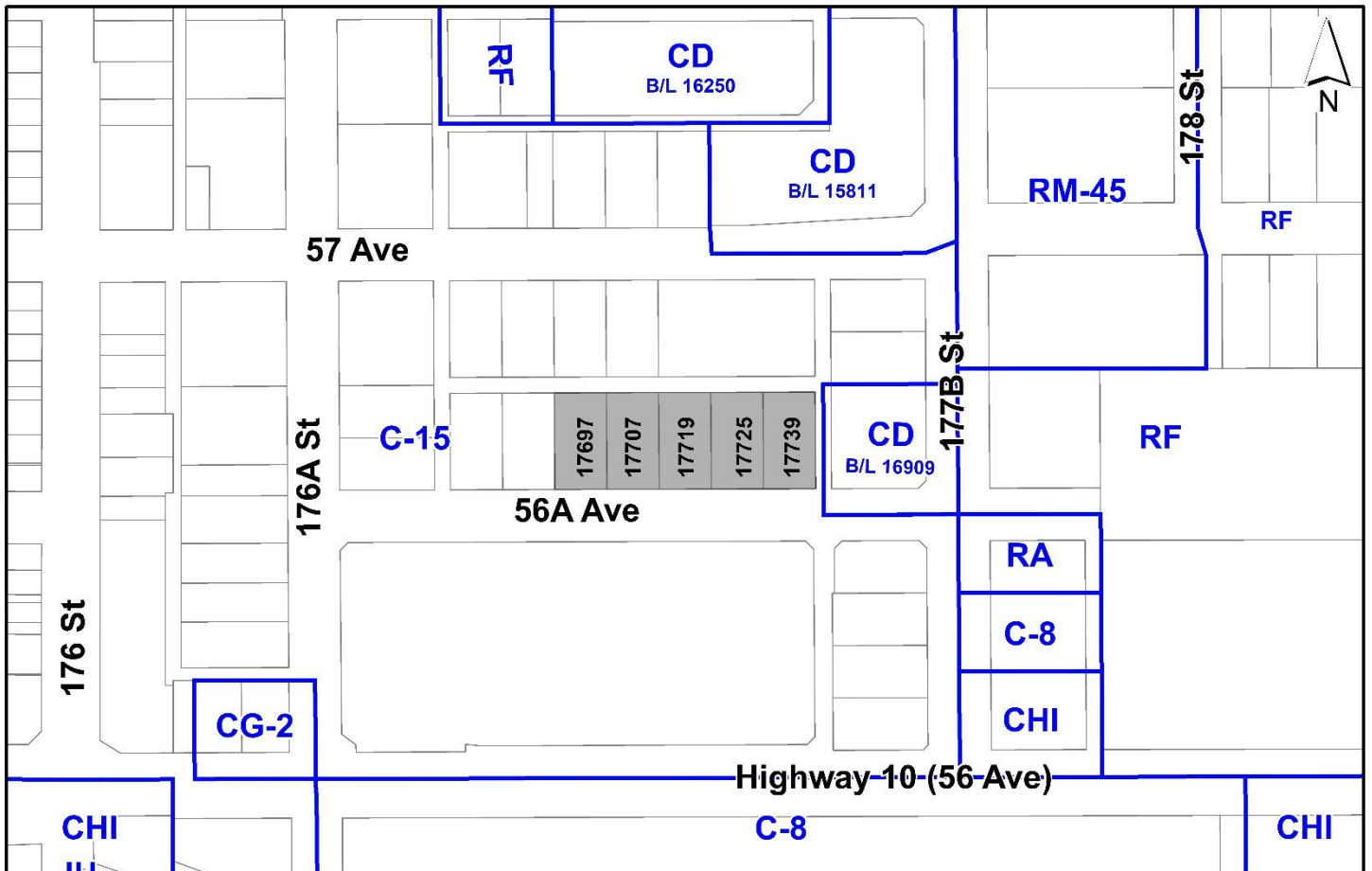
to permit the development of a 5-storey, 72-unit, mid-rise residential building over one (1) level of underground parking on a consolidated site in Cloverdale Town Centre. The proposal also includes the relocation, adaptive re-use and maintenance of the Mooring House and Mooring Cottage.

LOCATION: 17697, 17707, 17719, 17725 and 17739 - 56A Avenue

ZONING: C-15

OCF DESIGNATION: Multiple Residential

TCP DESIGNATION: Low-Rise Residential



RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for Rezoning.
- Bylaw Introduction, First, Second and Third Reading for a Heritage Revitalization Agreement (HRA) to preserve the Mooring House and Mooring Cottage.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Low-Rise Residential designation in the Cloverdale Town Centre Plan (TCP).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm. The proposed density is appropriate for this part of Cloverdale Town Centre.
- The applicant is proposing to preserve both the Mooring House and Mooring Cottage, which are on the Surrey Heritage Register. The proposed relocation, adaptive re-use, and maintenance of these two heritage assets as the indoor amenity space for the proposed residential development, as per the HRA, is supported by the City's Heritage Advisory Committee (HAC).
- The applicant has demonstrated support for the proposed development from both the Cloverdale Business Improvement Association (CBIA) and the Cloverdale Community Associations (CCA).

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "Town Centre Commercial Zone (C15)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. A Bylaw be introduced to allow the property owner and the City of Surrey to enter into a Heritage Revitalization Agreement (HRA) to allow for the relocation, restoration, adaptive re-use and maintenance of the Mooring House and Mooring Cottage on the subject site.
3. Council authorize staff to draft Development Permit No. 7920-0223-00 for Form and Character, generally in accordance with the attached drawings (Appendix I).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption';
 - (i) demolition of existing buildings and structures, except those to be preserved under the Heritage Revitalization Agreement, to the satisfaction of the Planning and Development Department;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and

- (l) registration of a volumetric statutory right-of-way for public passage over the proposed public plaza at the south-east corner of the subject site.

SITE CONTEXT & BACKGROUND.

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Five (5) lots each containing a single family dwelling and accessory buildings, including the Mooring House and Mooring Cottage.	Low-Rise Residential	C-15
North (Across unconstructed lane):	Two-storey, multi-unit commercial building, single family dwelling and two-storey, mixed use building.	Low-Rise Residential	C-15
East (Across lane):	Three-storey, 24 unit low-rise apartment building.	Low-Rise Residential	CD (Bylaw No. 16909)
South (Across 56A Avenue):	Museum of Surrey complex	Institutional	C-15
West:	Two-storey office building (Surrey Association for Community Living)	Low-Rise Residential	C-15

Context & Background

- The 0.3737-hectare subject site is comprised of five (5) lots at 17697, 17707, 17719, 17725 and 17739 - 56A Avenue in Cloverdale Town Centre.
- The subject site is designated Multiple Residential in the Official Community Plan (OCP), "Low-Rise Residential" in the Cloverdale Town Centre Plan and is currently zoned "Town Centre Commercial Zone (C-15)".
- The subject site contains both the Mooring House (17707 - 56A Avenue) and Mooring Cottage (17719 - 56A Avenue), which have recently been placed on the City's Heritage Inventory and identified by City staff as candidates for retention through a Heritage Revitalization Agreement (HRA).

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following in order to permit a 5-storey, 72-unit residential building over one (1) level of underground parking:
 - Rezoning from C-15 to CD (based on RM-70);

- Subdivision (Consolidation) from 5 lots to 1 lot;
 - Development Permit for Form and Character; and
 - Heritage Revitalization Agreement (HRA) for the relocation, adaptive re-use and maintenance of the Mooring House and Mooring Cottage.
- Development details are provided in the following table:

Proposed	
Lot Area	
Gross Site Area:	3,737 square metres
Road Dedication:	16 square metres
Undevelopable Area:	N/A
Net Site Area:	3,721 square metres
Number of Lots:	1
Building Height:	18.0 metres (5-storeys)
Unit Density:	192 units per hectare (78 units per acre)
Floor Area Ratio (FAR):	2.0
Floor Area	
Residential:	7,436 square metres
Total:	7,436 square metres
Residential Units:	
Studio:	N/A
1-Bedroom:	32 units
2-Bedroom:	20 units
3-Bedroom:	20 units
Total:	72 units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District have advised that there will be approximately 29 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

13 Elementary students at Martha Currie Elementary School
8 Secondary students at Lord Tweedsmuir Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2023.

Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval of the Rezoning Bylaw has been granted.
Heritage Advisory Commission (HAC):	The Heritage Advisory Committee (HAC) supports the preservation of the Mooring House and Mooring Cottage, endorses the proposed Conservation Plan, and has recommended that the subject Heritage Revitalization Agreement (HRA) be forwarded to Council for consideration.
Advisory Design Panel:	The proposal was considered at the ADP meeting on August 26, 2021, and was unanimously supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Driveway Access and Road Dedication/Construction Requirements

- The proposed development will obtain vehicular access to the underground parkade from the newly constructed 6.0-metre wide lane to the north of the subject site.
- The following road-related dedications and works along the site's road frontages will be required as part of the subject application:
 - No additional dedication required along 56A Avenue as the ultimate 20.0-metre wide Through Local Road width has been achieved;
 - Construct the north side of 56A Avenue to the Through Local Road Standard;
 - Dedicate a 1.0-metre x 1.0-metre corner cut at the intersection of 56A Avenue and the existing north-south lane to the east of the subject site;
 - Dedicate a 5.5-metre x 5.5-metre corner cut at the intersection of the east-west and north-south lanes;
 - Construct to 6.0-metre Lane Standard (5.4 metres of pavement, 0.3-metre curb, and gutter along each side); and
 - Registration of a 0.5-metre wide statutory right-of-way along 856A Avenue.
- The proposal will be in walking distance to several bus routes including TransLink Route Nos. 320 (Langley/Fleetwood/Surrey Central Station), 342 (Langley Centre/Newton Exchange) and C70 (Cloverdale/Willowbrook).
- In addition, the proposal is a short distance from two existing bike lanes (175 Street and 177B Street) as well as existing/future sections of the Hook Greenway.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The subject development is required to comply with Step 3 of the BC Energy Step Code compliance path of the BC Building Code.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the subject site's "General Urban" designation under the Metro Vancouver *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the subject site's "Multiple Residential" designation in the Official Community Plan.

Themes/Policies

- The proposal helps to support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS).
- The proposal helps to accommodate and direct urban land development into Urban/Town Centres that are well-served by local services and infrastructure at densities that encourage further commercial development and transit service expansion.
- The proposal helps to contribute to neighbourhood connectivity and walkability as well as enhancing public open spaces and greenspaces within existing neighbourhoods.
- The proposal helps to preserve the distinct character in Cloverdale Town Centre through preserving and enhancing heritage assets, such as the Mooring House and Mooring Cottage.
- The street fronting dwelling units will incorporate urban design features such as outdoor balconies, at-grade patio space, internal sideways, etc. that promote a welcoming streetscape and a more urban, pedestrian-oriented public realm.

Secondary Plans

Land Use Designation

- The proposal complies with the subject site's "Low-Rise Residential" designation in the Cloverdale Town Centre Plan.

Themes/Policies

- The proposal assists in providing for an additional variety of more affordable housing types within walking distance of the downtown area of the Cloverdale Town Centre.

CD Bylaw

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 5-storey, 72-unit residential building with one level of underground parking and heritage retention on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio (FAR):	1.5	2.0
Lot Coverage:	33%	55%
Yards and Setbacks	7.5 metres along all lot lines	North: 7.5 metres East: 3.0 metres South: 4.0 metres West: 5.5 metres
Principal Building Height:	50 metres	18 metres
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings and ground-oriented multiple unit residential buildings. Child care centres. 	<ul style="list-style-type: none"> Multiple unit residential buildings and ground-oriented multiple unit residential buildings.
Amenity Space		
Indoor Amenity:	3.0 metres per dwelling unit (216 sq.m. in total)	The proposed 213 m ² (+ CIL of \$2,000.00) meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 metres per dwelling unit (216 sq.m. in total)	The proposed 260 m ² exceeds the Zoning Bylaw requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed
Residential:	102	103
Residential Visitor:	14	15
Total:	116	118
Small Car (% of total stalls maximum):	41 (35%)	7 (6%)
Bicycle Spaces		
Residential Secure Parking:	86	86
Residential Visitor:	6	6

- The floor area ratio (FAR) has been increased from 1.5 to 2.0 in the proposed CD Zone. The proposed density complies with both the "Multiple Residential" designation in the OCP and the "Low-Rise Residential" designation in the Cloverdale TCP, where heritage retention is proposed.
- The lot coverage has been increased from 33% in the RM-70 Zone to 55% in the proposed CD Zone to accommodate the built form, which is generally consistent with other more recent multiple unit residential projects in the Cloverdale Town Centre.
- The proposed setbacks for the principal building, from 7.5 metres to 4.0 metres along the front (south) yard (56A Avenue) and 5.5 metres along the side (west) yard achieve more urban, pedestrian-oriented streetscape consistent with the goals and objectives of both the OCP and the Cloverdale TCP.
- To accommodate the existing heritage buildings in their new location, reduced setbacks from 7.5 metres to a minimum of 3.0 metres along the east lot line are proposed. To preserve the single family residential character of the two retained dwellings as well as provide for substantial outdoor amenity space, the minimum east side yard setback for the principal building has been increased from 7.5 metres to approximately 21 metres.
- The minimum parking requirement is 102 resident parking spaces and 14 visitor parking spaces, for a total of 116 off-street parking spaces. The applicant is proposing 103 resident parking spaces as well as 15 visitor parking spaces (nine (9) in the underground parkade and six (6) parallel spaces along the rear lane), for a total of 118 off-street parking spaces thereby exceeding the minimum requirements of the Zoning Bylaw.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs and will provide \$1,500 per unit if issuance of the Building Permit occurs by December 31, 2021, with rates increasing to \$2,000 per unit as of January 1, 2022. The contribution will be payable at the rate applicable at the time of issuance of the Building Permit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the permitted densities in the both the OCP and the Cloverdale Town Centre Plan, where heritage preservation is proposed.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 10, 2021, and the Development Proposal Signs were installed on the subject site on May 11, 2021. To date, Area Planning staff have received no responses from area residents.
- The subject development application was reviewed by the Cloverdale Chamber of Commerce, Cloverdale Business Improvement Association (CBIA) and the Cloverdale Community Association (CCA), who confirmed their support for the proposed development.

DEVELOPMENT PERMIT

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Cloverdale Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP).
- The applicant has worked with staff to improve the integration of the retained heritage buildings within the proposed multi-residential form and uses while still preserving a sense of their single family residential history and character as well as ensuring appropriate interfaces with the public realm and adjacent properties.

Existing Heritage Buildings and proposed Heritage Revitalization Agreement (HRA)

- The proposed development includes the relocation and retention of both the one-storey Mooring House (17707 – 56A Avenue) and one-storey Mooring Cottage (17719 – 56A Avenue).
- The Mooring House and Mooring Cottage, constructed in 1933 and 1934 respectively, are significant for their association with the resiliency of both the economic and residential growth of Cloverdale as a regional centre during the Great Depression. Both are valued for their "Swiss Cottage Craftsman" inspired vernacular architecture and modest scale.
- The character-defining elements of both the Mooring House and Mooring Cottage include:
 - Location on 56A Avenue adjacent to the 1912 Cloverdale Municipal Hall (now the Surrey Archives located at 17671 – 56 Avenue);
 - One-storey, side-gabled massing with low crawl space;
 - Cedar shingle cladding and exposed corner knee-brackets;
 - Enclosed front gable porch with large overhang, closed tongue-and-grove ceiling, mounted knee-brackets, balustrade entablature and headboard;
 - Original window placement and multi-pane window assemblies;
 - Interior masonry, red-brick chimney (Mooring House).
- The heritage protection instrument applied for, the Heritage Revitalization Agreement (HRA), is a voluntary agreement between landowners and the City. The agreement is regulated through an official Bylaw under Section 610 of the Local Government Act. The attached HRA (Appendix IX) specifies the owner's obligations to protect, conserve and maintain the heritage buildings and includes provisions for both replication and compensation in the event that the buildings are destroyed.
- The HRA also includes a Conservation Plan that outlines:
 - The heritage significance of the buildings;
 - The character-defining elements of the buildings;
 - The restoration and maintenance requirements consistent with the heritage character of the buildings; and
 - Interventions that would require and would not require the issuance of a Heritage Alteration Permit (HAP) before works can be completed. While the subject HRA and Conservation Plan allow for normal maintenance any significant alterations in the future would be subject to a Council-authorized HAP.
- Both the Mooring House and Mooring Cottage are proposed to be relocated to the eastern portion of the consolidated site, where they will function as stand-alone indoor amenity spaces for the proposed residential building. The existing vinyl siding on the Mooring House will be removed and the underlying cedar-shingle siding restored while the existing horizontal lap siding on the Mooring Cottage will be repaired and restored, where necessary, and both buildings painted in Depression-era appropriate colours. Existing door and window assemblies will be repaired and maintained in their existing locations while the rear porches of both the Mooring House and Mooring Cottage will be reconstructed to reflect their original condition in 1930.

Site Planning and Building Design

- The proposed development consists of a rectilinear, 5-storey, low-rise residential building containing 72 dwelling units over one (1) level of underground parking. The proposed units consist of 32 1-bedroom, 20 2-bedroom, and 20 3-bedroom apartments which range in size from 63 to 140 square metres.
- The colour palette on the proposed 5-storey residential building has been carefully selected in order to complement the colours on the heritage homes while differentiating the contemporary and heritage components of the subject site.
- The principal elevation of the proposed building will face 56A Avenue, with the central portion inset from the remaining façade and clad in "slate grey" brick to emphasize the lobby entrance and break up the length of the façade. Further emphasis is given to the central lobby through the use of extensive glazing as well as a powder-coated metal canopy in "Caliente" (red) which also provides for weather protection.
- All ground floor units on the 56A Avenue façade are proposed to be two-storey, 3-bedroom townhouse units. A two-storey "townhouse expression" is provided along 56A Avenue through the use of light and dark grey fibrous cement board panels, 1.5-storey arches, and a cornice projection. The upper storeys of the residential building will be clad in fibrous cement wall panels in light grey, cream, and rust, with the balconies treated with clear glass guards and powder-coated aluminum railings in black.
- The upper (5th) storey of the proposed building will be set back approximately 1.5 metres in order to reduce the overall sense of building massing and height.

Landscaping

- The landscape plans propose a total of 50 trees as well as a significant number of low-lying and ground cover species throughout the subject site.
- Ground-level residential units along both 56A Avenue and the rear lane each have access to private, raised patios which are screened from the adjacent public sidewalks through low-lying shrubs and grasses, such as Hick's Yew, Little-Leaf Box and Oriental Fountain Grass, as well as individual trees. Each patio can be accessed via a gated street-level entrance or through the dwelling unit.
- A corner plaza is proposed at the south-east corner of the subject site, which contains benches for seating and significant perimeter planting to provide for sufficient future canopy. In addition, the proposed plaza will be delineated from the adjacent concrete public sidewalk through the use of decorative hardscaping.

Indoor Amenity

- The RM-70 Zone requires that 216 square metres of indoor amenity space be provided for the subject development based on the provision of 3.0 square metres of amenity space per each of the 72 proposed dwelling units.

- The applicant is proposing to utilize the Mooring House and Mooring Cottage, which are to be relocated to the eastern edge of the consolidated site, as the primary indoor amenity spaces for the project. The two stand-alone buildings, approximately 138 square metres in total floor area, will be accessed from the abutting outdoor amenity space and will contain a lounge/party room, kitchen, multi-purpose meeting rooms and washroom facilities.
- A 71-square metre multi-purpose/fitness room is proposed within the principal building, adjacent to the proposed outdoor amenity space. This will be visually tied to the external indoor amenity spaces by floor-to-ceiling glazing as well as horizontal lap siding. In addition, a 4-square metre portion of the ground floor secured bicycle storage room will be used specifically for the maintenance and washing of resident-owned bicycles.
- The proposed 213 square metres of indoor amenity space does not meet the 216 square metres of indoor amenity space required under the RM-70 Zone (on which the proposed CD Bylaw is based) but does exceed the 74 square metres of indoor amenity space that must be provided on-site for a 3- to 6-storey high residential building. The applicant will provide a monetary contribution of \$2,000.00 (based on \$2,000.00 per unit (3-sq.m.) of required indoor amenity space) in accordance with the Zoning Bylaw and City policies to address the shortfall under the RM-70 Zone.

Outdoor Amenity

- The RM-70 Zone requires that 216 square metres of outdoor amenity space be provided for the subject development based on the provision of 3.0 square metres of amenity space per each of the 72 proposed dwelling units.
- The applicant is proposing approximately 299 square metres of outdoor amenity space, of which approximately 39 square metres is within the building setback, and therefore cannot be counted towards the outdoor amenity space requirement. The remaining 260 square metres is outside of the required building setbacks, exceeding the minimum 216 square metres required under the Zoning Bylaw.
- The proposed open space is located within a raised courtyard complex on the eastern portion of the consolidated site and contains the following amenities:
 - An urban agriculture area;
 - Outdoor kitchen (barbeque) area;
 - A dedicated children's play area on resilient surface which contains several play structures;
 - Shaded outdoor lounge areas; and
 - A central "games" area containing an oversized chessboard and hop-scotch.

Advisory Design Panel

ADP Date: August 26th, 2021

- The applicant has generally resolved most of the outstanding items from the ADP review (see Appendix VIII). The following items have now been addressed to the satisfaction of staff:

- Refinement of the interface between the retained heritage buildings and the proposed residential building, including on-site grades and pedestrian accessibility;
 - Refinement of the public-private interface along the eastern lot line, which includes tiered retaining walls and extensive landscaping;
 - Relocation of one of the four proposed accessible units from the 3rd-4th floor to the ground floor; and
 - Refinement of the proposed complementary/heritage appropriate colour scheme.
- The applicant and staff will continue to work on the following items:
 - Further refinement of the design and material palette of the proposed public plaza at the south-east corner of the consolidated site, which may include appropriately scaled educational signage.
 - The completion of any additional revisions, to the satisfaction of Planning & Development staff, will be finalized prior to Council consideration of Final Adoption of both the Rezoning and Heritage Revitalization Agreement Bylaws associated with the subject development application.

TREES

- Anna Kulla, ISA Certified Arborist of Huckleberry Landscape Design, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Apple	3	3	0
Cherry	2	2	0
Holly	1	1	0
Linden	2	2	0
Laurel	1	1	0
Maple	2	2	0
Sumac	2	2	0
Walnut	2	2	0
Coniferous Trees			
Black Pine	2	2	0
Douglas-fir	1	1	0
Total (excluding Alder and Cottonwood Trees)	18	18	0

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	48
Total Retained and Replacement Trees	48
Contribution to the Green City Program	No contribution.

- The Arborist Assessment states that there are a total of 18 protected trees on the site, of which none were Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those protected trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all other trees. This will require a total of 36 replacement trees on the site. The applicant is proposing 48 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 56A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Forest Pansy Redbud, Weeping Nootka Cypress, Pink Flowering Dogwood, Cornelian Cherry, Golden Rain Tree, Flowering Crabapple, Persian Ironwood and Serbian Spruce.
- In summary, a total of 48 trees are proposed to be replaced on the site with no contribution to the Green City Program required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Heritage Advisory Commission Minutes (June 9, 2021)
Appendix VI.	Cloverdale Town Centre Plan Map
Appendix VII.	Aerial Photo (COSMOS, April 2021)
Appendix VIII.	ADP Comments and Responses
Appendix IX.	Heritage Revitalization Agreement (HRA)

approved by Ron Gill

Ron Gill
Acting General Manager
Planning and Development

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VIEW FROM SOUTHWEST

ISSUE	DATE	BY	ISSUED FOR



CLIENT :	ECAM HOLDINGS
PROJECT :	5 STOREY APARTMENT BUILDING 17647-17194 - 56A AVENUE, SURREY
SHEET CONTAINS :	RENDERINGS
DESIGN :	L.P.E.
DRAWN :	
DATE :	04.6.21
SCALE :	3/32" = 1'-0"

barnett dembek
 ARCHITECTS INC.

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-6.01

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 DRAWING NO. AC-6.02

ISSUE	DATE	BY	ISSUED FOR



VIEW FROM SOUTHEAST



DESIGN : L.P.E.	DRAWN : 	DATE : 04.6.21	SCALE : 3/32" = 1'-0"
CLIENT : ECCAM HOLDINGS	PROJECT : 5 STOREY APARTMENT BUILDING 17641-17191 - 56A AVENUE, SURREY		SHEET CONTAINS : RENDERINGS

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 FAX: (604) 597-2099
 EMAIL: moti@darklites.com

CLIENT NO.	SHEET NO.
	AC-6.02
PROJECT NO.	REV. NO.
18030	

DEVELOPMENT DATA

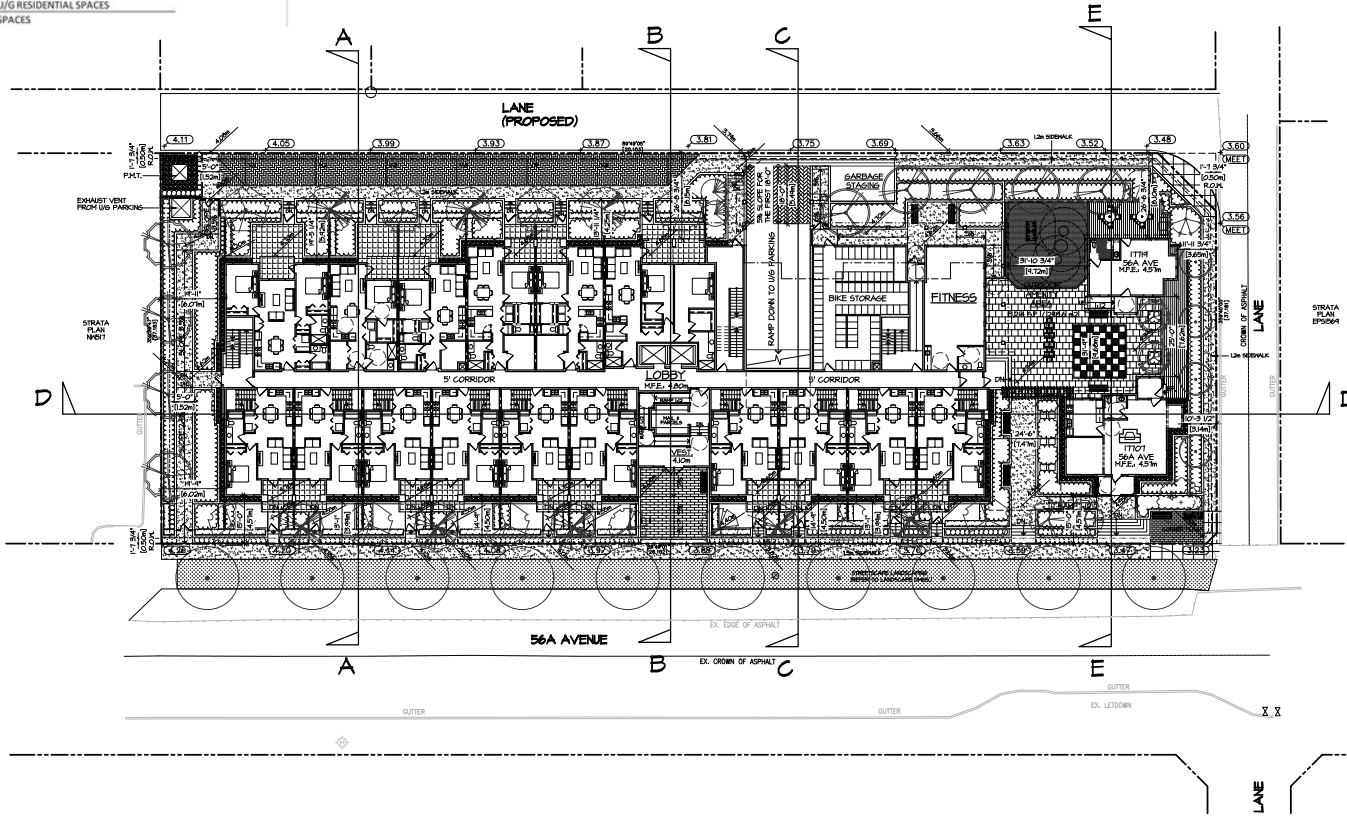
GROSS SITE AREA	40,227 S.F.±	3,737 M ²	0.37 Ha
ROAD DEDICATION	168 S.F.±	16 M ²	0.00 Ha
NET SITE AREA	40,059 S.F.±	3,722 M ²	0.37 Ha
# of Units			
BUILDING AREA	1st Floor	16,367 S.F.	1,521 M ²
	2nd Floor	16,682 S.F.	1,550 M ²
	3rd Floor	16,682 S.F.	1,550 M ²
	4th Floor	16,682 S.F.	1,550 M ²
	5th Floor	14,383 S.F.	1,336 M ²
TOTAL:		80,796 S.F.	7,506 M ²
OUTDOOR AMENITY	Required:	216 M ²	2,325 S.F.
	Provided:	299 M ²	3,214 S.F.
INDOOR AMENITY	Required:	216 M ²	2,325 S.F.
	Provided:	209 M ²	2,254 S.F.
FAR Proposed	2.0	80,040 S.F.	7,436 M ² Excluding Indoor Amenity
Lot Coverage	52%	20,984 S.F.	1,950 M ²
DENSITY	72	/ 0.37 =	193 UPH
PARKING	REQUIRED:	32 0-1 BED x 1.30 = 41.6 SPACES	
		40 2+ BED x 1.50 = 60.0 SPACES	
		72 UNITS x 0.20 = 14.4 VISITOR SPACES	
		TOTAL REQUIRED:	116.0 SPACES
PROVIDED:		6 SURFACE VISITOR SPACES	
		9 U/G VISITOR SPACES	
		103 U/G RESIDENTIAL SPACES	
		118 SPACES	

UNIT BREAKDOWN

UNIT A	1 BED / DEN	675 S.F. ±	x	24 UNITS =	16,200 S.F.	1505.03 M ²	UNIT 105 REVISED AS HC ADAPTABLE (REFER TO GROUND FLOOR PLAN)
UNIT A1	1 BED / DEN	788 S.F. ±	x	8 UNITS =	6,304 S.F.	585.66 M ²	
UNIT A2	2 BED / DEN - HC AL	957 S.F. ±	x	2 UNITS =	1,914 S.F.	177.82 M ²	
UNIT A3	2 BED / DEN - HC AL	1069 S.F. ±	x	2 UNITS =	2,138 S.F.	198.63 M ²	
UNIT B	2 BED / DEN	897 S.F. ±	x	4 UNITS =	3,588 S.F.	333.34 M ²	
UNIT B1	2 BED / DEN	931 S.F. ±	x	4 UNITS =	3,724 S.F.	345.97 M ²	
UNIT B2	2 BED / DEN	957 S.F. ±	x	3 UNITS =	2,871 S.F.	266.72 M ²	
UNIT B3	3 BED / DEN	1,277 S.F. ±	x	3 UNITS =	3,831 S.F.	355.91 M ²	
UNIT B4	2 BED	1,065 S.F. ±	x	1 UNITS =	1,065 S.F.	98.94 M ²	
UNIT PH-1	3 BED / DEN	1,115 S.F. ±	x	2 UNITS =	2,230 S.F.	207.17 M ²	
UNIT PH-2	2 BED	936 S.F. ±	x	1 UNITS =	936 S.F.	85.10 M ²	
UNIT PH-2a	3 BED	930 S.F. ±	x	1 UNITS =	930 S.F.	84.54 M ²	
UNIT PH-3	3 BED / DEN	1,303 S.F. ±	x	2 UNITS =	2,606 S.F.	242.11 M ²	
UNIT PH-4	2 BED / DEN	1,082 S.F. ±	x	1 UNITS =	1,082 S.F.	100.52 M ²	
UNIT PH-5	2 BED / DEN	1,057 S.F. ±	x	1 UNITS =	1,057 S.F.	98.20 M ²	
UNIT PH-6	3 BED	1,508 S.F. ±	x	1 UNITS =	1,508 S.F.	140.10 M ²	
UNIT PH-7	3 BED / DEN	1,220 S.F. ±	x	1 UNITS =	1,220 S.F.	113.34 M ²	
UNIT PH-8	2 BED	964 S.F. ±	x	1 UNITS =	964 S.F.	89.56 M ²	
UNIT D	3 BED T/H	1,354 S.F. ±	x	10 UNITS =	13,540 S.F.	1257.91 M ²	
TOTAL UNITS				72 UNITS =	67,668 S.F.	6286.56 M²	

RESIDENTIAL UNIT MIX

1 BED / DEN	32	44.44%
2 BED	7	9.72%
2 BED / DEN	9	12.50%
2 BED / DEN - ADAPT 4	9	12.50%
3 BED	5	6.94%
3 BED / DEN	5	6.94%
3 BED T/H	10	13.89%
TOTAL UNITS	72	100.00%



CONCEPTUAL SITE PLAN

SCALE: 1" = 20'-0"

ISSUED FOR	
BY	
DATE	
ISSUE	
REV. NO.	
DATE	
BY	
DATE	
BY	
DATE	
BY	
DATE	

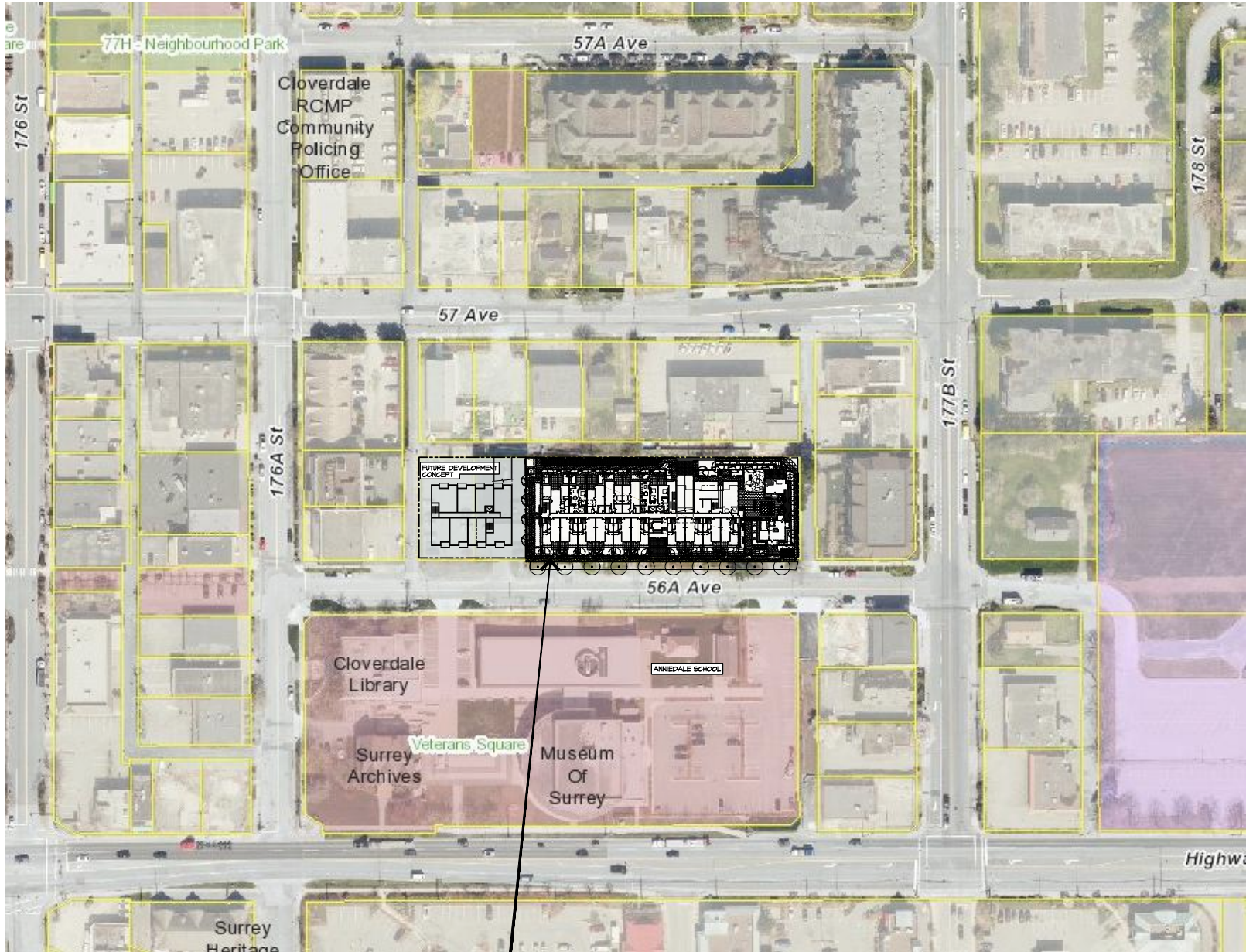


DESIGN: L.F.B.	DRAWN: C.M.L.	DATE: 04.16.21	SCALE: 1" = 20'-0"
CLIENT: EKAM HOLDINGS			
PROJECT: 15 STOREY APARTMENT BUILDING 1764-1764 - 56A AVENUE, SURREY			
SHEET CONTENTS: CONCEPTUAL SITE PLAN			



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100	CLIENT NO.	SHEET NO.
FAX: (604) 597-2099		AC-1.01
EMAIL: mol@darkitex.com	PROJECT NO.	REV. NO.
	18038	



PROJECT SITE



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ISSUE	DATE	BY	ISSUED FOR



OSR-CONTEXT-A2328

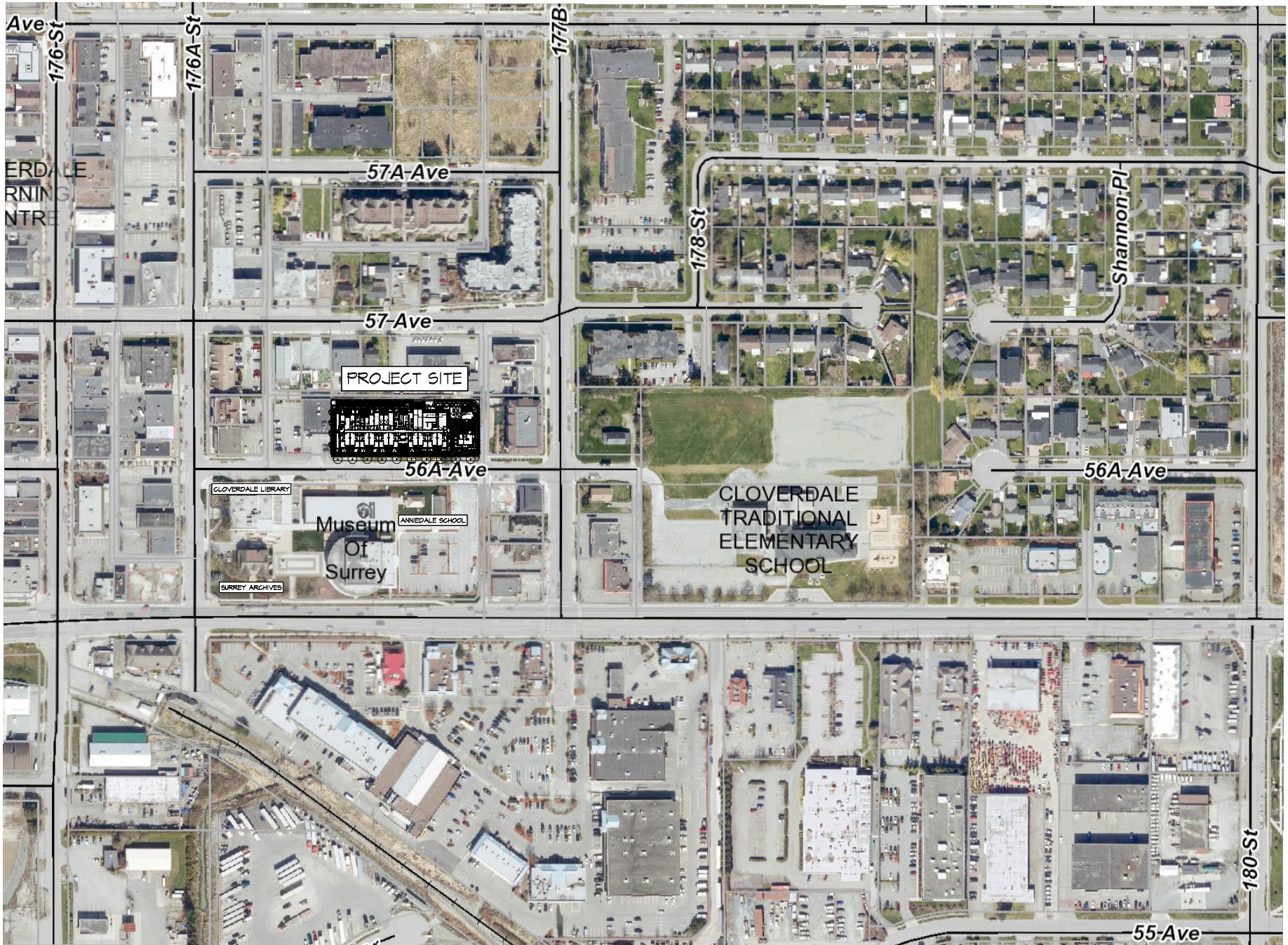
DESIGN :	L.P.A.	DRAWN :	DATE :	SCALE :
CLIENT :	ECCAM HOLDINGS	PROJECT :	5 STOREY APARTMENT BUILDING 1767H-1778A - 56A AVENUE, SURREY	1" = 60'-0"
SHEET CONTAINS :	CONTEXT PLAN			

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UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dempek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AG-1.02



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038-CONTEXT-02.dwg

DESIGN :	E-CAM HOLDINGS
L.P.A. :	
DRAWN :	
DATE :	04-1-21
SCALE :	1" = 100'-0"
CLIENT :	E-CAM HOLDINGS
PROJECT :	15 STOREY APARTMENT BUILDING 176A-177B - 56A AVENUE, SURREY
SHEET CONTENTS :	NEIGHBORHOOD CONTEXT PLAN



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-102a



VIEW 1 - SOUTH



VIEW 2 - WEST



VIEW 3 - SOUTHWEST



VIEW 4 - NORTHWEST



VIEW 5 - SOUTH



VIEW 6 - SOUTHEAST



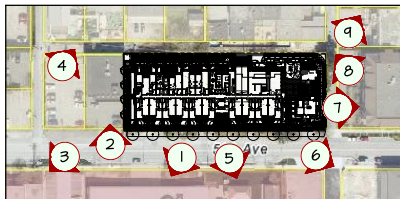
VIEW 7 - EAST



VIEW 8 - NORTHEAST



VIEW 9 - NORTHEAST



KEY PLAN

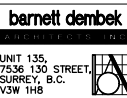
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ISSUE	DATE	BY	ISSUED FOR



CBS-CONTEXT-13.dwg

CLIENT :	ECAM HOLDINGS
DESIGN :	L.P.A.
DRAWN :	DATE :
DATE :	04.1.21
SCALE :	1" = 40'-0"
PROJECT :	5 STOREY APARTMENT BUILDING 11641-11751 - 56A AVENUE, SURREY
SHEET CONTENTS :	CONTEXT PHOTOS



PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@barnett-dembeck.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-1.03

CONTEXT PHOTOS



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CBS-CONCEPT-03-2019

DESIGN :	L.P.A.	DRAWN :	DATE :	SCALE :
CLIENT :	ECCAM HOLDINGS	PROJECT :	5 STOREY APARTMENT BUILDING	SHEET CONTAINS :
			1767-1778 - 56A AVENUE, SURREY	SIMILAR BUILDINGS

barnett dembek
ARCHITECTS INC.

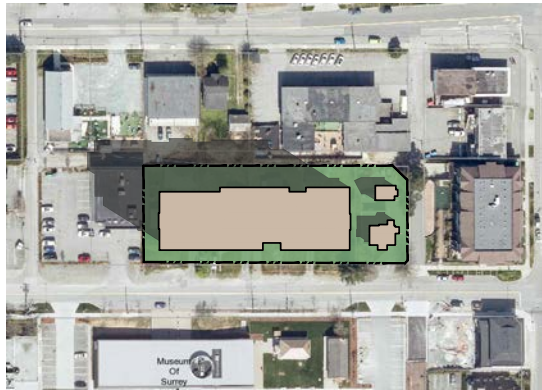
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-1,04
PROJECT NO.	REV. NO.
18038	

SIMILAR BUILDINGS

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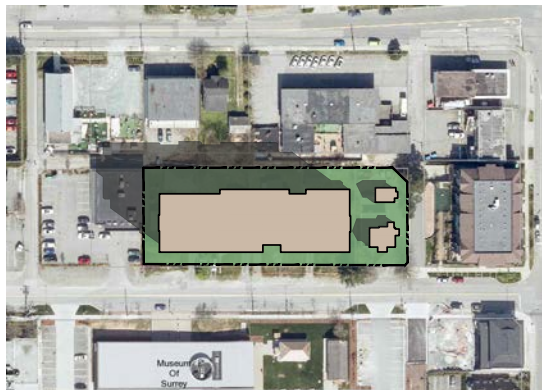
MARCH 21st - 10:00am



MARCH 12st - 12:00pm



MARCH 12st - 2:00pm



SEPTEMBER 21st - 10:00am



SEPTEMBER 21st - 12:00pm



SEPTEMBER 21st - 2:00pm

REV	DATE	BY	ISSUED FOR



DESIGN : L.P.A.	DRAWN :	DATE :	SCALE :
		04.6.21	1 : 1
CLIENT : E-CAM HOLDINGS		PROJECT : 5 STOREY APARTMENT BUILDING 17641-17159 - 56A AVENUE, SURREY	
		SHEET CONTENTS : SHADOW STUDY	



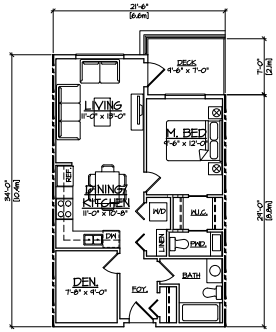
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnettdebek.com

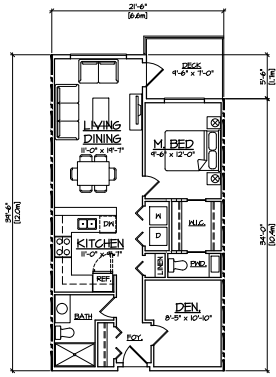
CLIENT NO.	SHEET NO.
	AC-1.05
PROJECT NO.	REV. NO.
18038	



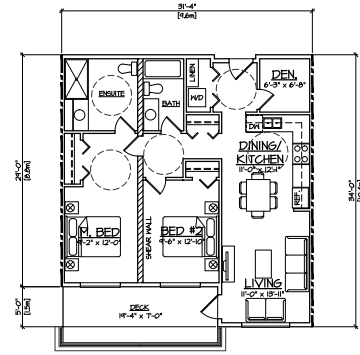
SHADOW STUDY



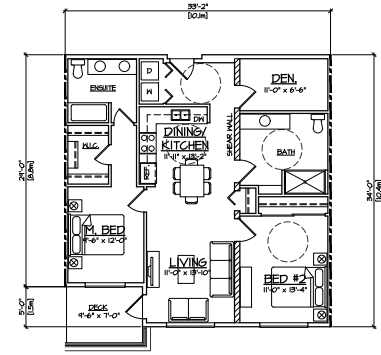
UNIT TYPE 'A' | 1 BED & DEN
SCALE: 1/8" = 1'-0"
675 S.F.



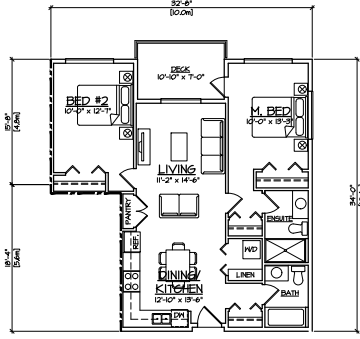
UNIT TYPE 'A1' | 1 BED & DEN
SCALE: 1/8" = 1'-0"
780 S.F.



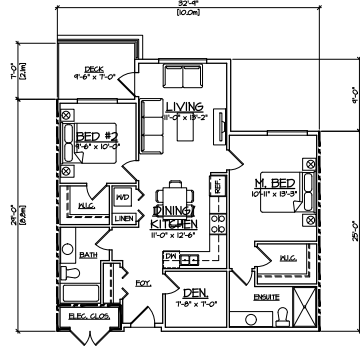
UNIT TYPE 'A2' | 2 BED & DEN
HANDICAPPED ADAPTABLE
SCALE: 1/8" = 1'-0"
957 S.F.



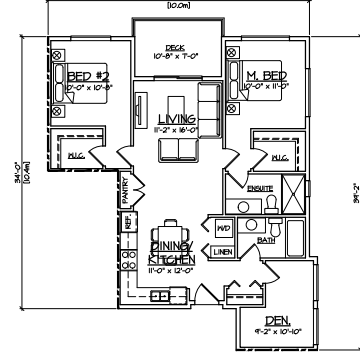
UNIT TYPE 'A3' | 2 BED & DEN
HANDICAPPED ADAPTABLE
SCALE: 1/8" = 1'-0"
1,069 S.F.



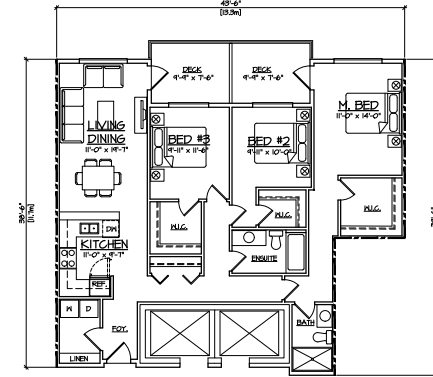
UNIT TYPE 'B' | 2 BED
SCALE: 1/8" = 1'-0"
847 S.F.



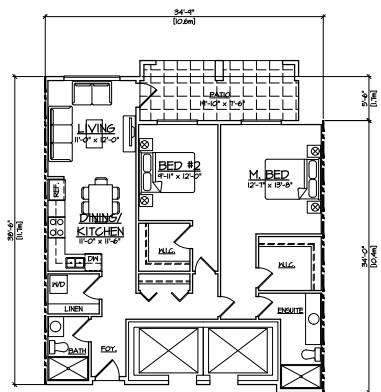
UNIT TYPE 'B1' | 2 BED & DEN
SCALE: 1/8" = 1'-0"
931 S.F.



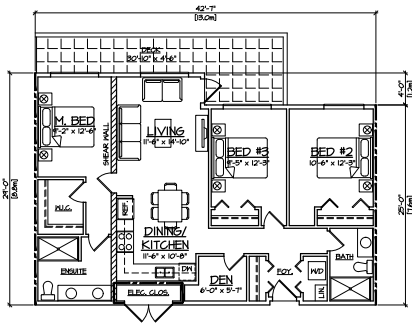
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SCALE: 1/8" = 1'-0"
957 S.F.



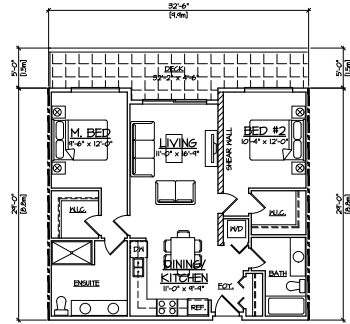
UNIT TYPE 'B3' | 3 BED
SCALE: 1/8" = 1'-0"
1,277 S.F.



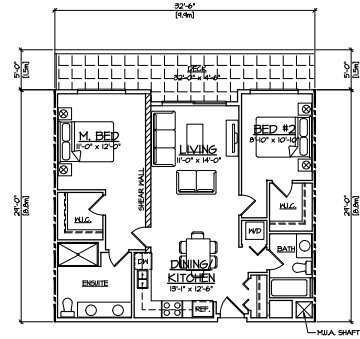
UNIT TYPE 'B4' | 2 BED
SCALE: 1/8" = 1'-0"
1,065 S.F.



UNIT TYPE 'PH-1' | 3 BED & DEN
SCALE: 1/8" = 1'-0"
1,115 S.F.



UNIT TYPE 'PH-2' | 2 BED
SCALE: 1/8" = 1'-0"
916 S.F.



UNIT TYPE 'PH-2a' | 2 BED
SCALE: 1/8" = 1'-0"
910 S.F.

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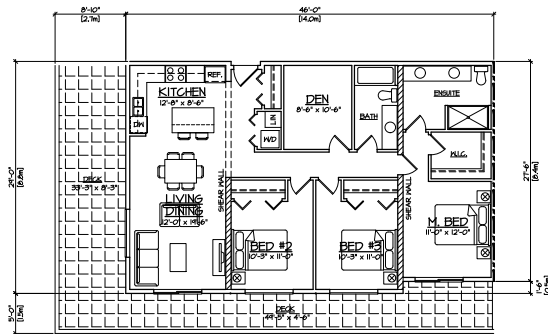
DESIGN: L.F.B.
DRAWN: C.O.L. 01
DATE: 04.16.21
SCALE: 1/8" = 1'-0"

CLIENT: ECKAM HOLDINGS
PROJECT: 5 STOREY APARTMENT BUILDING
17647-11784 - 56A AVENUE, SURREY
SHEET CONTENTS: UNIT PLANS

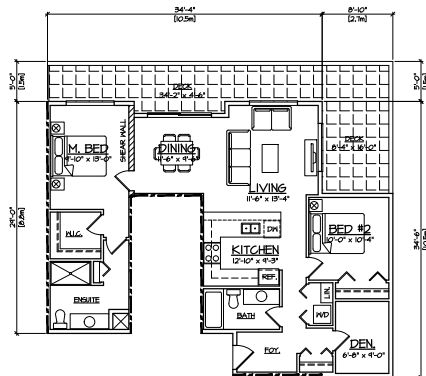
barrett dembok
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@barrett-dembok.com

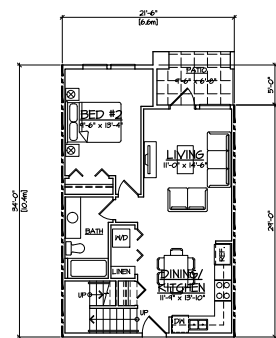
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.



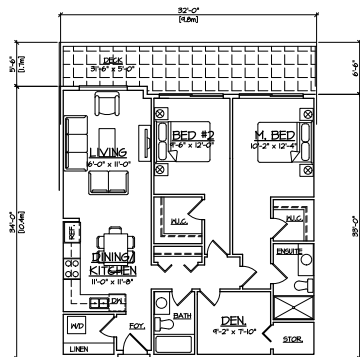
UNIT TYPE 'PH-3' 3 BED & DEN
SCALE: 1/8" = 1'-0"
1,303 S.F.



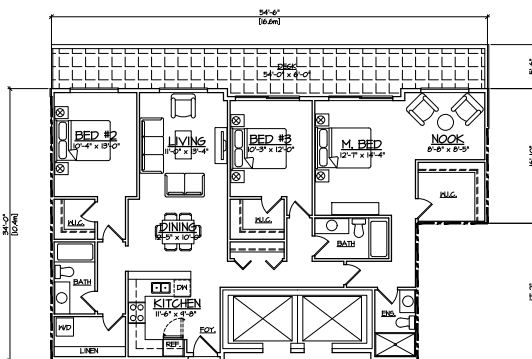
UNIT TYPE 'PH-4' 2 BED & DEN
SCALE: 1/8" = 1'-0"
1,022 S.F.



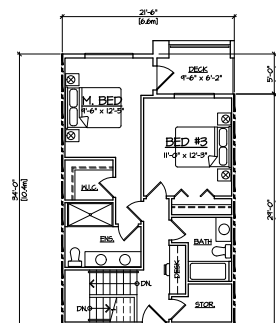
LOWER FLOOR
SCALE: 1/8" = 1'-0"
677 S.F.



UNIT TYPE 'PH-5' 2 BED & DEN
SCALE: 1/8" = 1'-0"
1,057 S.F.

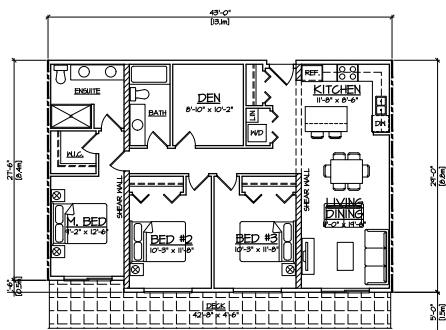


UNIT TYPE 'PH-6' 3 BED
SCALE: 1/8" = 1'-0"
1,508 S.F.

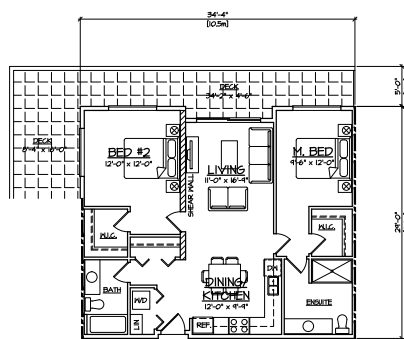


UPPER FLOOR
SCALE: 1/8" = 1'-0"
677 S.F.

UNIT TYPE 'D' 3 BED TOWNHOUSE
SCALE: 1/8" = 1'-0"
1,354 S.F.



UNIT TYPE 'PH-7' 3 BED & DEN
SCALE: 1/8" = 1'-0"
1,220 S.F.



UNIT TYPE 'PH-8' 2 BED
SCALE: 1/8" = 1'-0"
964 S.F.

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REV.	DATE	BY	ISSUED FOR



DESIGN :	DRAWN :
L.F.S. :	DATE :
	05.6.21
	SCALE :
	1/8" = 1'-0"

CLIENT :	ECAM HOLDINGS
PROJECT :	5 STOREY APARTMENT BUILDING
	17671-11791 - 56A AVENUE, SURREY
SHEET CONTENTS :	UNIT PLANS

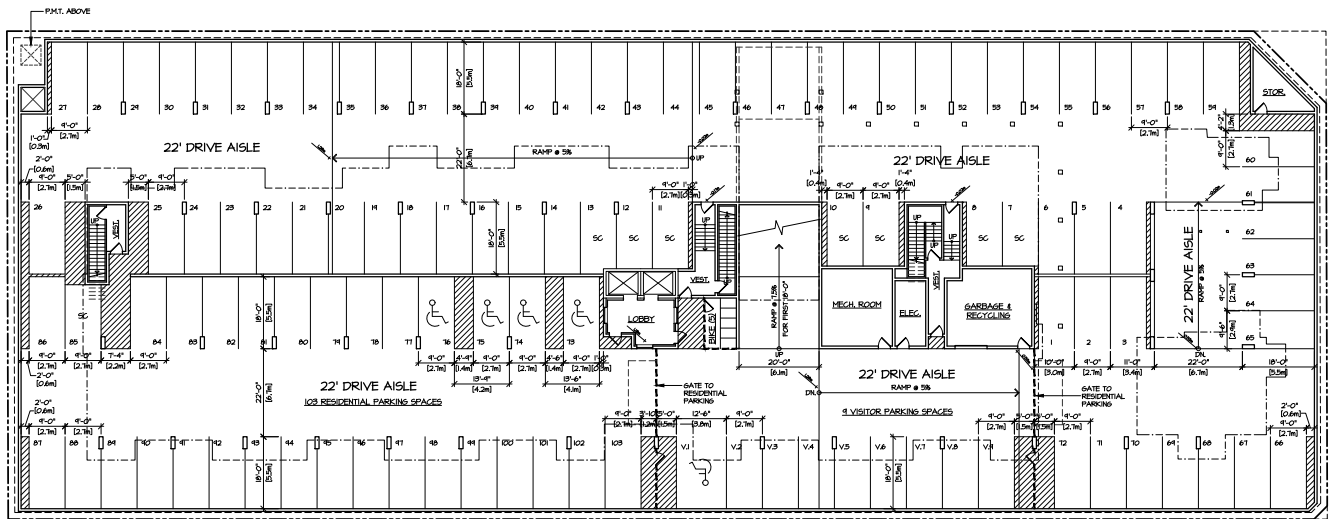
barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@barnett-dempek.com

CLIENT NO.:	SHEET NO.:
	AC-2.02
PROJECT NO.:	REV. NO.:
18038	

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U/G PARKING LEVEL
SCALE: 1/8" = 1'-0"
103 RESIDENTIAL SPACES
5 VISITOR SPACES

ISSUE	DATE	BY	ISSUED FOR



030-6-PARKING.DWG

DESIGN : L.P.S.	DRAWN : C.O.L. 21	DATE : 04.6.21	SCALE : 1/8" = 1'-0"
CLIENT : ECKAM HOLDINGS		PROJECT : 5 STOREY APARTMENT BUILDING 17647-17754 - 56A AVENUE, SURREY	
SHEET CONTENTS : BUILDING PLANS U/G PARKING LEVEL			

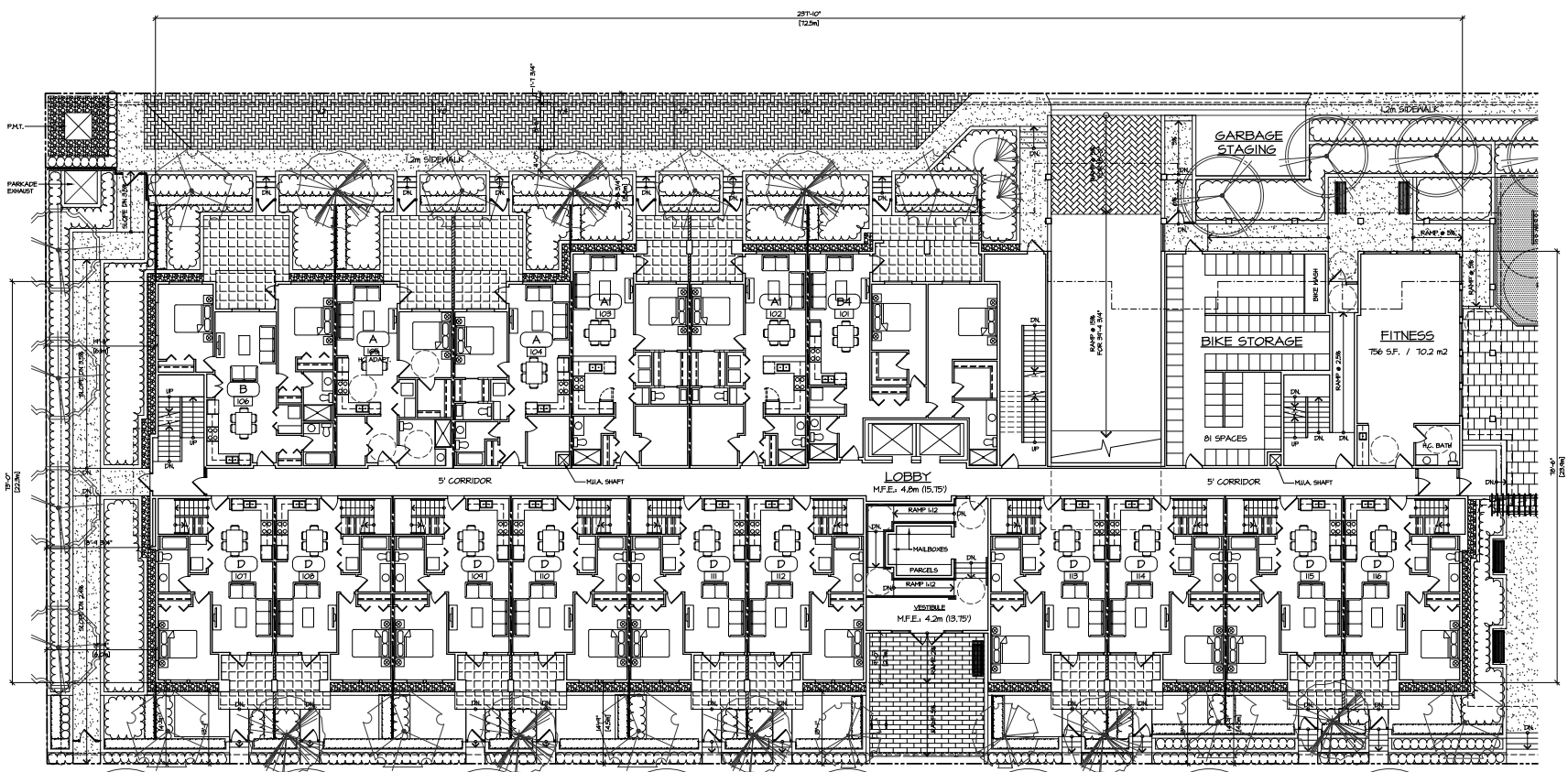
barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3.01

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MAIN FLOOR PLAN

SCALE : 3/32" = 1'-0"

16 UNITS
 16,367 S.F. / 1,520.5 m²
 RESIDENTIAL:
 11,685 S.F. / 1,085.6 m²
 CIRCULATION:
 2,841 S.F. / 264.1 m²
 AMENITY / MEETINGS:
 756 S.F. / 70.2 m²
 SERVICES & STORAGE:
 1,030 S.F. / 95.7 m²

REV.	DATE	BY	ISSUE FOR



DESIGN :
 L.P.E.
 DRAWN :
 DATE :
 01.6.21
 SCALE :
 3/32" = 1'-0"

CLIENT : ECKAM HOLDINGS
 PROJECT : 5 STOREY APARTMENT BUILDING
 17641-17191 - 56A AVENUE, SURREY
 SHEET CONTENTS :
 BUILDING PLANS

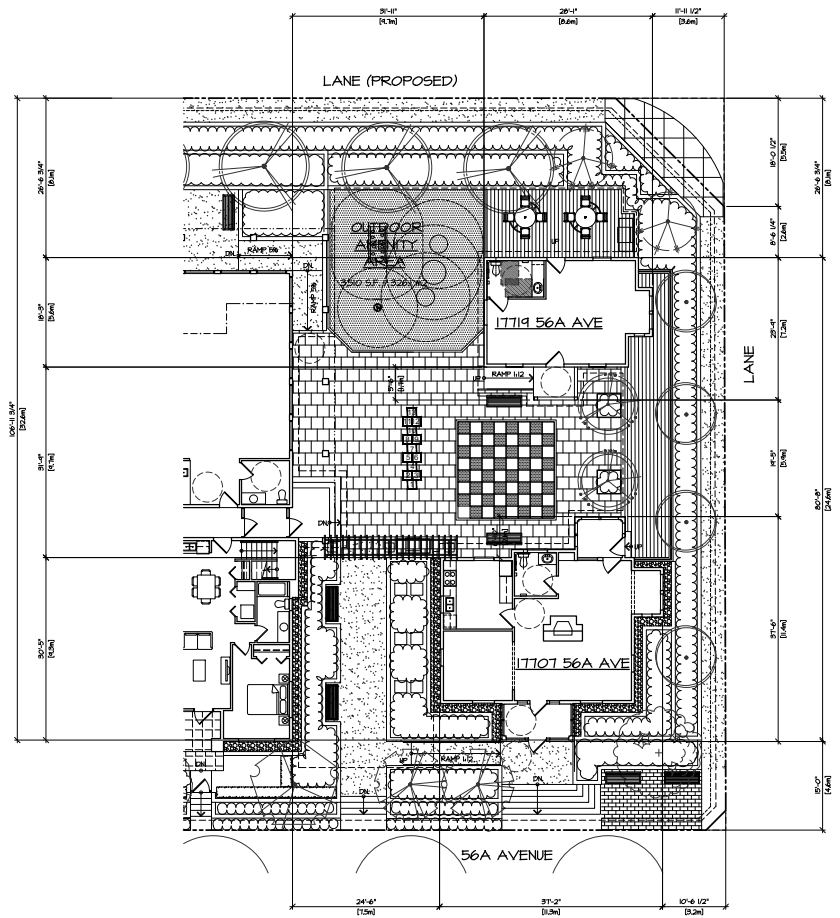
barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3,02a

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 STRICTLY PROHIBITED.



MAIN FLOOR PLAN (AMENITY)
 SCALE : 3/32" = 1'-0"
 1511 5.F. / 1404 m2
 17119 56A: 521 S.F. / 48.4 m2
 17107 56A: 464 S.F. / 43.0 m2

REV	DATE	BY	ISSUE	FOR



CSD-6-ELDS-AMENITY.dwg

DESIGN : L.P.S.	DRAWN : C.O.L.	DATE : 04.09.21	SCALE : 3/32" = 1'-0"
CLIENT : ECKAM HOLDINGS		PROJECT : 5 STOREY APARTMENT BUILDING 17107-17119 - 56A AVENUE, SURREY	
SHEET CONTENTS : BUILDING PLANS			



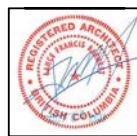
UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
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 EMAIL: mol@barnett-dempek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3.02b

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ISSUE FOR	BY	DATE	ISSUE	REV.



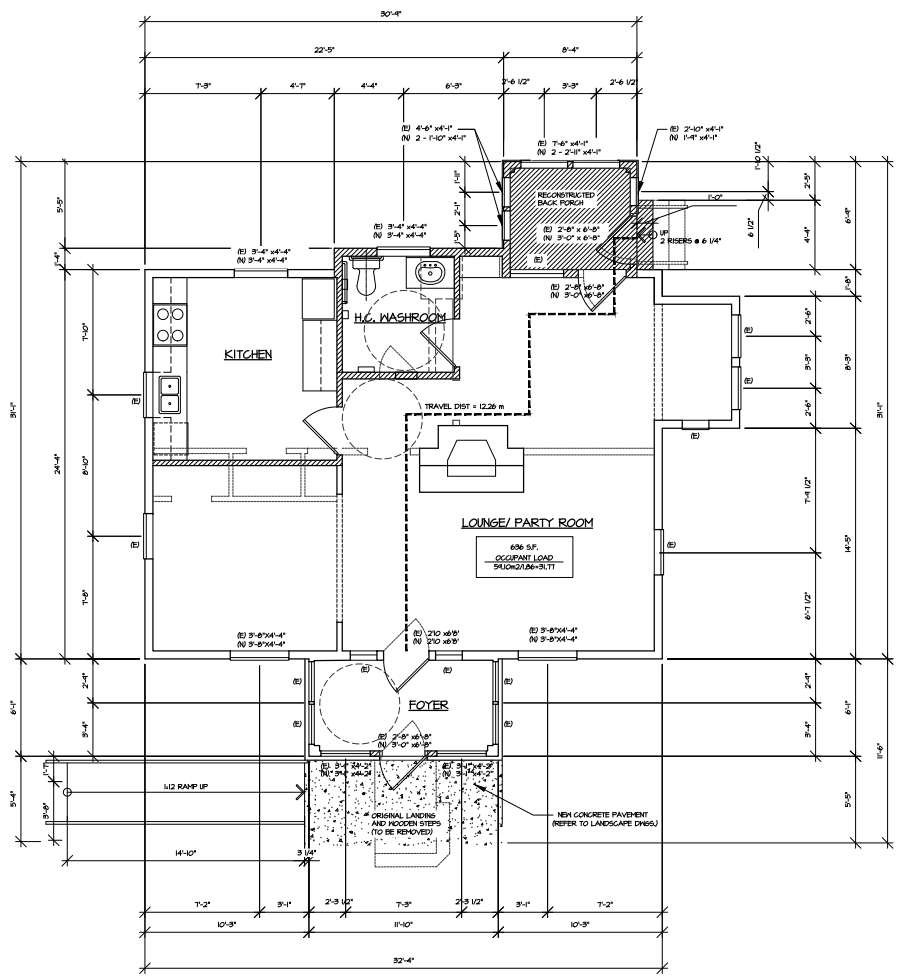
DESIGN : ECKAM HOLDINGS
 L.P.E.
 DRAWN :
 DATE :
 C.O.L. 21
 SCALE :
 1/4" = 1'-0"

CLIENT : ECKAM HOLDINGS
 PROJECT : 5 STOREY APARTMENT BUILDING
 17641-17191 - 56A AVENUE, SURREY
 SHEET CONTENTS : EXISTING & PROPOSED FLOOR PLANS / EXISTING & PROPOSED INDOOR AMENITY / HERITAGE BUILDINGS



UNIT 135,
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 SURREY, B.C.
 V3W 1H8
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 FAX: (604) 597-2099
 EMAIL: mol@barnett-dembek.com

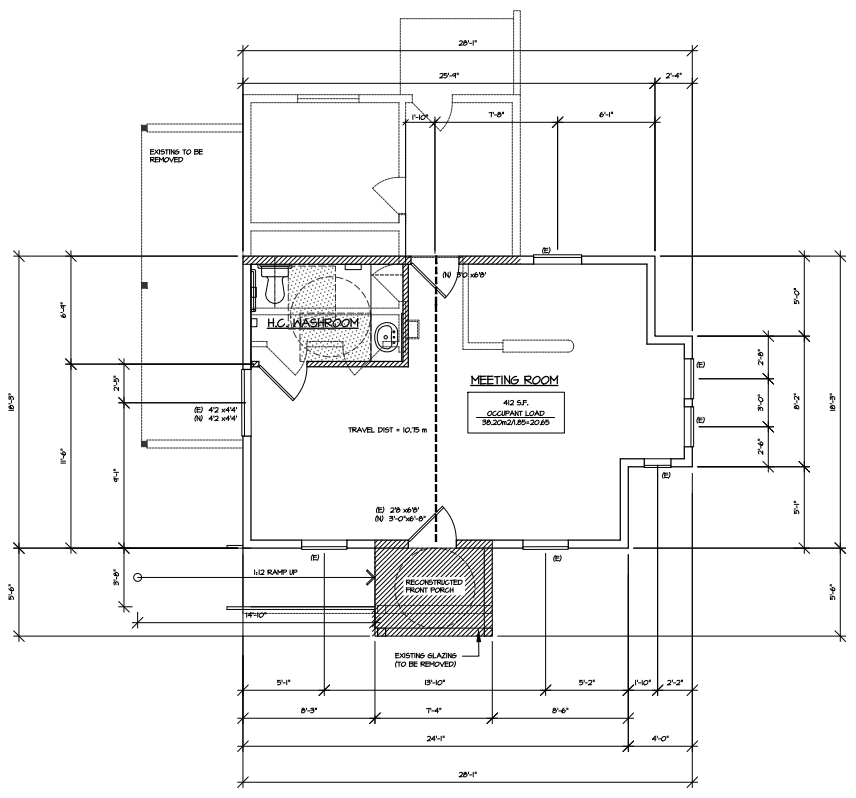
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3.02c



MAIN FLOOR PLAN - AMENITY BLDG. 17707 56A

SCALE : 1/4" = 1'-0"

964 SF. / 89.2 m²



MAIN FLOOR PLAN - AMENITY BLDG. 17719 56A

SCALE : 1/4" = 1'-0"

521 SF. / 48.4 m²

LEGEND

---	DEMOLISHED
	NEH / RECONSTRUCTION
∅	NEH / PROPOSED
⊞	EXISTING

AMENITY BLDG. - EXISTING & PROPOSED

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REV	DATE	BY	DATE	ISSUE



CS0-E-ELD-APPENTY.dwg

DESIGN : L.F.S.
DRAWN : C.O.L. 21
DATE : 9/27 - 11/07
SCALE : 1/8" = 1'-0"

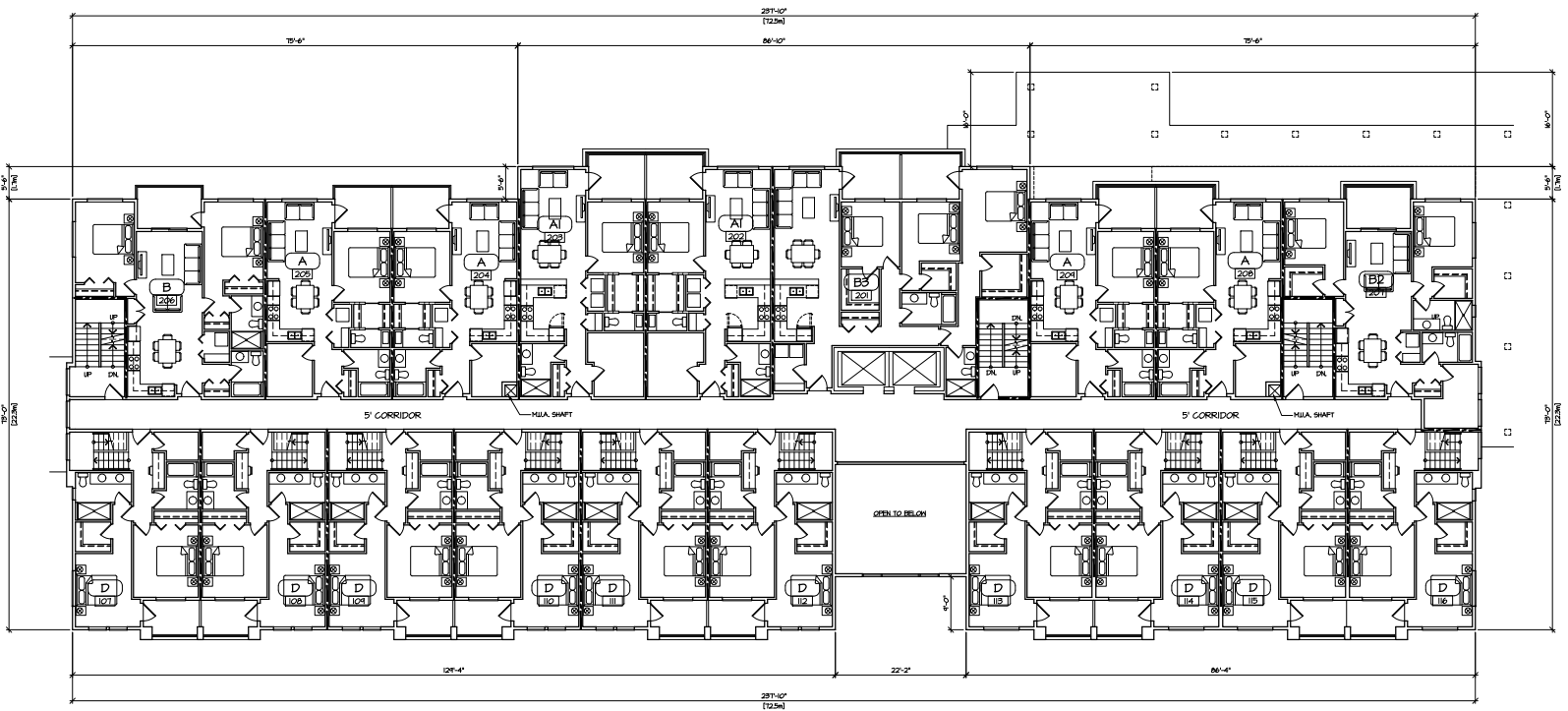
CLIENT : ECKAM HOLDINGS
PROJECT : 5 STOREY APARTMENT BUILDING
17641-17191 - 56A AVENUE, SURREY
SHEET CONTENTS : BUILDING PLANS

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UNIT 135,
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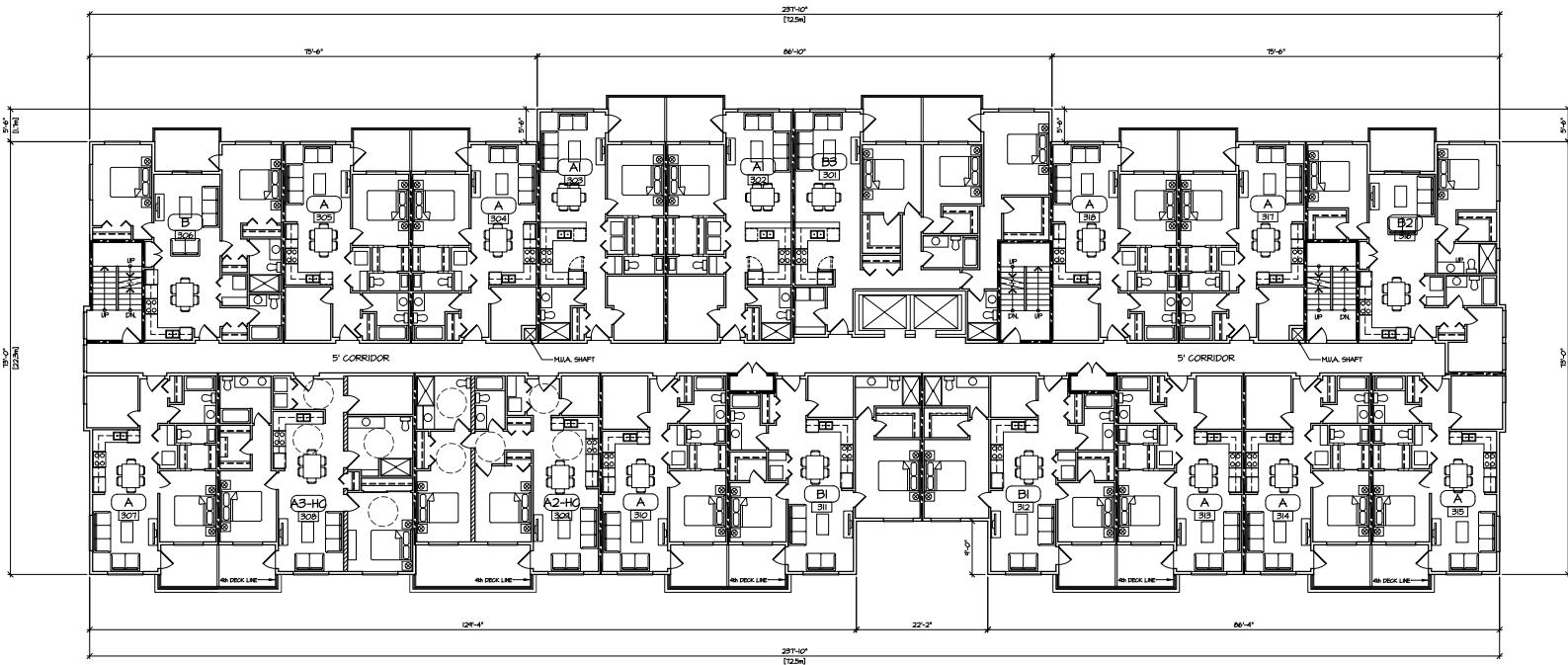
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3.03



2nd FLOOR PLAN

SCALE : 3/32" = 1'-0"
RESIDENTIAL: 14,205 S.F. / 1319.1 m²
CIRCULATION: 2,471 S.F. / 230.1 m²

4 UNITS
16,692 S.F. / 1549.9 m²



3rd & 4th FLOOR PLANS

SCALE : 3/32" = 1'-0"

18 UNITS PER FLOOR
 16,682 S.F. / 1,545.8 m²
 RESIDENTIAL: 14,677 S.F. / 1,365.4 m²
 CIRCULATION: 1,985 S.F. / 184.4 m²

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REV. NO.	DATE	BY	ISSUED FOR



CAD-E-FILE-IDENTITY.dwg

DESIGN : L.P.S.	DRAWN : C.S.	DATE : 04.6.21	SCALE : 3/32" = 1'-0"
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CLIENT : ECCAM HOLDINGS	PROJECT : 5 STOREY APARTMENT BUILDING 17641-17751 - 56A AVENUE, SURREY	SHEET CONTENTS : BUILDING PLANS
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UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

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 EMAIL: mol@barnett-demdek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-3.04

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ISSUE	DATE	BY	ISSUED FOR



CAD-BUILD-APARTY.dwg

DESIGN : L.F.S.
 DRAWN :
 DATE : 04.6.21
 SCALE : 1/8" = 1'-0"

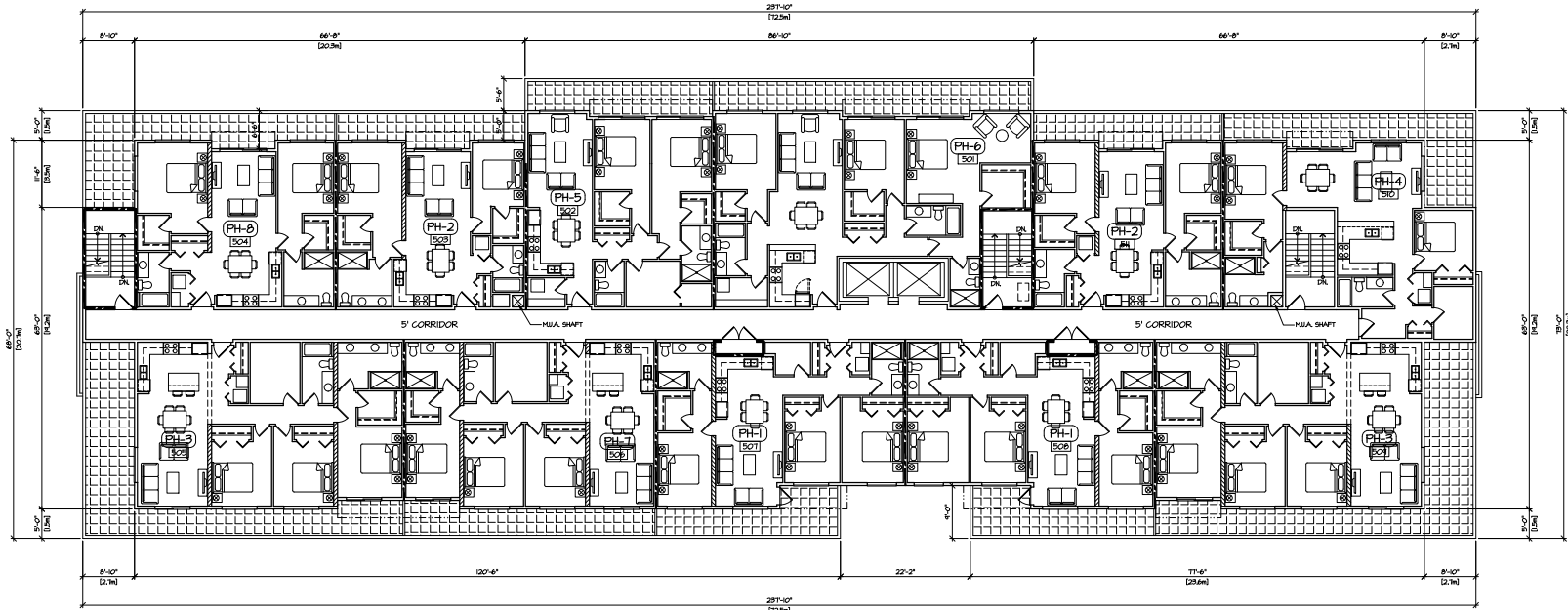
CLIENT : ECKAM HOLDINGS
 PROJECT : 5 STOREY APARTMENT BUILDING
 SHEET CONTENTS : BUILDING PLANS

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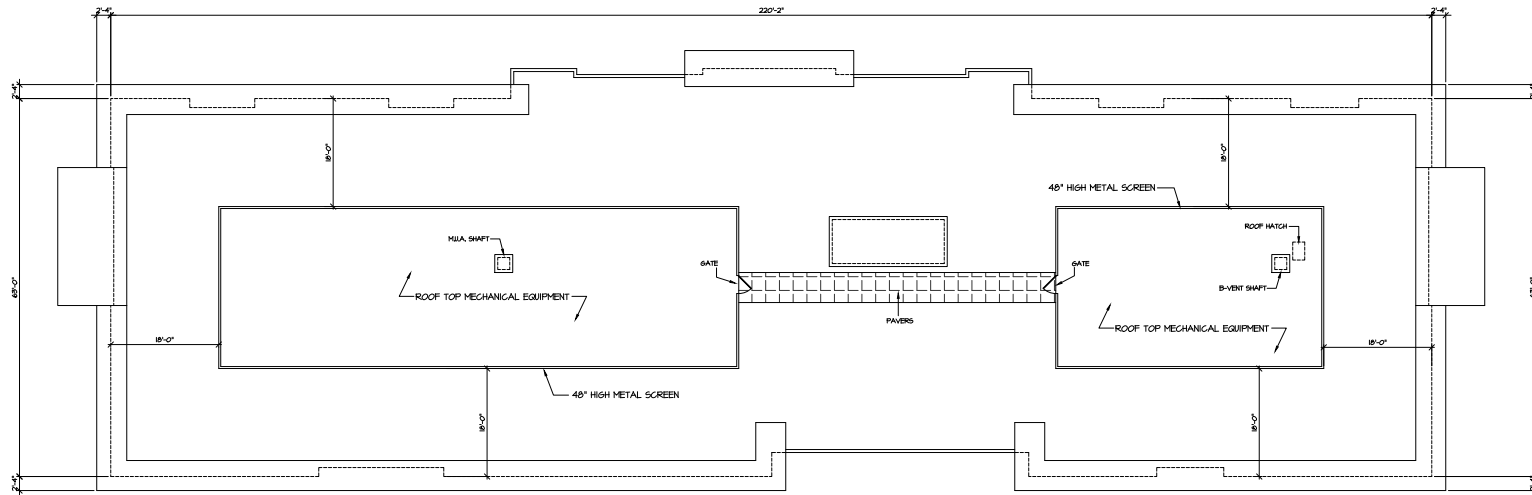
UNIT 135,
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 V3W 1H8

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 FAX: (604) 597-2099
 EMAIL: mol@darkitex.com

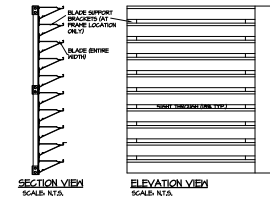
CLIENT NO. SHEET NO.
 PROJECT NO. REV. NO.



5th FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 14,369 S.F. / 1,336.2 m² 11 UNITS
 RESIDENTIAL: 12,501 S.F. / 1,161.4 m²
 CIRCULATION: 1,869 S.F. / 174.9 m²



ROOF PLAN
SCALE: 3/32" = 1'-0"



ROOF EQUIPMENT SCREEN DETAIL
SCALE: N.T.S. INSTALLED TO MANUFACTURERS SPECS
PROVIDE ACCESS DOOR AS REQUIRED
PROVIDE COORDINATION AS REQUIRED
SEE ROOF TOP UNIT MANUFACTURER

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ISSUE	DATE	BY	ISSUED FOR



CAD-0-0104-0001.dwg

DESIGN :	DATE :	SCALE :
L.P.E.	04.06.21	3/32" = 1'-0"
DRAWN :	DATE :	SCALE :

CLIENT : ECKAM HOLDINGS
PROJECT : 5 STOREY APARTMENT BUILDING 1764TH-1769A - 56A AVENUE, SURREY
SHEET CONTENTS : BUILDING PLANS

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UNIT 135,
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CLIENT NO.	SHEET NO.
	AC-3.06
PROJECT NO.	REV. NO.
18038	

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SCHEDULE OF FINISHES

- ① BRICK
HEBRON "SLATE GRAY"
- ② HORIZONTAL HARDIE-BOARD SIDING
COLOUR VARIES - REFER TO COLOUR LEGEND
- ③ HARDIE-PANEL SIDING
COLOUR VARIES - REFER TO COLOUR LEGEND
- ④ 6" FLASHING ON 24" DEEP HARDIE-PANEL FASCIA
COLOUR VARIES - REFER TO COLOUR LEGEND
- ⑤ POWDER COATED METAL CANOPY
PRE-FINISHED COLOUR VARIES - REFER TO COLOUR LEGEND
- ⑥ CLEAR ANODIZED ALUMINUM STOREFRONT GLAZING
TINT COLOUR: BENJAMIN MOORE "TEBONY SLATE"
- ⑦ 3'-6" HIGH POWDER COATED ALUMINUM GUARDRAIL C/W TEMPERED SAFETY GLASS PANELS - BLACK
- ⑧ THERMALLY BROKEN ALUMINUM FRAMED RESIDENTIAL WINDOWS
COLOUR VARIES - REFER TO COLOUR ELEVATIONS
- ⑨ WOOD TRELLIS
BENJAMIN MOORE "CALLENTE" OR "TEBONY SLATE"
- ⑩ PREFINISHED METAL PRIVACY SCREEN
DARK GREY - TO MATCH GUARDRAILS

COLOUR LEGEND

	BENJAMIN MOORE "RUSTIQUE" - AF-275
	BENJAMIN MOORE "CALIENTE" - AF-280
	BENJAMIN MOORE "TEBONY SLATE" - 218-30
	HARDIE-PANEL SIDING BENJAMIN MOORE "STEELE HOOK" - 231-30
	BENJAMIN MOORE "STONY MONDAY" - 212-50
	BENJAMIN MOORE "WHITE DOWN" - CC-50
	BRICK VENEER - HEBRON "SLATE GRAY"
	BRICK TRIM COLOR BENJAMIN MOORE "STONY MONDAY" - 212-50

HERITAGE HOUSE COLOURS

	BENJAMIN MOORE "RUSTIQUE" - AF-275
	BENJAMIN MOORE "CALIENTE" - AF-280
	BENJAMIN MOORE "JACKSON TAN" - H-46
	BENJAMIN MOORE "SAFARI" - AF-335



EAST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



CLIENT :	ECAM HOLDINGS
PROJECT :	5 STOREY APARTMENT BUILDING 17647-17194 - 56A AVENUE, SURREY
SHEET CONTENTS :	ELEVATIONS
DESIGN :	DATE :
DATE :	DATE :
SCALE :	SCALE :

barnett dembok
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darklitex.com









CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-4.01





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SCHEDULE OF FINISHES

- ① BRICK
HEIRON "SLATE GRAY"
- ② HORIZONTAL HARDIE-BOARD SIDING
COLOUR VARIES - REFER TO COLOUR LEGEND
- ③ HARDIE-PANEL SIDING
COLOUR VARIES - REFER TO COLOUR LEGEND
- ④ 6" FLASHING ON 24" DEEP HARDIE-PANEL FASCIA
COLOUR VARIES - REFER TO COLOUR LEGEND
- ⑤ POWDER COATED METAL CANOPY
PRE-FINISHED COLOUR VARIES - REFER TO COLOUR LEGEND
- ⑥ CLEAR ANODIZED ALUMINUM STOREFRONT GLAZING
TRIM COLOUR: BENJAMIN MOORE "TEBONY SLATE"
- ⑦ 3'-6" HIGH POWDER COATED ALUMINUM GUARDRAIL C/M
TEMPERED SAFETY GLASS PANELS - BLACK
- ⑧ THERMALLY BROKEN ALUMINUM FRAMED RESIDENTIAL WINDOWS
COLOUR VARIES - REFER TO COLOUR ELEVATIONS
- ⑨ WOOD TRELLIS
BENJAMIN MOORE "CALLENTE" OR "TEBONY SLATE"
- ⑩ PREFINISHED METAL PRIVACY SCREEN
DARK GREY - TO MATCH GUARDRAILS

COLOUR LEGEND

	BENJAMIN MOORE "RUSTIQUE" - AF-275
	BENJAMIN MOORE "CALLENTE" - AF-280
	BENJAMIN MOORE "TEBONY SLATE" - 218-30
	HARDIE-PANEL SIDING BENJAMIN MOORE "METEL WOOD" - 233-20
	BENJAMIN MOORE "STOREY MONDAY" - 212-50
	BENJAMIN MOORE "WHITE DOWN" - CC-50
	BRICK VENEER - HEIRON "SLATE GRAY"
	BRICK TRIM COLOUR BENJAMIN MOORE "STOREY MONDAY" - 212-50

HERITAGE HOUSE COLOURS	
	BENJAMIN MOORE "RUSTIQUE" - AF-275
	BENJAMIN MOORE "CALLENTE" - AF-280
	BENJAMIN MOORE "JACKSON TAN" - H-46
	BENJAMIN MOORE "SAFARI" - AF-335



WEST ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

ISSUE NO.	ISSUED FOR	BY	DATE	ISSUE



DESIGN: L.F.E.	DRAWN: C.O.L.	DATE: 04.0.21	SCALE: 3/32" = 1'-0"
CLIENT: ECOM HOLDINGS			
PROJECT: 5 STOREY APARTMENT BUILDING 16747-11791 - 56A AVENUE, SURREY			
SHEET CONTENTS: ELEVATIONS			

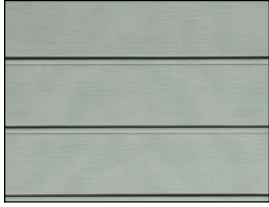
barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-4.02

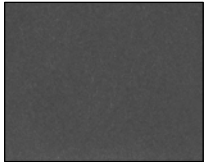
MATERIALS BOARD



HORIZONTAL HARDIE-BOARD LAP SIDING
 BENJAMIN MOORE "STEEL WOOL" - 2121-20
 ELEVATIONS FINISH SCHEDULE NO: 2



HARDIE-PANEL VERTICAL SIDING WITH HARDIE REVEAL SYSTEM
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 3, 4

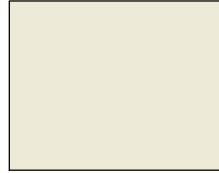


POWDER COATED METAL CANOPY
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 5



POWDER COATED ALUMINUM GUARDRAILS WITH TEMPERED GLAZING PANELS
 BLACK ALUMINUM WITH CLEAR TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO: 7

PAINT COLOURS



BENJAMIN MOORE "WHITE DOWN" - CC-50



BENJAMIN MOORE "STEEL WOOL" - 2121-20



BENJAMIN MOORE "RUSTIQUE" - AF-275



BENJAMIN MOORE "JACKSON TAN" - H-46



BENJAMIN MOORE "STORMY MONDAY" - 2112-50



BENJAMIN MOORE "EBONY SLATE" - 2118-30



BENJAMIN MOORE "CALIENTE" - AF-210



BENJAMIN MOORE "SAFARI" - AF-335



ALUMINUM FRAMED RESIDENTIAL WINDOWS & PATIO DOORS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 8



STOREFRONT ALUMINUM FRAMED WINDOWS & DOORS
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 6



POWDER COATED ALUMINUM PRIVACY SCREENS
 BLACK ALUMINUM WITH OBSCURED TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO: 10



BRICK VENEER - HEBRON "SLATE GRAY"
 COLOUR: AS SHOWN IN PICTURE
 ELEVATIONS FINISH SCHEDULE NO: 1



WOOD TRELLIS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 9

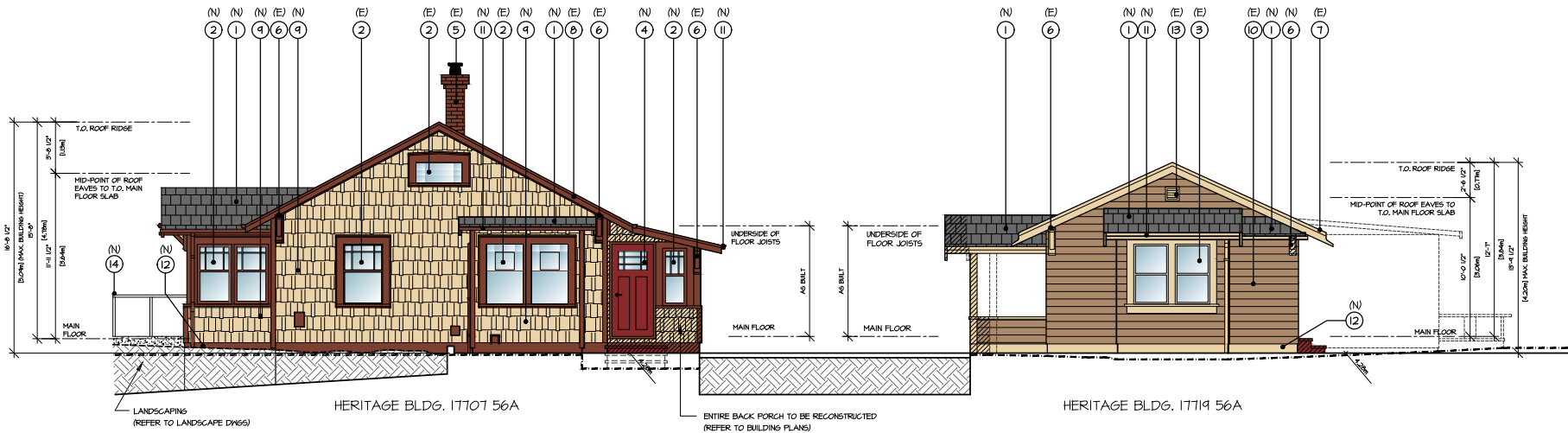
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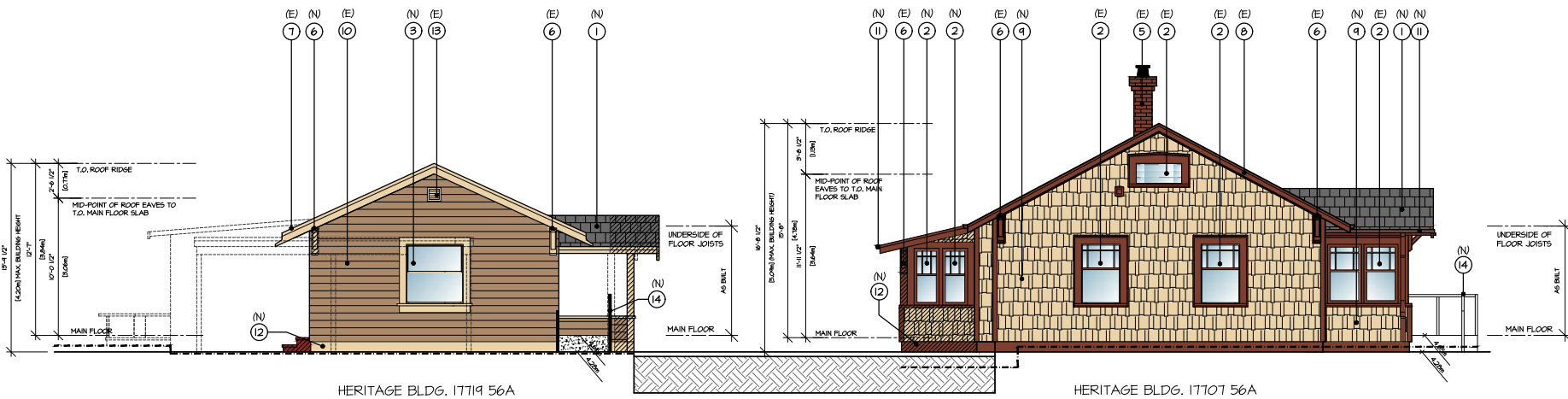
CSM-1-81056.dwg

CLIENT : ECKAM HOLDINGS	DESIGN : L.F.E.	DRAWN : C.H.	DATE : 04.06.21	SCALE : 1/8" = 1'-0"
PROJECT : 5 STOREY APARTMENT BUILDING 1764TH-1779A - 56A AVENUE, SURREY	SHEET CONTAINS: MATERIAL BOARD			



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE U.N.O. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REGD.)

- | | |
|---|--|
| ① SAWN CEDAR SHINGLES | ⑥ WOODEN KNEE-BRACKETS
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" |
| ② DOUBLE-HUNG WINDOWS C/M MULTI-PANE HOOD SASHES, SILLS & 2X6 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE
COLOUR - BENJAMIN MOORE "SAFARI" |
| ③ WINDOWS C/M HOOD SASHES, SILLS, & 2X5 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑧ 1X3 WOOD TRIM ON 2X6 HOOD FASCIA
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" |
| ④ EXTERIOR DOOR C/M HOOD TRIMS AND TEMPERED LITE GLAZING
COLOUR - BENJAMIN MOORE "CALIENTE" | ⑨ CEDAR SHINGLE CLADDING - VINTAGE STYLE
COLOUR - BENJAMIN MOORE "SAFARI" |
| ⑤ BRICK CHIMNEY
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑩ LAP SIDING C/M BELL-CAST BOTTOMS
COLOUR - BENJAMIN MOORE "JACKSON TAN" |

- | |
|---|
| ⑪ PREFINISHED ALUMINUM GUTTER
COLOUR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND |
| ⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION
C/M FLASHING COLOUR VARIES - REFER TO LEGEND |
| ⑬ DECORATIVE WOOD ATTIC VENTS
COLOUR - BENJAMIN MOORE "SAFARI" |
| ⑭ 3'-0" HIGH 1 5/8" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.)
(DESIGNED TO MEET ALL REGMTS OF B.C.B.C. 2018)
COLOUR - POWDER COATED, DARK GREY |

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

HERITAGE PAINT COLOURS

- | | |
|--|-------------------------------------|
| | BENJAMIN MOORE "RUSTIQUE" - AF-275 |
| | BENJAMIN MOORE "CALIENTE" - AF-210 |
| | BENJAMIN MOORE "JACKSON TAN" - H-46 |
| | BENJAMIN MOORE "SAFARI" - AF-335 |

- | | |
|-----|-----------------------------------|
| | DEMOLISHED |
| | NEW CONSTRUCTION / RECONSTRUCTION |
| | ORIGINAL GRADE LINE |
| (N) | NEW / PROPOSED |
| (E) | EXISTING |

ISSUED FOR	
BY	
DATE	
ISSUE	
REV. NO.	
DATE	
BY	
DATE	



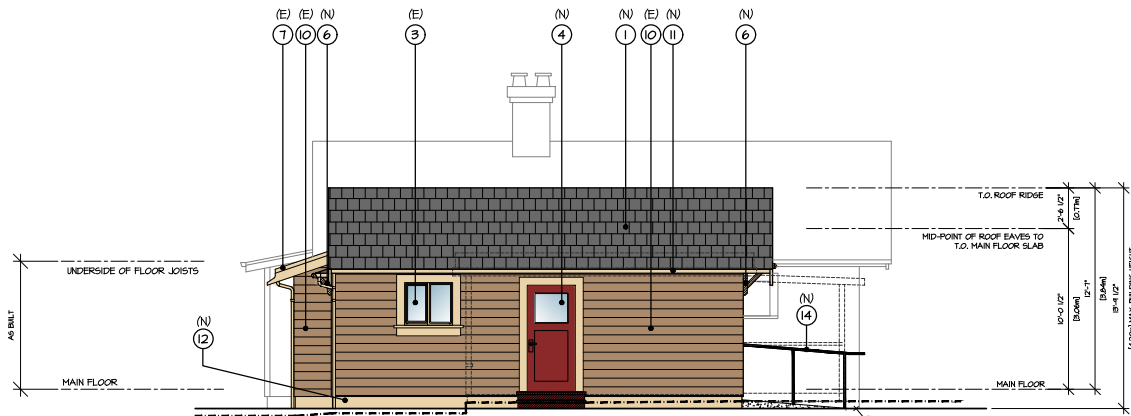
CLIENT :	ECCAM HOLDINGS
PROJECT :	5 STOREY APARTMENT BUILDING 17647-17707 - 56A AVENUE, SURREY
SHEET CONTAINS :	ELEVATIONS INDOOR AMENITY / HERITAGE BUILDINGS
DESIGN :	
DATE :	
SCALE :	1/4" = 1'-0"

barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnitex.com

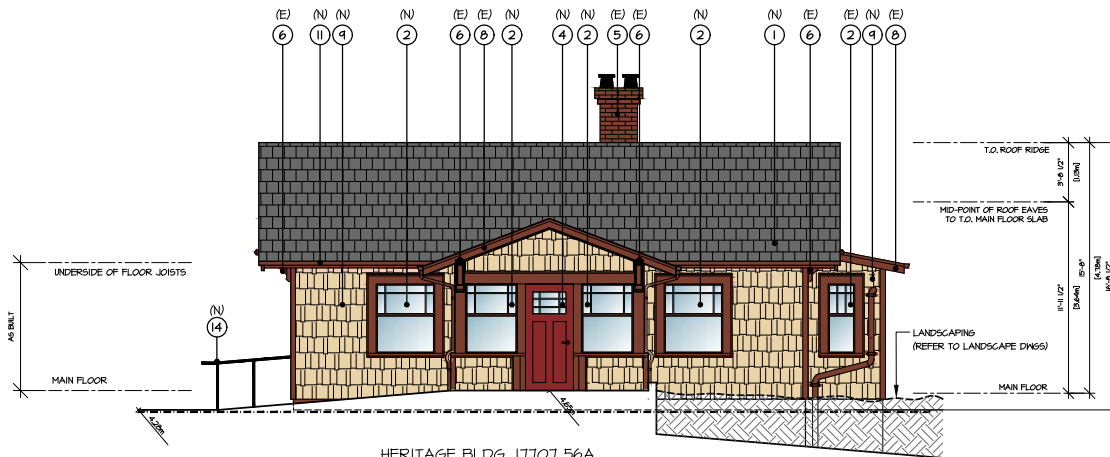
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.



HERITAGE BLDG. 17719 56A

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17707 56A

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE U.N.O. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REQ'D.)

- | | | |
|---|--|--|
| ① SAWN CEDAR SHINGLES | ⑥ WOODEN KNEE-BRACKETS
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑪ PREFINISHED ALUMINUM GUTTER
COLOUR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND |
| ② DOUBLE-HUNG WINDOWS C/M MULTI-PANE HOOD SASHES, SILLS & 2X6 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION
C/M FLASHING COLOUR VARIES - REFER TO LEGEND |
| ③ WINDOWS C/M WOOD SASHES, SILLS, & 2X5 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑧ 1X2 HOOD TRIM ON 2X6 HOOD FASCIA
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑬ DECORATIVE HOOD ATTIC VENTS
COLOUR - BENJAMIN MOORE "SAFARI" |
| ④ EXTERIOR DOOR C/M HOOD TRIMS AND TEMPERED LITE GLAZING
COLOUR - BENJAMIN MOORE "CALLENTE" | ⑨ CEDAR SHINGLE CLADDING - VINTAGE STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑭ 3'-0" HIGH 1 5/8" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.)
(DESIGNED TO MEET ALL REGM'TS OF B.C.B.C. 2018)
COLOUR - POWDER COATED, DARK GREY |
| ⑤ BRICK CHIMNEY
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑩ LAP SIDING C/M BELL-CAST BOTTOMS
COLOUR - BENJAMIN MOORE "JACKSON TAN" | |

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

HERITAGE PAINT COLOURS

- | | |
|--|-------------------------------------|
| | BENJAMIN MOORE "RUSTIQUE" - AF-275 |
| | BENJAMIN MOORE "CALLENTE" - AF-210 |
| | BENJAMIN MOORE "JACKSON TAN" - H-46 |
| | BENJAMIN MOORE "SAFARI" - AF-335 |

- | | |
|-----|-----------------------------------|
| | DEMOLISHED |
| | NEW CONSTRUCTION / RECONSTRUCTION |
| | ORIGINAL GRADE LINE |
| (N) | NEW / PROPOSED |
| (E) | EXISTING |

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ISSUED FOR	BY	DATE	ISSUE	REV.	DATE	REV.



DOB-L-AMENITY.dwg

DESIGN: L.F.E.	DRAWN: L.F.E.	DATE: 04.1.21	SCALE: 1/4" = 1'-0"
CLIENT: ECKAM HOLDINGS			
PROJECT: 5 STOREY APARTMENT BUILDING 17647-17751 - 56A AVENUE, SURREY			
SHEET CONTENTS: ELEVATIONS INDOOR AMENITY / HERITAGE BUILDINGS			



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

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FAX: (604) 597-2099
EMAIL: mol@barnetk.com

CLIENT NO. SHEET NO.
PROJECT NO. AC-4.04
REV. NO. 18038

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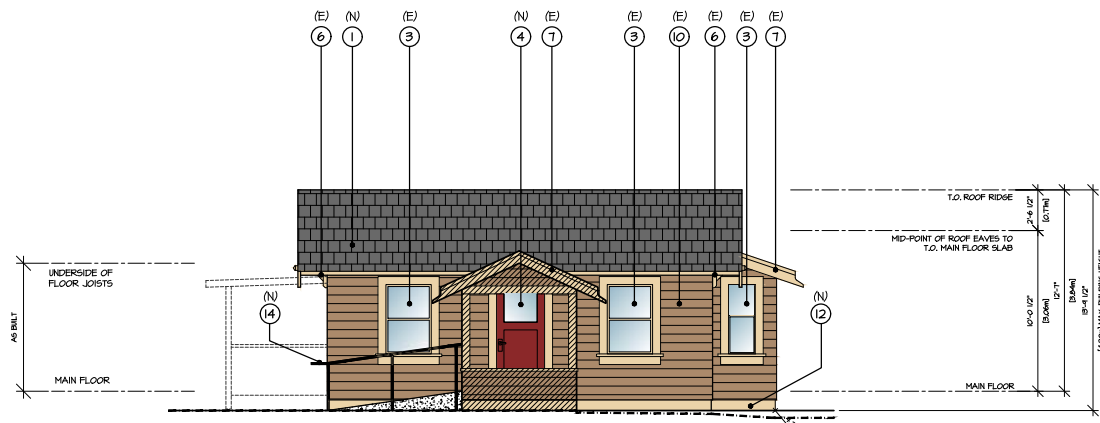
ISSUED FOR	BY	DATE	ISSUE	REV.	DATE	BY	NO.



CLIENT :	ECAM HOLDINGS
DESIGN :	L.P.E.
PROJECT :	5 STOREY APARTMENT BUILDING 17641-17159 - 56A AVENUE, SURREY
DRAWN :	
DATE :	04.1.21
SCALE :	1/4" = 1'-0"
SHEET CONTAINS :	ELEVATIONS INDOOR AMENITY / HERITAGE BUILDINGS

barnett dembok
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@barnett.com

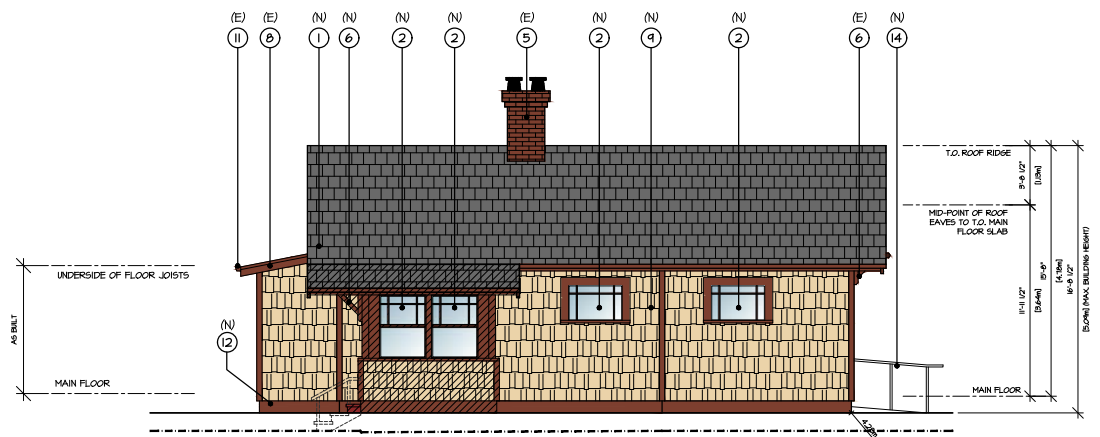
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18038	AC-4.05



HERITAGE BLDG. 17119 56A

SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



HERITAGE BLDG. 17107 56A

NORTH ELEVATION

SCALE : 1/4" = 1'-0"

SCHEDULE OF FINISHES

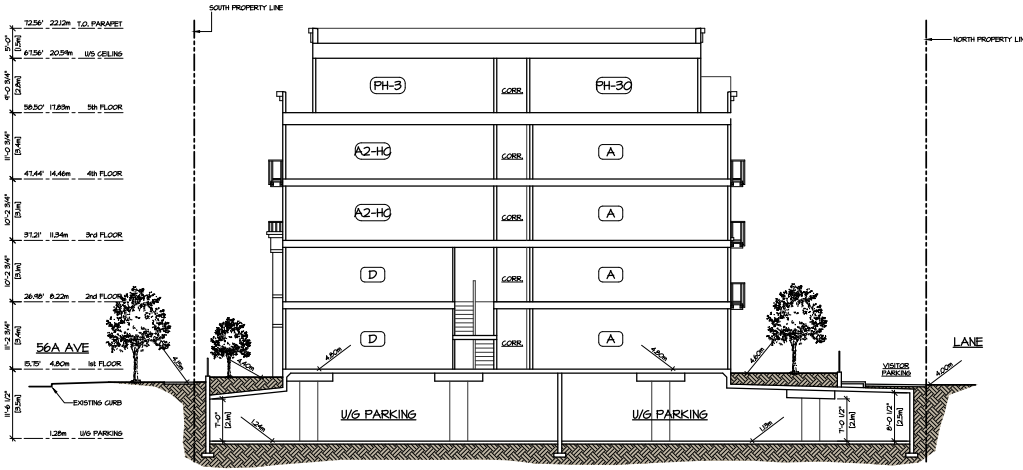
ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE U.N.O. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REQD.)

- | | | |
|---|---|---|
| ① SAWN CEDAR SHINGLES | ⑥ WOODEN KNEE-BRACKETS
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑪ PREFINISHED ALUMINUM GUTTER
COLOUR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND |
| ② DOUBLE-HUNG WINDOWS C/M MULTI-PANE WOOD SASHES, SILLS & 2X6 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION
C/M FLASHING COLOUR VARIES - REFER TO LEGEND |
| ③ WINDOWS C/M WOOD SASHES, SILLS, & 2X5 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑧ 1/2" WOOD TRIM ON 2X6 WOOD FASCIA
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑬ DECORATIVE WOOD ATTIC VENTS
COLOUR - BENJAMIN MOORE "SAFARI" |
| ④ EXTERIOR DOOR C/M WOOD TRIMS AND TEMPERED LITE GLAZING
COLOUR - BENJAMIN MOORE "CALIENTE" | ④ CEDAR SHINGLE CLADDING - VINTAGE STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑭ 3'-0" HIGH 1 5/8" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.)
(DESIGNED TO MEET ALL REGMTS OF B.C.B.C. 2018)
COLOUR - POWDER COATED, DARK GREY |
| ⑤ BRICK CHIMNEY
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑩ LAP SIDING C/M BELL-CAST BOTTOMS
COLOUR - BENJAMIN MOORE "JACKSON TAN" | |

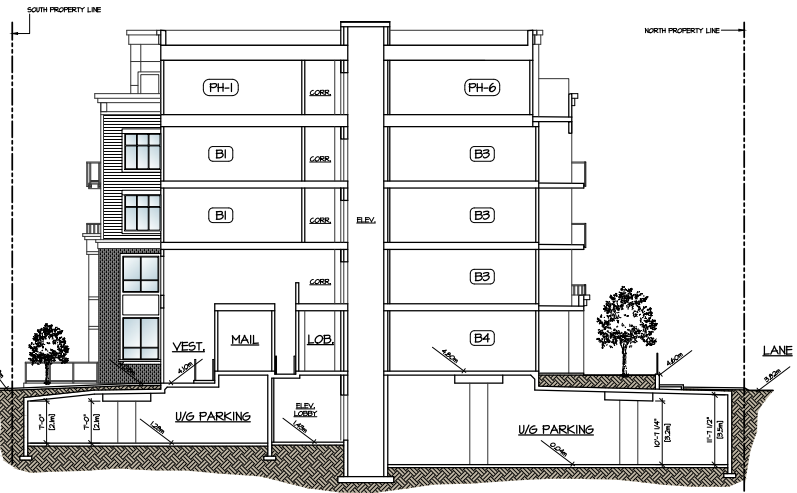
NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

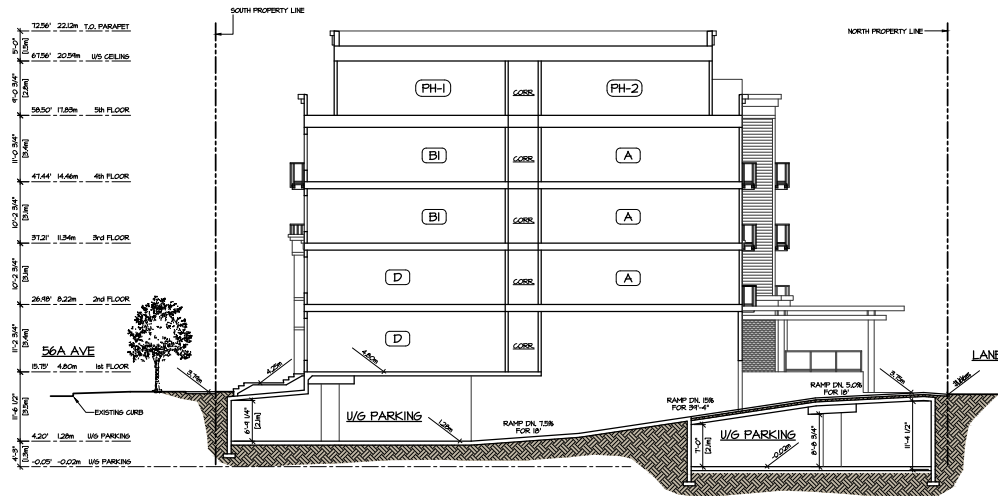
HERITAGE PAINT COLOURS		DEMOLISHED	
	BENJAMIN MOORE "RUSTIQUE" - AF-275		DEMOLISHED
	BENJAMIN MOORE "CALIENTE" - AF-210		NEW CONSTRUCTION / RECONSTRUCTION
	BENJAMIN MOORE "JACKSON TAN" - H-46		ORIGINAL GRADE LINE
	BENJAMIN MOORE "SAFARI" - AF-335		(N) NEW / PROPOSED
			(E) EXISTING



SECTION A-A
SCALE : 3/32" = 1'-0"



SECTION B-B
SCALE : 3/32" = 1'-0"



SECTION C-C
SCALE : 3/32" = 1'-0"

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REV	DATE	BY	ISSUED FOR



CAD: K-Ling

DESIGN :	DRAWN :	DATE :	SCALE :
LFJS		04.06.21	3/32" = 1'-0"

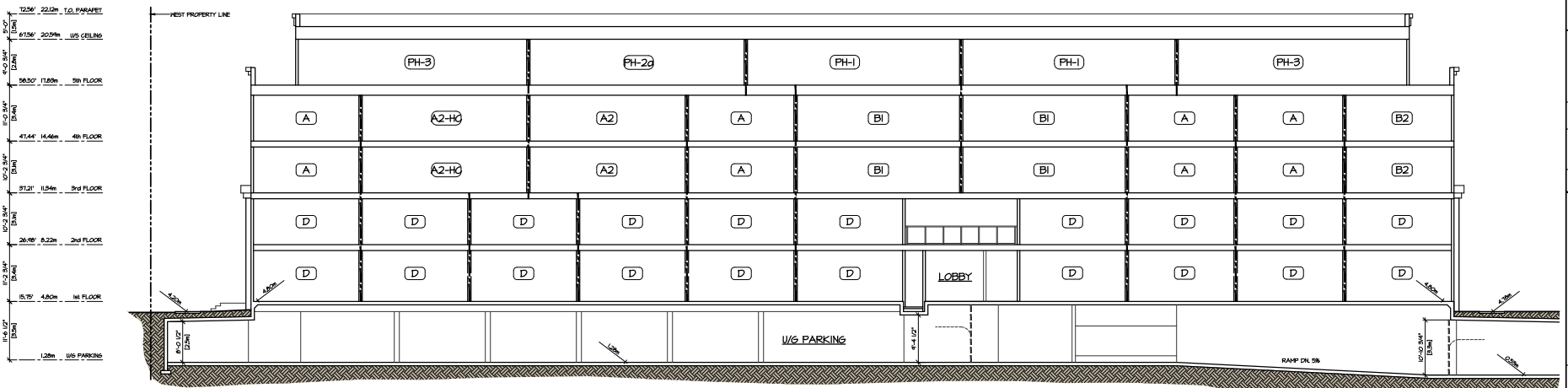
CLIENT : EKAM HOLDINGS
PROJECT : 5 STOREY APARTMENT BUILDING
17641-17191 - 56A AVENUE, SURREY
SHEET CONTENTS : SECTIONS

barnett dembox
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

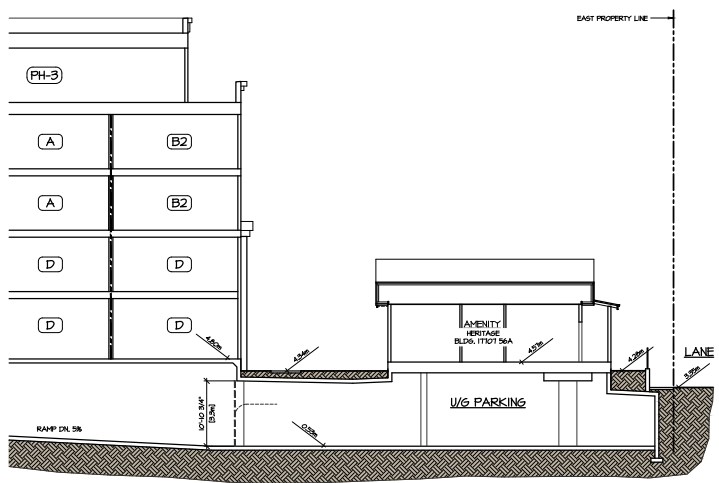
PHONE: (604) 597-7100
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EMAIL: mol@darklitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-5.01
18038	REV. NO.

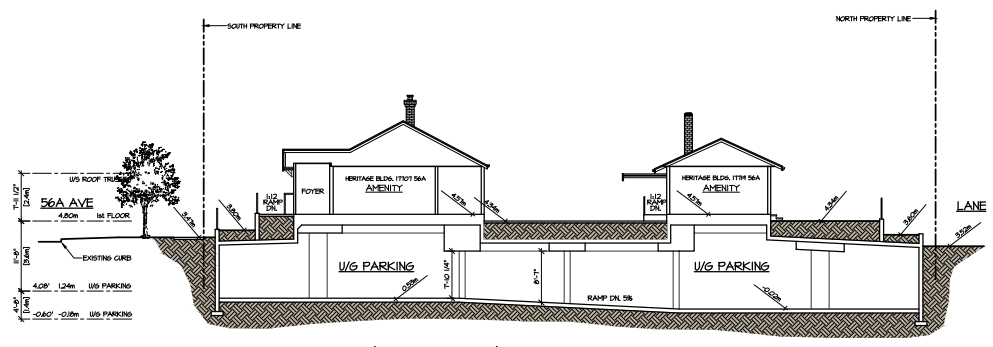
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SECTION D-D
SCALE: 3/32" = 1'-0"



SECTION D-D (AMENITY)
SCALE: 3/32" = 1'-0"



SECTION E-E (AMENITY)
SCALE: 3/32" = 1'-0"

REV#	DATE	BY	ISSUED FOR



CAD K-ling

DESIGN L.P.	DRAWN	DATE	SCALE

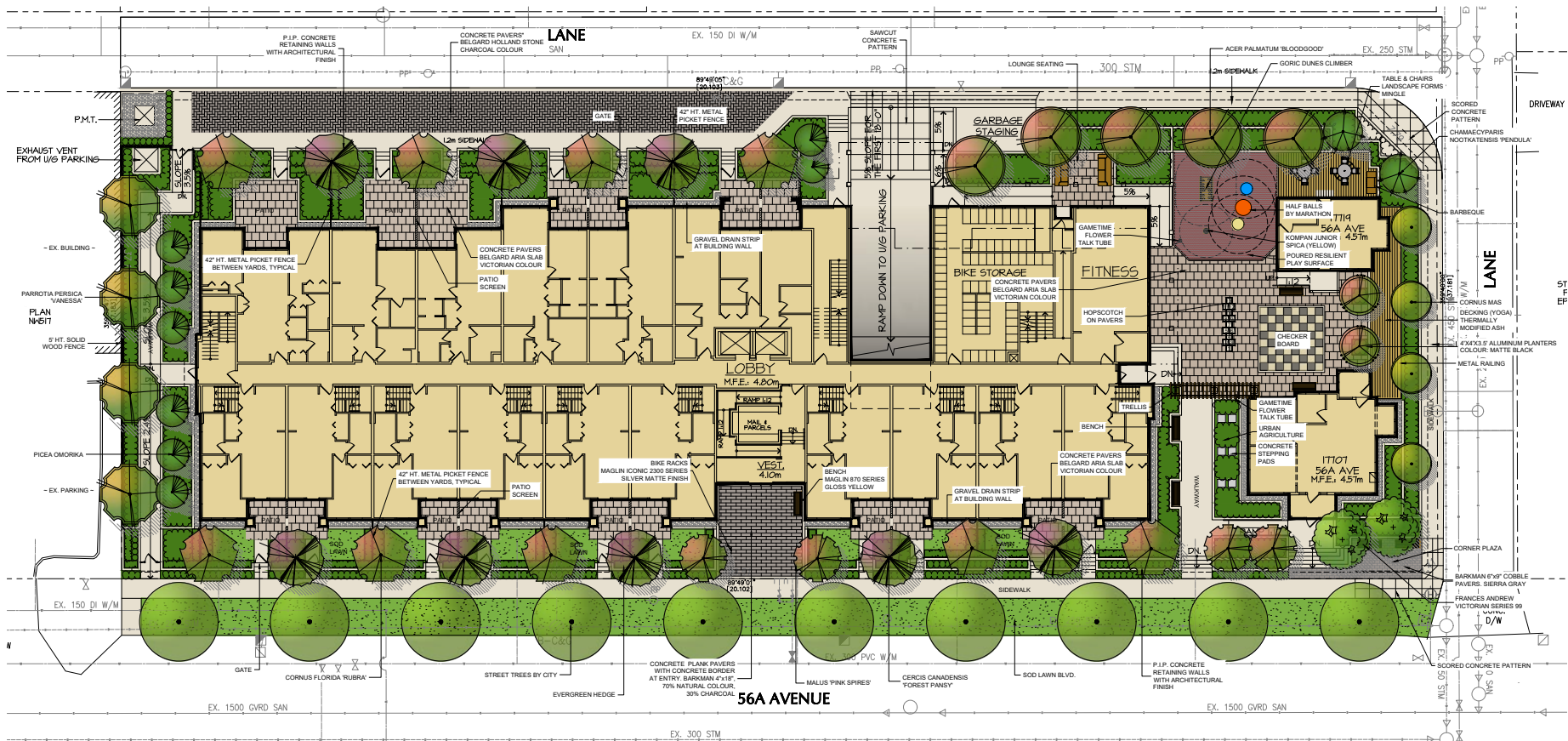
CLIENT :	ECAM HOLDINGS
PROJECT :	15 STOREY APARTMENT BUILDING 1767H-1779A - 56A AVENUE, SURREY
SHEET CONTENTS :	SECTIONS

barnett dempsy

UNIT 135,
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V3W 1H8

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FAX: (604) 597-2099
EMAIL: mol@barnett-dempsy.com

CLIENT NO.	SHEET NO.
	AC-5.02
PROJECT NO.	REV. NO.
18038	



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	5	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; BAB; UPRIGHT FORM
	2	ACER PALMATUM (1.5)	JAPANESE MAPLE	1.5M HT; BAB
	8	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	8CM CAL; 1.8M STD; BAB
	2	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping Nootka Cypress	2.5M HT; BAB
	9	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	6CM CAL; 1.8M STD; BAB
	4	CORNUS MAS	CORNELIAN CHERRY	8CM CAL; 1.8M HT; BAB
	4	KOELNEUTERIA PANICULATA	GOLDEN RAIN TREE	8CM CAL; 2M STD; BAB
	4	MALUS 'PINK SPIRES'	PINK SPIRES FLOWERING CRABAPPLE	5CM CAL; 1.8M STD; BAB
	4	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	5CM CAL; 2.5M HT; TREE FORM; BAB
	8	PICEA OMORIKA	SERBIAN SPRUCE	3.5M HT; BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BODIES NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011, f: 604 294-0022

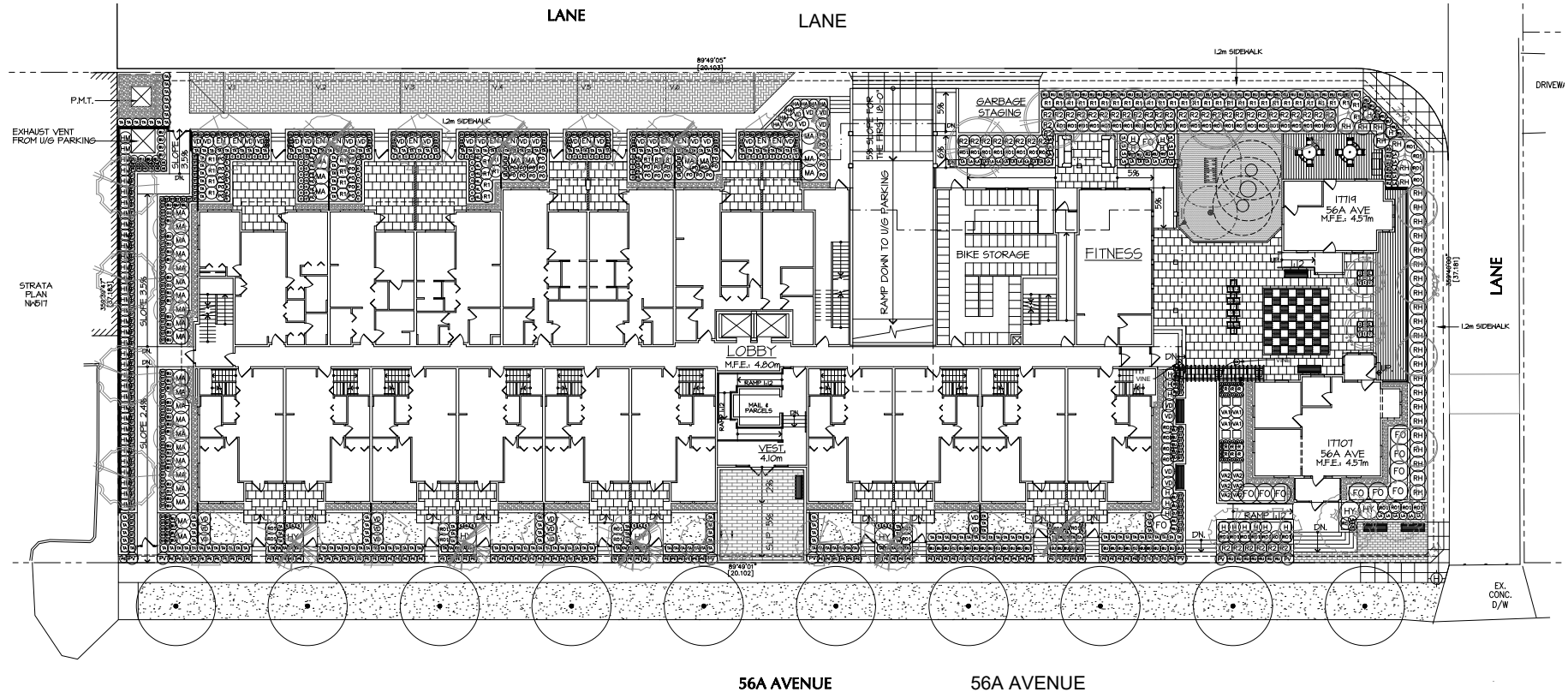
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2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	JP
3	21 MAR 20	NEW SITE PLAN / CITY COMMENTS	JP
4	21 AUG 20	SUBMISSION TO PMP	JP
5	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	JP

CLIENT: _____
PROJECT: _____
SEAL: _____
DATE: 20 AUG 07
SCALE: 1:150
DRAWN: MC
DESIGN: MC
CHKD: MCY
LANDSCAPE PLAN

5-STORY CONDOMINIUM BUILDING
17697 - 17739 - 56A AVENUE
SURREY
SURREY FILE NUMBER: 7917-0347-00

LANDSCAPE PLAN

DATE: 20 AUG 07
SCALE: 1:150
DRAWN: MC
DESIGN: MC
CHKD: MCY
LANDSCAPE PLAN



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
75		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#2 POT: 25CM
12		ENKANTHUS CAMPAUCATUS	ENKANTHUS	#3 POT: 50CM
11		FOREYTHA X INT. 'LYNWOOD GOLD'	FOREYTHA	#3 POT: 80CM
35		HYDRANGEA MACRO. 'RED SENSATION'	RED SENSATION HYDRANGEA	#2 POT: 40CM
18		HYDRANGEA MACROPHYLLA 'SISTER TERESA'	BIGLEAF HYDRANGEA-WHITE	#2 POT: 50CM
6		HYDRANGEA PANCULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA, LIMEGREEN-PINK	#3 POT: 50CM
32		MAHONIA AZIFOLIUM	OREGON GRAPE HOLLY	#3 POT: 50CM
42		RHOODODENDRON 'BLUE LAVENDER'	DWARF RHOODODENDRON, BLUE-LAVENDER	#2 POT: 30CM
46		RHOODODENDRON 'GOLDEN LIGHTS'	GOLDEN LIGHTS RHOODODENDRON, ORANGE	#2 POT: 30CM
29		RHOODODENDRON 'YAKU PRINCESS'	RHOODODENDRON, PINK TO WHITE	#3 POT: 50CM
63		ROSA MEDIO-LAND 'PEREY'	MEDIA-LAND ROSE, CORAL PINK	#2 POT: 40CM
248		TAXUS X MEDIA 'HICKSF'	HICKS YEW	#3 POT: 1.2M
6		VACCINIUM C. 'ELLIOTT'	ELLIOTT BLUEBERRY	#3 POT: 60CM
4		VACCINIUM CORVARIOSUM	BLUEBERRY	#3 POT: 60CM
43		VBURNUM DAVIDII	DAVID'S VBURNUM	#2 POT: 30CM
GRASS				
84		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
7		HAKONICHLIDA MACRA	JAPANESE FOREST GRASS	#1 POT
12		HELICTROCHON SEMPERVIRENS	BLUE CAT GRASS	#1 POT
101		PRINSELUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 POT

PLANT SCHEDULE				PMG PROJECT NUMBER: 20-065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
2		CAMPIS X TAGLIABUANA 'MADAME GALEN'	TRUMPET CREEPER 'MADAME GALEN'	#2 POT: 60CM; STAKED
PERENNIAL				
10		ALLIUM SCHOENOPRASUM	CHIVES	15CM POT
16		HELLEBORUS X HYBRIDUS	LENTEN ROSE	15CM POT
16		IBERG SEMPERVIRENS 'SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYTUFT	15CM POT
42		LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	15CM POT; #1 POT
7		PEROVSKIA ATROPURPUREA	RUSSIAN SAGE	15CM POT
9		ROSBARBUS OFFICINALIS	ROSEMARY	#1 POT
81		RUBISCOCKIA FLAEGRA VAR. SULLIVANTII 'GOLDLOOKS'	RUBISCOCKIA, YELLOW-ORANGE	15CM POT
16		SEDUM ALBUM VAR. 'MIRANTHUM'	CORAL CARPET STONECROP	15CM POT
147		STACHYS BYZNATINA 'SILVER CARPET'	LAMB'S EAR	15CM POT
G.				
113		EUONYMUS JAPONICA 'EMERALD GAIEY'	EUONYMUS, SILVER VARIEGATED	#1 POT: 25CM
37		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CILA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEF. RED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW, MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALL CANS MUST BE DELIVERED FOR REQUEST TO SUBSTITUTE. * SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



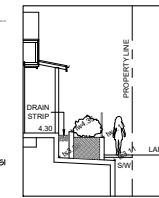
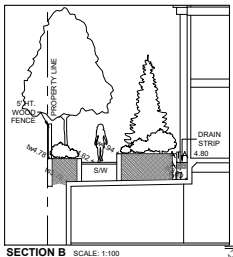
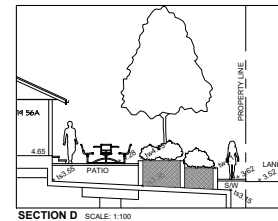
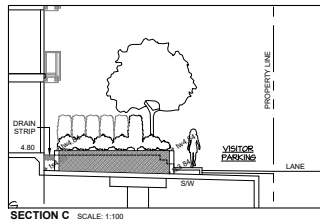
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Client: _____
 PROJECT: _____
 SEAL: _____
 DRAWING TITLE: _____
 DATE: 20.AUG.07
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 DESIGN: MC
 CHKD: MCY
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 PMG PROJECT NUMBER: 20-065

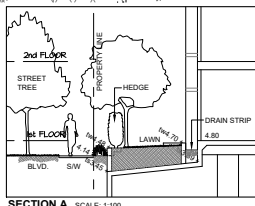
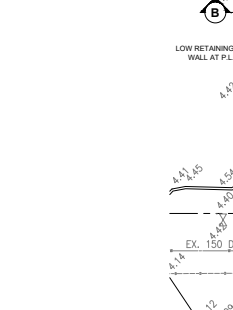
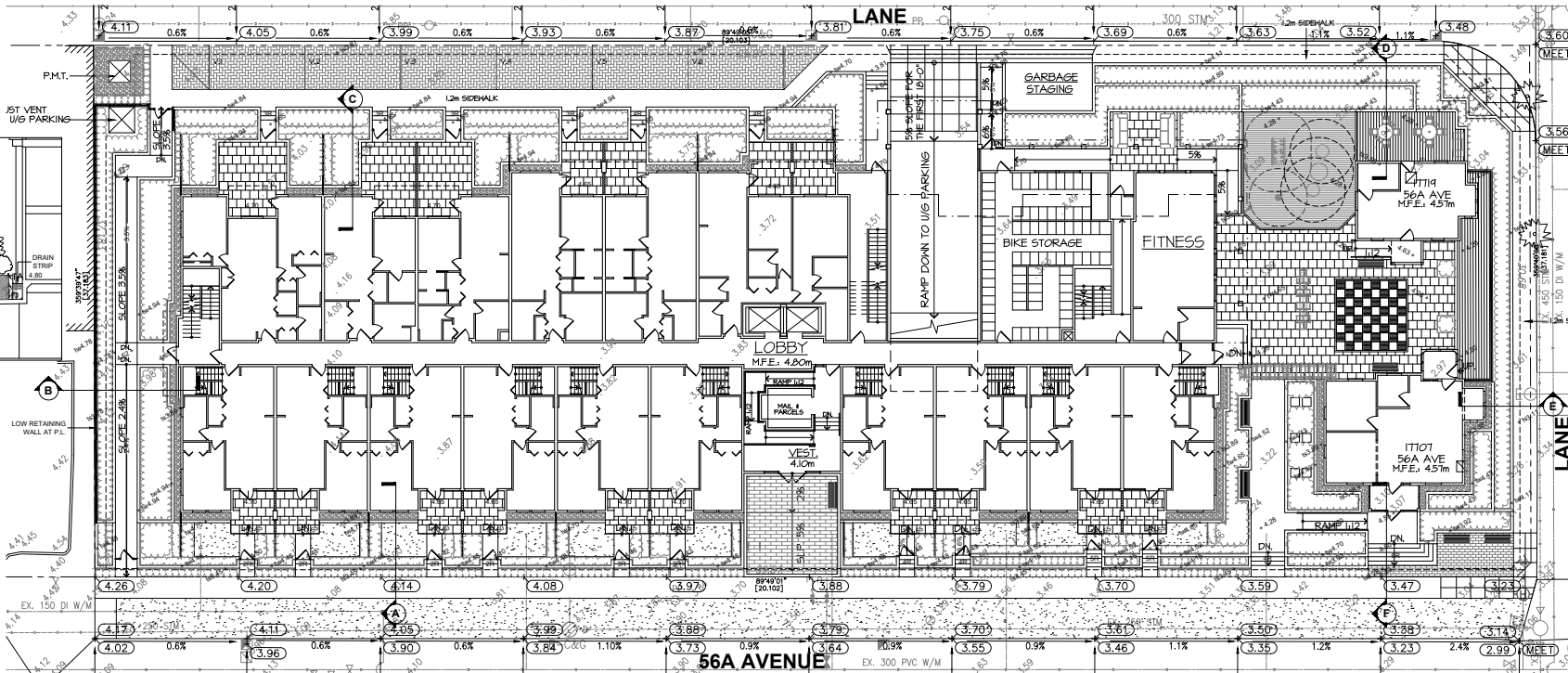
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4	21.AUG.20	DEVELOPER TO IAFP	JP
3	21.AUG.20	NEW SITE PLAN / CITY COMMENTS	JP
2	21.AUG.20	NEW SITE PLAN / CITY COMMENTS	DD
1	20.AUG.21	PLANTING REVISION / ADD DETAILS	JP

3-STOREY CONDOMINIUM BUILDING
 17697 - 17739 - 56A AVENUE
 SURREY
 SURREY FILE NUMBER: 7917-0347-00

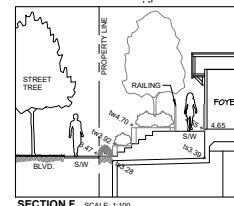


SECTION B SCALE: 1:100

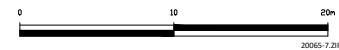
SECTION E SCALE: 1:100



SECTION A SCALE: 1:100



SECTION F SCALE: 1:100



20065-7.2P



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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	DD
2	21 AUG 20	REVISIONS TO SHOP	JP
3	21 JUL 20	NEW SITE PLAN / CITY COMMENTS	JP
4	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DD
5	20 AUG 13	PLANTING REVISION / ADD DETAILS	JP

PROJECT:

5-STORY CONDOMINIUM BUILDING

17697 - 17739 - 56A AVENUE
SURREY
SURREY FILE NUMBER: 7917-0347-00

SEAL:

DRAWING TITLE:

GRADING PLAN

DATE: 20 AUG 07

SCALE: 1:150

DRAWN: MC

DESIGN: MC

CHKD: MCY

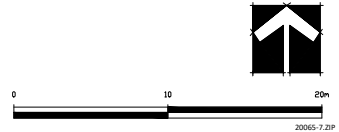
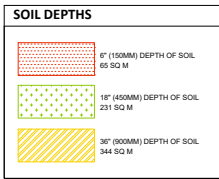
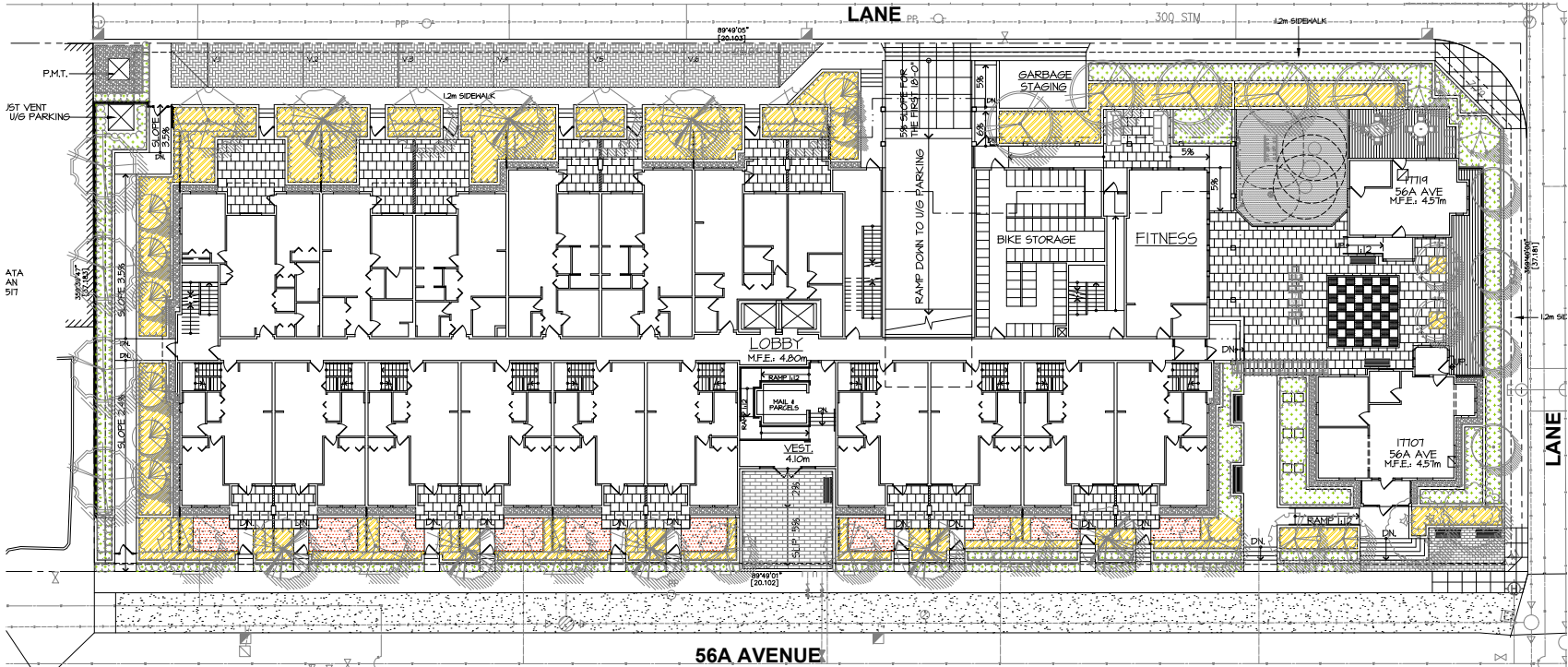
DRAWING NUMBER:

L3

OF 8

PMG PROJECT NUMBER: 20-065

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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
5	23 SEP 20	NEW SITE PLAN / CITY COMMENTS	DD
4	21 AUG 20	SUBMISSION TO AEP	JR
3	23 JUN 20	NEW SITE PLAN / CITY COMMENTS	JR
2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DD
1	20 AUG 19	PLANNING REVISION / ADD DETAILS	JR

PROJECT:

5-STORY CONDOMINIUM BUILDING

17697 - 17739 - 56A AVENUE

SURREY

SURREY FILE NUMBER: 7917-0347-00

SEAL:

DRAWING TITLE:

SOIL DEPTH PLAN

DATE: 20 AUG 07

SCALE: 1:150

DRAWN: MC

DESIGN: MC

CHKD: MCY

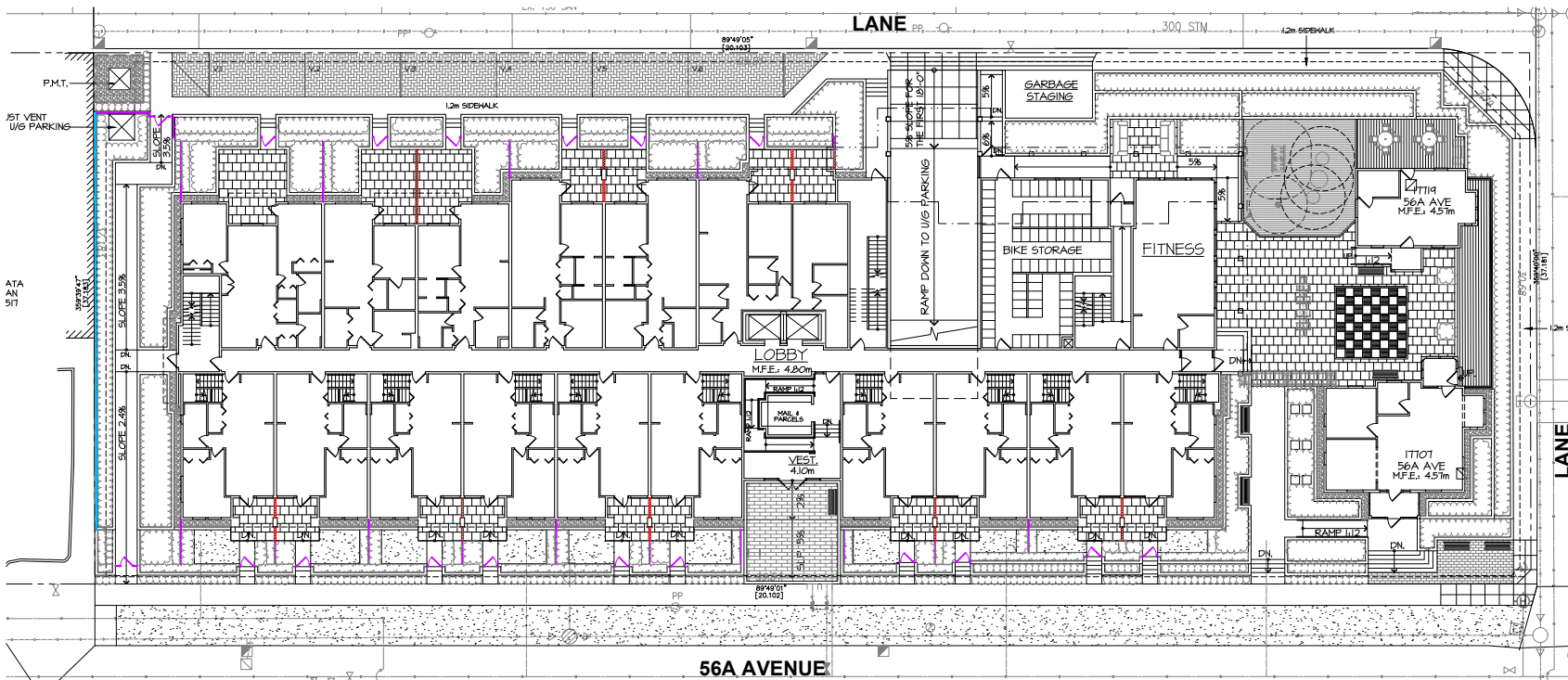
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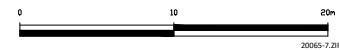
OF 8

PMG PROJECT NUMBER:

20-065



FENCE LEGEND	
	42" HT. ALUMINUM PICKET FENCE / GATE
	5" HT. SOLID WOOD FENCE
	6" HT. PATIO SCREEN
	RAILING BY ARCHITECTS



pmg
LANDSCAPE ARCHITECTS
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CLIENT:		PROJECT:		SEAL:		DRAWING TITLE:		DATE:	
									20.AUG.07
									SCALE:
									1:150
									DRAWN:
									MC
									DESIGN:
									MC
									CHKD:
									MCY
									DRAWING NUMBER:
									L5
									OF 8
									PMG PROJECT NUMBER:
									20-065

5-STOREY CONDOMINIUM BUILDING
17697 - 17739 - 56A AVENUE
SURREY
SURREY FILE NUMBER: 7917-0347-00

FENCE PLAN

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NO.	DATE	REVISION DESCRIPTION	DR.
5	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	DD
4	21 AUG 20	SUBMITTED TO ACP	JR
3	21 AUG 20	NEW SITE PLAN / CITY COMMENTS	JR
2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DD
1	20 AUG 11	PLANTING REVISION / ADD DETAILS	JR



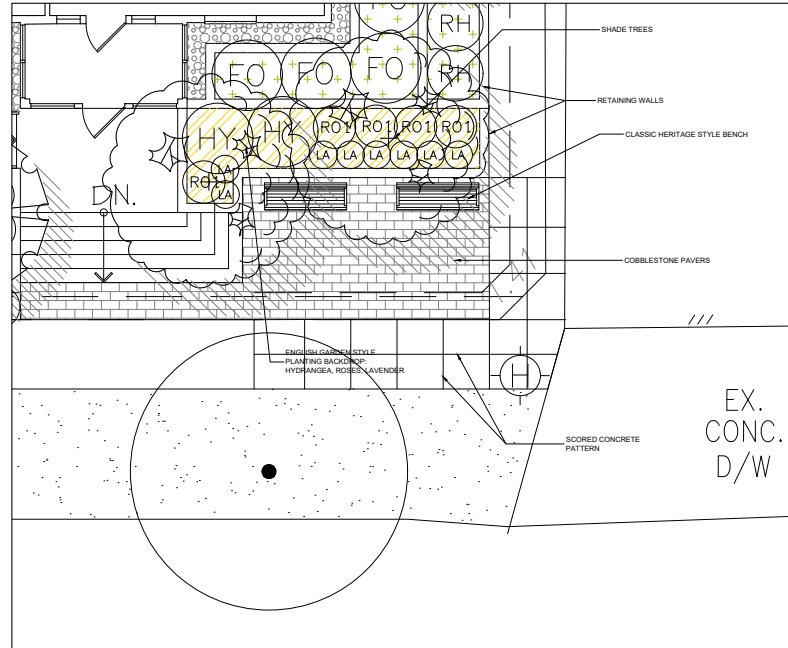
LAVENDER



ROSE



HYDRANGEA



CORNER PLAZA BENCH:
FRANCES ANDREW VICTORIAN SERIES 99



CORNER PLAZA PAVERS
BARKMAN 6"x9" COBBLE SIERRA GRAY

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
5	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	DD
4	21 AUG 20	SUBMISSION TO ACP	JP
3	21 JUN 20	NEW SITE PLAN / CITY COMMENTS	JP
2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DD
1	20 AUG 19	PLANTING REVISION / ADD DETAILS	JP

PROJECT:

5-STORY CONDOMINIUM BUILDING

**17697 - 17739 - 56A AVENUE
SURREY**

SURREY FILE NUMBER: 7917-0347-00

SEAL:

DRAWING TITLE:

**CORNER PLAZA
ENLARGEMENT**

DATE: 20 AUG 07

SCALE: 1:50

DRAWN: MC

DESIGN: MC

CHKD: MCY

DRAWING NUMBER:

L6



ACER PALMATUM 'BLOODGOOD'



CERCIS CANADENSIS 'FOREST PANSY'



CORNUS FLORIDA 'RUBRA'



CORNUS MAS



KOELREUTERIA PANICULATA



MALUS 'PINK SPIRES'



PARROTTIA PERSICA 'VANESSA'



PICEA OMORIKA



KOMPAN JUNIOR SPICA



GORIC DUNES CLIMBER



GAMETIME TALKING TUBE



MAGLIN 800 SERIES BENCH - 870 METAL, GLOSS YELLOW



C3 ALUMINUM PARTITION 46"x16"x42" SILVER



MAGLIN ICONIC 2300 SERIES BIKE RACK - SILVER MATTE FINISH



BELGARD ARIA SLAB PAVER



BELGARD ARIA; VICTORIAN COLOUR



BELGARD HOLLAND STONE; CHARCOAL COLOUR



LANDSCAPE FORMS MINGLE TABLE/CHAIRS



MARATHON HALF BALLS



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CLIENT:

PROJECT:

5-STOREY CONDOMINIUM BUILDING

17697 - 17739 - 56A AVENUE

SURREY

SURREY FILE NUMBER: 7917-0347-00

SEAL:

DRAWING TITLE:

LANDSCAPE
DETAILS

DATE: 20.AUG.07

SCALE:

DRAWN: MC

DESIGN: MC

CHKD: MCY

DRAWING NUMBER:

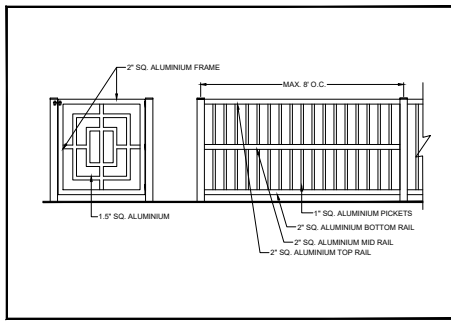
L7

20065-7.ZIP

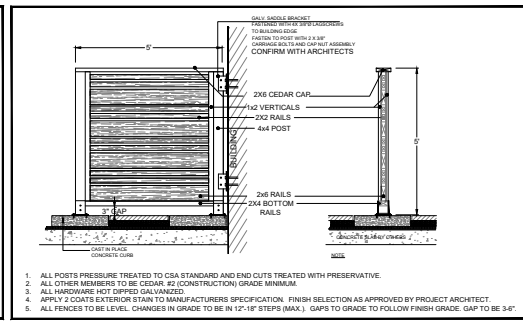
OF 8

PMG PROJECT NUMBER:

20-065

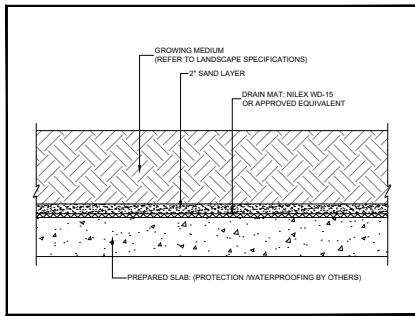


1 42" HT. ALUMINIUM FENCE / GATE
1/2"=1'-0"

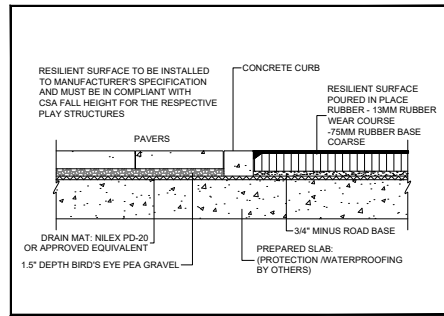


2 PATIO SCREEN
1/2"=1'-0"

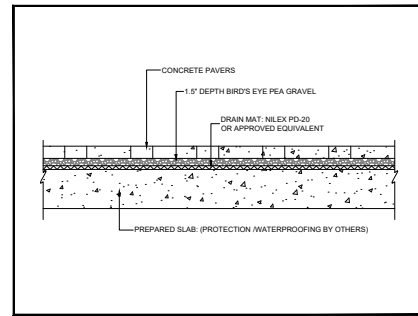
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 CONSTRUCTION GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4"



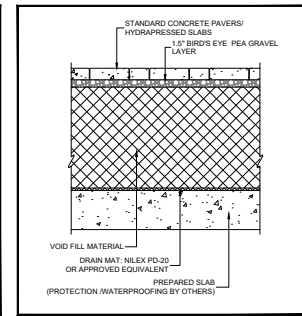
3 PLANTING ON SLAB
1 1/2"=1'-0"



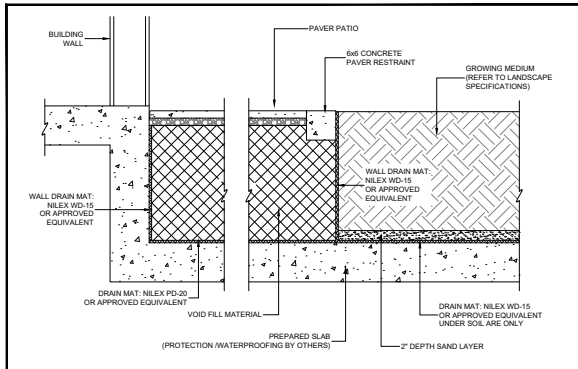
4 PLAY SURFACE ON SLAB
1 1/2"=1'-0"



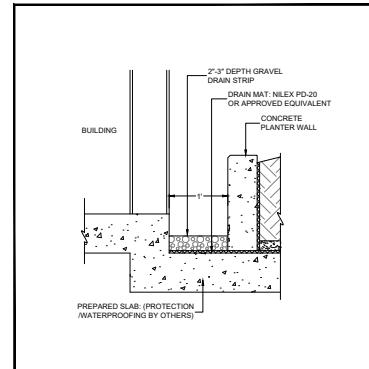
5 PAVERS ON SLAB
1 1/2"=1'-0"



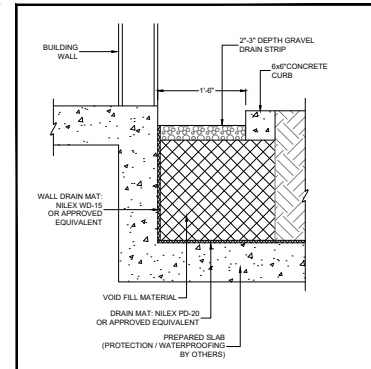
6 PAVERS AT SLAB DROP
1 1/2"=1'-0"



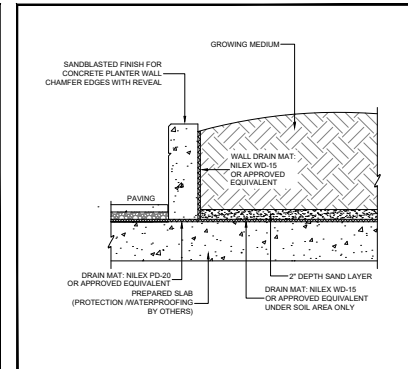
7 PATIO / LANDSCAPE AT SLAB DROP
1 1/2"=1'-0"



8 DRAIN ROCK STRIP AT BUILDING ON SLAB
1 1/2"=1'-0"



9 DRAIN STRIP AT BUILDING AT SLAB DROP
1 1/2"=1'-0"



10 PLANTER WALL ON SLAB
1 1/2"=1'-0"



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NO.	DATE	REVISION DESCRIPTION	DR.
5	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	DD
4	21 AUG 20	REVISIONS TO LAMP	JP
3	21 JUL 20	NEW SITE PLAN / CITY COMMENTS	JP
2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DD
1	20 AUG 15	PLANTING REVISION / ADD DETAILS	JP

CLIENT: _____
PROJECT: _____
SEAL: _____
DRAWING TITLE: _____
DATE: _____
SCALE: _____
DRAWN: _____
DESIGN: _____
CHKD: _____
DRAWING NUMBER: _____
5-STOREY CONDOMINIUM BUILDING
17697 - 17739 - 56A AVENUE
SURREY
SURREY FILE NUMBER: 7917-0347-00

DATE: 20 AUG 07
SCALE: AS NOTED
DRAWN: MC
DESIGN: MC
CHKD: MCY
DRAWING NUMBER: _____
LANDSCAPE DETAILS
L8
PMG PROJECT NUMBER: _____
20065-7.DWG
20-065

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TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **October 12, 2021** PROJECT FILE: **7820-0223-00**

RE: **Engineering Requirements
Location: 17697, 17707, 17719, 17725 and 17739 - 56A Avenue**

REZONE & SUBDIVISION (CONSOLIDATION)

Property and Right-of-Way Requirements

- Dedicate 1.0-metre x 1.0-metre corner cut at intersection of lane and 56 Avenue;
- Dedicate 5.5-metre x 5.5-metre corner cut at intersection of lane to lane; and
- Register 0.5 m statutory right-of-way (SRW) along road frontage.

Works and Services

- Construct the north side of 56A Avenue;
- Construct residential lane;
- Construct an adequately-sized drainage, water, and sanitary service connections. Abandonment of surplus connection(s), if any, is also required; and
- Construct frontage mains required to service the site.

A Servicing Agreement is required prior to Rezone/Subdivision (consolidation). A processing fee of \$38,934.00 is required.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

HERITAGE REVITALIZATION AGREEMENT

There are no engineering requirements relative to the Heritage Revitalization Agreement.



Jeff Pang, P.Eng.
Acting Development Services Manager

M51



Planning

May 13, 2021

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Martha Currie Elementary is in a maturing neighbourhood. As of September 2020, the school is operating over capacity and requires 4 portables to provide temporary classroom space. Over the next 10 years, enrolment can be characterised as a steady modest upward trend. The District requested a 6-classroom addition in their 2021/2022 Five Year Capital Plan. As of this report, the Ministry of Education has yet to approve funds for the project. Until the addition is built, growth will be managed by using portables.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary. As with all new schools, the secondary school is building up its enrolment and is anticipated to reach 100% capacity in 2026.

THE IMPACT ON SCHOOLS

APPLICATION #: 20 0223 00

SUMMARY

The proposed 72 lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	13
Secondary Students:	8

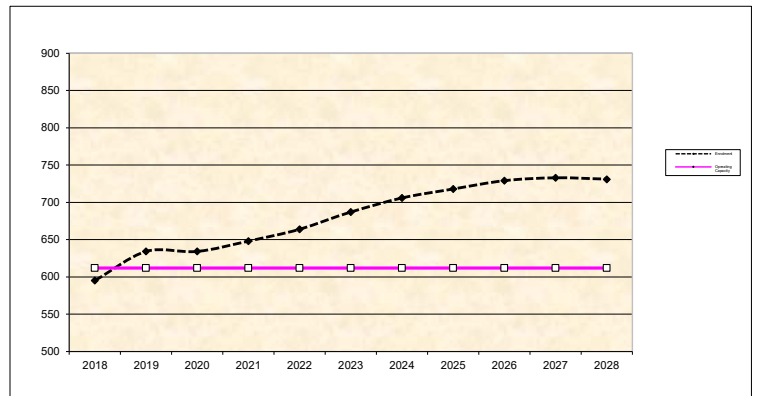
September 2020 Enrolment/School Capacity

Martha Currie Elementary	
Enrolment (K/1-7):	88 K + 546
Operating Capacity (K/1-7)	76 K + 536
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1714
Capacity (8-12):	1400

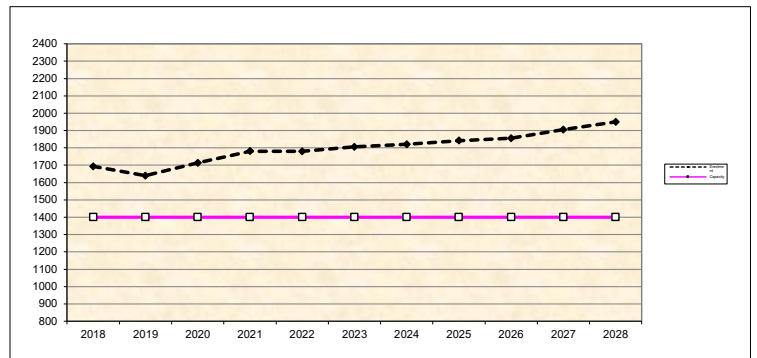
Projected population of school-age children for this development:	29
--	----

Population: The projected population of children aged 0-19 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Martha Currie Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Tree Preservation Summary

Surrey Project No:

Address: 17739 56A Avenue, Surrey

Registered Arborist: Anne Kulla, Huckleberry Landscape Design

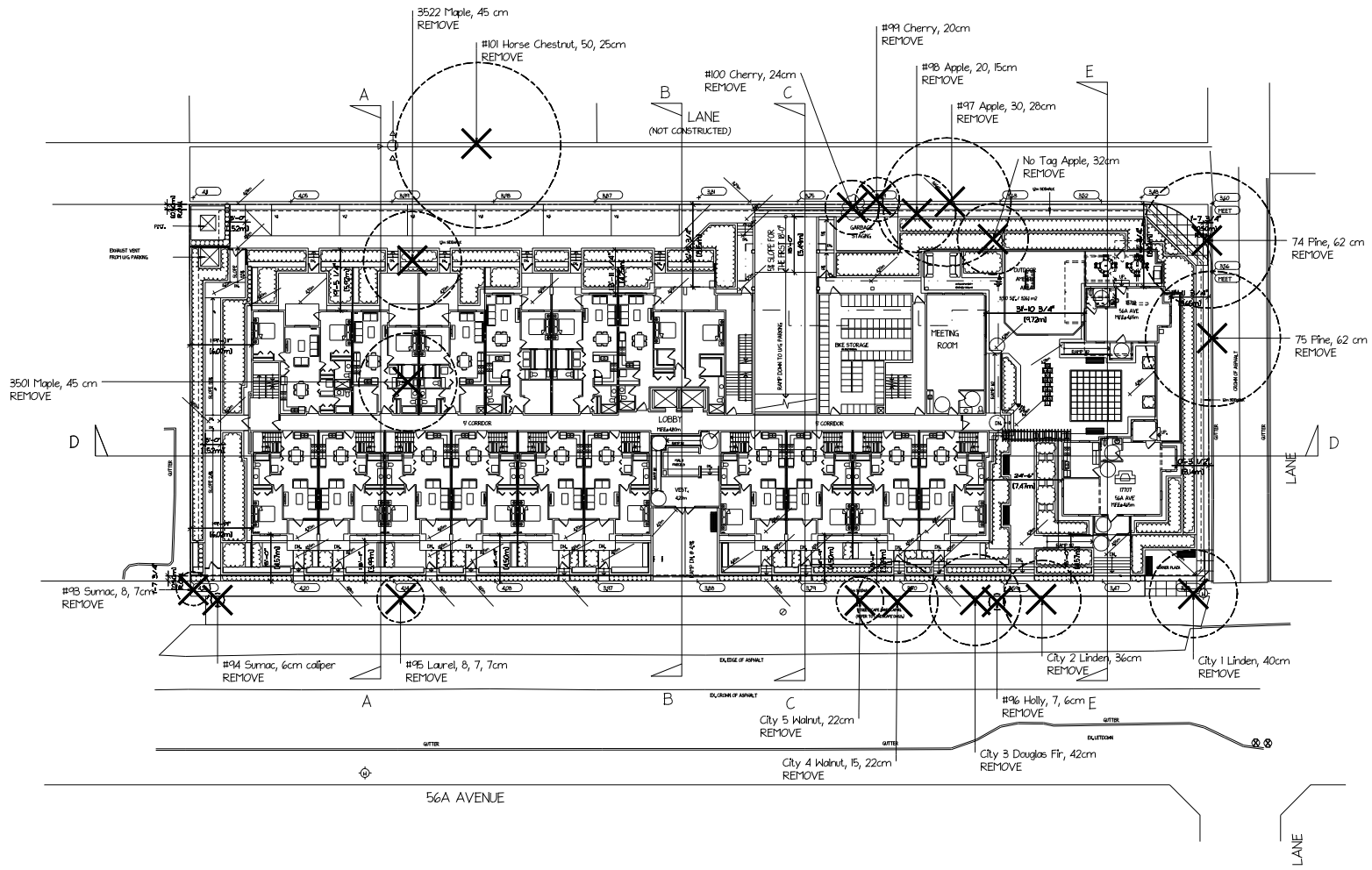
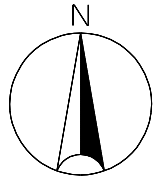
On-Site Trees	Numbers of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and offsite trees)	18
Protected Trees to be Removed	18
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 • All other Trees Requiring 2 to 1 Replacement Ratio 18 x two (2) = 36 	36
Replacement Trees Proposed	48
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space/ Riparian Areas]	0
Off-Site Trees	Numbers of Trees
Protected Off- Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = ___ • All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2 	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2

Summary, report and plan prepared and submitted by:





Anne Kulla

Certified ISA Arborist PN-6263A Certified Tree Risk Assessor no. 334



LEGEND

 Critical Root Zone

 Tree for Removal



Huckleberry

Landscape Design

604-724-3025

www.huckleberrylandscape.ca

Address: 17739 56A Avenue, Surrey	
Client Name: Wendy Zhao	Project: Townhouse Construction
Drawing: Tree Protection Plan	Drawing no: 1 of 1 Revision no:
Scale: 1 : 300	Date: July 28, 2021 Drawn by: TZ

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(a) House and Cottage at 17707 & 17719 56A Avenue
Proposed Rezoning and Heritage Revitalization Agreement (HRA)
Addition to the Heritage Register**

File: 7920-0223-00

Kelsey Baglo, Heritage Planner, summarized the report dated May 28, 2021 regarding an application for a rezoning and Heritage Revitalization Agreement (HRA) that has been received for the house and cottage located at 17707 and 17719 56A Avenue. The following information was highlighted:

- The properties are valued for their contribution to the endurance of Cloverdale's development, their association with the Mooring family and architectural style.
- The house located at 17725 56A Avenue is on the Heritage Inventory but not proposed to be included as part of the development. The house has been assessed and deemed beyond repair, as it was built with no foundation.
- The proposal includes a rezoning, subdivision from five lots into one and a Development Permit for Form and Character to allow the development of a five-storey apartment building with one level of underground parking. The proposal also includes an HRA for the protection, relocation and restoration of the Mooring House and Cottage, which will be utilized as an amenity space for the development. The protection of the heritage structures through the HRA will allow for one additional storey and 0.5 FAR.
- The applicant's heritage consultant prepared a Statement of Significance (SOS) for both the Mooring House and Cottage. Staff agreed with most of the SOS, but expressed that it did not fully capture the heritage significance, as part of the heritage value is the modest nature of the structures. It is important to retain both rich and modest architectural styles so the history of the city is not skewed one way or the other, as well as to diversify the City's heritage portfolio.
- The property could be added to the Thematic Framework under a new "Pioneer" or "Settler" or similar term subcategory. A similar example would be the Anderson Cabin.
- The *Standards and Guidelines for the Conservation of Historic Places in Canada* recommends that additions to heritage structures should be compatible yet subordinate and distinguishable. The applicant

is proposing an atrium to connect the two heritage buildings but further design development work is required.

The Commission expressed support for the way the heritage buildings have been incorporated into the project, noting that there are not many examples of this type of architecture in the City's portfolio. The following additional comments were provided:

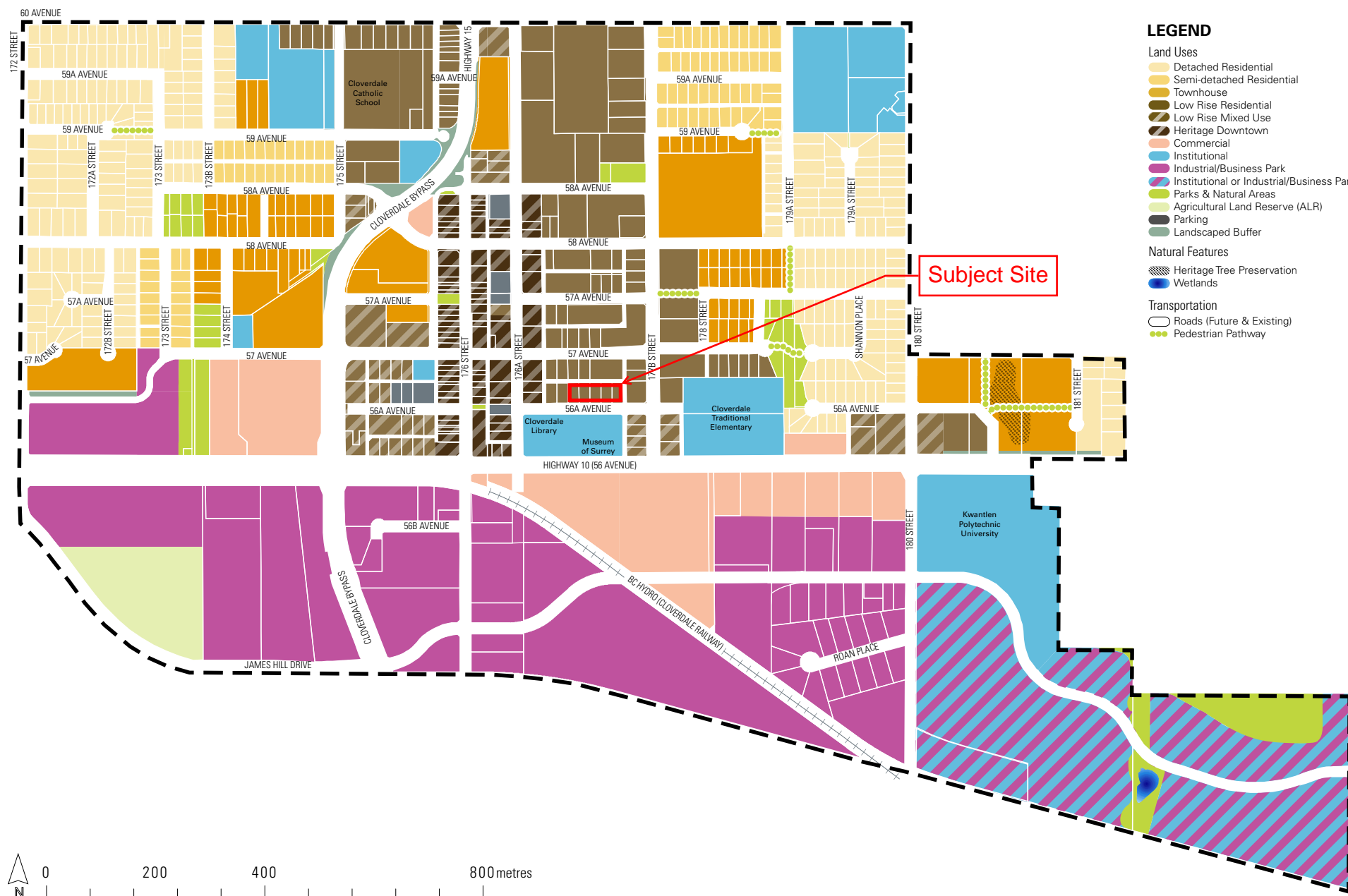
- Having the heritage buildings apart from the apartment building helps emphasize their heritage value and the atrium provides a good visual connection between the two heritage buildings.
- The main frontage and side lane provide double exposure to the property. It was suggested a public heritage plaza could be incorporated at the corner of the site instead of the additional planting to celebrate and provide additional access to the heritage buildings.
- The building finishes should maintain and enhance the buildings' heritage. It was suggested that heritage finishes be utilized instead of hardi-board.
- It was suggested that the third and fourth floors on the east side of the building be stepped back to provide more air and space between the apartment building and heritage buildings.

It was Moved by Commissioner Sandher
Seconded by Commissioner Penny
That the Heritage Advisory Commission (HAC):

1. Receive the report dated May 28, 2021 regarding an application for a rezoning and Heritage Revitalization Agree (HRA) for the house and cottage located at 17707 and 17719 56A Avenue as information; and
2. Recommend to Council that the house and cottage at 17707 and 17719 56A Avenue be added to the Surrey Heritage Register; and
3. Recommend to the General Manager, Planning and Development, that staff be directed to proceed with the preparation of a Heritage Revitalization Agreement (HRA) for the house and cottage at 17707 & 17719 56A Avenue.

Carried

Figure 3.1: Land Use Map





176 St

176A St

57 Ave

56A Ave

Highway 10 (56 Ave)

177B St

178 St

17697

17707

17719

17725

17739



Advisory Design Panel Minutes

Location: Virtual
Thursday, August 26, 2021
Time: 4:00 pm

Present:

Panel Members:

W. Chong, Chair
R. Dhall
M. Heeney
R. Jenkins
B. McGinn
J. Packer
M. Pasqua
M. Patterson
B. Wiebe

Guests:

Lance Barnett, Barnett Dembek Architects
Rebecca Krebs, PMG Landscape Architects
Chander Puri, A6 Karma Construction Ltd.

Staff Present:

Sam Maleknia, Urban Design Planner
Chris Lumsden, Planner
Wendy Lee, Recording Secretary

A. RECEIPT OF MINUTES

It was

Moved by R. Dhall

Seconded by R. Jenkins

That the minutes of the Advisory Design

Panel meeting of July 22, 2021, be received.

Carried

B. NEW SUBMISSIONS

1. Time: 4:00 p.m.

File No.: 7920-0223-00

Address: 17697/17707/17719/17725/17739 – 56A Ave

New or Resubmit: New

Last Submission Date: N/A

Description: Rezoning from C-15 to CD (based on RM-70), Consolidation from 5 lots to 1 lot and Development Permit for Form and Character, to permit the development of a 5-storey, 72-unit residential building over one (1) level of underground parking in Cloverdale Town Centre. The proposal also includes a Heritage Revitalization Agreement (HRA) for the relocation, adaptive re-use, and maintenance of two heritage buildings (Mooring House and Mooring Cottage).

Developer: A6 Karma Construction Ltd. – Chander Puri

Architect: Barnett Dembek Architects – Lance Barnett, Architect
AIBC

Landscape Architect: PMB Landscape Architects – Mary Chan Yip, BCLSA

Planner: Christopher Lumsden

Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff support the retention of the two houses, the proposed use, form, density, and amendments to the plan and have no

specific concerns. The Panel was asked to comment on the overall site planning, building character, heritage components, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, floor plans, and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by M. Heeney
Seconded by R. Dhall
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department; and

Recommend that the landscaping submission return to staff for further development.

Carried

Key Points:

- Recommend sawn cedar shingling to the roof for heritage buildings for a more sympathetic alteration.
- ***Sawn cedar shingles are now recommended for the roof of both the Mooring House and Mooring Cottage.***
- Consider further consideration to material cladding choices that entail a more substantive detailing around the archways of the ground floor units. ***Reveal joints have been added to provide additional texture to the entries.***
- Consider refining the siding cladding detail dimension to a 2x5 vs 2x6. ***Revised as suggested.***
- Consider a consistent, rational height for the chimney stack, which appears high. ***The chimney has been deleted.***
- Recommend raising the outdoor deck for an easier transition to the outdoor amenity; avoid steps. ***Deck has been raised.***
- Recommend weather protection for part of the outdoor amenity and to the indoor amenity spaces. ***An exterior canopy has been added on the east side adjacent the outdoor amenity area and along the accessible path.***
- Consider adjusting the ramp run at heritage amenity buildings to as long as possible, approaching a 1:20 (5%) slope. ***Ramp has been revised.***
- Give further design development to the southeast corner plaza for better integration to the overall development and to the south heritage building. ***Stairs have been revised to improve the connection to the plaza.***
- Consider material cladding choices that entail a more substantive detailing around the archways of the ground floor units. ***Reveal joints have been added to provide additional texture to the entries.***

- Recommend mechanical cooling for the building and for the unit. **To be considered by the Developer as the project moves into the construction phase.**
- Consider heat pump/ HRV systems that incorporate heating and cooling. **To be considered by the Developer as the project moves into the construction phase.**
- Recommend further daylighting of stairs and bike storage. **Windows added to the exterior wall.**
- Consider the size of operable windows (frame divisions) for better passive venting and cooling. **Operable windows to be provided.**
- Recommend not using Ipe as decking; consider thermally modified ash. **Revised.**
- Recommend at least 1 unit accessible on the ground floor. **Done.**
- Recommend at least 4 Accessible parking stalls in underground parking. **Additional accessible parking spaces have been added.**
- Recommend Accessible power and call buttons at doors and elevators. **Power doors to be provided.**
- Recommend 40 – 50 square feet of bike maintenance area in bike storage. **Done**
- Reconsider the heritage building cladding colours, explore differentiating with different colours. **Heritage appropriate colours have been selected.**
- Recommend further design development to the east entry from the new building to the outdoor amenity as it appears underwhelming. **East and West elevations have been revised to include additional glazing panels. This will provide a stronger visual connection from the building towards the outdoor amenity area and the adjacent walkway.**
- Consider a robust lighting plan around the perimeter of the building at the north-south path on the west end of the building. **Both wall mounted and pathway lighting will be provided to ensure safety and visibility in all areas within the site and along the perimeter.**

Site:

- Consider weather protected connection between building/s and outdoor amenities. **An exterior canopy has been added on the east side adjacent the outdoor amenity area and along the accessible path.**
- Recommend getting people involved more with the heritage buildings by having more interaction both visually and pedestrian movement around the side. **Physical and visual connection from the principle building to the outdoor amenity area and circulation paths have been improved as requested.**
- Recommend having wider steps and enlarging the plaza from the sidewalk to the courtyard. **Expanded steps to come down from both sides of landing**
- Suggest more visual connectivity from the main/new building to plaza with glazing. **East and West elevations have been revised to include additional glazing panels. This will provide a stronger visual**

connection from the building towards the outdoor amenity area and the adjacent walkway.

- Consider stronger connectivity to the main entrance and plaza. **Expanded main steps to lead down to city sidewalk and to plaza**

Form and Character:

- Commend applicant for a good scheme. The project including retention of the heritage buildings will be a great addition to the city. Commend good levels of transition from ground to upper floor, and how roof sits on top of building
- Commend applicant for executing a good project despite poor soil conditions.
- Consider orientating the north heritage building so that the entrance faces the east lane, so that this building engages the lane and the development to the east.
- Consider exchanging the ground floor townhouse bedroom and living room locations so that the living room is more prominent providing better overlook of the patios (and the bedroom has more privacy from the street). **The recessed living area was proposed to allow the individual unit entries to be located under the balcony and to be weather protected.**
- Consider that the archway is well detailed and substantive (consider a high concrete base). **Reveal joints have been added to provide additional texture to the entries.**
- Consider reducing the size of the meeting space; can use more active programming. **The meeting area was revised to house the exercise area. The meeting spaces will now be located in the retained heritage buildings.**
- Consider addressing lighting and windows with anticipation of development to the west. **Done.**
- Suggest more modern colour scheme for the main building, separate from the heritage buildings. **The colour scheme of the main building was selected to be complementary to the retained heritage buildings.**
- Consider adding a small bike maintenance and cleanup area within the bike storage room. **Done**

Landscape:

- Commend the comprehensive landscape and architecture package and providing a thorough presentation on what appears to be a very good project.
- The landscape has been well considered and provides a strong grounding for the building with ample planted separation between private and public spaces.
- Consider a flat 2% slope for landing at the lobby door just for accessibility and an easier transition. **Flat (maximum 2%) for lobby door landing has been added as per Architectural Plans.**
- Consider raising the deck off the north side of the amenity gym area to provide level connection between the inside and outdoor amenity – stairs seem inconvenient. **Outdoor Amenity Deck has been raised to**

- *approximately 4.34m geodetic elevation as per Architectural Plans.*
- Consider better integration of the corner plaza with the overall development. *Expanded main steps to lead down to city sidewalk and to plaza*

CPTED:

- No specific issues were identified.

Sustainability:

- Recommend incorporating cooling into the amenity spaces including the heritage homes. Consider cooling for the residential suites as well to accommodate end user demands. *To be considered by the Developer as the project moves into the construction phase.*
- For heating and cooling equipment, consider paying attention to supply chain issues and timing, and to start the planning process early.
- Consider future climate files for energy and thermal comfort modelling to ensure livability in the future. *Energy modeling to proceed with the next phase of project development. These issues will be considered.*
- Consider heat pump hot water – specifically CO₂ heat pumps.
- Consider mechanical cooling – use of heat pumps would allow for heating and cooling. *To be considered by the Developer as the project moves into the construction phase.*
- Consider lower flow lavatories for bathrooms. *To be included.*
- Consider daylighting of bike storage area and stairwells. *Done*
- Consider alternative window designs to promote passive cooling. Those frame elements within the glazing are thermal bridges reducing the window performance.
- Suggest getting energy modeling sooner than later. *Energy modeling to proceed with the next phase of project development.*
- Urge not to use Ipe. Consider thermally modified ash. *Change amenity deck to thermally modified ash.*
- Commend connection on bike parking to street.
- Commend on full EV infrastructure and EV bike charging.
- Commend on Energy Star appliances.
- Commend soil depths to help manage rainwater on site.

Accessibility:

- Appreciate that four adaptable 2-bedroom units have been proposed for this project.
- Recommended moving one of the adaptable units to the ground floor. *Done.*
- Appreciate flush thresholds to access the deck/balcony.
- Recommend the installation of visual fire alarms. *To be added.*
- Recommend increasing the number of Accessible stalls for residents to at least 4 (2 per 50). *Additional adaptable parking spaces have been included.*
- Recommend that residential Accessible stalls are assigned to adaptable

unit owners. ***Specific stalls will be assigned to provide for adaptable units.***

- Appreciate that there are 2 elevators.
- Recommend audible floor callouts and other Accessibility considerations (circular handrails, braille/tactile buttons etc.). ***Several of these items are a requirement of the British Columbia Building Code and will be included in this development.***
- Consider adjusting the ramp run at heritage amenity buildings to as long as possible, approaching a 1:20 (5%) slope for ease of entry into reconstructed front porch. ***Done***
- Appreciate Accessible washrooms in interior amenity rooms.
- Appreciate the poured resilient play surface.

Heritage:

- Commend positioning of the heritage buildings and siting and clustering around the courtyard.
- Commend heritage building being set off from the new building. The cottage fronts on a courtyard which lends a fair amount of mentality to the whole scheme and works well.
- Commend on heritage colour scheme. Accents that are being picked up in the contemporary buildings work well.
- Consider a sawn cedar shingle roof surface instead of asphalt roof surfaces. ***Sawn cedar shingles are now recommended for the roof of both the Mooring House and Mooring Cottage.***
- Consider getting sprinklers passed as an alternative code compliance measure. ***Sprinkler protection will be added to the heritage buildings as recommended.***
- Review detailing bell-cast bottoms; typically, there is no bell-cast bottom on wood siding. ***Done.***
- Consider 1x5 casing instead of 1x6. ***Revised.***
- Consider drop down of the chimney extension. ***Revised.***
- Suggest having different colour schemes for each heritage building. ***Complementary and heritage appropriate colour schemes have been selected.***

C. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, September 9, 2021

D. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:15 p.m.

Jennifer Ficocelli, City Clerk

Winston Chong, Chair

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 20 , No._____]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the ___ day of _____, 20

BETWEEN:

EKAM HOLDINGS LTD., INC.NO. BC1117386
Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

(the "Owner" of 17707 56A Avenue)

AND

EKAM HOLDINGS LTD., INC.NO. BC1117386
Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

(the "Owner" of 17719 56A Avenue)

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 008-601-607
Lot 19 Block 14 Section 8 Township 8 New Westminster District Plan 2107
17707 56A Avenue

AND

Parcel Identifier: 008-037-906
Lot 18 Block 14 Section 8 Township 8 New Westminster District Plan 2107
17719 56A Avenue

And as the legal description is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Dewhirst Lessard Consulting Plan"); and
- G. The improvements or features on the Lands identified in the Conservation Plan as the Mooring House (the "House") and the Mooring Cottage (the "Cottage") are listed on the Surrey Heritage Register and the Owner and the City consider that the House and Cottage have *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House and Cottage.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant

and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

1. (a) The Conservation Plan and the Dewhirst Lessard Consulting Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Dewhirst Lessard Consulting Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and Dewhirst Lessard Consulting Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan and the Dewhirst Lessard Consulting Plan identify, detail and describe the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character* including, but not limited to structure and foundations; masonry; roofing and rainwater works; cladding and trimwork; front porch; windows and doors; and finishes. Part II of the Conservation Plan and the Dewhirst Lessard Consulting Plan set out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan and Dewhirst Lessard Consulting Plan set out the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
 - (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
 - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Dewhirst Lessard Consulting Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan and the Dewhirst Lessard Consulting Plan.
 - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and Dewhirst Lessard Consulting Plan.

- (d) In the event the House or Cottage are damaged during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House or Cottage to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House or Cottage. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House or Cottage shall reflect the character-defining elements and design components including, but not limited to:
- i. for the House: Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives; Side gabled massing, main floor close to the ground with crawl space below; Cedar shingle cladding and corner pointed end knee-brackets; Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows; The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets; Dining nook projection with shed roof and wooden multi-pane windows; Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows; and, Internal brick chimney: and
 - ii. for the Cottage: Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives; Set-back from the street, side gabled massing, main floor close to the ground set on block piers; Wood lap siding with mitered corners; Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets; Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade; Dining nook projection with shed roof, and adjacent roof skirt; Symmetrical front fenestration, wood windows frames with interior and exterior casings, double-hung window style, and attic vents; all as subject to approval by the City Architect or designate.
- (e) In the event the House, Cottage or both, is destroyed during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House, Cottage or both so destroyed. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House or Cottage. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House, Cottage, or both, shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.

- (f) In the event that the House, Cottage, or both, is destroyed during its relocation or otherwise, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$124,446.80 for the House and \$124,446.80 for the Cottage indexed to the Vancouver Consumer Price Index (CPI) with 2020 being the base year, except that if the House, Cottage, or both, is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House, Cottage, or both, become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House, Cottage and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, Cottage, or both, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, Cottage, or both, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House, Cottage, or both, become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House and Cottage are occupied, there must be appropriate security measures in place to maintain the integrity and security of the House, Cottage and Lands. Should the House, Cottage, or both, become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the

restrictions and requirements set out in Parts II and III of the Conservation Plan and in the Dewhirst Lessard Consulting Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.

- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the Dewhirst Lessard Consulting Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan and the Dewhirst Lessard Consulting Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the Dewhirst Lessard Consulting Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully relocate, restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Dewhirst Lessard Consulting Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner:

EKAM HOLDINGS LTD., INC. NO. BC1117386
Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the Dewhirst Lessard Consulting Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;

- (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

Ekam Holdings Ltd. INC.NO. BC1117386
by its authorized signatories

Chander Mohan Puri

Wan Yun Zhao

CITY OF SURREY

Doug McCallum
Mayor

Jennifer Ficocelli
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Mooring House

a. Description of Historic Place

The Mooring House is a modest one-storey wood frame house located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. The house was built in 1933 as a single-family house with a free-standing garage on the side of the property, accessible by a driveway. In 1934, the owner of the house had a cottage moved on his property next door at 17719 56A Avenue.

b. Heritage Value of Historic Place

The Mooring House is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminister-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912 establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933, just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932 and constructed their house the following year. Mooring, a logger originally from Cumberland, Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated to Lone Butte, in the interior of British Columbia. In 1956, the Brookes family purchased the house and lived in it until 1992. Mooring died in 1958 in Vancouver.

The one storey Craftsman house is characterized by its side-gabled roof with projecting front-gabled entryway vestibule. The building features cedar shingle siding, decorative knee-brackets, and wooden multi-pane windows typical of its style.

c. Character Defining Elements

Key elements that define the heritage character of the Mooring House include its:

- location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives;
- Side gabled massing, main floor close to the ground with crawl space below;
- Cedar shingle cladding and corner pointed end knee-brackets;

- Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows;
- The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets;
- Dining nook projection with shed roof and wooden multi-pane windows;
- Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows; and
- Internal brick chimney.

2. Mooring Cottage

a. Description of Historic Place

The Mooring Cottage is a modest one-storey wood frame structure located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. In 1934, the cottage was moved to the site at the back of its property. The owners lived in a house, they had built the year earlier, on the adjacent property at 17707 56A Avenue.

b. Heritage Value of Historic Place

The Mooring Cottage is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912, establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933 a year before the cottage was moved next door just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932, constructed their house and had the cottage moved in its current location the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in Cloverdale until 1945. Mooring died in 1958 in Vancouver.

The one storey Craftsman Cottage is characterized by its side-gabled roof with projecting front-gabled porch. The building features wooden knee-brackets, bargeboards, and lap siding typical of its style.

c. Character Defining Elements

Key elements that define the heritage character of the Mooring Cottage include its:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives;
- Set-back from the street, side gabled massing, main floor close to the ground set on block piers;
- Wood lap siding with mitered corners;
- Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets;
- Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade;
- Dining nook projection with shed roof, and adjacent roof skirt; and
- Symmetrical front fenestration, wood window frames with interior and exterior casings, double-hung window style, and attic vents.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the House and Cottage, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the relocation of the House and Cottage. If either the House or Cottage is moved before the other structure, the restoration of the first structure so moved must commence within 60 days following its relocation and the restoration of the second structure so moved must commence within 60 days following its relocation.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the House and Cottage shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather, and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House and Cottage shall include, but is not limited to, the following:

- (a) A description and a time schedule for the relocation, renovations, repair, and replacement of the exterior elements, *landscaping* or other identified

works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;

- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House and Cottage;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House and Cottage.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House and Cottage shall be completed and a final occupancy permit or equivalent for the House and Cottage shall be issued within one year of the adoption of a by-law to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

- A. Changes to the building, structure, exterior appearance of the House or Cottage, features on the Lands identified in the Conservation Plan, the Dewhirst Lessard Consulting Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
- (a) changes to the Conservation Plan or the Dewhirst Lessard Consulting Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House or Cottage;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
 - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House or Cottage.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
- (a) changes to the House or Cottage structure;
 - (b) changes to the exterior appearance of the House or Cottage;
 - (c) replacement of existing elements and/or construction of additions to the House or Cottage;
 - (d) changes to the external appearance of the House or Cottage due to interior renovations;

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. **Building Permit Approval**

Construction, alterations, relocation or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Dewhirst Lessard Consulting Plan, and with heritage alteration permits sanctioning construction, alterations, relocation or other actions.

As the House and Cottage are recognized as historic sites, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. **Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan and the Dewhirst Lessard Consulting Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the Dewhirst Lessard Consulting Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

A. Mooring House

1. Property:

See Section 1C(1.) "Property " of the Dewhirst Lessard Consulting Plan.

2. Massing:

See Section 1C(2.) "Massing" of the Dewhirst Lessard Consulting Plan.

3. Roof, Soffits, Bargeboards and Knee-brackets:

See Section 1C(3.) "Roof, Soffits, Bargeboards and Knee-brackets" of the Dewhirst Lessard Consulting Plan.

4. Foundation Wall:

See Section 1C(4.) "Foundation Wall" of the Dewhirst Lessard Consulting Plan.

5. Cedar Shingle Cladding:

See Section 1C(5.) "Cedar Shingle Cladding" of the Dewhirst Lessard Consulting Plan.

6. Front Porch:

See Section 1C(6.) "Roof " of the Dewhirst Lessard Consulting Plan.

7. Back Porch:

See Section 1C(7.) "Back Porch" of the Dewhirst Lessard Consulting Plan.

8. Windows

See Section 1C(8.) "Windows" of the Dewhirst Lessard Consulting Plan.

9. Internal Brick Chimney

See Section 1C(9.) "Internal Brick Chimney" of the Dewhirst Lessard Consulting Plan.

10. Residential Floor

See Section 2C(10.) "Residential Floor" of the Dewhirst Lessard Consulting Plan.

11. Painting:

See Section 1C(11.) "Painting" of the Dewhirst Lessard Consulting Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the House is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

12. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

13. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

14. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.

15. Relocation:

The House must be relocated in accordance with the plans attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B". The relocation of the House must conform with any applicable permits.

16. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements,

new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

B. Mooring Cottage

1. Property:

See Section 2C(1.) "Property " of the Dewhirst Lessard Consulting Plan.

2. Massing:

See Section 2C(2.) "Massing" of the Dewhirst Lessard Consulting Plan.

3. Roof, Soffits, Bargeboards and Knee-brackets:

See Section 2C(3.) "Roof, Soffits, Bargeboards and Knee-brackets" of the Dewhirst Lessard Consulting Plan.

4. Foundation Wall:

See Section 2C(4.) "Foundation Wall" of the Dewhirst Lessard Consulting Plan.

5. Lap Siding:

See Section 2c(5.) "Lap Siding" of the Dewhirst Lessard Consulting Plan.

6. Front Porch:

See Section 2C(6.) "Roof " of the Dewhirst Lessard Consulting Plan.

7. Plywood Addition

See Section 2C(7.) "Plywood Addition" of the Dewhirst Lessard Consulting Plan.

8. Windows

See Section 2C(8.) "Plywood Addition" of the Dewhirst Lessard Consulting Plan.

9. External Brick Chimney

See Section 2C(9.) "External Brick Chimney" of the Dewhirst Lessard Consulting Plan.

10. Residential Floor

See Section 2C(10.) "Residential Floor" of the Dewhirst Lessard Consulting Plan.

11. Painting:

See Section 2C(11.) "Painting" of the Dewhirst Lessard Consulting Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the Cottage is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the Cottage or heritage colours appropriate for the period of the Cottage.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

12. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the Cottage without first obtaining a heritage alteration permit.

13. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

14. Plans and Elevations:

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These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.

15. Relocation:

The Cottage must be relocated in accordance with the plans attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B". The relocation of the Cottage must conform with any applicable permits.

16. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "A-1"

PLANS AND ELEVATIONS

(Attachment beginning on the next page)

**TOPOGRAPHIC PLAN OF LOTS 16,17,18,19 & 20 ALL OF BLK 14 SECTION 8 TOWNSHIP 8
NEW WESTMINSTER DISTRICT PLAN 2107**

Current Civic Address:
17739,17725,17719,17707,17697 56A Avenue
Surrey, B.C.

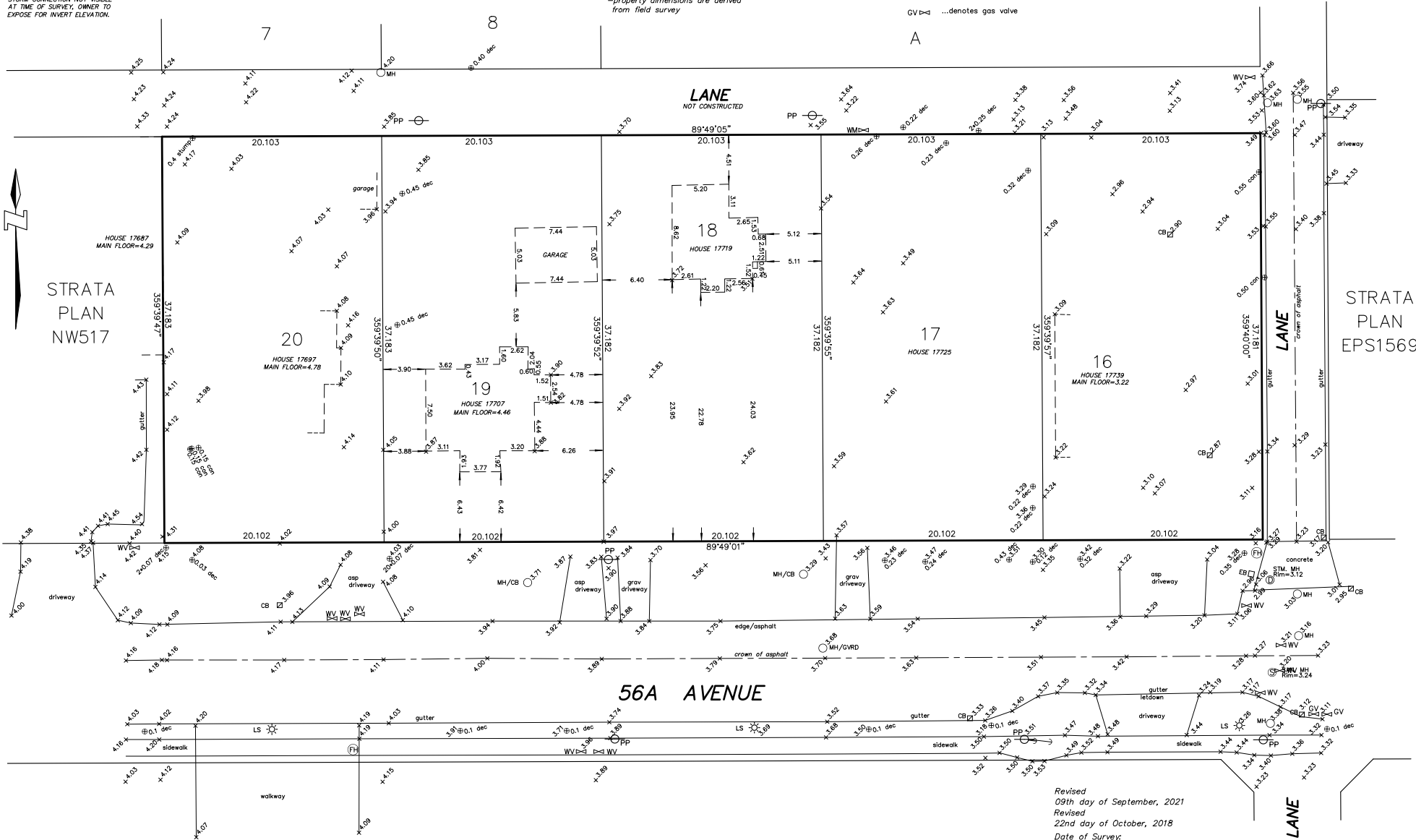
SCALE : 1:250

STORM CONNECTION NOT VISIBLE
AT TIME OF SURVEY, OWNER TO
EXPLORE FOR INVERT ELEVATION.

Note:
- All dimensions are in metres.
- This plan is NOT to be used for
location of property lines.
- Elevations are based on City of
Surrey Geodetic datum, monument 5827
elev. = 5.861m (CVD28GVRD 2005).
- Only trees with a diameter of at least
0.25m are shown
- This plan does not show non-plan
charges, liens or interests.
- property dimensions are derived
from field survey

LEGEND

- CB ☐ ...denotes catch basin
- MH ○ ...denotes manhole
- PP ○ ...denotes power pole
- WV ▷ ...denotes water valve
- WMB ▷ ...denotes water meter
- GV ▷ ...denotes gas valve
- Ⓢ ...denotes sanitary manhole
- Ⓣ ...denotes storm manhole
- EB ☐ ...denotes electrical box
- Ⓜ ...denotes hydrant
- CON 0.0 ☉ ...denotes tree



STRATA
PLAN
NW517

STRATA
PLAN
EPS1569

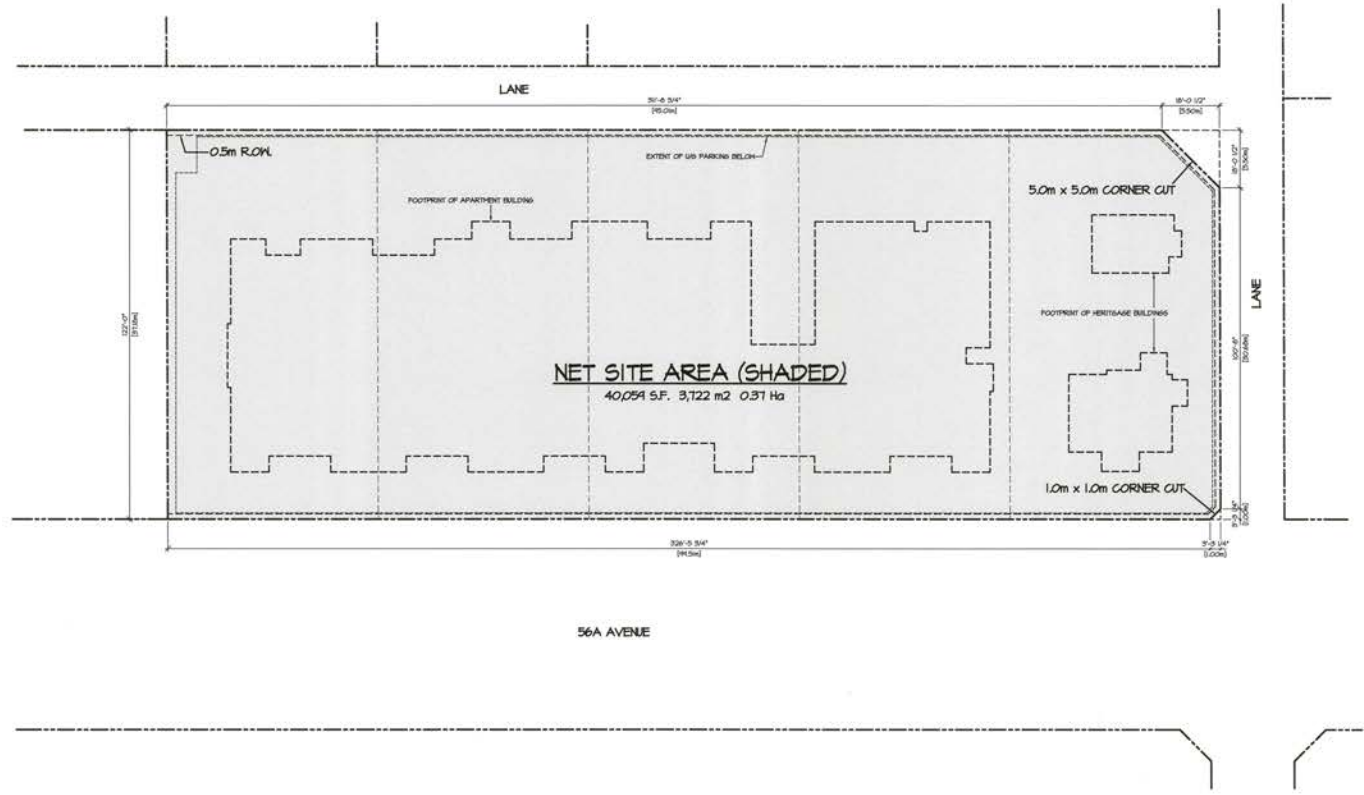
56A AVENUE

Revised
09th day of September, 2021
Revised
22nd day of October, 2018
Date of Survey:
06th day of March, 2018

-This plan was prepared for design purposes
and is for the exclusive use of our client.
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and the signatory accept no responsibility for and
hereby disclaim all obligations and liabilities for
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216-12899 76th Avenue
Surrey, B.C. V3W 1E6
Phone: 604 501-6188
email: info@dhalawalssurvey.com
File: 1801003-T03

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REV.	DATE	BY	ISSUED FOR



BASE PLAN
SCALE: 1" = 30'-0"

DESIGN / I.F.D.	DRAWN / I.	DATE /	SCALE /
CLIENT: EKAM HOLDINGS	PROJECT: 5 STOREY APARTMENT BUILDING 1751-1751 - 56A AVENUE, SURREY	AUG 18 21	1" = 30'-0"
SHEET CONTENTS: BASE PLAN			

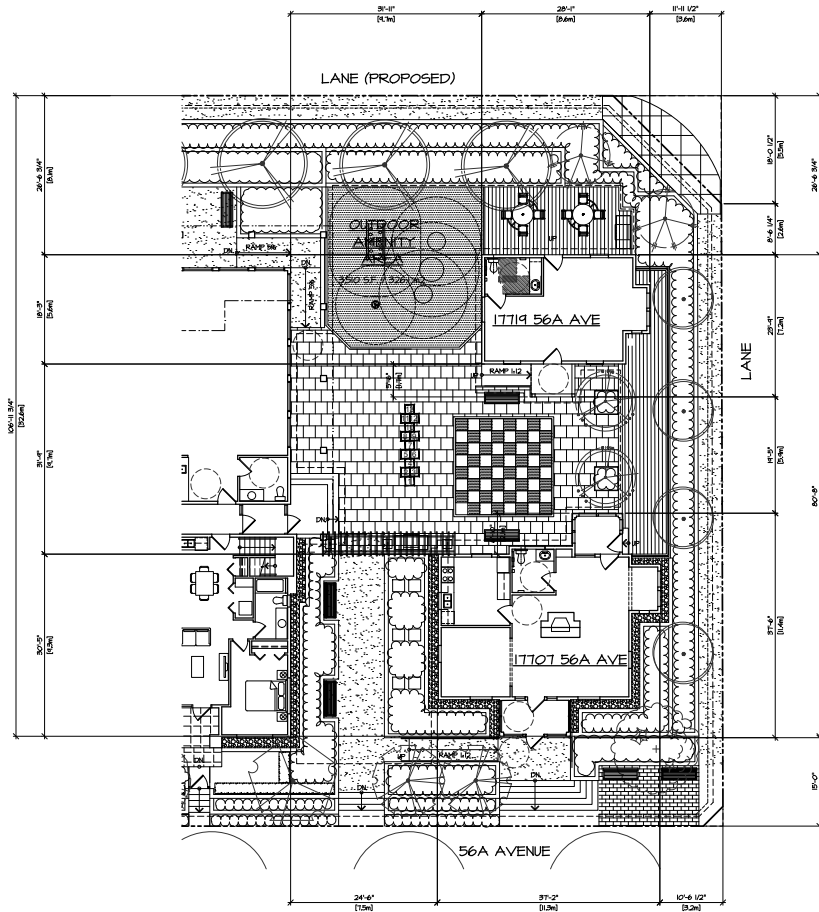
barnett dempke
ARCHITECTS INC.

UNIT 135
7336 130 STREET
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18036	AC-101a

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MAIN FLOOR PLAN (AMENITY)

SCALE : 3/32" = 1'-0"

1511 S.F. / 1404 m²
 1719 56A: 521 S.F. / 48.4 m²
 1707 56A: 464 S.F. / 43.0 m²

REV#	DATE	BY	DATE	ISSUE	ISSUED FOR



C08-0-ELD-AMENITY.dwg

DESIGN :	DATE :
BY :	BY :
SCALE :	SCALE :

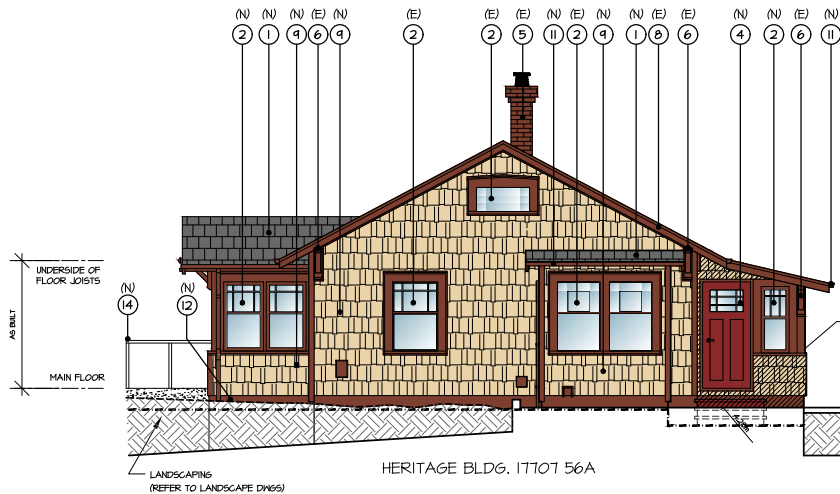
CLIENT :	EKAM HOLDINGS
PROJECT :	5 STOREY APARTMENT BUILDING 1719-1707 - 56A AVENUE, SURREY
SHEET CONTENTS :	BUILDING PLANS

barnett dembek

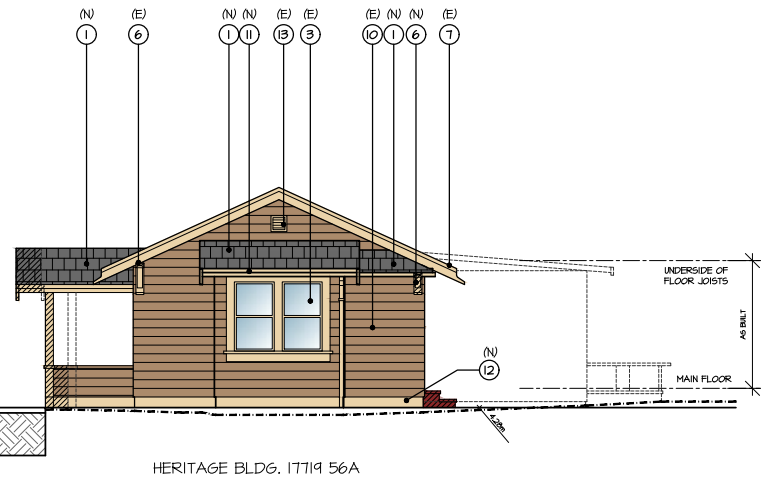
UNIT 135,
7538 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

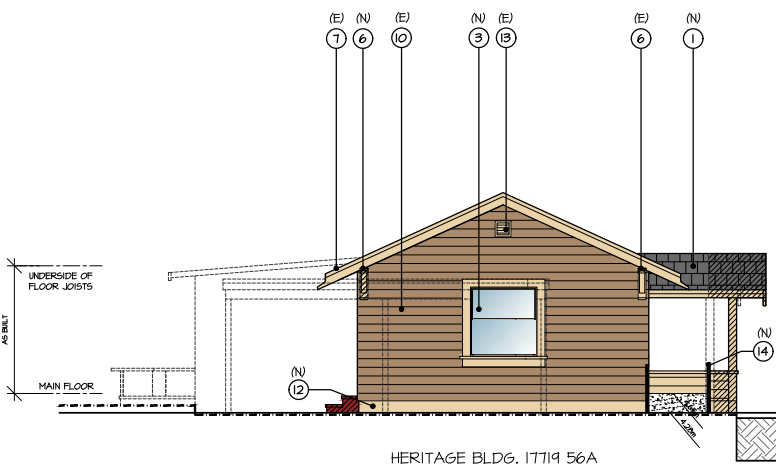
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
12038	AC-3.02b



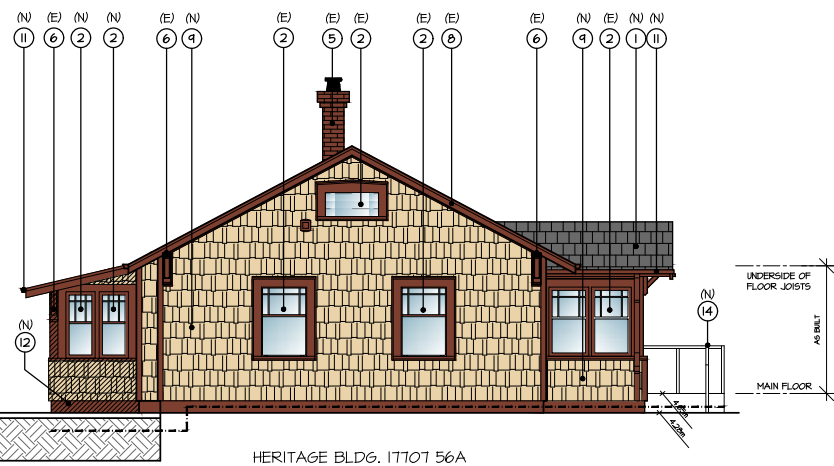
EAST ELEVATION
SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17719 56A



WEST ELEVATION
SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17707 56A

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE UNL.O. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REGD.)

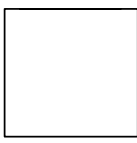
- | | | |
|--|---|---|
| <ul style="list-style-type: none"> ① SAWN CEDAR SHINGLES ② DOUBLE-HUNG WINDOWS C/M MULTI-PANE WOOD SASHES, SILLS & 2X6 TRIMS COLOR - BENJAMIN MOORE "RUSTIQUE" ③ WINDOWS C/M WOOD SASHES, SILLS, & 2X5 TRIMS COLOR - BENJAMIN MOORE "RUSTIQUE" ④ EXTERIOR DOOR C/M WOOD TRIMS AND TEMPERED LITE GLAZING COLOR - BENJAMIN MOORE "GALLENTE" ⑤ BRICK CHIMNEY COLOR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | <ul style="list-style-type: none"> ⑥ WOODEN KNEE-BRACKETS COLOR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" ⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE ⑧ 1/2" WOOD TRIM ON 2X6 WOOD FASCIA COLOR - BENJAMIN MOORE "SAFARI" ④ CEDAR SHINGLE CLADDINGS - VINTAGE STYLE ⑥ LAP SIDING C/M BELL-CAST BOTTOMS COLOR - BENJAMIN MOORE "JACKSON TAN" | <ul style="list-style-type: none"> ⑪ PREFINISHED ALUMINUM GUTTER COLOR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND ⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION ⑬ DECORATIVE WOOD ATTIC VENTS COLOR - BENJAMIN MOORE "SAFARI" ⑭ 3'-0" HIGH 1 1/2" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.) (DESIGNED TO MEET ALL REQ'TS OF B.C.B.G. 2018) COLOR - POWDER COATED, DARK GREY |
|--|---|---|

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

HERITAGE PAINT COLOURS		----- DEMOLISHED
	BENJAMIN MOORE "RUSTIQUE" - AF-275	NEW CONSTRUCTION / RECONSTRUCTION
	BENJAMIN MOORE "GALLENTE" - AF-240	- - - ORIGINAL GRADE LINE
	BENJAMIN MOORE "JACKSON TAN" - H-46	(N) NEW / PROPOSED
	BENJAMIN MOORE "SAFARI" - AF-335	(E) EXISTING

ISSUED FOR	
BY	
DATE	
ISSUE	
REV	
DATE	
BY	
DATE	
BY	
DATE	



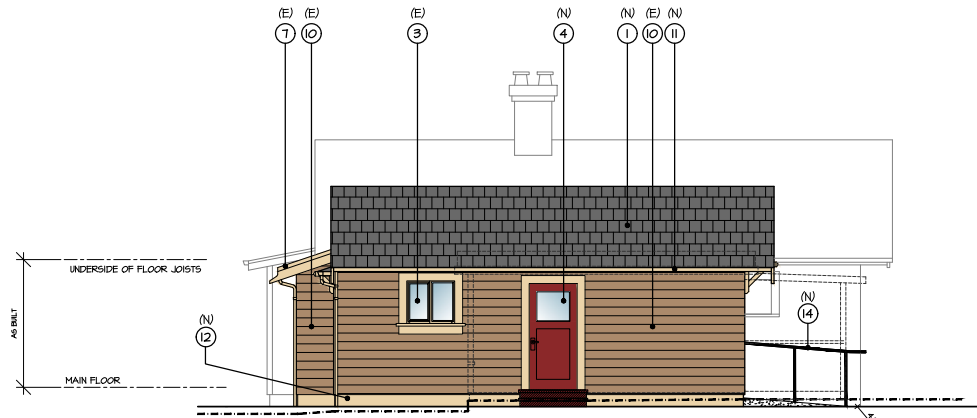
DESIGN :	DATE :
REV :	DATE :
DRAWN :	DATE :
DATE :	DATE :
SCALE :	SCALE :
CLIENT : EKAM HOLDINGS	
PROJECT : 5 STOREY APARTMENT BUILDING	
1764H-17707 - 56A AVENUE, SURREY, B.C.	
SHEET CONTENTS : ELEVATIONS	
INDOOR APARTMENT / HERITAGE BUILDINGS	

barnett dembek

UNIT 135,
7538 130 STREET,
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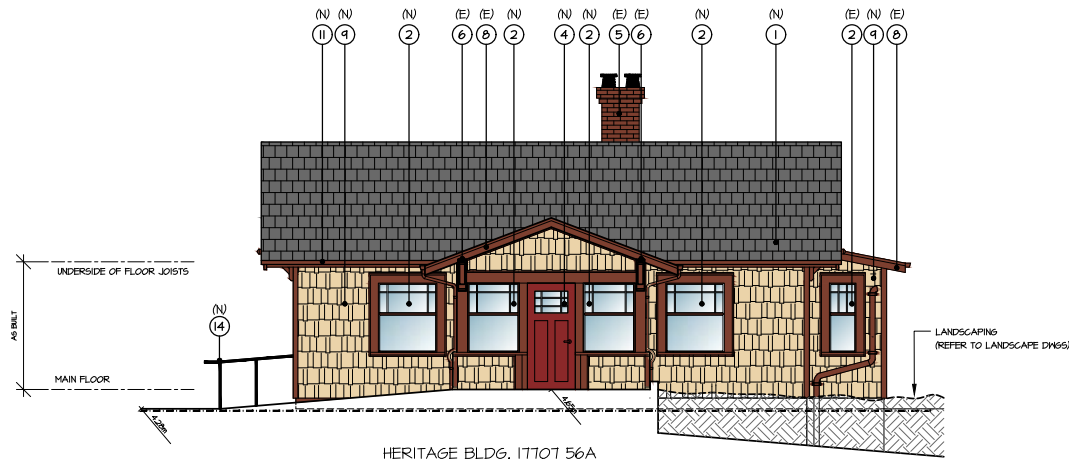
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	AC-4.03
PROJECT NO.	REV. NO.
18038	



HERITAGE BLDG. 17719 56A

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17707 56A

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE UNO. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REGD.)

- | | | |
|---|---|--|
| <p>① SAWN CEDAR SHINGLES</p> <p>② DOUBLE-HUNG WINDOWS C/M MULTI-PANE WOOD SASHES, SILLS & 2X6 TRIMS COLOR - BENJAMIN MOORE "RUSTIQUE"</p> <p>③ WINDOWS C/M WOOD SASHES, SILLS, & 2X5 TRIMS COLOR - BENJAMIN MOORE "RUSTIQUE"</p> <p>④ EXTERIOR DOOR C/M WOOD TRIMS AND TEMPERED LITE GLAZING COLOR - BENJAMIN MOORE "GALLENTE"</p> <p>⑤ BRICK CHIMNEY COLOR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> | <p>⑥ WOODEN KNEE-BRACKETS COLOR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> <p>⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE COLOR - BENJAMIN MOORE "SAFARI"</p> <p>⑧ 1X2 WOOD TRIM ON 2X6 WOOD FASCIA COLOR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> <p>④ CEDAR SHINGLE CLADDINGS - VINTAGE STYLE COLOR - BENJAMIN MOORE "SAFARI"</p> <p>⑩ LAP SIDING C/M BELL-CAST BOTTOMS COLOR - BENJAMIN MOORE "JACKSON TAN"</p> | <p>⑪ PREFINISHED ALUMINUM GUTTER COLOR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND</p> <p>⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION C/M FLASHING COLOR VARIES - REFER TO LEGEND</p> <p>⑬ DECORATIVE WOOD ATTIC VENTS COLOR - BENJAMIN MOORE "SAFARI"</p> <p>⑭ 3'-0" HIGH 1 1/2" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.) (DESIGNED TO MEET ALL REG'TS OF B.C.B.C. 2018) COLOR - POWDER COATED, DARK GREY</p> |
|---|---|--|

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

HERITAGE PAINT COLOURS

- | | |
|--|---|
| <p> BENJAMIN MOORE "RUSTIQUE" - AF-275</p> <p> BENJAMIN MOORE "GALLENTE" - AF-240</p> <p> BENJAMIN MOORE "JACKSON TAN" - H-46</p> <p> BENJAMIN MOORE "SAFARI" - AF-335</p> | <p>----- DEMOLISHED</p> <p> NEW CONSTRUCTION / RECONSTRUCTION</p> <p>--- ORIGINAL GRADE LINE</p> <p>(N) NEW / PROPOSED</p> <p>(E) EXISTING</p> |
|--|---|

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CLIENT: EKAM HOLDINGS

PROJECT: 5 STOREY APARTMENT BUILDING 17647-17759 - 56A AVENUE, SURREY, B.C.

SHEET CONTENTS: ELEVATIONS, INDOOR AMENITY / HERITAGE BUILDINGS

REVISION	DATE	BY	DATE	ISSUE

barnett dembek

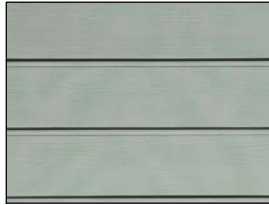
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	AC-4,04

PROJECT NO.	REV. NO.
18038	

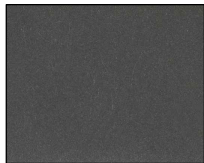
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HORIZONTAL HARDIE-BOARD LAP SIDING
 BENJAMIN MOORE "STEEL WOOL" - 2121-20
 ELEVATIONS FINISH SCHEDULE NO: 2



HARDIE-PANEL VERTICAL SIDING WITH HARDIE REVEAL SYSTEM
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 3, 4



POWDER COATED METAL CANOPY
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 5



POWDER COATED ALUMINUM GUARDRAILS WITH TEMPERED GLAZING PANELS
 BLACK ALUMINUM WITH CLEAR TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO: 7

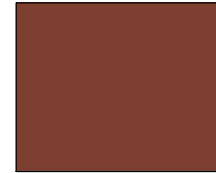
PAINT COLOURS



BENJAMIN MOORE "WHITE DOWN" - CC-50



BENJAMIN MOORE "STEEL WOOL" - 2121-20



BENJAMIN MOORE "RUSTIQUE" - AF-215



BENJAMIN MOORE "JACKSON TAN" - H-46



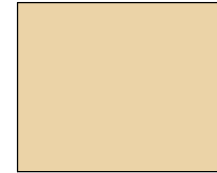
BENJAMIN MOORE "STORMY MONDAY" - 2112-50



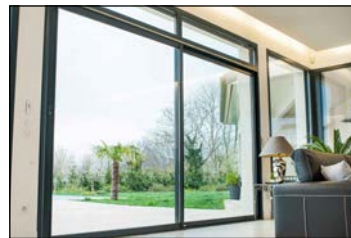
BENJAMIN MOORE "EBONY SLATE" - 2118-30



BENJAMIN MOORE "CALIENTE" - AF-210



BENJAMIN MOORE "SAFARI" - AF-335



ALUMINUM FRAMED RESIDENTIAL WINDOWS & PATIO DOORS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 8



STOREFRONT ALUMINUM FRAMED WINDOWS & DOORS
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 6



POWDER COATED ALUMINUM PRIVACY SCREENS
 BLACK ALUMINUM WITH OBSCURED TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO: 10



BRICK VENEER - HEBRON "SLATE GRAY"
 COLOUR: AS SHOWN IN PICTURE
 ELEVATIONS FINISH SCHEDULE NO: 1



WOOD TRELLIS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO: 9

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REV#	DATE	DRN	OXD	ISSUE	BY	ISSUED FOR



CSB-L-RL200.dwg

DESIGN : BY :	DRAWN : DATE : PLOT : SCALE :
CLIENT : EKCAM HOLDINGS	PROJECT : 5 STOREY APARTMENT BUILDING 1164H-111591 - 56A AVENUE, SURREY
SHEET CONTENTS : MATERIAL BOARD	

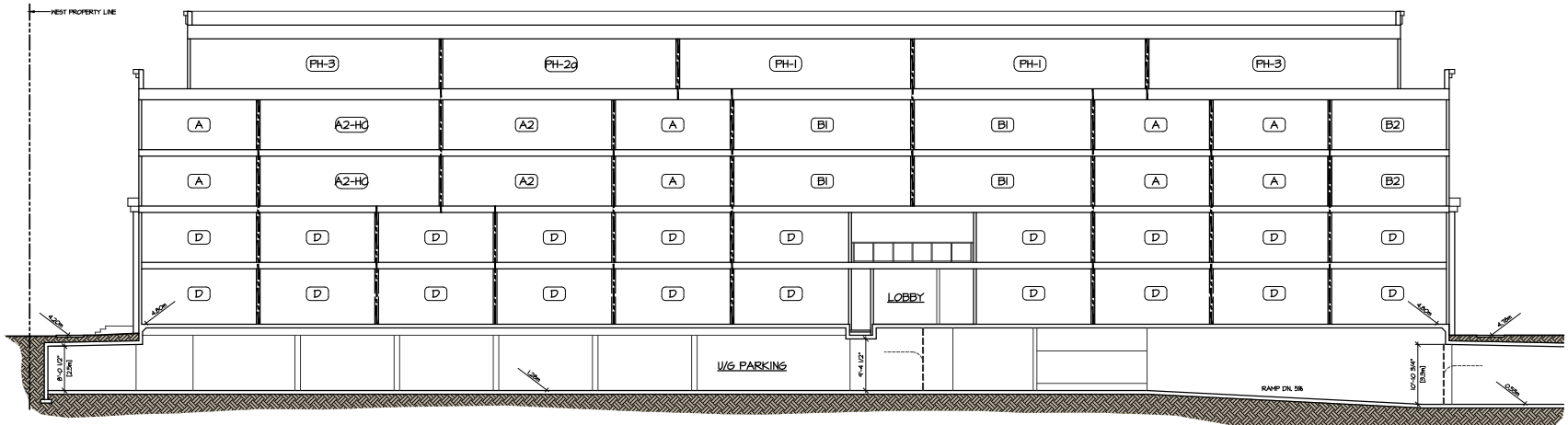
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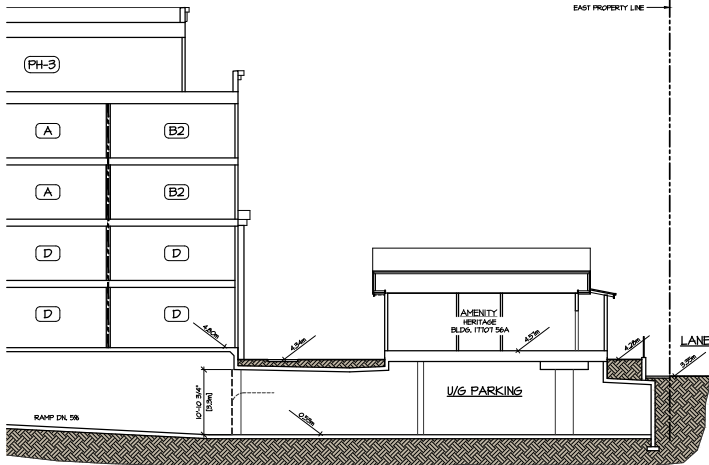
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PROJECT NO.	REV. NO.
12038	AC-4.05

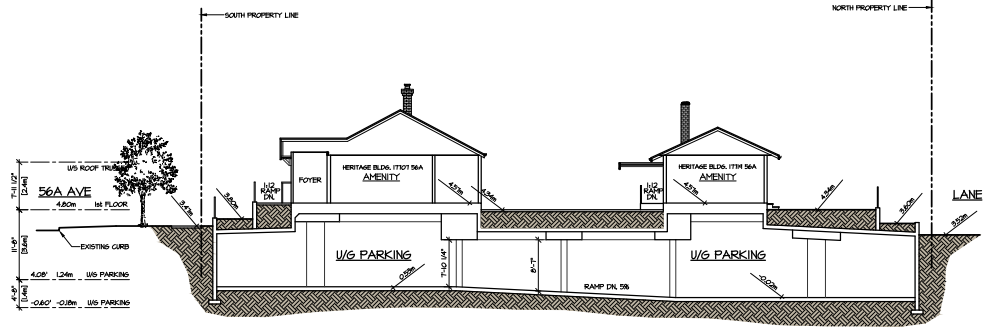
12.56' 22.20' TO PARAPET
 6.150' 20.54m US CEILING
 58.50' 17.65m 5th FLOOR
 47.64' 14.66m 4th FLOOR
 37.21' 13.54m 3rd FLOOR
 26.88' 8.23m 2nd FLOOR
 15.12' 4.60m 1st FLOOR
 14.02' 4.28m US PARKING



SECTION D-D
SCALE: 3/32" = 1'-0"



SECTION D-D (AMENITY)
SCALE: 3/32" = 1'-0"



SECTION E-E (AMENITY)
SCALE: 3/32" = 1'-0"

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REVISION	DATE	ISSUE	BY	ISSUED FOR

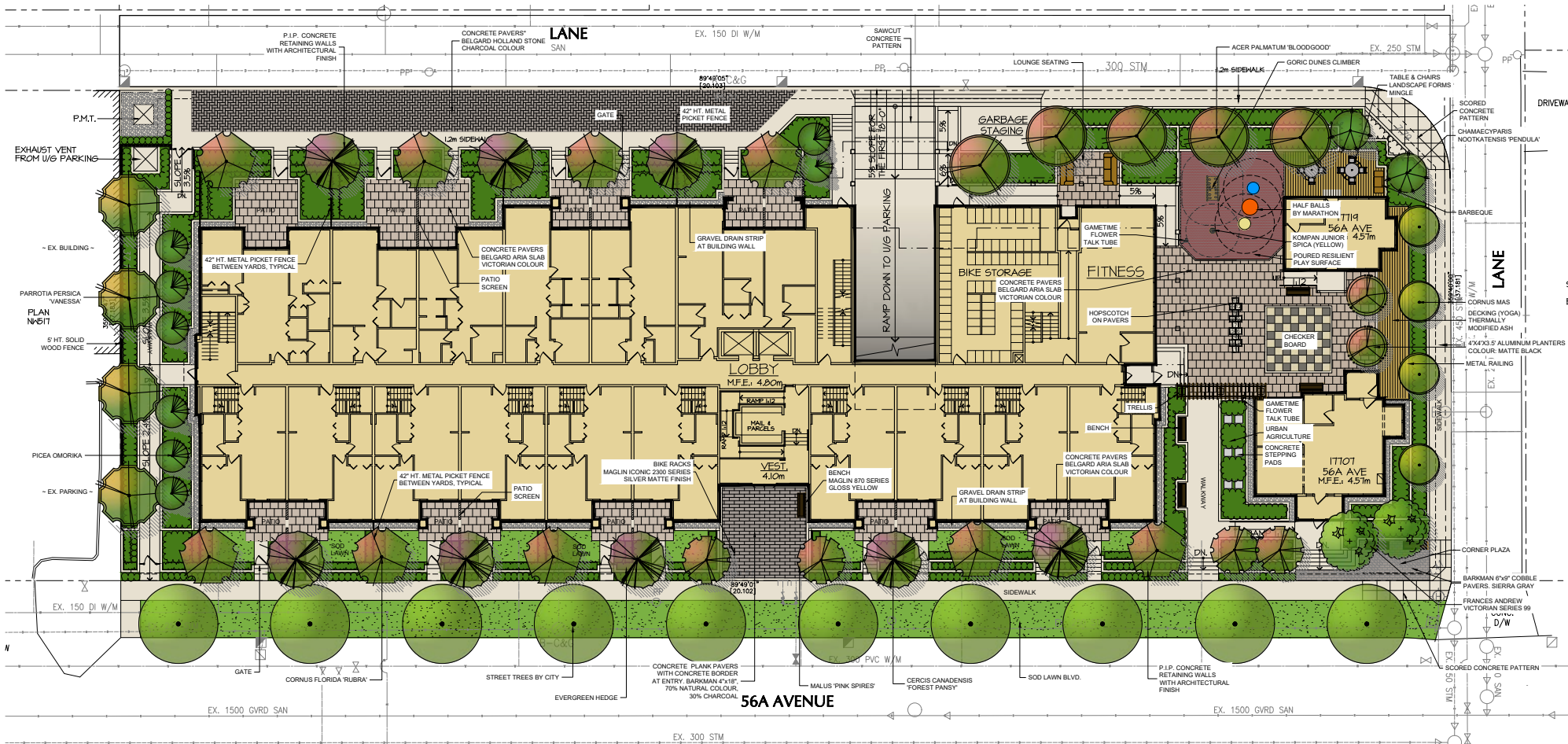
CLIENT : ECOM HOLDINGS
 PROJECT : 5 STOREY APARTMENT BUILDING
 1164H-1171H - 56A AVENUE, SURREY
 SHEET CONTENTS : SECTIONS

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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
12038	AG-5,02



PLANT SCHEDULE		PMG PROJECT NUMBER: 20-065		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	5	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; B&B; UPRIGHT FORM
	2	ACER PALMATUM (1 S)	JAPANESE MAPLE	1.5M HT; B&B
	8	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY (REDBUD)	6CM CAL; 1.8M STD; B&B
	2	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping Nootka Cypress	2.5M HT; B&B
	9	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	6CM CAL; 1.5M STD; B&B
	4	CORNUS MAS	CORNELIAN CHERRY	6CM CAL; 1.8M HT; B&B
	2	KOBUSIA PANICULATA	GOLDEN RAIN TREE	6CM CAL; 2M STD; B&B
	4	MALUS 'PINK SPIRES'	PINK SPIRES FLOWERING CRABAPPLE	6CM CAL; 1.5M STD; B&B
	4	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6CM CAL; 2.2M HT; TREE FORM; B&B
	8	PICEA OMORICA	SERBIAN SPRUCE	3.5M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFERS TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE: LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. ** ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

1	21 SEP 20	NEW SITE PLAN / CITY COMMENTS	DO
2	21 JAN 20	NEW SITE PLAN / CITY COMMENTS	DO
3	21 JUL 23	NEW SITE PLAN / CITY COMMENTS	DO
4	21 AUG 25	SUBMISSION TO ACP	DO
5	21 AUG 25	PLANTING REVISION / ADD DETAILS	DO
6	21 JUL 23	REVISION DESCRIPTION	DO

Appendix "B"

HERITAGE CONSERVATION PLAN

Mooring House and Cottage- 17707 and 17719 56A Avenue

Dewhirst Lessard Consulting Plan, March 2021, Revised May and September 2021

(The " Dewhirst Lessard Consulting Plan ")

(Attachment beginning on the next page)

THE MOORING HOUSE & COTTAGE

17707 and 17719 56 A Avenue, Surrey, B.C.

CONSERVATION PLAN
MARCH 2021, REVISED MAY, SEPTEMBER, AND OCTOBER 2021



**dewhirst lessard
consulting**

2095 Thompson Road, Gabriola BC V0R 1X7
308-1251 Cardero St. Vancouver BC V6G 2H9
dewhirstlessard@shaw.ca

THE MOORING HOUSE & COTTAGE

Address: 17707 & 17719 56A Avenue, Surrey, British Columbia

Original owners: Alexander and Jean Mooring

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APPENDIX: A1: Excerpt from the *Standards and Guidelines for the Conservation of Historic Places in Canada*

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A4: Maintenance program

HERITAGE CONSULTANT: dewhirst lessard consulting

The firm dewhirst lessard is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive past experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations and adaptive reuse projects from design to construction.

André Lessard, the principal in charge, has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC Chapter and its National Board of Directors. He was a member of the Vancouver Heritage Commission in 2009-2010. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in “Building Science for Architectural Conservation” at University of Toronto and Ryerson University.

PREFACE

“Original owners Alexander Mooring, a logger originally from Nova Scotia, and his wife, Jean (Sarah) Matheson, member of a well-known Cloverdale family settled together in Cloverdale, in the early 1930s, and constructed this home and a cottage next door. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated their family to Lone Butte, in the British Columbia Interior. The Brookes family, who purchased the house in 1956, were the longest owners, remaining on title until 1992.” 2019 Heritage Assessment (DL&A)

The Mooring House and Cottage are side by side on 56A Street, in Cloverdale, Surrey. The house was built in 1933 and the cottage in 1934. There are speculations that the cottage was moved into its current location because of its lack of foundations. The houses were last purchased in January 2018. The current owner is proposing to move the two structures at the end of the block next to the lane and build a condominium complex on four adjacent lots. The conservation of the Mooring House and Cottage is part of a Heritage Revitalization Agreement (HRA). The present Conservation Plan comprises an introduction, a condition survey for each of the two structures, and comments pertaining to the proposed development.

LOCATION

Cloverdale is the municipal district for the Mooring House and Cottage. The development of the Cloverdale neighbourhood had a major impact on Surrey Centre and the Five Corners. Cloverdale developed as a north-south community along the tracks of the New Westminster Southern Railway. The three intersecting railways and designation of Clover Valley Road as the Pacific Highway stimulated the growth and development of Cloverdale. Two sawmills operated in Cloverdale while timber supplies lasted.

The opening of the New Westminster and Southern Railway in 1891 saw the rapid growth of Cloverdale. Surrey Centre remained the administrative center of Surrey until a new Municipal Hall was opened in Cloverdale in 1912. Cloverdale's growth eclipsed the development of Surrey Centre. Many of the functions that Surrey Centre had held were taken over by the blossoming Cloverdale.

The Mooring House and Cottage are located in historic Cloverdale, across the street from the recently built Surrey Museum and Archives, which sits north on the 1912 Municipal Hall 's grounds. They are located one block from 176th Street (Cloverdale Road) and one block north of Hwy 10 (Milton Road). Also close by the Mooring's, the Fraser Valley Heritage Railway is located on 176th A Street, south of Hwy 10; the station used to be positioned at the intersection of three major rail tracks. There is a back lane behind the house and cottage accessible from 56A Avenue. At the back of the two properties, is located the Aspire Fine Art School 17720 57 Avenue.

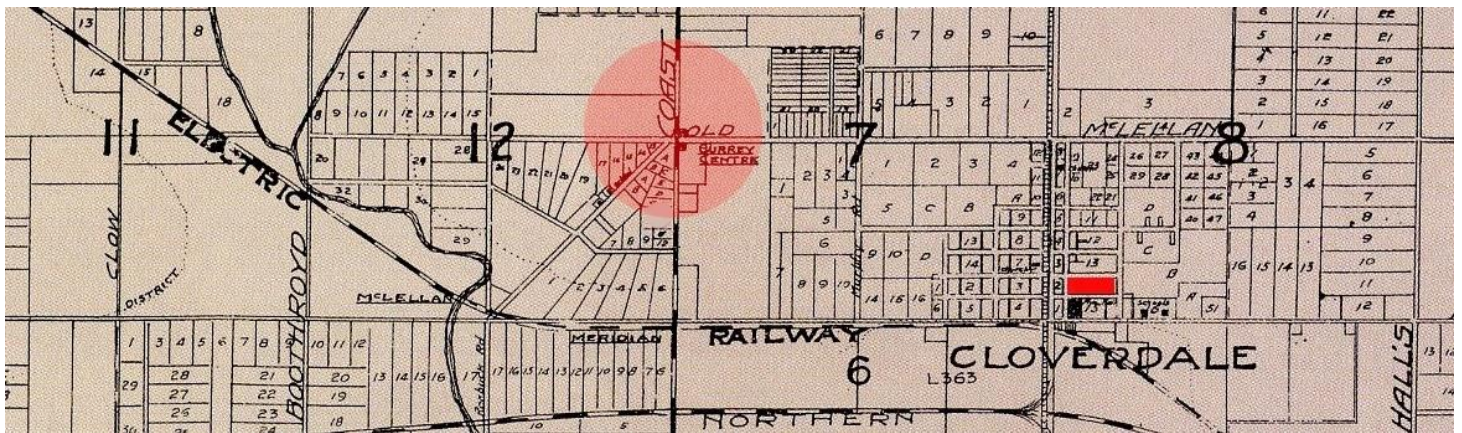


Figure 1: 1920 map showing block 14 in red and “Surrey Center” in shaded circle at 60th St and Old McLehlan Rd (Surrey Museum and Archives Online Access)



Figure 2: 1912 Municipal Hall, one block south of the Mooring house & Cottage (Surrey Archives)

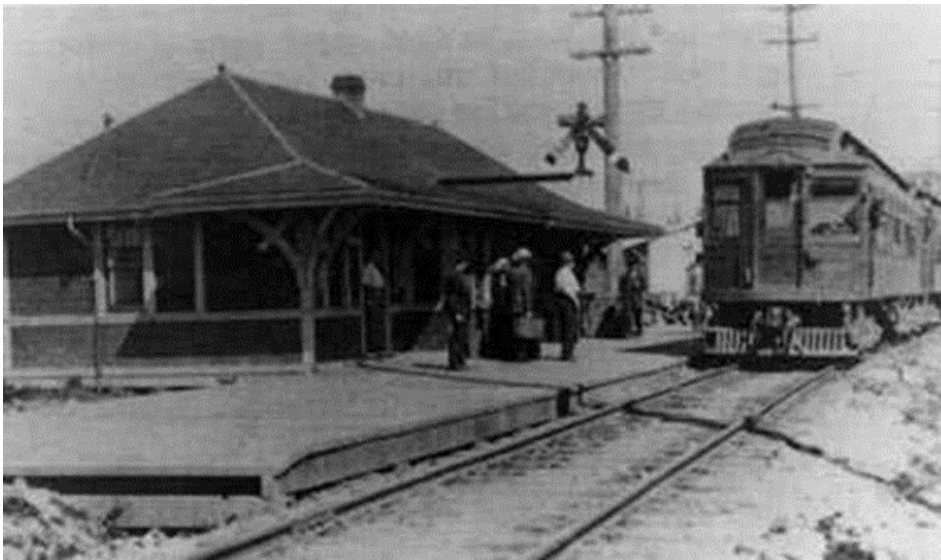


Figure 3: 1911_Cloverdale Station 176 & Highway 10 aka Pacific Hwy and Milton Rd (Surrey Archives)

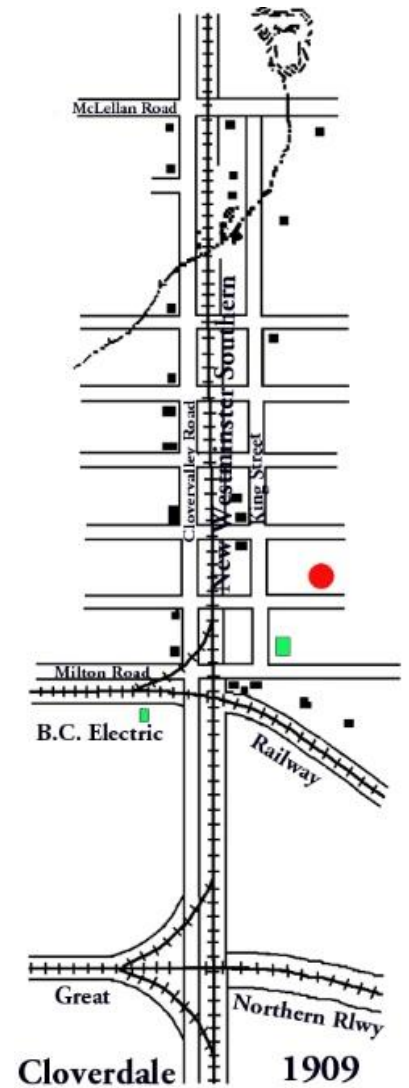


Figure 4: Mooring's in red and Municipal Hall and Train Station in green (clovamaplargeopt)



Figure 5: Current location of the Mooring House and Cottage in red dots before the construction of the Surrey Museum and Archives (Google Map)

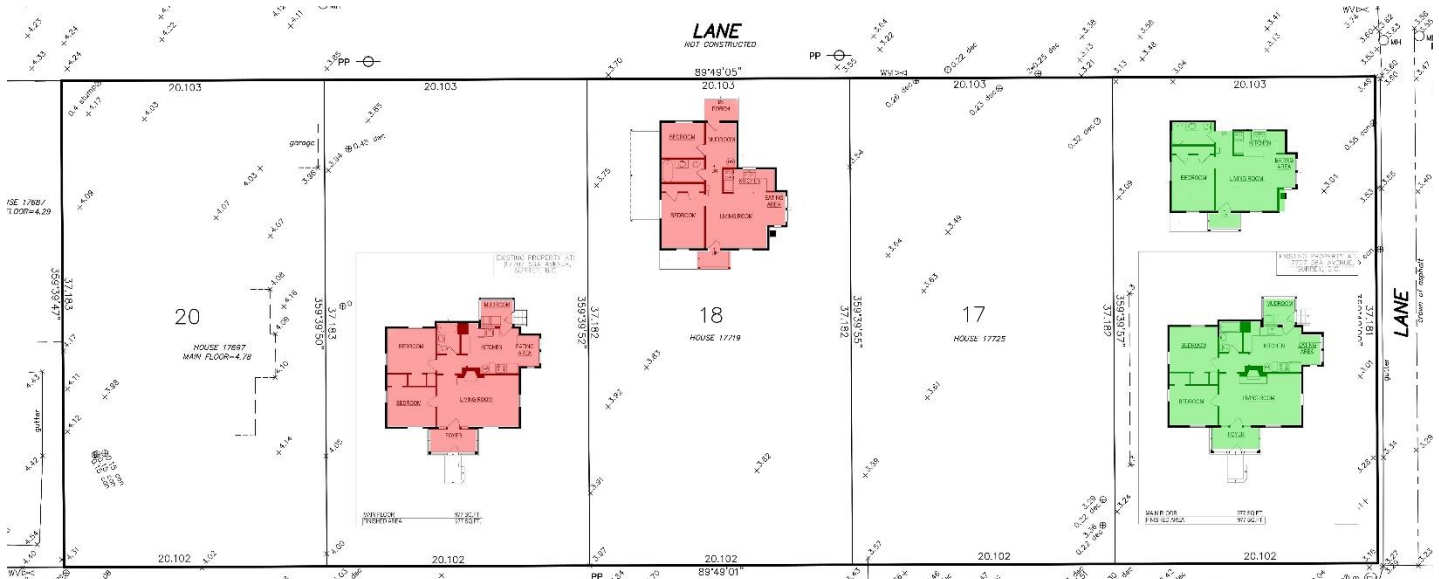


Figure 6: Existing location of Mooring House and Cottage in red with proposed relocation site at the end of the development block in green with the cottage plywood addition removed. This drawing is not intended to inform of the land topography. Scale of buildings and locations are approximative. Base drawing by Dhaliwal and Associates Land Surveying Inc. with house and cottage drawings by Barnett Dembek Architects Inc



Figure 7: Museum exhibit of heritage house and school across the street



Figure 8: Permanent site of Mooring's House and Cottage east end of block

The proposed development comprises a new condominium complex spread over five residential lots. In order to create room for the new complex, the Mooring House and Cottage will be moved at the east end of the five lots, adjacent to an existing lane. There are two heritage structures exhibited by the Surrey Museum across the street on 56A Avenue, which constitutes an appropriate environment to the Mooring House and Cottage. The future site of the Mooring House and Cottage is currently occupied by a contractor's shop which will be demolished. The east end of the development site will be constructed first leaving the house and cottage in its existing location until the new site is ready to receive the relocated Mooring House and Cottage.

Photographs in this report have been taken by dewhirstlessard unless noted otherwise.

THE MOORING HOUSE: 17707 56A AVENUE

Statement of Significance

Partly based on excerpts from the 2019 Heritage Assessment by DL&A

1. Description of the Historic Place

The Mooring House is a modest one-storey wood frame house located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. The house was built in 1933 as a single-family house with a free-standing garage on the side of the property, accessible by a driveway. In 1934, the owner of the house had a cottage moved on his property next door at 17719 56A Avenue.

2. Heritage Value

The Mooring House is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912 establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933, just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932 and constructed their house the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated to Lone Butte, in the interior of British Columbia. In 1956, the Brookes family purchased the house and lived in it until 1992. Mooring died in 1958 in Vancouver.

The one storey Craftsman house is characterized by its side-gabled roof with projecting front-gabled entryway vestibule. The building features cedar shingle siding, decorative knee-brackets, and wooden multi-pane windows typical of its style.

3. Character-defining Elements

The elements that define the heritage value of the Mooring House include the following:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives
- Side gabled massing, main floor close to the ground with crawl space below.
- Cedar shingle cladding and corner pointed end knee-brackets.
- Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows.
- The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets.
- Dining nook projection with shed roof and wooden multi-pane windows.
- Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows.
- Internal brick chimney

BUILDING DESCRIPTION:

17707 56A Avenue is a residential property of 750 sm. (8,052 sf.) which includes a driveway and a garage. The house is currently a rental property. The Mooring House is a side gable wood frame one storey bungalow of 92 sm. (990sf.) supported on shallow strip concrete foundation. It contains a living room kitchen and dining area, two bedrooms and one bathroom. The house has a more recent asphalt shingle roof and is clad with more recent vinyl siding.



Figure 9: The Mooring House view of northeast corner with the garage at the back



Figure 10: The Mooring House view of southwest corner with enclosed back porch and kitchen/dining nook



Figure 11: Main floor plan (drawing by Barnett Dembek Architects Inc.)



Figure 12: Partial west elevation

The Mooring House is a modest bungalow sitting close to grade. The house has a minimal attic, just high enough to include a window at the gable ends, due to its low pitch roof. The style of the house is typical of the post-depression era which we associate with modern suburban architecture. The Mooring House includes several features of the Craftsman Bungalow style, such as prominent roof, especially at the front porch, knee brackets, and cedar shingle cladding. The fancy multi-pane wood window sashes of the Mooring House are also elements expressive of the Craftsman Style.

Following is a description of the Side Gable 1 ½ storey Craftsman Style, including features of the Mooring House representative of the style, highlighted in bold.

Side-gabled one-storey Craftsman: “Swiss cottages” 1910-1930

According to the Vancouver Heritage Foundation

Side-gabled Craftsman houses are usually 1 ½ storeys with a very **prominent roof covering**, an integral porch and a sleeping porch set into the roof on the front elevation within a shed-roofed or gabled dormer or dormers. They have **wide eaves, knee brackets and robust square porch posts with brackets**.

Side-gabled Craftsman houses usually have **cedar shingles above the water table** or otherwise wood lap siding. **Their roofs are usually (asphalt) shingle with brick chimneys**. Like other Craftsman homes, they have **exposed knee brackets**. They may have stone or clinker brick detailing on foundation or porch posts, otherwise features are predominantly wood.

CONSERVATION PLAN: THE MOORING HOUSE; 17707 56A AVENUE

The Conservation Plan consists of a series of recommendations pertaining to the preservation, rehabilitation and/or restoration of the subject historic site. The Conservation Plan is divided into four sections: the first is a condition survey of the character-defining elements and the historic site in general, the second is an assessment of the integrity of the historic structure; the third is a series of recommendations for the conservation and maintenance of the character-defining elements, and the fourth is a review of the proposed development highlighting the impact of the design onto the historic site and building fabric.

IA. Condition Survey

This condition survey comprises of visual observations during the site visit on February 17, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in good condition and well maintained for a building of this age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character-defining elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is based on our observations.

For the purpose of this document, the front façade is the south face, the back façade the north face.

I.1: PROPERTY

The property of the Mooring House is a large lot 20.1 m wide by 37.2 m deep. The lot is relatively flat sloping down 15 cm toward its north side. Except for the front and back lawn, there are no landscape features or substantial trees on the property. The garage is located on the northeast corner of the lot. The garage has been neglected over the years. There is considerable debris around the back of the house.



Figure 13: Front lawn of the Mooring House with the garage at the back and the Mooring Cottage next door on the right



Figure 14: Backyard of the Mooring House with same style garage on the left

I.2: MASSING AND FOUNDATION

Both the main roof and the front porch with low-pitch with deep overhangs are distinctive of the Mooring House massing. The projecting gable ends with the associated knee-brackets characterize the style of the house, while the close relation of the house to grade exemplify the modern residential trend of the 1930's.

The house is supported by a continuous wythe of two courses of concrete blocks sitting on a shallow strip footing. We estimated that the concrete footings were approximately 6" below grade. Generally, the foundation walls are in good condition but a few joints in the masonry have settled and opened. The foundation wall includes several vents which have been filled with plywood closures. One crawl space access half-door is located on the north side of the house.



Figure 15: Front elevation showing low pitch roof, the generous overhang, symmetrical façade, and central front porch



Figure 16: Concrete block onto strip footing with closed vent



Figure 17: Crawl space access half door



Figure 18: Depth of concrete footing



Figure 19: Disjointed concrete block

I.3: ROOFS, SOFFIT AND KNEE-BRACKETS

The asphalt shingle roof is in good condition. The roof overhang includes closed soffit and knee-brackets. Roof moulding and bargeboards are wrapped sheet metal. The soffits are made of perforated aluminum strips which are in good condition. The eaves-troughs are continuous along the roof edges, but some down pipe connections are missing. Knee-brackets are supporting the roof overhang on the sides of the gable ends. There are seven (7) knee-brackets around the three roofs, four at the main roof, two at the front porch, and one at the back porch. There is one missing at the west side of the back porch. The knee-brackets are wooden and painted without any metal wrapping. The brackets are generally in good condition.



Figure 20: Gable end with closed perforated aluminum soffit



Figure 21: Wooden knee bracket northeastern roof corner



Figure 22: Disconnected eaves trough at dining nook



Figure 23: Eaves trough at southwest corner of front porch



Figure 24: Knee-bracket with pointed end at southwest corner of front porch

I.6: CEDAR SHINGLE CLADDING

Currently the house is clad in cream coloured vinyl siding imitating narrow lap siding. The original siding was cedar shingle. There is some evidence that two layers of shingles exist one on top of the other, the later painted and the original left natural. Further investigation is required to establish the true assembly of the original exterior wall. The vinyl siding is in good condition, whereas the shingles beneath is expected to be in poor condition.



Figure 25: Painted cedar shingles behind vinyl siding and unpainted shingles behind

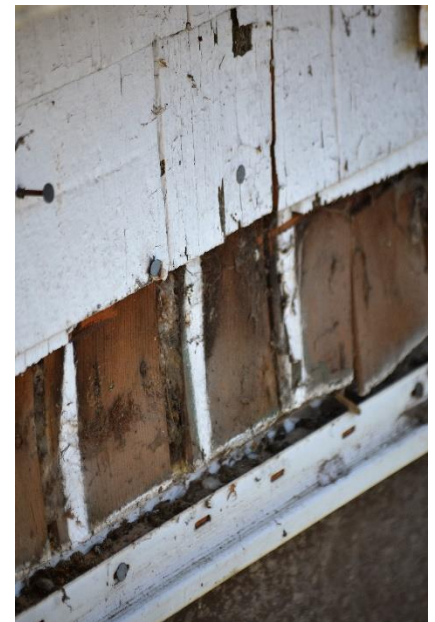


Figure 26: Detail of shingles

I.7: ENCLOSED FRONT AND BACK PORCHES

The front porch was designed to be open, with its own gable roof, balustrade, closed ceiling, and square corner posts mounted with knee-brackets. Exterior finishes inside the porch confirms this assumption. The window style which is the same as the rest of the house, indicates that the porch was enclosed early on, maybe upon completion of the construction. It was common in those days to purchase a house design yet adjust it to one's wishes during construction. Posts, balustrade entablature, and headboard are painted wood and in fair condition, while the paint is peeling from neglect. The eaves troughs are routed in the front of the porch thus distracting from the knee-brackets. The closed ceiling of the front porch is made of tongue-&-groove boards; the ceiling is in good condition. The wooden steps and landing at the front porch are incongruous with the house and expediently built, which confirms that the porch was designed to be open without the requirement for a landing. The back porch stairs have aluminum railings also incongruous to the style of the house.



Figure 27: Enclosed front porch



Figure 28: Original side windows of the front porch



Figure 29: Front porch front door and interior with newer cut-glass door on the right

The back porch was designed to be open, with a shed roof extending from the main roof at a different pitch, balustrade, closed ceiling, square corner posts mounted with knee-brackets, although one is missing. Exterior cedar shingles inside the porch confirms this assumption. The windows, however, are a different style, which indicates that the enclosure may have been done at a later date. The windows, posts, entablature, and the one knee-bracket are painted wood. The back porch is generally in good condition.



Figure 30: Enclosed back porch with shed roof

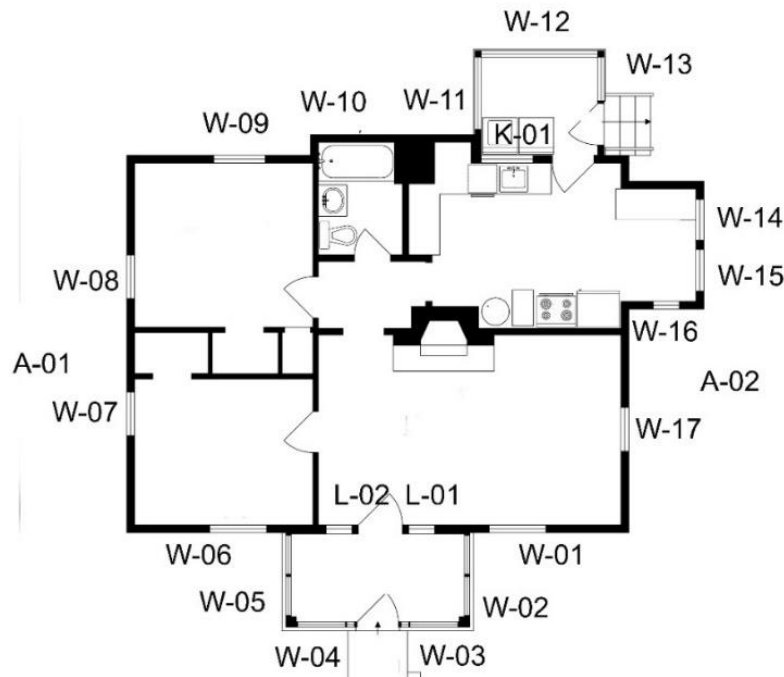


Figure 31: Back porch details of knee bracket, door, and windows



Figure 32: Interior of back porch with kitchen window on the left and cedar shingles on the wall

I.8: WINDOWS AND PREMINARY SCHEDULE



SOUTH ELEV	WINDOW TYPE	SASH	CASING	CONDITION
W-01	Slider	Replaced sashes	Wood	Good
W-02	Wooden Fixed	Multi-pane upper sash	Wood	Fair
W-03	Fixed	Single plain sash	Wood	Fair
W-04	Fixed	Single plain sash	Wood	Fair
W-05	Wooden Fixed	Multi-pane upper sash	Wood	Fair
W-06	Slider	Replaced sashes	Wood	Good
L-01 (living room)	Awning	Single multi-pane sash	Wood	Fair
L-02 (living room)	Awning	Single multi-pane sash	Wood	Fair
WEST ELEV				
W-07	Bottom awning	Replaced sashes	Sheet metal clad	Good
W-08	Bottom awning	Replaced sashes	Sheet metal clad	Good
A-01 (Attic)	Blind	Single sash	Sheet metal clad	-
NORTH ELEV				
W-09	Slider	Replaced	Sheet metal clad	Good
W-10	Slider Blind Window	Replaced	Sheet metal clad	-
W-11	Fixed	Top and bottom sashes	Wood	Fair
W-12	Bottom slider	Transom sash	Wood	Fair
W-13	Fixed	Top and bottom sashes	Wood	Fair
K-01 (Kitchen)	Slider	Wood sashes	Wood	Good
EAST ELEV				
W-14	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-15	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-16	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-17	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
A-02 (Attic)	Fixed	Single multi-pane sash	Sheet metal clad	Fair

The typical original window at the Mooring House is a wood frame double-hung window with multi-pane upper sash. The muntin pattern is not common and reflects the creative trades of the Craftsman Style. Also noteworthy are the arched attic window casings. The windows south of the front porch, windows of the back porch including the kitchen interior window, and W-01 are fixed or sliders. The exterior casing is plain but wide. Several of the exterior casings have been wrapped in sheet metal, but all painted wood sashes are intact. The same is true of the sills: several are painted wood. Putty remains consistently in single glazed sashes. There are two blind windows, A-01 and W-10. Several windows include more recent storm sashes and bug screens. Exposed painted wood has been neglected and needs to be refinished.



Figure 33: front door with W-03-02-01



Figure 34: Interior view of W-05



Figure 35: W-14-15 at dining nook



Figure 36: Interior view of W-14-15



Figure 37: : Attic window A-02



Figure 38: W-17



Figure 39: Living room window L-01



Figure 40: W-16



Figure 41: W-117 interior view



Figure 42: Interior sill detail



Figure 43: Interior head detail



Figure 44: wooden sill



Figure 45: W-02



Figure 46: Wooden sill & jamb

I.9: FRONT AND BACK DOORS

The four doors are panel wood doors. The exterior front and back porch doors are protected by aluminum screen doors, and are in good condition. The interior doors, full lite off the living room, and half lite off the kitchen, are also in good condition.



Figure 47: Interior front door and side windows



Figure 48: Exterior front door with cut-glass lite



Figure 49: Interior front door



Figure 50: Exterior back door



Figure 51: Exterior back door inside

I.10: INTERNAL BRICK CHIMNEY

The exposed brick chimney shaft features a corbelled top with a twin concrete flue cap. The masonry shaft is in fair condition while the corbel is in poor condition. There is evidence that the corbel has been patched with mortar. There is a roof flashing and counter flashing at the chimney, but they are in poor condition.



Figure 52: Exposed chimney shaft viewed from 56A Avenue



Figure 53: Exposed chimney shaft viewed from the backyard

I.11: RESIDENTIAL FLOORS

There are several distinctive features of the interior space. The brick fireplace, including its wooden decorative mantle, and the arched dining nook off the kitchen. In addition, the patterned fir floor of the living room and some of the vintage light fixtures.



Figure 54: Dining nook interior framing and interior back porch door



Figure 55: Living room fireplace



Figure 56: decorative wooden fireplace mantle

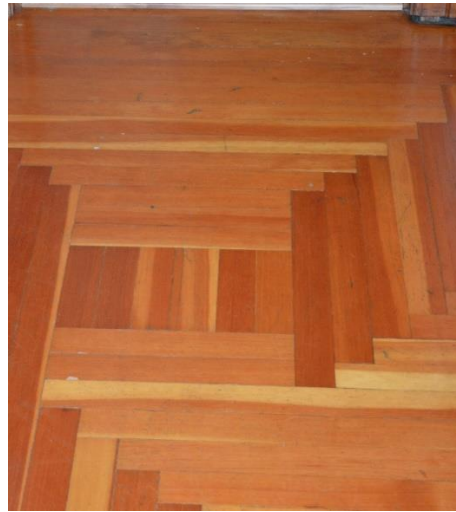


Figure 57: Pine floor pattern

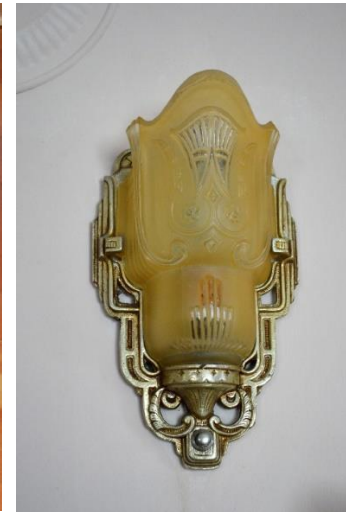


Figure 58: Vintage sconce

I B. Integrity

This section is a review of the integrity of some aspects of the house, as to whether they are original or not. The review consists in exposing the design and material incorporated in the 1933 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- Although the porches may have been enclosed after its original conception, the windows of the front porch are typical of the Mooring House would therefore have been enclosed shortly after. The front porch roof is original.
- The back porch was also enclosed at a later date, since the interior cladding of the porch is cedar shingles. The back porch roof may not be original since its shed roof is an awkward extension of the main one.
- The original roof was asphalt shingles but has since been replaced with new shingles. The original material may be similar to the garage asphalt shingles.
- The vinyl siding was applied over the original cedar shingles.
- Several window sashes have been replaced with metal sashes of different types.
- Exterior doors are not original.

I C. Recommendations

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

Generally, the recommendations are pertaining to the street facades, most visible and representative of the historic significance of the heritage building: yet these recommendations also apply to the visible back and side elevations.

1. **Property; Restoration:** The Mooring House will be moved to the end of the block adjacent to existing lane. The orientation of the structure should remain the same as the existing and its setback from the street in the same range. Sufficient space around the relocated structure should represent the original setting of the buildings on a traditional suburban lot.
2. **Massing; Preservation:** The one storey side gable Mooring House with its front and back porch should be maintained. The low pitch of the gabled roof must also be maintained along with the pronounced roof overhang. The level of the main floor with respect to the existing grade (concrete slab of the relocated structure) should be maintained.
3. **Roof, soffits, bargeboards and knee-brackets; Preservation/Restoration:** The roof structure and decking should be inspected by a qualified roof inspector. The roof structure in the attic should be reviewed by a qualified engineer with awareness of the proposed design of the interiors. Replacing the existing roof asphalt shingles with a more vintage type of asphalt shingles, like the ones at the garage roof, should be considered at the time of upgrading. Roof moldings and bargeboards should be restored to the original wooden material of matching kind and size. New bargeboard tails typical of the Craftsman style should be considered (see Mooring Cottage barge-board tails). The closed roof soffits should be replaced with tongue & groove boards or left open with exposed rafters, like the ones of the Mooring Cottage (removal of existing perforated aluminum may show evidence of the original soffit). The existing wood knee-brackets should be removed, refinished, and replaced in the existing location. A new bracket, matching the existing, should be provided for the missing one at the back porch.

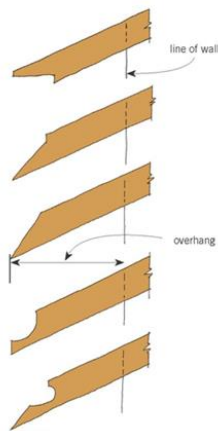


Figure 59: 1914 _ 3572 Welwyn Street Vancouver on the left, and 1929, Nels Johnson 10274 on River Road in Delta BC on the right

Figure 59: Bargeboard tail designs (renovate-org-nz-bungalow)

Above are bargeboard tail designs typical of the Craftsman bungalow style, and two examples of the house style, one from 1914 and the other from 1929. The mooring House was built in 1933.

4. **Foundation wall; Restoration:** The floor structure and support in the crawl space should be reviewed by a qualified structural engineer aware of the proposed use of the house. The foundation walls will be lost in the relocation of the house. While siting on a new concrete slab, the concrete block foundation walls matching the existing should be reinstated. A new water-table flashing should be provided to drain the wall and protect the foundation. The ground adjacent to the current foundation walls should be free of ponding. The new slab of the relocated house should be free of ponding next to the block foundation with sufficient evacuation or sloping surface. Venting openings should be restored as well, at least in appearance.

5. **Cedar shingle cladding; Restoration:** The existing vinyl cladding must be removed entirely. The cedar shingle cladding should be restored. Close investigation of the original exterior wall assembly must be completed before restoration, in order to inform the work. Type of shingles, length of shingles and spacing should match the original, unless it is found technically inadequate. The appearance of the cladding should match as much as possible the original. Traces of bell cast bottom, which is typical of the style, may be found in the discovery phase; in that case the bell-cast bottom of the siding should be reinstated.
6. **Front porch; Rehabilitation:** The front porch should be maintained as existing. Improvements of the style of the front door and side windows should be considered. A more generous landing and appropriate steps in front of the porch should be considered. Its roof, overhang and brackets must be preserved. The vinyl siding at the interior walls of the front porch must be removed and the restoration of the original wall surfaces should be considered.
7. **Back porch; Rehabilitation:** The enclosure of the back porch may or may not be maintained depending on the proposed use and ease of access. The existing interior siding should be exposed along with the existing kitchen window. The wooden stairs and railing should be upgraded to a more appropriate design. The shed roof, porch floor and, balustrade though, should be maintained.
8. **Windows; Rehabilitation/Restoration:** The windowsills and casings wrapped in metal sheeting should be removed and replaced with material matching the original, to the best of our knowledge, in kind and size. The windows should be reviewed by a window conservator, or a specialized trade in order to complete the condition survey and make recommendations. Sliders and awning windows should be replaced with double-hung windows matching the originals including the upper multi-pane sashes. Existing original and restored windows should be rehabilitated, stripped of paint and refinished. Sull or storm sashes should be added to existing and restored single glazed windows. New weather stripping should be added as well. Double-hung windows must be completely rehabilitated including cords, pulleys, and weight for smooth operation. The design of the wide exterior casings must be maintained, repaired if required or replaced with material matching existing in kind, size, and design. Actual wood frame of windows should be preserved where possible; these should be protected during relocation and sashes removed temporarily. Existing sashes and frames must be stripped and refinished; sashes should be removed and reinstalled whereas frames should be rehabilitated in situ. Owner should consider maintaining original window hardware.
9. **Internal brick chimney; Restoration:** Structural engineer and mason should review the brick chimney shaft, inside and above the roof, in order to restore the fireplace and chimney when relocated. Existing material should be reused if possible. Damaged material should be replaced with matching the existing. The fireplace should be dismantled carefully and restored in its new location including its wooden decorative mantle. The chimney corbel must be maintained.
10. **Residential floor; Preservation:** The interior layout should include the separation of porches and main floor. The arched separation between dining nook and kitchen must be maintained. Consideration should be given to keeping the internal layout where possible with the living room wood flooring, including baseboards, and ceiling moulding. Window interior casings should be maintained. Interior doors and trim should be maintained where practical.
11. **Painting; Rehabilitation/Restoration:** We recommend coating the cedar shingles a light colour stain or shingles left natural. Trim colour should be selected from a historical colour palette (see Benjamin Moore historical colour selection below) and should contrast with the siding colour. Mock-up of colours on site should be available for owner to approve; final selection by the consultant will be confirmed at the time of the mock-up.

The owner should be entitled to choose the colour of the house from the palette below. The owner may consider Safari (AF 335) as the main colour and Rustique (AF 275) as the trim and window casing colour.

1930-1945 The Paint Colors

This era ushered in the New Deal and World War II. Women began entering the workforce, as the men were at war. Out of necessity, things were more streamlined and practical. Depression glass had an impact on the hues of interiors, where “safe” colors were being chosen. In contrast to these more reserved interiors, Dorothy Draper’s bold colors and designs provided a hope that good times would come again . . .

The Palette: 1930 to 1945

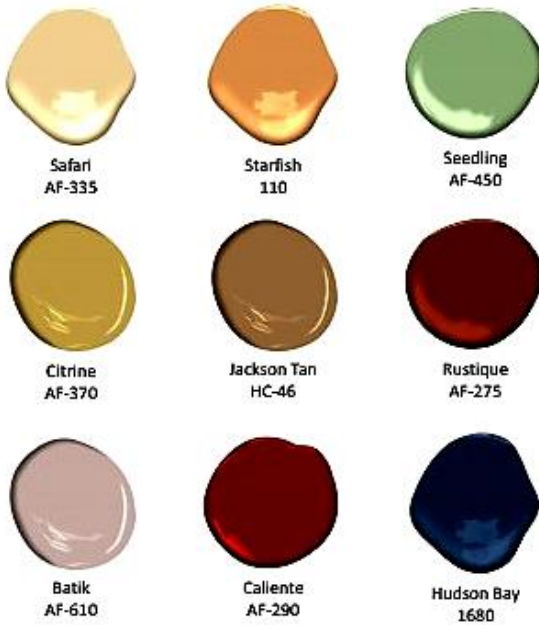


Figure 60: Benjamin Moore 1930-45 Colour Palette; <https://thedecorologist.com/the-history-of-paint-color-in-benjamin-moore-palettes/>

THE MOORING COTTAGE: 17719 56A AVENUE

Statement of Significance

Partly based on excerpts from the 2019 Heritage Assessment by DL&A

1. Description of the Historic Place

The Mooring Cottage is a modest one-storey wood frame structure located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. In 1934, the cottage was moved to the site at the back of its property. The owners lived in a house, they had built the year earlier, on the adjacent property at 17707 56A Avenue.

2. Heritage Value

The Mooring Cottage is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912, establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933 a year before the cottage was moved next door just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932, constructed their house and had the cottage moved in its current location the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in Cloverdale until 1945. Mooring died in 1958 in Vancouver.

The one storey Craftsman Cottage is characterized by its side-gabled roof with projecting front-gabled porch. The building features wooden knee-brackets, bargeboards, and lap siding typical of its style.

3. Character-defining Elements

The elements that define the heritage value of the Mooring Cottage include the following:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives.
- Set-back from the street, side gabled massing, main floor close to the ground set on block piers.
- Wood lap siding with mitered corners.
- Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets.
- Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade.
- Dining nook projection with shed roof, and adjacent roof skirt.
- Symmetrical front fenestration, wood window frames with interior and exterior casings, double-hung window style, and attic vents.

BUILDING DESCRIPTION:

17719 56A Avenue is a residential property of 750 sm. (8,052 sf.) which includes a large setback from the street. Currently the cottage is vacant and boarded-up. The Mooring Cottage is a side gable wood frame one storey bungalow of 61 sm. (657sf.) supported on concrete blocks. It comprises two bedrooms and one bathroom. The house has an asphalt shingle roof and is clad with wide wooden lap siding.



Figure 61: Southwest corner of the Mooring Cottage with porch on the right and trellis on the left



Figure 62: Northeast corner of the Mooring Cottage



Figure 63: East side dining nook



Figure 64: Plywood addition on the back of the cottage



Figure 65: Cottage plan with addition in red (drawing by Barnett Dembek Architects Inc.)

The Mooring Cottage is a modest bungalow sitting close to grade. The house has a low-pitched roof, just high enough to include a vent at the gable ends. The style of the house is typical of the post-depression era associated with modern suburban architecture. The Mooring Cottage includes several features of the Craftsman Bungalow style, such as prominent roof, especially at the front porch, knee-brackets and decorative bargeboard tails.

Following is a description of the Side Gable 1 ½ storey Craftsman Style, including features of the Mooring House representative of the style, highlighted in bold.

Side-gabled one-storey Craftsman: “swiss cottages” 1910-1930

According to the Vancouver Heritage Foundation

Side-gabled Craftsman houses are usually 1 ½ storeys with a very **prominent roof covering** an integral porch and a sleeping porch set into the roof on the front elevation within a shed-roofed or gabled dormer or dormers. They have **wide eaves, knee brackets and robust square porch posts with brackets.**

Side-gabled Craftsman houses usually have cedar shingles above the water table or otherwise **wood lap siding.** **Their roofs are usually (asphalt) shingle with brick chimneys.** Like other Craftsman homes, they have **exposed knee brackets.** They may have stone or clinker brick detailing on foundation or porch posts, otherwise features are predominantly wood.

CONSERVATION PLAN: THE MOORING COTTAGE: 17707 56A AVENUE

2A. Condition Survey

This condition survey comprises of visual observations during the site visit on February 17, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in fair condition and not maintained for a building of that age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is based on our observations.

For the purpose of this document, the front façade is the south face, the back façade the north face.

2.1: PROPERTY

The Mooring Cottage sits at the back of its lot at equal distance from the side property lines. The property is free of trees and grass is wild all around the cottage. The low wet land contributes to the deterioration of the wood structure.



Figure 66: Setback of the Mooring Cottage with the house on the left and neighbour on the right



Figure 67: Ponding on the grounds of the cottage

2.2: MASSING AND FOOTINGS

The Cottage is dominated by its wide roof and the large overhang of the front porch. The cottage practically sits on the ground with only concrete block footings to support its wood frame. A continuous base board covers the floor structure. We found evidence of floor structure rotting through, inside the house. The chimney has its own free-standing footing. The cottage partial foundation blocks are precarious and unsustainable.



Figure 68: The Mooring Cottage



Figure 69: Concrete block footing next to chimney foundation



Figure 70: plywood base board and block footing

2.3: ROOFS, SOFFIT, BARGEBOARDS, AND KNEE-BRACKETS

The cottage roof is covered with tar paper on top of older asphalt shingles. Roof mouldings are visible in most locations. The bargeboards are extending beyond the eaves of the roof. The tails of the bargeboards are still existing but in poor condition. The roof deck underside is open and the rafters are exposed along the roof eaves. Knee-brackets are located at the bottom corners of the gable ends. Only two knee-brackets have survived at the Mooring cottage. Front porch and dining nook do not have brackets. A partial roof skirt is visible at the northeast corner of the cottage. Exposed rafters, and knee-brackets are in good condition. The attic space is vented with one small pressed metal grille at each gable end.



Figure 71: Tar paper on top of asphalt shingles



Figure 72: Exposed underside of roof decking



Figure 73: Exposed rafters, bargeboard tail, and knee-bracket



Figure 74: Tar paper roofing, bargeboard, and knee-bracket



Figure 75: partial skirt adjacent to dining nook projection



Figure 76: Tar paper roofing and chimney flashing

2.6: LAP SIDING

The cottage cladding is comprised of wide wooden lap siding boards. With tapered corners. There is slight flare of the bottom siding, but it is hardly noticeable. The siding is in good condition. The siding is interrupted at the plywood addition on the west side and northeast corner; there is no evidence of the original siding existing within the addition enclosure.



Figure 77: Typical lap siding with plywood addition behind



Figure 78: Tapered siding corner

2.7: FRONT PORCH

The front porch has a closed ceiling made of tongue & groove boards. It has a plywood floor six inches above grade. Wooden planking has been loosely placed in front of the porch entrance. Its tympanum and balustrade are clad with lap siding. Its roof is supported by plain square columns. The south and east face have been infilled with wood lattice. The front porch is in good condition.



Figure 79: Front porch entrance



Figure 80: Front porch lattice screen

2.8: WINDOWS PRELIMINARY SCHEDULE



SOUTH ELEVATION	WINDOW TYPE	SASHES	CONDITION
W-01	Double-hung	Replaced with PVC	Good
W-02	Double-hung	Replaced with PVC	Good
WEST ELEVATION			
W-03	Fixed	Replaced with PVC	Good
W-04	Blind	Replaced with PVC	Good
NORTH ELEVATION			
W-05	Slider	Replaced with PVC	Good
W-06	Slider	Replaced with PVC	Good
EAST ELEVATION			
W-07	Duo of Double-hung	Replaced with PVC	Good
W-08	Fixed	Replaced with PVC	Good

Typical windows at the Mooring Cottage are wood frame double-hung windows with wide exterior casing. Most of the interior casings are still existing, but all sashes have been replaced with PVC sashes, including sull sashes vented to the outside. The exterior sill and bottom plates are generally in good condition except for the W-07 which has a cracked sill. Exposed wood casing painted finish is peeling. There are eight windows including a blind one on the west side. The window was blocked in order to construct the back plywood addition.



Figure 81: W-02 Front of cottage double-hung window



Figure 82: W-02 Interior face of double-hung window



Figure 83: Pair of double-hung windows at dining nook W-07



Figure 84: Sill and window post

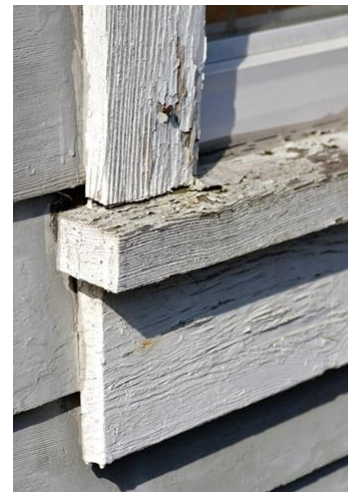


Figure 85: Bottom plate and sill end

2.9: FRONT DOOR

The front door is a wooden panel door with a half lite and mail slot and vintage hardware. The door is in poor condition.



Figure 86: Exterior face of front door with mail slot

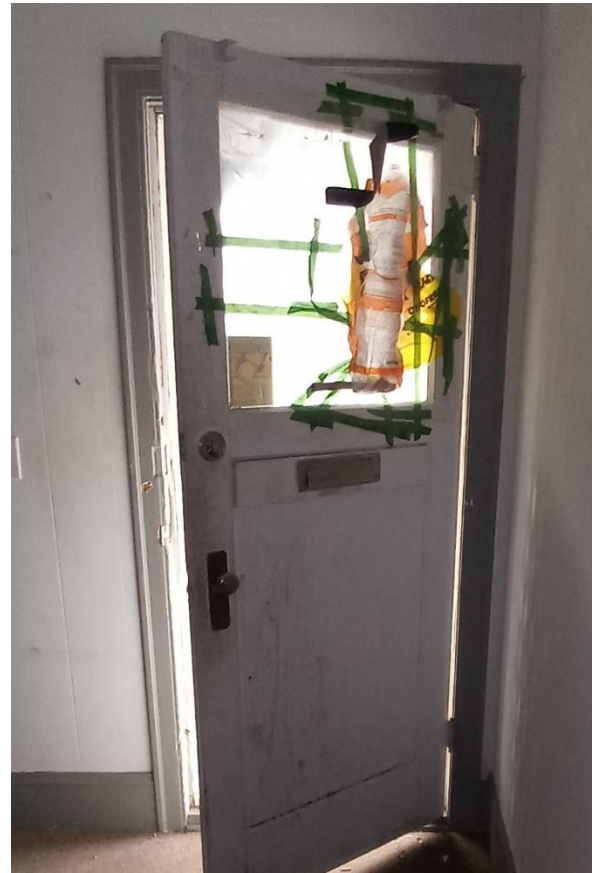


Figure 87: Interior face of front door

2.10: EXTERNAL BRICK CHIMNEY

The chimney is a free-standing brick chimney likely servicing a pot belly stove. It has been integrated poorly through the cladding right in front of an existing window. The masonry shaft below the roof is in good condition but the brick joints above the roof are in poor condition.



Figure 88: Brick chimney adjacent to ding nook



Figure 89: Chimney in front of window

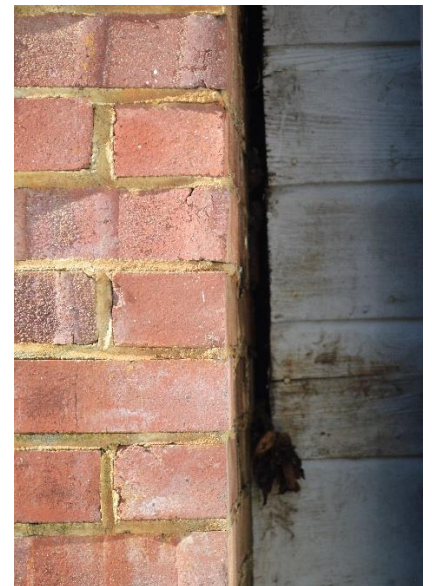


Figure 90: inserted chimney into siding

2.11: PLYWOOD ADDITION

A poorly constructed addition occupies the back of the cottage. Its cladding consists of plywood and odd boarding. The edge of its shed roof sits on top of the eaves of the main roof. The addition has been neglected inside and out.



Figure 91: Plywood addition with PVC slider window



Figure 92: Change of siding on west wall

2.12: RESIDENTIAL FLOORS

The interiors of the cottage are rudimentary, and in very poor condition, like an abandoned cottage.



Figure 93: Rotten floor under kitchen sink



Figure 94: Kitchen and dining nook

2B. Integrity

This section is a review of the integrity of some aspects of the cottage, as to whether they are original or not. The review consists in exposing the design and material incorporated in the 1934 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- Window sashes: All sashes have been replaced with PVC double-hung or slider
- Front porch trellis: The trellis has been added on top of balustrade in two faces of the porch.
- Chimney: The brick chimney is free standing next to the east façade. It is badly integrated with the siding and sits in front of a window. It was added for a woodstove; there are no fireplaces in the cottage.
- Plywood addition: The addition at the back accommodates a new bathroom and bedroom. It is poorly built and expedient.

2C. Recommendations

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the *Statement of Significance*, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
 - **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
 - **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.
1. **Property; Restoration:** The Mooring Cottage will be moved to the end of the block adjacent to existing lane. The current orientation of the structure should remain, and its setback from the street in the same range as the current siting. Sufficient space around the relocated structure should represent the original setting of the buildings on a traditional suburban lot.
 2. **Massing; Preservation:** The one storey side gable Mooring Cottage with its front porch should be maintained; the low pitch of the gables roof must also be maintained along with the pronounced roof overhang where it occurs. The level of the main floor with respect to the existing grade (concrete slab of the relocated structure) should be maintained.
 3. **Roof, soffits, bargeboards and knee-brackets; Preservation/Restoration:** The roof structure should be reviewed by a qualified engineer, aware of the proposed use of the restored cottage. The existing roof deck should be reviewed by a qualified roof inspector. The existing asphalt shingles and tar paper roofing should be replaced with a vintage asphalt shingles (See the Mooring House garage asphalt shingles). Original wooden roof moldings and bargeboards should be rehabilitated where possible or replaced with material of matching kind and size. New bargeboards including matching tail design typical of the Craftsman style should replace the damaged ones; entire length of boards must be used for replacement; patching is not acceptable. The open roof soffits should be maintained including exposed rafters and roof deck boards. The existing wood knee-brackets should be removed, refinished, and replaced at existing location, unless damaged, in which case it should be replaced with material following the same design with matching material of the same kind and size as existing. New brackets (2) matching the existing should be provided at the missing locations at the northeast and northwest corners.

4. **Foundation wall;** *Restoration:* The floor structure should be reviewed by a qualified engineer, aware of the proposed use of restored cottage. New continuous foundation walls should be provided. The exposed part of the foundation walls should correspond to the current level of the house from grade. This should be completed in the new permanent location of the cottage. Representation of its original footing could be considered.
5. **Lap siding;** *Rehabilitation/Restoration:* The existing lap siding should be maintained. Damaged boards should be replaced with material matching in kind and size with the existing. Where replaced, entire length of siding boards must be provided; patching is not acceptable. Traces of bell cast bottom, which is typical of the style, may be found in the discovery phase; in that case the bell-cast bottom of the siding should be reinstated. Matching siding material and installation should be provided at the back of the cottage where it was removed due to the plywood addition. If original material is found during demolition of the addition, the consultant should be notified; the material should be salvaged if possible or replaced with material matching the rest of the Mooring Cottage siding.
6. **Front porch;** *Rehabilitation:* The front porch should be maintained as existing except for the wooden lattice screens which should be removed. Its roof, overhang and columns should be preserved. The balustrade should be maintained and where damaged, restored with siding material matching the existing. Patching of existing material is not acceptable.
7. **Plywood addition;** *Rehabilitation:* The plywood addition as shown on floor plan should be removed entirely. It was poorly constructed and not compatible with the historic structure. See *figure 66*. The original cottage enclosure should be reinstated, including original siding (See recommendation #5).
8. **Windows;** *Rehabilitation/Restoration:* The wooden window frames, sills and exterior casings should be maintained where possible. Wooden sashes should replace all current PVC sashes. New weatherstripping and sash cords should also be provided. Since we are not aware of multi-pane sashes at the Mooring Cottage, single pane glazing is acceptable. Existing frames and casings, including the interior casings should be rehabilitated. Double-hung cord, pulley and ballast should also be rehabilitated. Frames and casing should be stripped and refinished. A window conservator or a specialized trade should complete the window condition survey and make the appropriate recommendations.
9. **External brick chimney;** *Restoration:* The chimney should be removed, and damaged siding and roof repaired. Damaged boards should be replaced in their entire length; patching is not acceptable.
10. **Residential floor;** *Preservation:* The interiors of the cottage have no heritage significance and should be removed or renovated to meet current expectations. The front door should be replaced with a similar wooden panel door with a half lite and vintage hardware. Removal of the ceiling and exposing the roof structure should be considered, after the review of a structural engineer. If overall cross bracing is necessary, the consultant should review the structural design before completion. Plumbing, electrical, heating and ventilation should be reinstated according to the proposed use.
11. **Painting;** *Rehabilitation/Restoration:* We recommend that the siding be stripped of existing paint, which may contain hazardous materials such as lead. The siding and trim colours should be refinished in colours typical of the 1930's and should be selected from a historical colour palette (see Benjamin Moore historical colour selection below). Mock-up of colours on site should be available for owner to approve; final selection by the consultant will be confirmed at the time of the mock-up.

The owner should be entitled to choose the colour of the cottage from the palette below. The owner may consider Jackson Tan (H-46) as the main colour and Safari (AF 335) as the trim and window casing colour.

1930-1945 The Paint Colors

This era ushered in the New Deal and World War II. Women began entering the workforce, as the men were at war. Out of necessity, things were more streamlined and practical. Depression glass had an impact on the hues of interiors, where “safe” colors were being chosen. In contrast to these more reserved interiors, Dorothy Draper’s bold colors and designs provided a hope that good times would come again . . .



Figure 95: Benjamin Moore 1930-45 Colour Palette; <https://thedecorologist.com/the-history-of-paint-color-in-benjamin-moore-palettes/>

3. Review of the Proposed Development

The proposed development comprises a five-storey multi family condominium complex over a single level underground parkade and includes the relocation of the Mooring House and Cottage at the east end of five lots adjacent to an existing lane. The house and cottage will be one behind the other. The relocated buildings along with the associated open space will be used as common facilities for the residents of the condominium complex. We support this project with the following notes:

- Having reviewed the proposed relocation site, we support the new location.
- It is our understanding that the construction project will be phased with the construction of the partial parkade at the east end of the property that will become the base foundation for the relocated house and cottage; the house and cottage will be relocated to their permanent new location prior to the construction of the rest of the parkade and new condominium project on the rest of the site.
- The structure of the Mooring House and Cottage must be secured before moving. Porches and windows must be secured by temporary removal or integration to the body of the structure. Cross bracing of the entire frame will be required and should be reviewed by a qualified structural engineer.
- The floor of the new infill building should correspond to the current level of the ground adjacent to the Mooring House and Cottage, in order to represent the relationship of the buildings to the existing grade.
- We recommend that a Heritage specialist be retained to perform periodic site review when alterations are in progress to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site in order to adjust the conservation strategy, if deemed necessary.

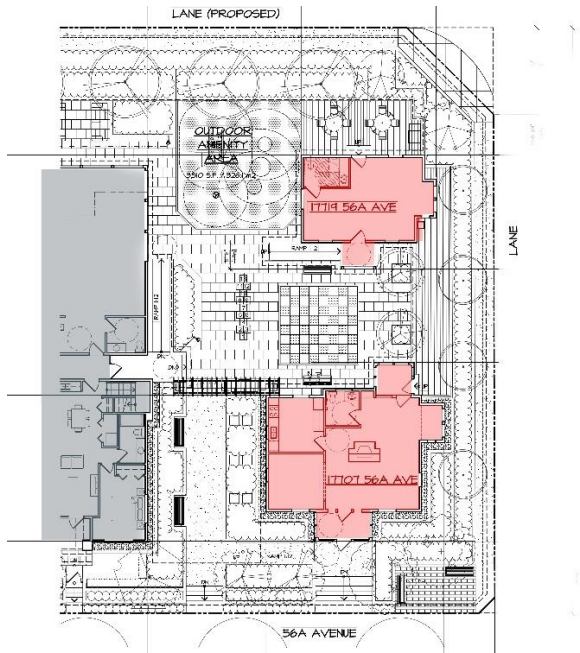


Figure 96: Proposed relocation of the Mooring House & Cottage with new development on the left (drawing by Barnett Dembek Architects Inc.)

“Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.” *Standards and Guidelines for the Conservation of Historic Places in Canada*

The proposed relocation of the house and cottage eastward will maintain their existing orientation. With respect to the specific layout of the two historic houses, the main house will be set back from the property line consistent to the original siting with sufficient space between the two structures to allow for appropriate landscaping.

In conclusion, we consider the Mooring House and Cottage a significant cultural asset to the neighbourhood and the City. The preservation and adaptive reuse of the Mooring House and Cottage will contribute greatly in the cultural environment of Cloverdale.



Figure 97: proposed Mooring House front elevation viewed from street (drawing by Barnett Dembek Architects Inc.)



Figure 98: Proposed Cottage back elevation without porch viewed from lane (drawing by Barnett Dembek Architects Inc.)



Figure 99: Proposed East Elevation of Mooring House and Cottage viewed from side lane (drawing by Barnett Dembek Architects Inc.)



Figure 100: Proposed East Elevation of new development

We find the proposed restoration of the Mooring House and Cottage in keeping with the recommendations of the conservation plan, including the proposed colours for the historic houses. We find the proposed sawn cedar shingle cladding of the Mooring House roof and the Mooring Cottage roof an acceptable historic material.

The proposed landscaping around the house and cottage will enhance the character of the heritage structures. We also find the massing of the proposed new development compatible with the historic structures including the choice of colours. The meeting room at the east end ground floor of the new building will also ensure a resident's presence next to the historic structures. We support the preservation of the Mooring House and Cottage, as well as the implementation of the project.

END OF CONSERVATION PLAN

APPENDIX:

AI: Standards and Guidelines for the Conservation of Historic Places in Canada *excerpt*

The Standards for the Conservation of Historic Places in Canada are intended to promote responsible conservation practices that help protect Canada's irreplaceable historic places. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about which features of a historic place should be maintained, and which can be altered.

Applying the Standards

Conservation in the context of these Standards refers to retaining the heritage value of historic places and extending their physical life. Retaining the heritage value of historic places is primarily ensured through *interventions* that have a physical effect on the tangible elements of a historic place that do not obscure damage or destroy character-defining elements. The latter consist of the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of the historic place. It is useful to consider conservation under three distinct headings: *Preservation*, *Rehabilitation* and *Restoration*, while recognizing that a given conservation project will often include a combination of these activities.

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to *Preservation*, and they must all be applied to a *Preservation* project. Since protection, maintenance and stabilization are at the core of *all* conservation projects, all nine *Preservation* Standards must be applied to *any* conservation project.

Preservation should be considered as the primary treatment when (a) the historic place's materials, features and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; (b) depiction during a particular period in its history is not appropriate; and (c) a continuing or new use does not require extensive alterations or additions. *Preservation* tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore most appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

Rehabilitation involves the sensitive adaptation of a historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and/or additions. Three Standards relate to *Rehabilitation* and all three must be applied to a *Rehabilitation* project, in addition to the nine *Preservation* Standards.

Rehabilitation should be considered as the primary treatment when (a) repair or replacement of deteriorated features is necessary; (b) alterations or additions to the historic place are planned for a new or continued use; and (c) its depiction during a particular period in its history is not appropriate. *Rehabilitation* can revitalize historical relationships and settings and is therefore most appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

Restoration involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Two Standards relate to *Restoration*, both of which must be applied to a *Restoration* project, in addition to the nine *Preservation* Standards.

Restoration may be considered as the primary treatment when (a) the significance of a historic place during a particular period in its history *significantly* outweighs the potential loss of existing materials, features and spaces from other periods; (b) there is substantial physical and documentary or oral evidence to accurately carry out the work; and (c) contemporary alterations and additions are not planned. *Restoration* is most appropriate when strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements based on detailed historical evidence. Before the work begins, a particular period (i.e., the restoration period) must be selected and justified, and a plan for *Restoration* should be developed.

General Standards (all projects)

1. Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place*, and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the heritage value and *character-defining elements* when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

A2- Building Code Equivalencies

Excerpts from the BC Heritage Branch Web site:

The B.C. Building Code is a regulation made under the Municipal Act. It is based, in large measure, on the National Building Code of Canada. The code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from qualified sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards.

The Building Code Recognizes Heritage Buildings. The B.C. Building Code defines heritage buildings as the following: Heritage buildings are buildings that are legally recognized by the Province or local government as having historic, architectural or cultural value for the Province or their communities. To qualify as a heritage building under the Building Code, a building must be designated or recognized by the Province or the municipality where the site is located.

There are relaxations in the Building Code for Heritage Buildings. The B.C. Building Code supplies a table of "Alternate Compliance Methods" for heritage buildings. The Building Code states:

It is generally recognized that the Building Code was primarily written for new construction and provides for a performance level that is significantly higher than what exists for many older buildings. To apply present Building Code requirements to existing buildings, in many cases, is impractical and with Heritage Building may compromise historic appearances or authenticity. Therefore, the Table of Alternate Compliance Methods was developed to provide alternate methods for complying with the performance level intended by the Building Code.

For Alternate Compliance Methods Table: Contact your local major bookstore or visit the reference section at your local library for a copy of the "B.C. Building Code".

A3- BC Energy Efficiency Act

Heritage BC post

New regulations for the manufacture of windows, doors and skylights in B.C. took effect in 2009. Brought in under the BC Energy Efficiency Act, the regulations are part of a broad provincial strategy to reduce energy consumption in buildings. While designated buildings, thus buildings included in the heritage register by the Council under the Vancouver Charter, are exempt from the regulations, other heritage buildings are not. Existing windows and doors in heritage buildings may be refurbished without reference to the regulations, but replacement windows and doors will have to conform to the new rules. This includes storm windows.

A4- MAINTENANCE

In keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, a maintenance program should be implemented ensuring the good condition and the longevity of the historic site. Vigilance and constancy are essential dispositions in maintaining an historic site.

Light cleaning and minor repairs can be achieved on a regular basis. Major repairs, alterations and changes to the appearance of the historic site require a Heritage Alteration Permit issued by the City. <http://vancouver.ca/home-property-development/heritage-alteration-permit.aspx>

All interventions to the character-defining elements of a historic site must comply with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*. The following is an inspection checklist to help the owner and/or caretaker of the historic site to identify potential problems with his/her property; this is not an exhaustive list and is meant as a general guide of some of the type of issues met as a normal life-cycle of a residential property:

Site: CURRENT CONDITION

Drainage; rain run-off away from the building foundations, sidewalks and neighbours

Dampness: excessive accumulation of dampness harboured in crawl spaces

Roots: assailing of roots onto structures and waterproof membranes

Trees: organic droppings on roofs and eavestroughs from adjacent trees

Branches: friction and intrusion of branches onto buildings elements

Plants: crowding of exterior walls and surfaces by plants and vines

Paving: cracks and organic growth in paving stones and pavements

Steps: level and railing safe and secure

Services: safe and minimum number of exposed conduits and wires

Vermin: hoarding of material harbouring insects and vermin

Critters: enclosed spaces secured from easy access

Birds: roosting ledges subject to guano accumulation

Foundation: CURRENT CONDITION

Walls: exposed foundation walls may cause water penetration

Spalling: cracks and dislodged paving material

Movement: foundation walls shrinking and/or settling

Slanting: crooked and slipping footings due to unstable ground

Level: uneven foundation due to irregular settlement

Deflection: sagging transom and lintels due to unstable structure

Salt: presence of efflorescence in foundation walls

Moisture: rising dampness around foundations indicates poor drainage

Ponding; puddles adjacent to building will find its way into walls

Spray: splashing of water onto building causes deterioration

Exterior woodwork:

Grade: soiling of siding may be caused by water absorption at grade

Condensation: surface temperature difference creates condensation

Fungi: evidence of surface mold and/or moss is caused by dampness

Climate: bleached and/or soiled due to environmental conditions

Shape: dimensional deformation and warping of planks and lumber

Split: cracked wood and fallen knots indicates movement and dryness

Surface: soiling by rust, mildew or bleeding may require refinishing

Fasteners: rust and displaced nails and screws indicates movement

Joints: opened joints between wood members indicates movement and/or shrinkage

Paint: blistering, alligatoring and peeling caused by age, application or layering

Doors and Windows:

Glass: missing or broken

Putty: missing or aged putty may indicate loose glass

Vents: ease of sash operation and condition of hardware

Condensation: surface deterioration may be due to condensation

Frame: dimensional deformation and warping of frame prevent smooth operation

Head: rain-water wash may be due to missing or ineffective top flashing

Sills: weathering sills may be due to soiling and sitting rain water

Drip: rain-water wash below window may be due to missing or defective drip

Sealant: missing or aged sealant between siding and frames may cause leaks

Weather-stripping: continuous weather-stripping is effective in keeping weather out

Hardware: locks, latches and closers functioning properly

Flashing and eavestroughs:

Flashing: missing or defective at top of ledges, walls adjacent to roofs, chimneys, roof valleys and ridges

Eavestroughs: secure, continuous and allowing easy flow; watertight and connected to downspout

Rain-water leader: continuous and watertight evacuating into drainage system away from building

Roof:

Surface: moss and soiling is visible when the roofing membrane or shingles holds humidity

Eaves: the leading edge is wet when water accumulates and ponds at eaves

Shingles: displacement of shingles indicates poor fastening

Popping: nails and/or screws protruding indicates movement

Flashing: continuity of flashing at area of discharge

Woodwork: damage from leaks at closed soffits, barge board and roof trim

Attic:

Insulation: wet insulation indicates roof leaks or missing vapour barrier

Ceiling: soiled gypsum boards at upper ceiling indicates leak or condensation

Ventilation: excessive humidity in attic indicates lack of ventilation

Birds: guano in the attic indicates presence of rodents or birds

Structure: structural movement causes roof leaks

Cleaning:

Method: use non-abrasive cloth and soap to clean exterior elements of historic site