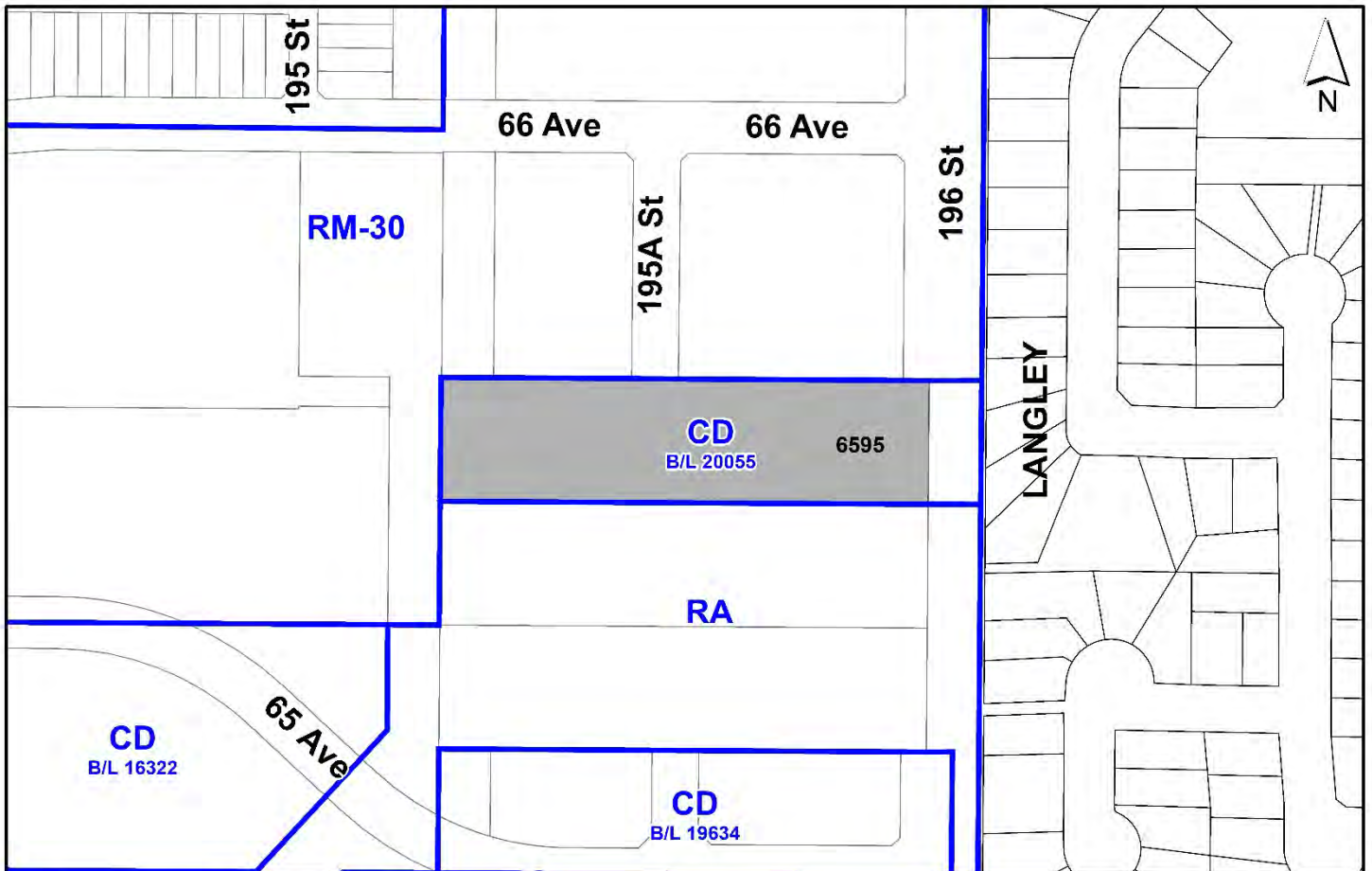


**PROPOSAL:**

- Amend CD By-law No. 20055 to permit an approved 5-storey and 6-storey apartment development to be constructed on one "hooked" lot as opposed to 2 separate lots, and to accommodate interior modifications to the buildings.

**LOCATION:** 6595 - 196 Street  
**ZONING:** CD  
**OCP DESIGNATION:** Multiple Residential  
**NCP DESIGNATION:** 30-70 u.p.a (High Density)



### **RECOMMENDATION SUMMARY**

- By-law Introduction and set date for Public Hearing for:
  - Amending CD By-law No. 20055.

### **DEVIATIONS FROM, PLANS, POLICIES, OR REGULATIONS**

- None.

### **RATIONALE OF RECOMMENDATION**

- The proposed CD By-law Amendment will allow the proposed apartment buildings to be constructed on one lot (hooked across 195A Street) rather than on 2 separate parcels. This will also allow for the creation of one strata and shared use of amenity facilities in both buildings.
- There are no changes to the overall density, massing, height, setbacks, or exterior form and character of the proposed buildings already approved by Council.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend Comprehensive Development By-law No. 20055 and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer.

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Undeveloped Acreage Property	Multiple Residential / 30-70 u.p.a (High Density)	CD (Bylaw No. 20055)
North:	Townhomes	Urban / 22-45 u.p.a (High Density)	RM-30
East (Across 196 Street):	Township of Langley, single detached houses	N/A	N/A
South:	Acreage Property with Single Family Home	Urban / 22-45 u.p.a (High Density)	RA
West:	Park and Townhouses	Urban / 15-25 u.p.a. (Medium-High Density)	RA and RM-30

## Context & Background

- The subject site is located on the west side of 196 Street between 64 Avenue and 66 Avenue and is currently designated Multiple Residential in the OCP and "30-70 u.p.a (High Density)" and "Public Open Space / Park" in the East Clayton NCP. The site is currently zoned Comprehensive Development Zone (CD) (By-law No. 20055) which obtained Final Adoption from Council on October 19, 2020 under Development Application No. 7917-0349-00.
- The CD By-law (No. 20055) currently permits a 5-storey and a 6-storey apartment building on 2 separate lots, one on either side of 195A Street, which is being dedicated and constructed as part of the development application (No. 7917-0349-00).
- The current CD By-law No. 20055 allows a floor area ratio (FAR) of 2.15 and unit density of 264 dwelling units per hectare (107 u.p.a) on one lot (west of 195A Street) and a FAR of 1.95 and unit density of 237 dwelling units per hectare (97 u.p.a) on the other lot (east of 195A Street).

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing to amend the "Comprehensive Development Zone (CD)" (Bylaw No. 20555) to facilitate the development of 2 apartment buildings (one 5-storey and one 6-storey) on one lot (hooked across 195A Street) instead of two as originally intended.
- It is noted that an additional lot on the west side of the site is being conveyed to the City for a park.
- The decision by the applicant to develop the two apartment buildings on one "hooked" lot as opposed to 2 separate lots will allow for the creation of a single strata for the two buildings.
- Creating a single strata will allow the applicant to provide the required amenity area across both buildings (as the amenity areas can be shared). This provides an opportunity to reconfigure the indoor amenity areas, resulting in slightly less indoor amenity area in one building and more in the other. Overall, the proposed development's provision of indoor amenity area exceeds the City's requirements.
- The applicant is also proposing some internal modifications to the unit configurations within the proposed buildings, however; no changes are proposed to the overall density, massing, height, setbacks, or exterior form and character of the proposed buildings already approved by Council.
- In order to accommodate the applicant's proposal, a CD By-law Amendment is required to:
  - Allow a blended density of 2.05 floor area ratio (FAR) and unit density of 247 dwelling units per hectare (100 u.p.a) across the site – to accommodate one development lot instead of two; and
  - Redefine the setbacks to reflect one development lot instead of two.
- It is noted that the proposed interior modifications to the buildings result in more family-oriented 2 Bedroom + Den and 3 Bedroom units than the previously approved application. Overall, the dwelling unit count is being reduced by 2 units.
- The proposed modifications to the buildings do not require Council approval of a Development Permit amendment, as the exterior of the buildings are consistent with the originally approved designs.
- Updated development data is provided in the following table:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	8,945 m <sup>2</sup>
Road Dedication:	3,520 m <sup>2</sup>
Net Site Area:	5,425 m <sup>2</sup>
<b>Number of Lots:</b>	2

	Proposed
<b>Building Height:</b>	West Building 4-5 storeys (max 18.48 metres from average existing grade) East Building 4-6 storeys (max 19.63 metres from average existing grade)
<b>Unit Density:</b>	243.32 UPH / 98.47 UPA
<b>Floor Area Ratio (FAR):</b>	2.05
<b>Total Floor Area</b>	11,076.83 m <sup>2</sup>
<b>Residential Units:</b>	132
Studio:	1
1-Bedroom:	39
1-Bedroom + Den	30
2-Bedroom:	31
2-Bedroom + Den	25
3-Bedroom	4
Townhouse (4 bedroom)	2
Total:	132

### Referrals

Engineering: The Engineering Department has no objection to the project

### PUBLIC ENGAGEMENT

- Pre-notification letters were sent on October 29, 2020. Staff received no responses from neighbouring residents as a result of this pre-notification.
- The subject development application was forwarded to the Cloverdale Community Association. The Cloverdale Community Association did not respond to the pre-notification prior to this report being finalized.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, and Landscape Plans
- Appendix II. NCP Plan
- Appendix III. Aerial Photo
- Appendix IV. Initial Planning Report No. 7917-0349-00, dated April 6, 2020
- Appendix V. CD Bylaw No. 20055 with proposed amendments

*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

**SUBDIVISION PLAN OF NORTH HALF LOT 14  
SECTION 15, TOWNSHIP 8,  
NEW WESTMINSTER DISTRICT, PLAN 2468**

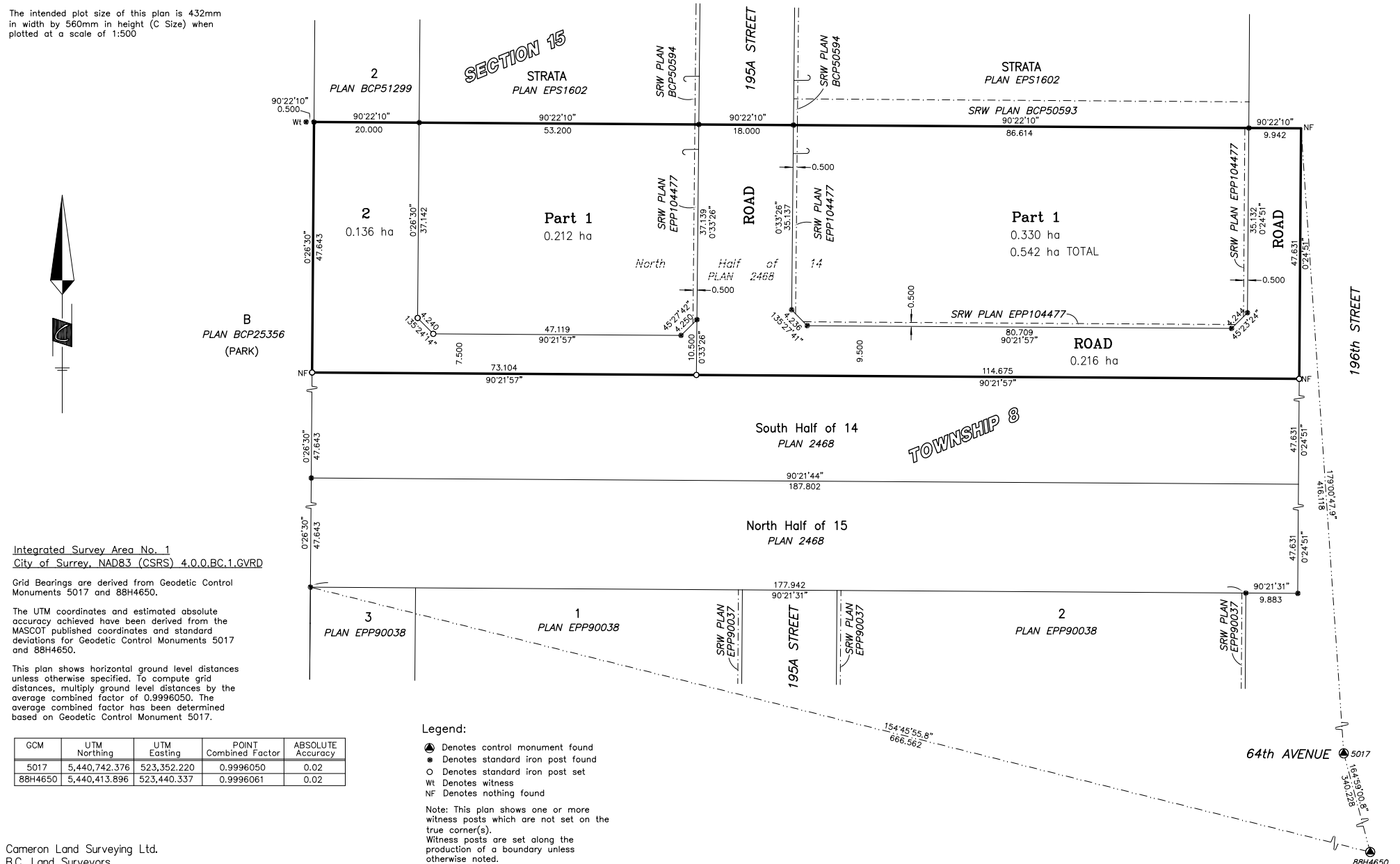
**PLAN EPP105586  
APPENDIX I**

City of Surrey BCGS 92G.017



SCALE - 1 : 500  
All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500



Integrated Survey Area No. 1  
City of Surrey, NAD83 (CSRS) 4.0.0.BC.1.GVRD

Grid Bearings are derived from Geodetic Control Monuments 5017 and 88H4650.

The UTM coordinates and estimated absolute accuracy achieved have been derived from the MASCOOT published coordinates and standard deviations for Geodetic Control Monuments 5017 and 88H4650.

This plan shows horizontal ground level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9996050. The average combined factor has been determined based on Geodetic Control Monument 5017.

GCM	UTM Northing	UTM Easting	POINT Combined Factor	ABSOLUTE Accuracy
5017	5,440,742.376	523,352.220	0.9996050	0.02
88H4650	5,440,413.896	523,440.337	0.9996061	0.02

**Legend:**

- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- Wt Denotes witness
- NF Denotes nothing found

Note: This plan shows one or more witness posts which are not set on the true corner(s).  
Witness posts are set along the production of a boundary unless otherwise noted.  
Some symbols and lines have been exaggerated for clarity.

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.  
B.C. Land Surveyors  
Unit 234, 18525 53 Avenue  
Surrey, B.C. V3S 7A4  
Phone: 604-597-3777  
File: 5940-SUB2

The field survey represented by this plan was completed on the 27th day of July, 2020.  
Kenneth W. Schuurman BCLS (800)



## PROJECT DATA

CIVIC ADDRESS:	6595 196 STREET, SURREY, B.C.
LEGAL DESCRIPTION:	LOT 14 SECTION 15 TOWNSHIP 8 PLAN WNP2468 NWD PORTION N1/2

### LOT INFO

GROSS SITE AREA	96284.0 SQFT	8945.0 SQM
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### DEDICATIONS

ROAD & PARK DEDICATION	37890.0 SQFT	3520.0 SQM
NET SITE AREA	58394.0 SQFT	5425.0 SQM

### ZONING

EXISTING	RA
PROPOSED	CD
NCP	---
DCP	---

### SETBACKS(BUILDING-1)

NORTH (ALONG NEIGHBORING LOT)	25'11"	7.80 M
SOUTH (ALONG 65A AVENUE)	9'-11"	3.02 M
EAST (ALONG 156 STREET)	36'-4"	11.09 M
WEST (ALONG 135A STREET)	14'-9"	4.50 M

### SETBACKS(BUILDING-2)

NORTH (ALONG NEIGHBORING LOT)	24'-7"	7.51 M
SOUTH (ALONG NEIGHBORING LOT)	16'-5"	5.00 M
EAST (ALONG 156 STREET)	14'-11"	4.54 M
WEST (ALONG PARK)	16'-5"	5.00 M

### SITE COVERAGE

PROPOSED	29524.0 SQFT	50.6%
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### FAR CALCULATIONS (BUILDING 1)

GROSS FLOOR AREA (EXCLUDING PARKING & INDOOR AMENITY)	
LEVEL	BUILDING 1
LOWER LVL 2	7,826.0 SQFT
LOWER LVL 1	9,303.0 SQFT
MAIN FLOOR LVL	16,238.0 SQFT
SECOND FLOOR LVL	15,901.0 SQFT
THIRD FLOOR LVL	14,690.0 SQFT
FOURTH FLOOR LVL	6,195.0 SQFT
<b>TOTAL (EXCLUDING INDOOR AMENITY)</b>	<b>70,153.0 SQFT</b>

### FAR CALCULATIONS (BUILDING 2)

GROSS FLOOR AREA (EXCLUDING PARKING & INDOOR AMENITY)	
LEVEL	BUILDING 1
MAIN FLOOR LVL	10,404.0 SQFT
SECOND FLOOR LVL	10,523.0 SQFT
THIRD FLOOR LVL	10,525.0 SQFT
FOURTH FLOOR LVL	10,525.0 SQFT
FIFTH FLOOR LVL	7,100.0 SQFT
<b>TOTAL (EXCLUDING INDOOR AMENITY)</b>	<b>49,077.0 SQFT</b>
<b>TOTAL GROSS AREA BUILDING 1 AND 2</b>	<b>119,230.0 SQFT</b>
<b>FAR PROPOSED</b>	<b>37</b>

## AMENITY CALCULATION (BUILDING#1)

INDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	78	32	2496.0 SQFT
PROVIDED			
LOWER LVL-1			3267.0 SQFT
<b>TOTAL</b>			<b>3267.0 SQFT</b>
OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	78	32	2496.0 SQFT
PROVIDED			
LOWER LEVEL 2			1335.0 SQFT
LOWER LVL-1			2057.0 SQFT
<b>TOTAL</b>			<b>4392.0 SQFT</b>

## AMENITY CALCULATION (BUILDING#2)

INDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	54	32	1728.0 SQFT
PROVIDED			
MAIN FLOOR			898.0 SQFT
FIFTH FLOOR			675.0 SQFT
<b>TOTAL</b>			<b>1573.0 SQFT</b>
OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	54	32	1728.0 SQFT
PROVIDED			
MAIN FLOOR LEVEL			1442.0 SQFT
FIFTH FLOOR LEVEL			1227.0 SQFT
<b>TOTAL</b>			<b>2669.0 SQFT</b>

## UNIT COUNT (BUILDING-1)

UNIT TYPE	LOWER LVL 2	LOWER LVL 1	MAIN FLOOR LVL	SECOND FLOOR LVL	THIRD FLOOR LVL	FOURTH FLOOR LVL	TOTAL	%
1-BEDROOM	3	4	5	5	4	0	21	26.9%
1-BEDROOM+DEN	0	2	6	6	6	2	22	28.2%
2-BEDROOM	2	2	4	4	3	2	17	21.8%
2-BEDROOM+DEN	1	2	4	4	4	1	16	20.5%
3-BEDROOM	0	0	0	0	1	1	2	2.3%
STUDIO UNIT	0	0	0	0	0	0	0	0.0%
TOWNHOUSE (4 B.R.)	1	0	0	0	0	0	1	1.3%
<b>TOTAL ON EACH FLOOR</b>	<b>7</b>	<b>10</b>	<b>19</b>	<b>19</b>	<b>17</b>	<b>6</b>	<b>78</b>	
<b>TOTAL NO. OF UNITS</b>								<b>78.0</b>

## UNIT SCHEDULE (BUILDING-1)

UNIT TYPE	NO. OF B'YS	AREA	LOWER LVL 2	LOWER LVL 1	MAIN FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL UNITS	TOTAL AREA
UNIT-A	1+DEN	692.1 SQFT	0	2	5	3	5	1	16	10,837.8 SQFT
UNIT-A1	1	587.2 SQFT	1	0	0	0	0	0	1	587.2 SQFT
UNIT-A2	1	585.2 SQFT	1	0	0	0	0	0	1	585.2 SQFT
UNIT-A2.1	1	585.2 SQFT	0	2	0	0	0	0	2	1,170.4 SQFT
UNIT-A3	1	569.5 SQFT	0	0	1	1	1	0	3	1,708.5 SQFT
UNIT-A3.1	1	569.5 SQFT	0	1	0	0	0	0	1	569.5 SQFT
UNIT-B	2+DEN	949.7 SQFT	0	0	1	1	2	1	5	4,748.5 SQFT
UNIT-B1	2+DEN	948.2 SQFT	0	0	1	0	0	0	1	948.2 SQFT
UNIT-B2(TWN.HOME)	3+DEN	1,708.0 SQFT	1	0	0	0	0	0	1	1,708.0 SQFT
UNIT-B3	2+DEN	949.7 SQFT	0	1	0	0	0	0	1	949.7 SQFT
UNIT-B4	2+DEN	949.7 SQFT	0	0	0	1	0	0	1	949.7 SQFT
UNIT-C	1	530.5 SQFT	1	0	0	0	0	0	1	530.5 SQFT
UNIT-C1	1	495.5 SQFT	0	1	1	0	0	0	2	991.0 SQFT
UNIT-C2	1	497.2 SQFT	0	0	1	0	0	0	1	497.2 SQFT
UNIT-C3	1	495.5 SQFT	0	0	0	2	1	0	3	1,486.5 SQFT
UNIT-D	2	795.0 SQFT	1	1	0	0	0	0	2	1,590.0 SQFT
UNIT-D1	2	795.0 SQFT	0	0	1	1	0	0	2	1,590.0 SQFT
UNIT-D2	2	784.8 SQFT	1	1	1	1	0	0	4	3,139.2 SQFT
UNIT-E	2+DEN	1,011.5 SQFT	1	1	1	1	1	0	5	5,057.5 SQFT
UNIT-E1	2	823.1 SQFT	0	0	1	1	1	1	4	3,252.4 SQFT
UNIT-F	3	1,167.8 SQFT	0	0	0	0	0	1	1	1,167.8 SQFT
UNIT-Q	1+DEN	577.5 SQFT	0	0	1	1	1	1	4	2,310.0 SQFT
UNIT-R	1	551.5 SQFT	0	0	1	0	0	0	1	551.5 SQFT
UNIT-R1	1	551.5 SQFT	0	0	0	1	1	0	2	1,103.0 SQFT
UNIT-S	1	530.0 SQFT	0	0	1	1	1	0	3	1,590.0 SQFT
UNIT-T	2	879.7 SQFT	0	0	1	1	1	0	3	2,639.1 SQFT
UNIT-U	2+DEN	944.7 SQFT	0	0	1	1	1	0	3	2,834.1 SQFT
UNIT-V	2	903.2 SQFT	0	0	0	1	1	2	2,186.6 SQFT	
<b>TOTAL</b>	<b>7</b>	<b>10</b>	<b>19</b>	<b>19</b>	<b>17</b>	<b>6</b>	<b>78</b>	<b>56,938.9 SQFT</b>		

## OFF STREET PARKING (BUILDING#1)

UNIT TYPE (BUILDING-1)	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAY
1-BEDROOM, 1-BEDROOM+DEN AND STUDIO	27	1.3	35.1	
2-BEDROOM, 2-BEDROOM+DEN, 3 BED ROOM	26	1.5	39	
TOWNHOUSE (4 BED ROOM)	1	2	2	
VISITORS CAR PARK	54	0.2	10.8	
<b>TOTAL NO. OF PARKING REQUIRED</b>			<b>86.9</b>	
<b>TOTAL NO. OF PARKING PROVIDED</b>			<b>127.0</b>	
<b>PARKING PROVIDED</b>				
AT LOWER LVL-2			48	
AT PARKADE LVL-1			79	
<b>TOTAL NO. OF SMALL CARS</b>	<b>18</b>	<b>14.17%</b>		
<b>NO. OF ACCESSIBLE PARKING</b>	<b>3</b>	<b>2.36%</b>		
<b>NO. OF E.V.</b>	<b>32</b>	<b>25.20%</b>		

## BICYCLE SPACES

NO. OF UNITS	BICYCLE PER DWELLING	NO. OF BICYCLES
REQUIRED	1.20 per DU + 6	99.6
PROVIDED		106

## UNIT COUNT (BUILDING-2)

UNIT TYPE	LOWER LVL	MAIN FLOOR LVL	SECOND FLOOR LVL	THIRD FLOOR LVL	FOURTH FLOOR LVL	FIFTH FLOOR LVL	TOTAL	%
1-BEDROOM	0	4	4	4	4	2	18	53.3%
1-BEDROOM+DEN	0	2	2	2	2	0	8	24.8%
2-BEDROOM	0	2	3	3	3	3	14	25.9%
2-BEDROOM+DEN	0	1	2	2	2	2	9	16.7%
3-BEDROOM	0	0	1	1	1	0	3	5.6%
STUDIO UNIT	0	1	0	0	0	0	1	1.9%
TOWNHOUSE (4 B.R.)	0	1	0	0	0	0	1	1.9%
<b>TOTAL ON EACH FLOOR</b>	<b>0</b>	<b>11</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>7</b>	<b>54</b>	
<b>TOTAL NO. OF UNITS</b>								<b>54.0</b>

## UNIT SCHEDULE (BUILDING-2)

UNIT TYPE	NO. OF B'YS	AREA	MAIN FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL UNITS	TOTAL AREA
UNIT-F	2	987.3 SQFT	1	2	0	0	0	3	2,961.9 SQFT
UNIT-F1	2	987.3 SQFT	1	1	0	0	0	2	1,974.6 SQFT
UNIT-F2(TWN.HOME)	3+DEN	1,829.5 SQFT	1	0	0	0	0	1	1,829.5 SQFT
UNIT-F3	2	987.5 SQFT	0	0	2	2	2	6	5,923.8 SQFT
UNIT-F4	2	985.5 SQFT	0	0	1	1	0	2	1,971.0 SQFT
UNIT-G	1+DEN	606.0 SQFT	2	2	2	0	0	8	4,848.0 SQFT
UNIT-G1	2+DEN	1,067.0 SQFT	0	0	0	0	1	1	1,067.0 SQFT
UNIT-G2	2+DEN	934.5 SQFT	1	0	0	0	0	1	934.5 SQFT
UNIT-H	1	518.0 SQFT	2	3	3	3	1	12	6,216.0 SQFT
UNIT-H1	1	551.1 SQFT	0	1	1	1	0	3	1,653.3 SQFT
UNIT-H2	1	448.5 SQFT	0	0	0	0	1	1	448.5 SQFT
UNIT-H3	1	550.3 SQFT	1	0	0	0	0	1	550.3 SQFT
UNIT-H4	1	527.2 SQFT	1	0	0	0	0	1	527.2 SQFT
UNIT-J	2+DEN	934.6 SQFT	0	1	1	1	0	3	2,803.8 SQFT
UNIT-J1	2+DEN	1,057.0 SQFT	0	1	1	1	0	3	3,171.0 SQFT
UNIT-K	3	975.0 SQFT	0	1	1	1	0	3	2,925.0 SQFT
UNIT-L	STUDIO	439.1 SQFT	1	0	0	0	0	1	439.1 SQFT
UNIT-M	2+DEN	924.8 SQFT	0	0	0	0	1	1	924.8 SQFT
UNIT-N	2	835.0 SQFT	0	0	0	0	1	1	835.0 SQFT
<b>TOTAL</b>	<b>2</b>	<b>11</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>7</b>	<b>54</b>	<b>42,004.3 SQFT</b>	

## OFF STREET PARKING (BUILDING#2)

UNIT TYPE (BUILDING-2)	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAY
1-BEDROOM, 1-BEDROOM+DEN AND STUDIO	27	1.3	35.1	
2-BEDROOM, 2-BEDROOM+DEN, 3 B.R.	26	1.5	39	
TOWNHOUSE (4 BED ROOM)	1	2	2	
VISITORS CAR PARK	54	0.2	10.8	
<b>TOTAL NO. OF PARKING REQUIRED</b>			<b>87.0</b>	
<b>PARKING PROVIDED</b>				
AT PARKADE LVL-1			31	
AT PARKADE LVL-2			31	
AT PARKADE LVL-3			30	
<b>TOTAL NO. OF PARKING PROVIDED</b>			<b>92</b>	
<b>NO. OF SMALL CARS</b>	<b>3</b>	<b>3.33%</b>		
<b>NO. OF ACCESSIBLE PARKING</b>	<b>2</b>	<b>2.2%</b>		
<b>NO. OF E.V.</b>	<b>23</b>	<b>25.0%</b>		

## BICYCLE SPACES

NO. OF UNITS	BICYCLE PER DWELLING	NO. OF BICYCLES
REQUIRED	1.2	



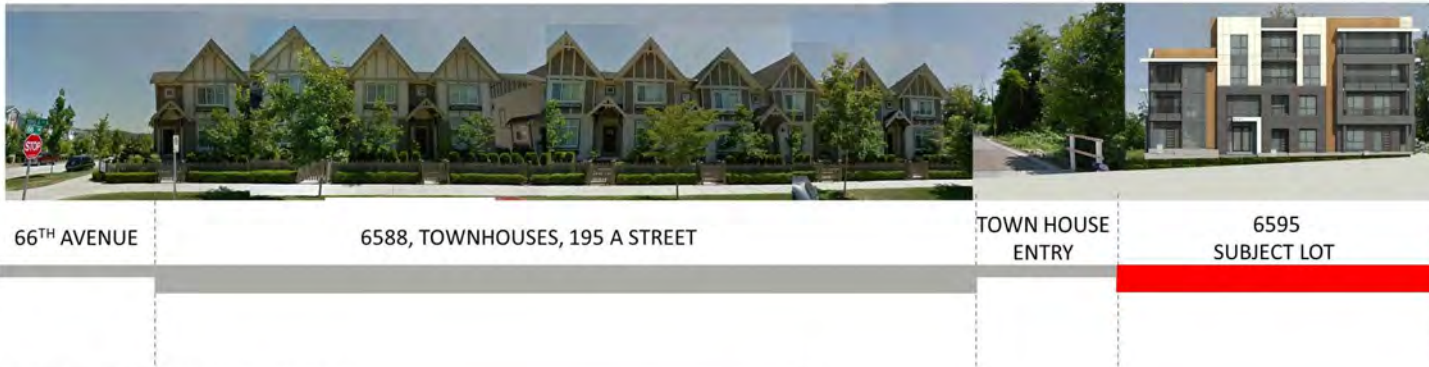


# SITE STREETSCAPES

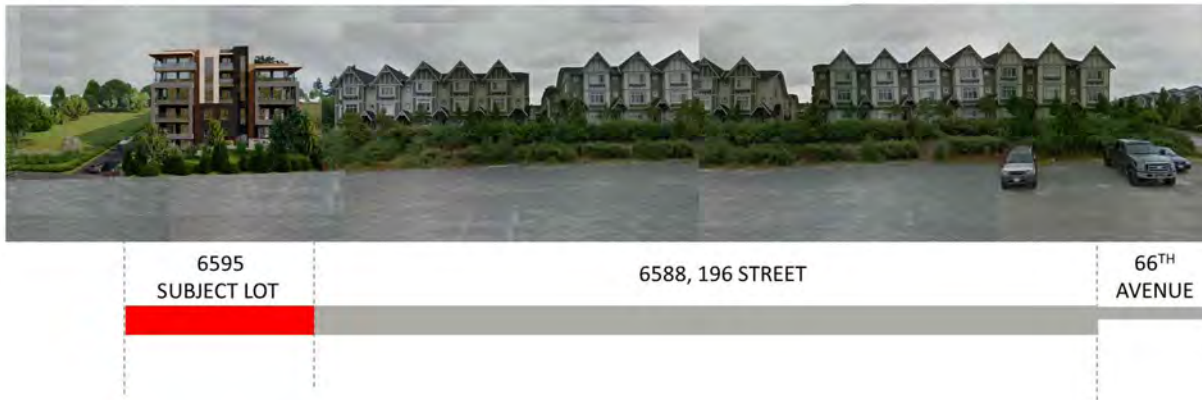


CONTEXT PLAN

## STREETSCAPE - 1 ; FROM 195 A STREET



## STREETSCAPE - 2 ; FROM 196TH STREET



NOTES:

2018-10-18	K	ISSUE OF APPLICATION
2018-10-18	2	BUILDING PERMIT COORDINATION
2018-10-18	C	REVIEWED AS PER CITY COMMENTS
2018-10-18	A	REVIEWED AS PER CITY COMMENTS
2018-09-14	C	REVIEWED AS PER CITY COMMENTS
2018-09-14	F	REVIEWED AS PER CITY COMMENTS
2018-09-14	E	REVIEWED AS PER CITY COMMENTS
2018-10-18	C	REVIEWED AS PER CITY COMMENTS
2018-10-18	C	REVIEWED AS PER CITY COMMENTS
2018-10-18	B	PUBLIC INFORMATION MEETING
2018-10-18	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
T (604)284-5194 F (604)284-5131  
info@dfarchitectural.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:  
**STEELEX BUILDERS GROUP LTD.  
6595 196th STREET,  
SURREY, B.C.**

GRAPHIC RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL  
TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE  
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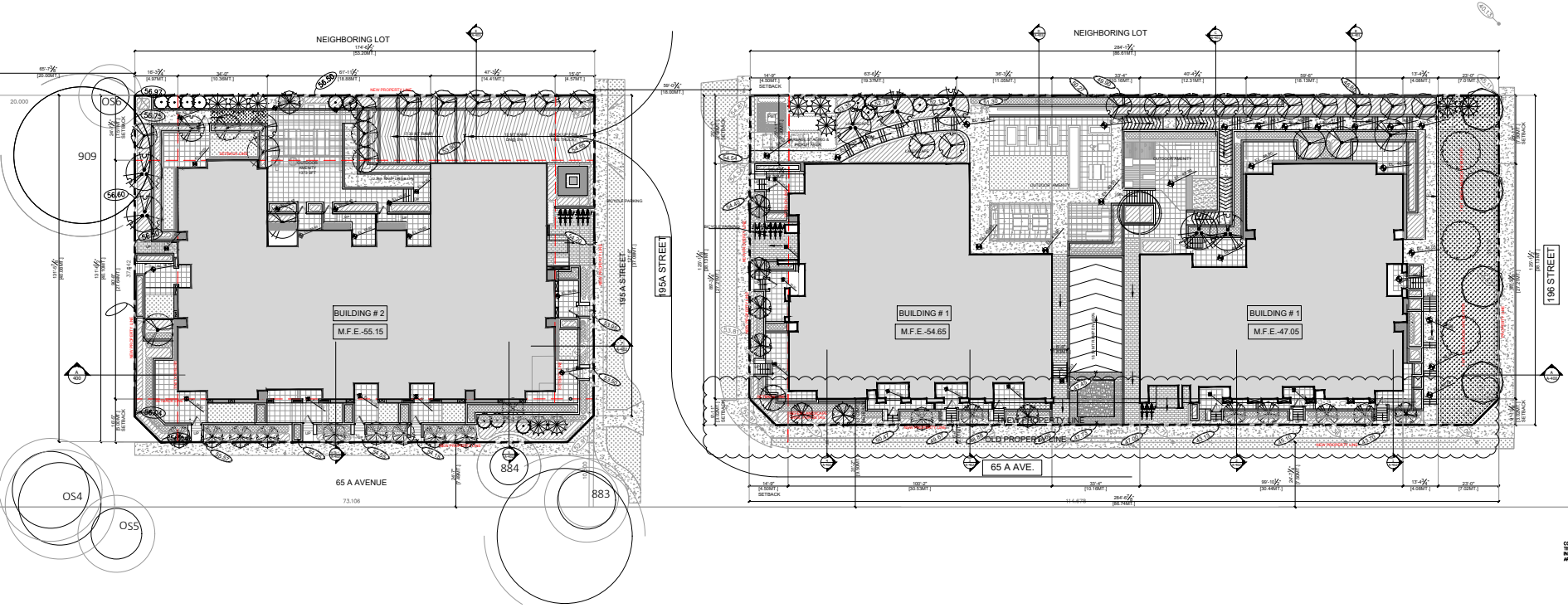
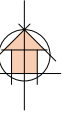
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SCALE:	NTS
JOB NO.:	
DATE:	APRIL 2018
SHEET TITLE:	



CONTEXT PLAN &  
STREETSCAPES

DRAWING NO:	<b>A-004</b>	<b>K</b>
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2020-10-13	K	ISSUE FINAL OF APPLICATION
2020-09-11	A	BUILDING PERMIT COORDINATION
2020-09-11	I	REVISED AS PER CITY COMMENTS
2020-07-15	B	REVISED AS PER CITY COMMENTS
2019-07-15	C	REVISED AS PER CITY COMMENTS
2019-08-23	F	REVISED AS PER CITY COMMENTS
2019-07-15	B	REVISED AS PER CITY COMMENTS
2019-10-15	D	REVISED AS PER CITY COMMENTS
2019-10-15	C	REVISED AS PER CITY COMMENTS
2019-10-15	A	PUBLIC INFORMATION MEETING
2019-10-15	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY, B.C.**

CLIENT:  
**STEELIX BUILDERS GROUP LTD.  
6595 196th STREET,  
SURREY, B.C.**

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SCALE:	NTS
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



1 SITE LAYOUT  
-- NTS

SITE PLAN  
(BLDG #1 AND 2)

DRAWING NO.:  
**A-100** **K**





1 SOUTH ELEVATION ALONG 65A AVE. (BLDG#1)  
 3/32" = 1'-0"



- SCHEDULE OF FINISHES:
- BRICK - MUTUAL MATERIALS COLOR - GOAL CREEK
  - SMOOTH FINISH HARDBE PANEL PAINTED COLOR - SW 7674 PEPPERCORN WITH REVEAL SYSTEM 2.0
  - SMOOTH FINISH HARDBE PANEL PAINTED COLOR - SW 7102 WHITE FLOUR WITH REVEAL SYSTEM 2.0
  - RUSTIC SERIES HARDBE BEING SHIP-LAP COLOR - SUMMER WHEAT
  - CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING | SW 7674 PEPPERCORN
  - POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (TRANSPARENT) COLOR TO MATCH - (SW 6258 TRICORN BLACK AND OPACI COAT TO MATCH (SW 7674 PEPPERCORN)
  - PAINTED VINYL WINDOWS COLOR TO MATCH - SW 7674 PEPPERCORN
  - SOFFIT - 4" RUSTIC SERIES HARDBE COLOR - SUMMER WHEAT
  - SOFFIT COLOR TO MATCH - SW 7102 WHITE FLOUR
  - GLASS RAINING
  - SLUE-LONE WOOD DOORS PAINTED TO MATCH SW 7674 PEPPERCORN
  - POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY SCREEN WITH SAFETY GLASS COLOR TO MATCH - SW 6258 TRICORN BLACK
  - HARDBE PANEL REVEALS/TRIMS/CLIPS COLOR TO MATCH FACADE
  - 6x6 WOOD POST WITH 1/2" DIA. PVC POST W/RAIL PAINTED-COLOR TO MATCH-SW7674 PEPPERCORN (HARDBE BEING)
  - LIVE GREEN WALL
  - STONE CLADDING- COLOR SATIARANG
  - CONC. RETAINING WALLS(ARCHITECTURAL FINISH)
  - 2"X12" SMOOTH FINISH FACIA BOARD PAINTED TO MATCH SW 7102 WHITE FLOUR
  - SOFFIT COLOR TO MATCH - SW7674 PEPPERCORN
  - HARDBE PANEL REVEALS/TRIMS/CLIPS/FLASHING COLOR TO MATCH FACADE

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUE FOR APPLICATION			
2	ISSUE FOR PERMITS			
3	ISSUE FOR PERMITS			
4	ISSUE FOR PERMITS			
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PROJECT:  
**PROPOSED MULTI-FAMILY DEVELOPMENT**  
 6595 196 STREET,  
 SURREY, B.C.

CLIENT:  
**STEELX BUILDERS GROUP LTD.**  
 6595 196TH STREET,  
 SURREY, B.C.

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SCALE:	3/32" = 1'-0"
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



ELEVATIONS (BUILDING#1)

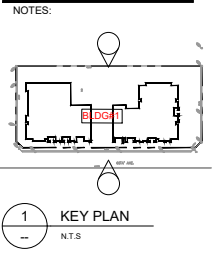


2 NORTH ELEVATION (BLDG#1)  
 3/32" = 1'-0"

DRAWING NO:  
**A-300 J**



1 SOUTH ELEVATION ALONG 195 AVE. (BLDG#1) PART-A  
3/32" = 1'-0"



2020-10-02	N	FOR FINAL SUB APPLICATION
2020-09-10	A	BUILDING PERMIT COORDINATION
2020-08-14	I	REVISED AS PER CITY COMMENTS
2020-07-16	M	REVISED AS PER CITY COMMENTS
2019-07-05	C	REVISED AS PER CITY COMMENTS
2019-06-28	F	REVISED AS PER CITY COMMENTS
2019-07-01	D	REVISED AS PER CITY COMMENTS
2019-06-10	D	REVISED AS PER CITY COMMENTS
2019-06-10	C	REVISED AS PER P.I.M. COMMENTS
2019-07-18	P	PUBLIC INFORMATION MEETING
2019-07-18	E	PRELIMINARY SITE LAYOUT
2019-02-14		



2 SOUTH ELEVATION ALONG 196 AVE. (BLDG#1) PART-B  
3/32" = 1'-0"

SCHEDULE OF FINISHES -

- BRICK: METALL MATERIALS COLOR: COAL CREEK
- SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7674 PEPPERCORN WITH REVEAL SYSTEM 2.0
- SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7102 WHITE FLOUR WITH REVEAL SYSTEM 2.0
- RUSTIC SERIES HARDIE SIDING SHIP-LAP COLOR: SUMMER WHEAT
- CURTAIN WALL SYSTEM - SPANDREL GLASS WITH CPACI COATING ( SW 7674 PEPPERCORN)
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (TRANSPARENT) COLOR TO MATCH - (SW 6258 TRICORN BLACK AND CPACI COAT TO MATCH (SW 7674 PEPPERCORN)
- PAINTED VINYL WINDOWS COLOR TO MATCH - SW 7674 PEPPERCORN
- SOFFIT - 6" RUSTIC SERIES HARDIE COLOR - SUMMER WHEAT
- SOFFIT COLOR TO MATCH - SW 7102 WHITE FLOUR
- GLASS AWNING
- SOLID CORE WOOD DOORS PAINTED TO MATCH SW 7674 PEPPERCORN
- POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY SCREEN WITH SAFETY GLASS COLOR TO MATCH - SW 6258 TRICORN BLACK
- HARDIE PANEL REVEALS/TRIMS/CLIPS COLOR TO MATCH FACADE
- 6x6 WOOD POST WITH 1/2" DIA PVC POST WRAP TO BE PAINTED-COLOR TO MATCH-SW7674 PEPPERCORN (HARDIE SIDING)
- LIVE GREEN WALL
- STONE CLADDING- COLOR: SATVARIO
- CONC. RETAINING WALLS(ARCHITECTURAL FINISH)
- 2"x12" SMOOTH FINISH FACIA BOARD PAINTED TO MATCH SW 7102 WHITE FLOUR
- SOFFIT COLOR TO MATCH - SW7674 PEPPERCORN
- HARDIE PANEL REVEALS/TRIMS/CLIPS-LASING COLOR TO MATCH FACADE.



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PROJECT:  
**PROPOSED MULTI-FAMILY DEVELOPMENT**  
6595 196 STREET,  
SURREY, B.C.

CLIENT:  
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6595 196th STREET,  
SURREY, B.C.

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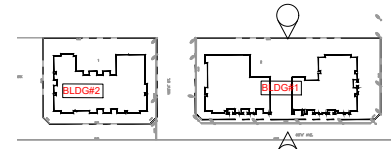
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JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



PART ELEVATION (BUILDING#1)

DRAWING NO.:  
**A-301 J**

NOTES:



1 KEY PLAN  
N.T.S.

NO.	DATE	DESCRIPTION
1	2020-10-01	FOR FINAL SUB APPLICATION
2	2020-09-14	BUILDING PERMIT COORDINATION
3	2020-09-14	REVISED AS PER CITY COMMENTS
4	2020-09-14	REVISED AS PER CITY COMMENTS
5	2019-07-01	REVISED AS PER CITY COMMENTS
6	2019-06-28	REVISED AS PER CITY COMMENTS
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100	2019-10-10	REVISED AS PER CITY COMMENTS



1 NORTH ELEVATION (BLDG#1) PART-A  
3/32" = 1'-0"



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PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY, B.C.**

CLIENT:  
**STEELIX BUILDERS GROUP LTD.  
6595 196th STREET,  
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JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	

PART ELEVATION  
(BUILDING#1)

DRAWING NO.:  
**A-302 J**



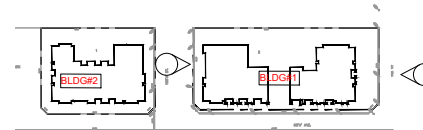
2 NORTH ELEVATION (BLDG#1) PART-B  
3/32" = 1'-0"

SCHEDULE OF FINISHES -

- BRICK - MUTUAL MATERIALS COLOR - COAL CREEK
- SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7674 PEPPERCORN WITH REVEAL SYSTEM 2.0
- SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7102 WHITE FLOUR WITH REVEAL SYSTEM 2.0
- RUSTIC SERIES HARDIE SIDING SHIP-LAP COLOR - SUMMER WHEAT
- CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPAQ COATING ( SW 7674 PEPPERCORN)
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (TRANSPARENT) COLOR TO MATCH - (SW-6208 TRICORN BLACK JAND OPAQ COAT TO MATCH (SW 7674 PEPPERCORN)
- PAINTED VINYL WINDOWS COLOR TO MATCH - SW 7674 PEPPERCORN
- SOFFIT - 6" RUSTIC SERIES HARDIE COLOR - SUMMER WHEAT
- SOFFIT COLOR TO MATCH - SW 7102 WHITE FLOUR
- GLASS AWNING
- SOLID CORE WOOD DOORS PAINTED TO MATCH SW 7674 PEPPERCORN
- POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY SCREEN WITH SAFETY GLASS COLOR TO MATCH - SW 6208 TRICORN BLACK
- HARDIE PANEL REVEALS/TRIMS/CLIPS COLOR TO MATCH FACADE
- 6x6 WOOD POST WITH 1/2" DIA. PVC POST WRAP TO BE PAINTED COLOR TO MATCH-SW7674 PEPPERCORN (HARDIE SIDING)
- LIVE GREEN WALL
- STONE CLADDING- COLOR: SATVARO
- CONC. RETAINING WALLS(ARCHITECTURAL FINISH)
- 2"x12" SMOOTH FINISH FACIA BOARD PAINTED TO MATCH SW 7102 WHITE FLOUR
- SOFFIT COLOR TO MATCH - SW7674 PEPPERCORN
- HARDIE PANEL REVEALS/TRIMS/CLIPS COLOR TO MATCH FACADE



NOTES:



1 KEY PLAN  
N.T.S.

SCHEDULE OF FINISHES -

- BRICK - MUTUAL MATERIALS  
COLOR - COAL CREEK
- SMOOTH FINISH HARDIE PANEL PAINTED  
COLOR - SW 7674 PEPPERCORN  
WITH REVEAL SYSTEM 2.0
- SMOOTH FINISH HARDIE PANEL PAINTED  
COLOR - SW 7102 WHITE FLOUR  
WITH REVEAL SYSTEM 2.0
- RUSTIC SERIES HARDIE SIDING SHIP-LAP  
COLOR - SUMMER WHEAT
- CURTAIN WALL SYSTEM - SPANDREL GLASS WITH  
OPACI COATING (SV 7674 PEPPERCORN)
- POWDER COATED ALUMINUM RAILING WITH SAFETY  
GLASS (TRANSPARENT) COLOR TO MATCH - (SW-6208  
TRICORN BLACK AND OPACI COAT TO MATCH SW  
7674 PEPPERCORN)
- PAINTED VINYL WINDOWS  
COLOR TO MATCH - SW 7674 PEPPERCORN
- SOFFIT - 6" RUSTIC SERIES HARDIE  
COLOR - SUMMER WHEAT
- SOFFIT  
COLOR TO MATCH - SW 7102 WHITE FLOUR
- SOLID CORE WOOD DOORS PAINTED TO MATCH SW  
7674 PEPPERCORN
- POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY  
SCREEN WITH SAFETY GLASS  
COLOR TO MATCH - SW 6208 TRICORN BLACK
- HARDIE PANEL REVEALS/TRIMS/CLIPS COLOR TO  
MATCH FACADE.
- 6x8 WOOD POST WITH 1020A PVC POST WRAP TO BE  
PAINTED COLOR TO MATCH-SW7674 PEPPERCORN  
(HARDIE SIDING)
- LIVE GREEN WALL
- STONE CLADDING - COLOR: SATVARIO
- CONC. RETAINING WALLS(ARCHITECTURAL FINISH)
- 2"x12" SMOOTH FINISH FASCIA BOARD PAINTED TO  
MATCH SW 7102 WHITE FLOUR
- SOFFIT COLOR TO MATCH - SW7674 PEPPERCORN
- HARDIE PANEL REVEALS/TRIMS/CLIPS LASHING COLOR TO  
MATCH FACADE.

NO.	DATE	DESCRIPTION
2020-10-10	1	JOB FINAL (BY APPLICATION)
2020-09-14	4	BUILDING PERMIT COORDINATION
2020-09-14	1	REVISED AS PER CITY COMMENTS
2020-07-16	2	REVISED AS PER CITY COMMENTS
2019-07-26	3	REVISED AS PER CITY COMMENTS
2019-08-28	5	REVISED AS PER CITY COMMENTS
2019-08-28	6	REVISED AS PER CITY COMMENTS
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2019-08-19	18	REVISED AS PER CITY COMMENTS
2019-08-19	19	REVISED AS PER CITY COMMENTS
2019-08-19	20	REVISED AS PER CITY COMMENTS



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PROJECT:  
**PROPOSED MULTI-FAMILY  
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6595 196th STREET,  
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DRAWN: PV	
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SCALE: 3/32" = 1'-0"	
JOB NO.:	
DATE: APRIL 2018	
SHEET TITLE:	

ELEVATIONS  
(BUILDING#1)

DRAWING NO.:  
**A-303** **J**



1 WEST ELEVATION ALONG 195A AVE. (BLDG#1)  
18" = 1'-0"



2 EAST ELEVATION ALONG 196 ST. (BLDG#1)  
18" = 1'-0"



1 SOUTH ELEVATION (BLDG#2)  
1/8" = 1'-0"

NOTES:

1 KEY PLAN  
N.T.S.

SCHEDULE OF FINISHES -

1. BRICK - MUTUAL MATERIALS COLOR - COAL CREEK			
2. SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7674 PEPPERCORN WITH REVEAL SYSTEM 2.0			
3. SMOOTH FINISH HARDIE PANEL PAINTED COLOR - SW 7102 WHITE FLOUR WITH REVEAL SYSTEM 2.0			
4. RUSTIC SERIES HARDIE SIDING SHIP-LAP COLOR - SUMMER WHEAT			
5. CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (SW 7674 PEPPERCORN)			
6. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (TRANSPARENT) COLOR TO MATCH - (SW 4228 TRICOORN BLACK AND OPACI COAT TO MATCH (SW 7674 PEPPERCORN)			
7. PAINTED VINYL WINDOWS COLOR TO MATCH - SW 7674 PEPPERCORN	2020-09-01	N	NO FINAL OF APPLICATION
8. SOFFIT - 6" RUSTIC SERIES HARDIE COLOR - SUMMER WHEAT	2020-09-01	A	BUILDING PERMIT COORDINATION
9. SOFFIT COLOR TO MATCH - SW 7102 WHITE FLOUR	2020-09-01	F	REVISED AS PER CITY COMMENTS
10. GLASS AWNING	2020-09-01	C	REVISED AS PER CITY COMMENTS
11. SOLID CORE WOOD DOORS PAINTED TO MATCH 7674 PEPPERCORN	2020-09-01	F	REVISED AS PER CITY COMMENTS
12. POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY SCREEN WITH SAFETY GLASS COLOR TO MATCH - SW 5258 TRICOORN BLACK	2020-09-01	C	REVISED AS PER CITY COMMENTS
13. HARDIE PANEL REVEALS/TRIMS/CLIPS COLOR TO MATCH FACADE.	2020-09-01	A	PUBLIC INFORMATION MEETING
14. 6x6 WOOD POST WITH 1/2"X4 PVC POST WRAP TO BE PAINTED COLOR TO MATCH-SW7674 PEPPERCORN (HARDIE SIDING)	2020-09-01	A	PRELIMINARY SITE LAYOUT
15. LIVE GREEN WALL			
16. STONE CLADDING-COLOR: SATVARIO			
17. CONC. RETAINING WALLS(ARCHITECTURAL FINISH)			
18. 2'X12" SMOOTH FINISH FACIA BOARD PAINTED TO MATCH SW 7102 WHITE FLOUR			
19. SOFFIT COLOR TO MATCH - SW7674 PEPPERCORN			
20. HARDIE PANEL REVEALS/TRIMS/CLIPS FLASHING COLOR TO MATCH FACADE.			



PROJECT:  
PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.

CLIENT:  
  
STEELIX BUILDERS GROUP LTD.  
6595 196th STREET,  
SURREY, B.C.

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DRAWN: PV	
CHECKED:	
SCALE: 1/8" = 1'-0"	
JOB No.:	
DATE: APRIL 2018	
SHEET TITLE:	

ELEVATIONS  
(BUILDING#2)

DRAWING NO.:  
**A-304**

**J**

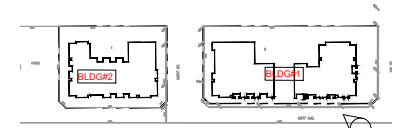


2 NORTH ELEVATION (BLDG#2)  
1/8" = 1'-0"





NOTES:



1 KEY PLAN  
N.T.S.



2020-10-02	A	ISSUE FOR APPLICATION
2020-08-12	Z	BUILDING PERMIT COORDINATION
2020-07-15	F	REVIEWED AS PER CITY COMMENTS
2020-07-15	B	REVIEWED AS PER CITY COMMENTS
2020-07-15	C	REVIEWED AS PER CITY COMMENTS
2020-07-15	F	REVIEWED AS PER CITY COMMENTS
2020-07-15	E	REVIEWED AS PER CITY COMMENTS
2020-10-15	C	REVIEWED AS PER CITY COMMENTS
2020-10-15	C	REVIEWED AS PER CITY COMMENTS
2020-10-15	B	PUBLIC INFORMATION MEETING
2020-10-15	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
T (604)284-5194 F (604)284-5131  
info@dfarchitectur.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:  
**STEELIX BUILDERS GROUP LTD.  
6595 196TH STREET,  
SURREY, B.C.**

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CHECKED:	
SCALE:	N.T.S.
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



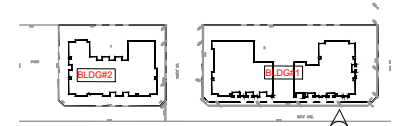
RENDERINGS  
(BUILDING-1)

DRAWING NO.:	<b>A-310</b>	<b>K</b>
--------------	--------------	----------

1 VIEW ALONG 65A  
N.T.S.



NOTES:



1 KEY PLAN  
N.T.S.



2020-10-02	K	ISSUE FOR APPLICATION
2020-10-02	L	BUILDING PERMIT COORDINATION
2020-10-02	C	REVIEWED AS PER CITY COMMENTS
2020-10-02	R	REVISIO AS PER CITY COMMENTS
2020-09-02	C	REVIEWED AS PER CITY COMMENTS
2020-09-02	F	REVIEWED AS PER CITY COMMENTS
2020-09-02	E	REVIEWED AS PER CITY COMMENTS
2020-10-02	S	REVIEWED AS PER CITY COMMENTS
2020-10-02	C	REVIEWED AS PER CITY COMMENTS
2020-10-02	R	PUBLIC INFORMATION MEETING
2020-10-02	A	PRELIMINARY SITE LAYOUT



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RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
T (604)284-5194 F (604)284-5131  
info@dfarchitectur.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:  
**STEELIX BUILDERS GROUP LTD.  
6595 196th STREET,  
SURREY, B.C.**

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DRAWN:	PV
CHECKED:	
SCALE:	N.T.S.
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



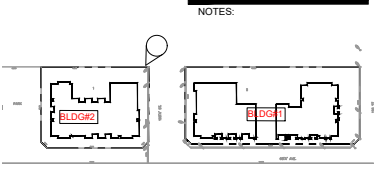
RENDERINGS  
(BUILDING-1)

DRAWING NO.:	<b>A-312</b>	<b>K</b>
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1 VIEW(UNIT ENTRANCE)  
N.T.S.







1 KEY PLAN  
N.T.S.

2020-10-08	K	CONTRACT APPLICATION
2020-10-12	Z	BUILDING PERMIT COORDINATION
2020-10-15	B	REVIEWED AS PER CITY COMMENTS
2020-11-18	B	REVIEWED AS PER CITY COMMENTS
2020-01-08	C	REVIEWED AS PER CITY COMMENTS
2020-02-04	F	REVIEWED AS PER CITY COMMENTS
2020-03-01	E	REVIEWED AS PER CITY COMMENTS
2020-10-10	C	REVIEWED AS PER CITY COMMENTS
2020-10-03	C	REVIEWED AS PER CITY COMMENTS
2020-10-12	B	PUBLIC INFORMATION MEETING
2020-10-12	A	PRELIMINARY SITE LAYOUT
LEGEND		



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
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info@dfarchitectural.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:  
**STEELIX BUILDERS GROUP LTD.  
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CHECKED:  
SCALE: N.T.S.  
JOB No.:  
DATE: APRIL 2018  
SHEET TITLE:

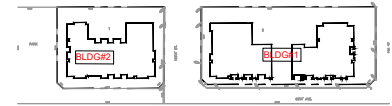


RENDERINGS  
(BUILDING-2)

DRAWING NO.:	<b>A-314</b>	<b>K</b>
--------------	--------------	----------

1 VIEW (ALONG 195 A)  
N.T.S.

NOTES:



1 KEY PLAN  
N.T.S.



2018-08-15	2	BUILDING PERMIT COORDINATION
2018-08-15	1	REVIEWED AS PER CITY COMMENTS
2018-07-18	3	REVIEWED AS PER CITY COMMENTS
2018-07-18	2	REVIEWED AS PER CITY COMMENTS
2018-07-18	1	REVIEWED AS PER CITY COMMENTS
2018-07-17	5	REVIEWED AS PER CITY COMMENTS
2018-10-18	4	REVIEWED AS PER CITY COMMENTS
2018-10-18	3	REVIEWED AS PER CITY COMMENTS
2018-10-17	2	REVIEWED AS PER CITY COMMENTS
2018-10-17	1	PUBLIC INFORMATION MEETING
2018-10-17	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

**PROJECT:**  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

**CLIENT:**  
**STEELIX BUILDERS GROUP LTD.  
6595 196TH STREET,  
SURREY, B.C.**

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CHECKED:	
SCALE:	N.T.S.
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



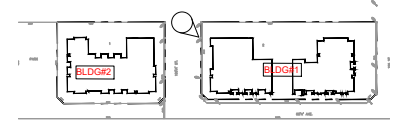
**RENDERINGS  
(BUILDING-2)**

1 VIEW (ALONG 195 A & 65 A)  
N.T.S.

DRAWING NO.:	<b>A-315</b>	<b>K</b>
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NOTES:



1 KEY PLAN  
N.T.S.



1 VIEW (ALONG 195A)  
N.T.S.

2020-10-02	K	ISSUE FOR APPLICATION
2020-08-12	J	BIDDING PERMIT COORDINATION
2020-07-15	I	REVISION AS PER CITY COMMENTS
2020-07-15	H	REVISION AS PER CITY COMMENTS
2020-07-02	G	REVISION AS PER CITY COMMENTS
2020-06-15	F	REVISION AS PER CITY COMMENTS
2020-05-27	E	REVISION AS PER CITY COMMENTS
2020-05-19	D	REVISION AS PER CITY COMMENTS
2020-05-15	C	REVISION AS PER CITY COMMENTS
2020-04-17	B	PUBLIC INFORMATION MEETING
2020-03-17	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
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info@dfarchitectur.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:

**STEELIX BUILDERS GROUP LTD.  
6595 196th STREET,  
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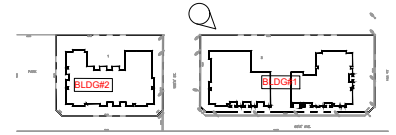
DRAWN: PV	
CHECKED:	
SCALE: N.T.S.	
JOB No.:	
DATE: APRIL 2018	
SHEET TITLE:	

RENDERINGS  
(BUILDING-1)

DRAWING NO.:	<b>A-317</b>	<b>K</b>
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NOTES:



1 KEY PLAN  
N.T.S.



2020-10-22	K	ISSUE FOR APPLICATION
2020-10-15	J	BUILDING PERMIT COORDINATION
2020-10-15	I	REVIEWED AS PER CITY COMMENTS
2020-07-15	H	REVIEWED AS PER CITY COMMENTS
2020-07-15	G	REVIEWED AS PER CITY COMMENTS
2020-07-15	F	REVIEWED AS PER CITY COMMENTS
2020-07-15	E	REVIEWED AS PER CITY COMMENTS
2020-10-15	D	REVIEWED AS PER CITY COMMENTS
2020-10-15	C	REVIEWED AS PER CITY COMMENTS
2020-10-15	B	PUBLIC INFORMATION MEETING
2020-10-15	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z5  
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info@dfarchitectural.ca

PROJECT:  
**PROPOSED MULTI-FAMILY  
DEVELOPMENT  
6595 196 STREET,  
SURREY B.C.**

CLIENT:  
**STEELX BUILDERS GROUP LTD.  
6595 196th STREET,  
SURREY, B.C.**

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DRAWN BY:	PV
CHECKED:	
SCALE:	N.T.S.
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	



RENDERINGS  
(BUILDING-1)

1 VIEW (REAR SIDE)  
N.T.S.

DRAWING NO.:	<b>A-318</b>	<b>K</b>
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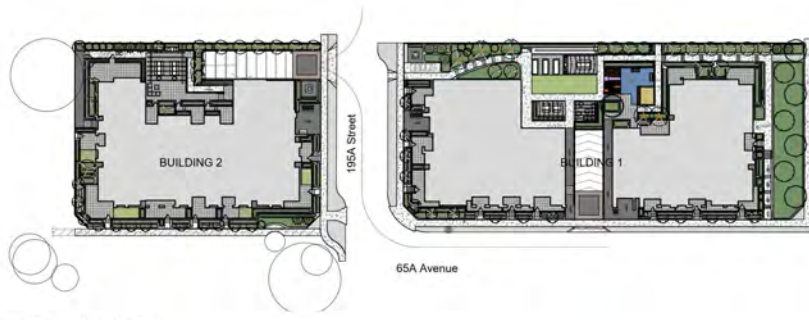
# 196 St Proposed Multi-Family Development

Issued for CD Bylaw Amendment

<b>Contact Information</b>	<b>Other Key Contacts:</b>	
<b>VDZ+A</b> Project Landscape Architecture Fort Langley Studio 102 - 9181 Church Street Fort Langley, British Columbia, V1M 2R8 Mount Pleasant Studio 102-353 Kingway Vancouver, British Columbia, V5T 3J7 Primary project contact: Travis Martin travis@vdz.ca 604-546-0924 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	<b>Steelix Builders Group</b> Project Owner Contact: Pam Dhaliwal 6595 196 Street Surrey, B.C. 778-242-9022 steelixbuildersgroup@gmail.com	<b>DF Architecture Inc.</b> Project Building Architecture Contact: Jessie Arora 1205-4871 Shell Road Richmond, B.C. V6X 3Z6 604-294-0194 jessie@dfarchitecture.ca
	<b>Legal Address and Description:</b> Lot 14 Section 15 Township 8 Plan NWP2468 NWD Portion N1/2	

## Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	SITE PLAN - EAST
L-02B	SITE PLAN - WEST
L-02C	SITE PLAN - AMENITY SPACES
L-03A	PLANTING PLAN - EAST
L-03B	PLANTING PLAN - WEST
L-04	SITE PLAN - PLANTER VOLUMES
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS



No.	By	Description	Date
8	TM	Issued for CD Bylaw Amendment	Oct 22, 2020
5	TM	Issued for Final Adoption	Oct 20, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
3	TM	Issued for ADP	Mar 30, 2020
2	TM	Issued for ADP	Jan 17, 2020
1	TM	Issued for Review	Oct 10, 2019

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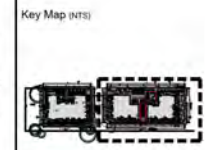
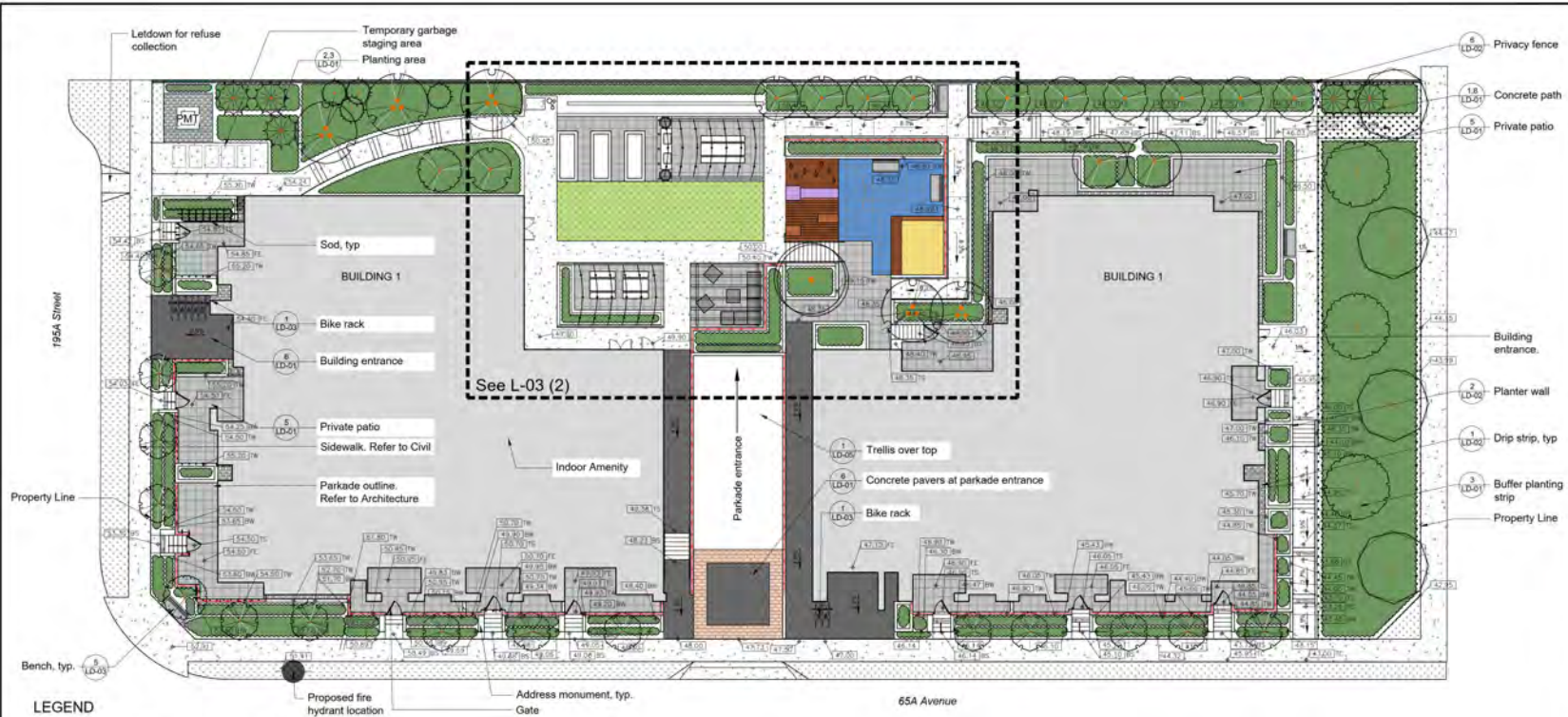
No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
Proposed Multi-Family Development  
196 Street  
Location:  
6595 196 Street,  
SURREY B.C.  
Project Application #: 17-0349

Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

Drawing Title: COVER PAGE  
 Drawing #: DP2019-40  
 Drawing #: L-01



**LEGEND**

KEY	REF.	DESCRIPTION
	4.8 LD-01	CONCRETE SLAB
	REFER TO CIVIL	CONCRETE SIDEWALK
	1 LD-02	DRIP STRIP
	6 LD-01	UNIT PAVERS Pattern: Staircase Hand Color: TRD Manufacturer: TRD
	3 LD-02	RUBBER SURFACING Rubber Tie KONOROchem
	5 LD-01	HYDRAPRESSED SLAB Pattern: Brick Slab Color: Refer to Plan Manufacturer: Aberdeen Concrete Spec: 900000000
	2.3 LD-01	HEDGE PLANTING
		SHRUB PLANTING
		EXISTING TREE
	1 LD-01	PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
	1 LD-04	RAISED VEGETABLE PLANTER
	5 LD-03	BENCH

	5 LD-03	BENCH
	4 LD-03	PICNIC SET Refer to plan and detail for size
	6 LD-03	PLANTER POT
	7 LD-02	GATE
	2.5 LD-02	RETAINING WALL
	1 LD-03	BIKE RACK
	2 LD-03	LOUNGE AND COFFEE TABLE
	7 LD-02	GUARDRAIL FENCE
	6 LD-02	PRIVACY FENCE
	3 LD-04	SLIDE

**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	COAT	SIZE	NATIVE	QTY
	Acer primum / Japanese Maple	BAB	2.5m ht.		4
	Cercidiphyllum japonicum / Katsura Tree	BAB	60m cal.		7
	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	BAB	60m cal.		4
	Fagus sylvatica 'Daxeyck Gold' / European Beech	BAB	60m cal.		27
	Fagus sylvatica 'Red Obelisk' / Fastigiate Purple Beech	BAB	60m cal.		5
	Fagus sylvatica 'Ticokur' / Tricolor Beech	BAB	60m cal.		12
	Picea omorika 'Bonsai' / Bonsai Spruce	BAB	2.5m ht.		10
	Prunus x yedoensis 'Akebono' / Flowering Cherry	BAB	60m cal.		1
	Styax japonica 'Pink Chimes' / Japanese Pink Snowball Dazif	BAB	60m cal.		7
	Styax japonica 'Snowcone' / Japanese Snowball	BAB	60m cal.		3
	Tsuga mertensiana / Mountain Hemlock	BAB	2.5m ht.	Locally Native	11



Key Map (N1S)

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
6	TM	Issued for LD Style Amendment	Oct 22, 2020
5	TM	Issued for Final Adoption	Oct 20, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
3	TM	Issued for ADP	Mar 30, 2020
2	TM	Issued for ADP	Jan 17, 2020
1	TM	Issued for Review	Oct 10, 2019

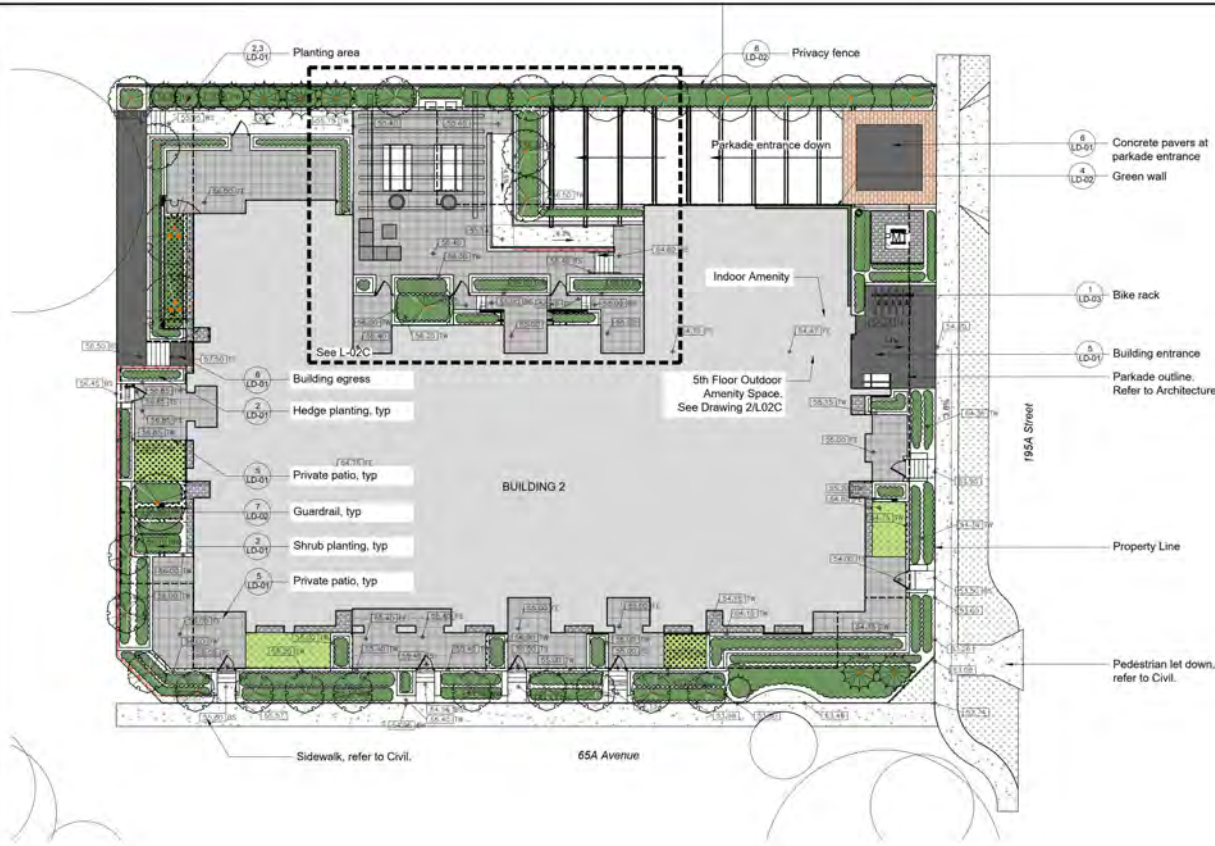
Project:  
 Proposed Multi-Family Development  
 196 Street

Location:  
 6595 196 Street,  
 SURREY B.C.

Project Application #: 17-0349

Drawn:	Stamp:
TS	
Checked:	
TM	
Approved:	Original Sheet Size: 24"x36"
DJ	
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE SITE AND VERIFY ANY DISCREPANCIES TO THE CONSULTANT AND MAKE NECESSARY ADJUSTMENTS AND THE RESPONSIBILITY OF THE OWNER AND/OR ARCHITECT AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
1:150	

2. PROVIDE TREE SCHEDULE FOR ALL PLANTING AND LANDSCAPE. SEE DRAWING L-02B FOR TREE SCHEDULE.

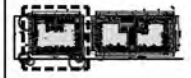


**LEGEND**

KEY	REF.	DESCRIPTION
	4.8 LD-01	CONCRETE SLAB
	REFER TO CIVIL	CONCRETE SIDEWALK
	1 LD-02	DRP STRIP
	6 LD-01	UNIT PAVERS Pattern: Smooth Steel Colour: F70 Manufacture: TSC
	3 LD-02	RUBBER SURFACING Rubber Tile 600x600mm
	5 LD-01	HYDRAPRESSED SLAB Pattern: Black Stone Colour: Slate to Pine Manufacture: Aluminoflex Concrete Size: 600x600mm
	2,3 LD-01	HEDGE PLANTING
		SHRUB PLANTING
		EXISTING TREE
	1 LD-01	PROPOSED TREE
	See Critical Landscape Notes for Specifications	SOD See Critical Landscape Notes for Specifications
	1 LD-04	RAISED VEGETABLE PLANTER
	5 LD-03	BENCH
	4 LD-03	PICNIC SET Refer to plan and detail for size
	6 LD-03	PLANTER POT
	7 LD-02	GATE
	2,5 LD-02	RETAINING WALL
	1 LD-03	BIKE RACK
	2 LD-03	LOUNGE AND COFFEE TABLE
	7 LD-02	GUARDRAIL FENCE
	6 LD-02	PRIVACY FENCE
	3 LD-04	SLIDE

**VDZ+A**  
 ARCHITECTS  
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
 100-6581 Church St. 100-353 Kingsway  
 Fort Langley, BC Vancouver, BC  
 V5M 2R6 V5T 1E7  
 www.vdz.ca 604-882-0024

Key Map (N1S)



No.	By	Description	Date
1	TM	Issued for LD Review Amendment	Oct 22, 2020
2	TM	Issued for File Adoption	Oct 28, 2020
3	TM	Issued for File Adoption	Oct 01, 2020
4	TM	Issued for ADP	Mar 30, 2020
5	TM	Issued for ADP	Jan 17, 2020
6	TM	Issued for Review	Oct 10, 2019

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No.	By	Description	Date
1	TM	Re-issued for ADP	Jan 28, 2020

Project:  
 Proposed Multi-Family Development  
 196 Street  
 Location:  
 6595 196 Street,  
 SURREY B.C.  
 Project Application #: 17-0349

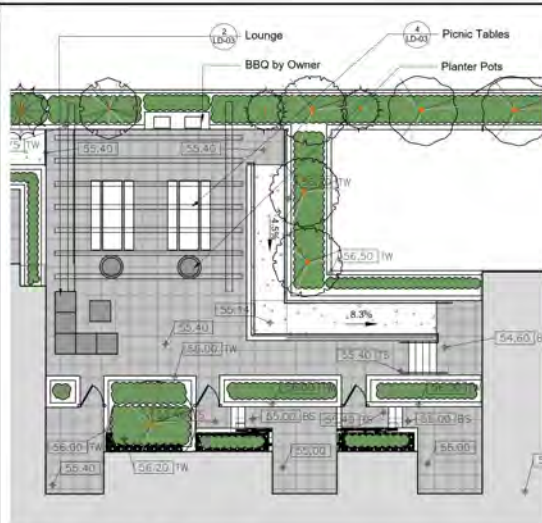
Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE SITE AND VERIFY ACCORDING TO THE CIVIL ENGINEER'S SPECIFICATIONS AND THE REGISTERED RECORDS OF THE DISTRICT AND/OR BY THE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED FROM THE CORNER OF THE LOT UNLESS OTHERWISE SPECIFIED.

**TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	NATIVE	QTY
	Acer palmatum / Japanese Maple	BAB	2.5m ht		4
	Cercidiphyllum japonicum / Katsura Tree	BAB	60m cal		7
	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	BAB	60m cal		4
	Fagus sylvatica 'Dawyck Gold' / European Beech	BAB	60m cal		27
	Fagus sylvatica 'Red Obelisk' / Fastigate Purple Beech	BAB	60m cal		5
	Fagus sylvatica 'Tricolor' / Tricolor Beech	BAB	60m cal		12
	Picea canadica 'Brons' / Brons Spruce	BAB	2.5m ht		10
	Prunus x yedoensis 'Akabeno' / Flowering Cherry	BAB	60m cal		1
	Styrex japonicus 'Pnk Chimes' / Japanese Pink Snowbell Dwarf	BAB	60m cal		7
	Styrex japonicus 'Snowcone' / Japanese Snowbell	BAB	60m cal		3
	Tsuga mertensiana / Mountain Hemlock	BAB	2.5m ht	Locally Native	11



Drawing Title: **SITE PLAN - WEST**  
 Drawing #: **L-02B**  
 Project #: **DP2019-40**  
 NORTH



LEGEND

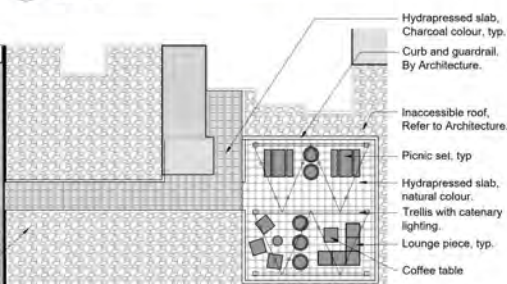
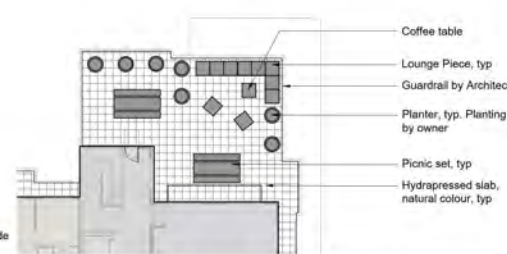
KEY	REF.	DESCRIPTION
[Symbol]	4.8 LD-01	CONCRETE SLAB
[Symbol]	REFER TO CIVIL	CONCRETE SIDEWALK
[Symbol]	1 LD-02	DROP STRIP
[Symbol]	6 LD-01	UNIT PAVERS Pattern: Structural Stone Colour: TRG Manufacturer: TRG
[Symbol]	3 LD-02	RUBBER SURFACING Rubber Tile 600x600mm
[Symbol]	5 LD-01	HYDRAPRESSED SLAB Pattern: Stone Effect Colour: Refer to Plan Manufacturer: Akshar/Arund Concrete Size: 600x600mm
[Symbol]	2.3 LD-01	HEDGE PLANTING
[Symbol]		SHRUB PLANTING
[Symbol]		EXISTING TREE
[Symbol]	1 LD-01	PROPOSED TREE
[Symbol]		500 Site Critical Landscape Notable for Specifications
[Symbol]	1 LD-04	RAISED VEGETABLE PLANTER

[Symbol]	5 LD-03	BENCH
[Symbol]	4 LD-03	PICNIC SET Refer to plan and detail for size
[Symbol]	6 LD-03	PLANTER POT
[Symbol]	7 LD-02	GATE
[Symbol]	2.5 LD-02	RETAINING WALL
[Symbol]	1 LD-03	BIKE RACK
[Symbol]	2 LD-03	LOUNGE AND COFFEE TABLE
[Symbol]	7 LD-02	GUARDRAIL FENCE
[Symbol]	6 LD-02	PRIVACY FENCE
[Symbol]	3 LD-04	SLICE

VDZ+A

FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
102-6531 Church St. 102-350 Kingsway  
Fort Langley, BC Vancouver, BC  
V4M 2R6 V5T 5T7  
www.vdz.ca 604-862-0024

Key Map (N/T/S)



REVISIONS TABLE FOR SHEET

No.	By	Description	Date
6	TM	Issued for CD Style Amendment	Oct 22, 2020
5	TM	Issued for Final Adoption	Oct 25, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
3	TM	Issued for ADP	Mar 30, 2020
2	TM	Issued for ADP	Jan 17, 2020
1	TM	Issued for Review	Oct 15, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	TM	Issued for ADP	Jan 28, 2020

Project:  
Proposed Multi-Family Development  
196 Street

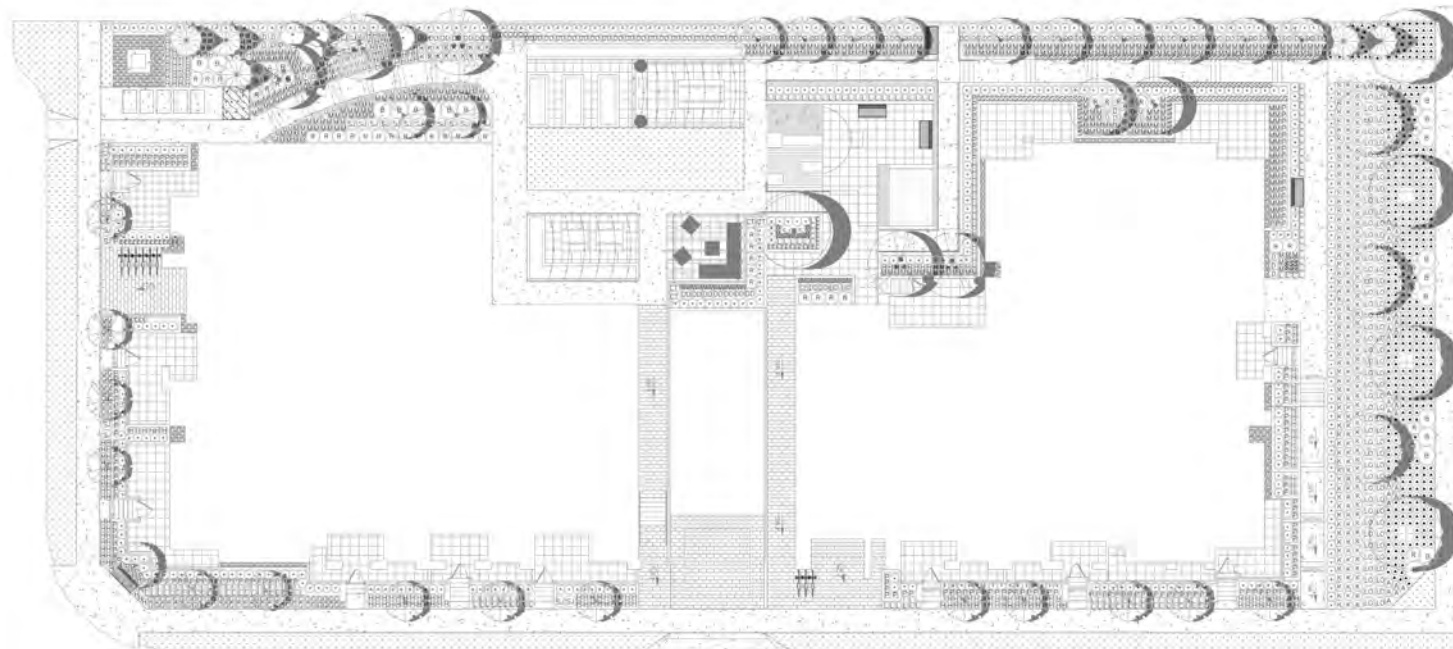
Location:  
6595 196 Street,  
SURREY B.C.

Project Application #: 17-0349

Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS OFF THE DRAWING AND VERIFY ALL INFORMATION TO THE GENERAL CONTRACTOR'S RECORD DRAWINGS AND THE INFORMATION PROVIDED BY THE OWNER AND/OR BY THE DESIGNER. ALL DIMENSIONS SHALL BE TAKEN AT THE CORNER/EDGE OF THE MEMBER, UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.



Drawing Title: SITE PLAN - AMENITY SPACES  
 Drawing #: DP2019-40  
 L-02C



196 Street

65 A Avenue

Key Map (N1S)



**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
D	Azalea japonica 'Blue Danube' / Blue Danube Azalea - Magenta	#3		0.60m	19
A	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3		0.60m	45
B	Berberis thunbergii 'Rose Glow' / Rose Glow Berberry	#2		1.20m	20
G	Buxus sempervirens 'Green Mountain' / Green Mountain Boxwood	#3		0.45m	86
U	Gaultheria shallon / Salal	#5	Locally Native	0.45m	289
LO	Lonicera glehata 'Moss Green' / Moss Green Honeysuckle	#2		0.75m	92
DC	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	#3		0.75m	146
A	Potentilla thoriolata 'Noua' / White Cinquefoil	#2		0.45m	413
R	Rhododendron x 'Ramapo' / Ramapo Rhododendron	#3		0.90m	75
H	Sarcococca hookeriana humilis / Sweet Box	#2		0.45m	304
S	Skimmia japonica / Skimmia	#2		0.75m	59
T	Taxus x media 'Hicksii' / Hicks Yew	1.2m Ht.		0.90m	856
FERNS	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
S	Blechnum spicatum / Deer Fern	#2		0.30m	228
M	Polystichum monium / Western Scaud Fern	#2	Locally Native	0.45m	558

GRASSES	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
K	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#2		0.60m	194
F	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	#3		0.40m	459
PERENNIALS	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
W	Echinacea purpurea 'PowWow' / PowWow Coneflower	#1		0.30m	84
L	Lavandula angustifolia 'Hidcote' / Hidcote Lavender	#1		0.45m	284
E	Rutbeckia fulgida 'Little Goldstar' / Black-Eyed Susan	#1		0.30m	110
VINES	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
Aq	Akebia quinata / Chocolate Vine	#3		0.40m	12
CF	Clematis montana / Anemone Clematis	#2		0.75m	4
HC	Hibiscus coriacea / China Blue Vine	#3		0.40m	6
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	NATIVE	SPACING	QTY
	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	Locally Native	300mm	80

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No.	By:	Description	Date
1	TM	Re-issued for ADP	Jan 28, 2020

**REVISIONS TABLE FOR SHEET**

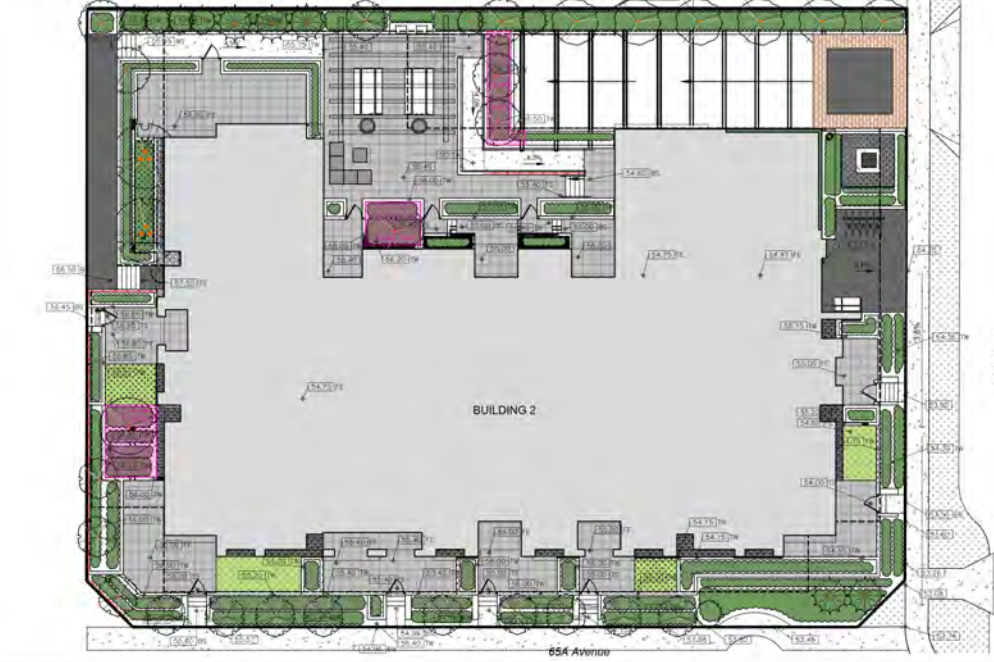
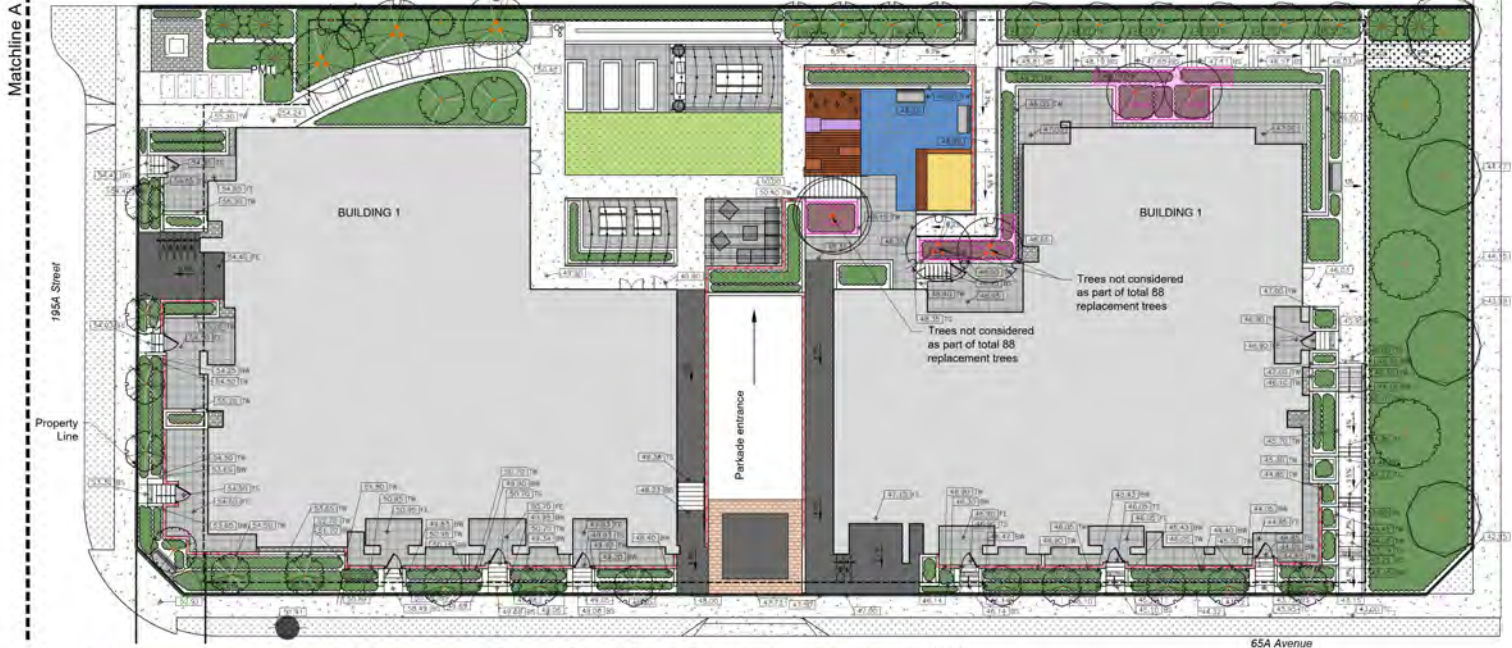
Project:  
 Proposed Multi-Family Development  
 196 Street  
 Location:  
 6595 196 Street,  
 SURREY B.C.  
 Project Application #: 17-0349

Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	
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Drawing Title: **PLANTING PLAN - EAST**  
 Drawing #: **L-03A**  
 Project #: **DP2019-40**  
 North Arrow:





Key Map (pts)



### LEGEND

KEY	DESCRIPTION
	Volume of soil for enclosed planters with trees on slab

No.	By	Description	Date
6	TM	Issued for CD Style Amendment	Oct 22, 2020
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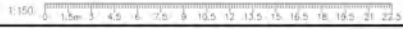
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
Proposed Multi-Family Development  
196 Street

**Location:**  
6595 196 Street,  
SURREY B.C.

**Project Application #:** 17-0349

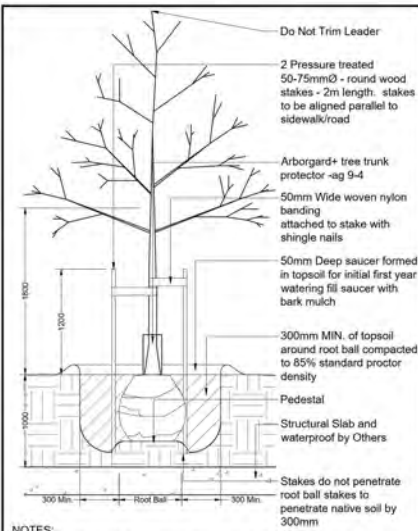
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Approved: DJ	
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2. APPROVED FOR CONSTRUCTION BY THE CITY OF SURREY ON 08/08/2020. THIS DRAWING IS THE PROPERTY OF VDZ+A AND MAY NOT BE REPRODUCED OR USED FOR OTHER PROJECTS WITHOUT PERMISSION.



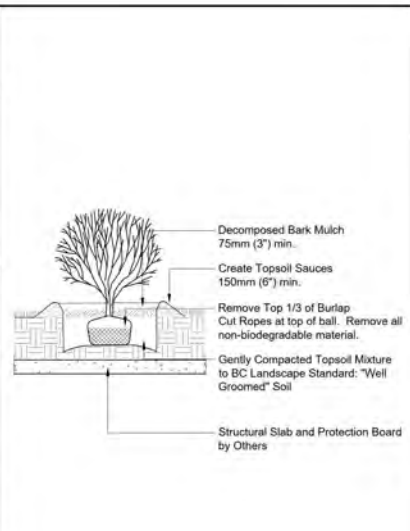




**NOTES:**

- Sacking/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc. to be removed.
- All wire baskets shall have the top 1/3 of the wire removed prior to planting.
- All trees shall be single stem.

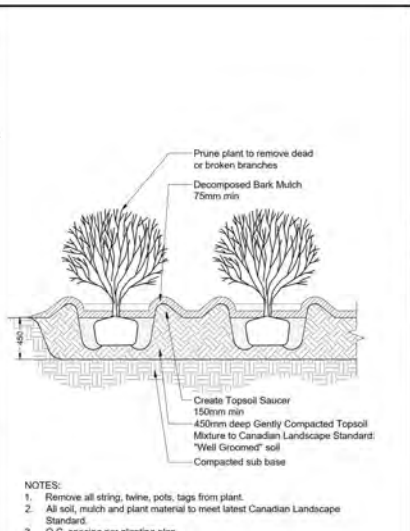
**1 TREE PLANTING ON STRUCTURAL SLAB**  
Scale: 1:25



**NOTES:**

- Remove all string, twine, pots, tags from plant.
- All soil, mulch and plant material to meet latest Canadian Landscape Standard.
- O.C. spacing per planting plan.

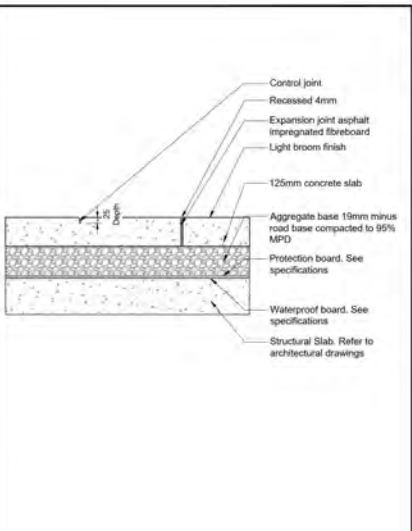
**2 SHRUB PLANTING ON STRUCTURAL SLAB**  
Scale: 1:25



**NOTES:**

- Remove all string, twine, pots, tags from plant.
- All soil, mulch and plant material to meet latest Canadian Landscape Standard.
- O.C. spacing per planting plan.

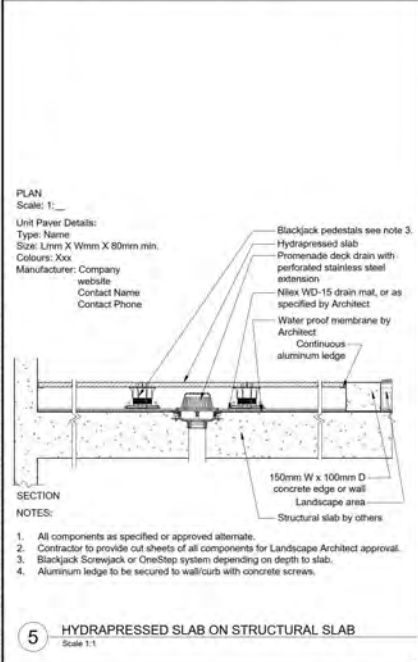
**3 SHRUB PLANTING ON GRADE**  
Scale: 1:25



**NOTES:**

- Remove all string, twine, pots, tags from plant.
- All soil, mulch and plant material to meet latest Canadian Landscape Standard.
- O.C. spacing per planting plan.

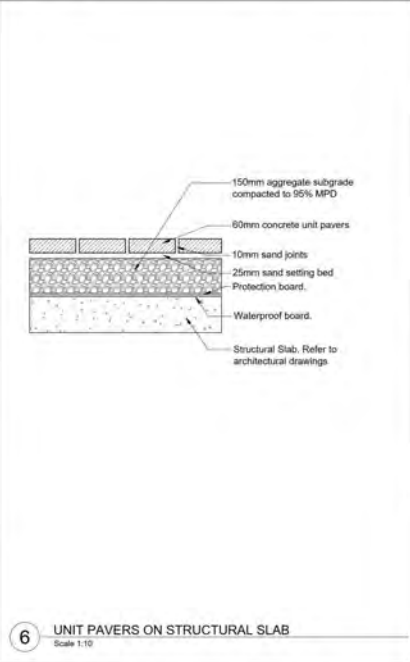
**4 CONCRETE SLAB ON STRUCTURAL SLAB**  
Scale: 1:10



**NOTES:**

- All components as specified or approved alternate.
- Contractor to provide out sheets of all components for Landscape Architect approval.
- Blackjack Screwjack or OneStep system depending on depth to slab.
- Aluminum ledge to be secured to wall/curb with concrete screws.

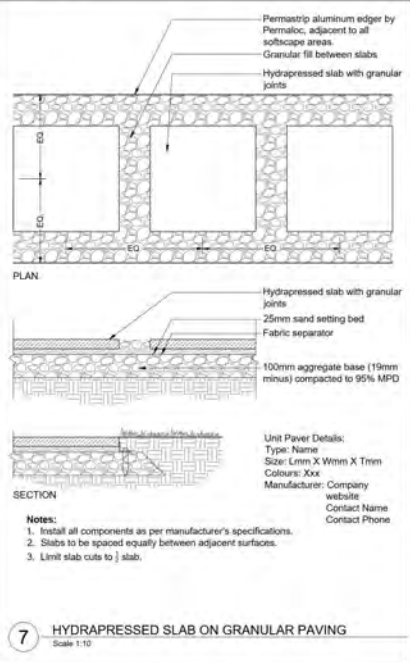
**5 HYDRAPRESSED SLAB ON STRUCTURAL SLAB**  
Scale: 1:1



**NOTES:**

- Install all components as per manufacturer's specifications.
- Slabs to be spaced equally between adjacent surfaces.
- Limit slab cuts to 3 slabs.

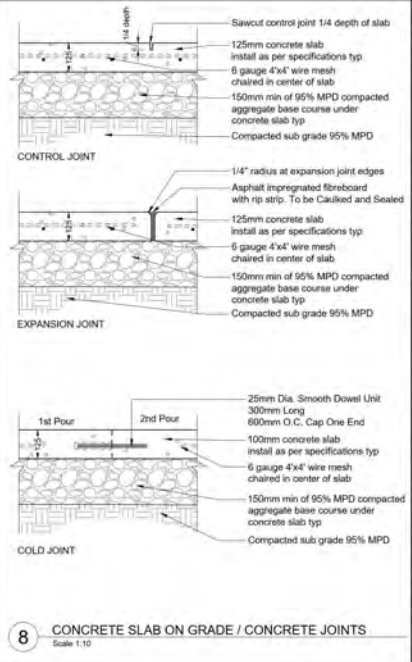
**6 UNIT PAVERS ON STRUCTURAL SLAB**  
Scale: 1:10



**NOTES:**

- Install all components as per manufacturer's specifications.
- Slabs to be spaced equally between adjacent surfaces.
- Limit slab cuts to 3 slabs.

**7 HYDRAPRESSED SLAB ON GRANULAR PAVING**  
Scale: 1:10



**NOTES:**

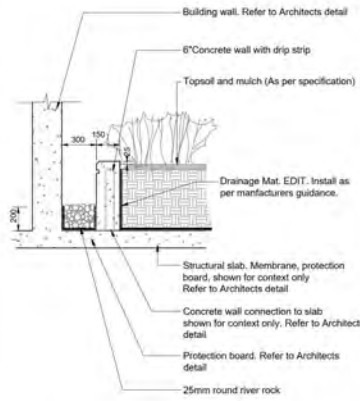
- Install all components as per manufacturer's specifications.
- Slabs to be spaced equally between adjacent surfaces.
- Limit slab cuts to 3 slabs.

**8 CONCRETE SLAB ON GRADE / CONCRETE JOINTS**  
Scale: 1:10

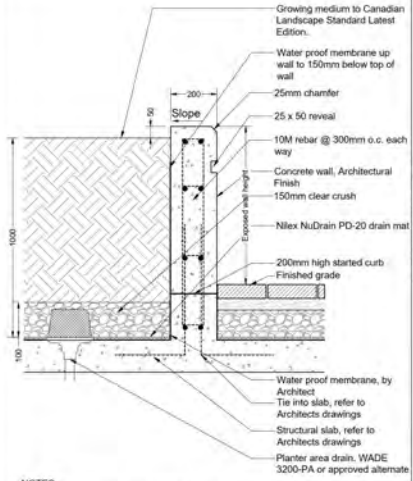
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No.	By	Description	Date
<b>REVISIONS TABLE FOR SHEET</b>			
Project: Proposed Multi-Family Development 196 Street			
Location: 6595 196 Street, SURREY B.C.			
Project Application #: 17-0349			
Drawn:	Stamp:		
TS			
Checked:			
TM			
Approved:	Original Sheet Size:		
DJ	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE SITE AND VERIFY ANY DISCREPANCIES TO THE CONSULTANT'S DRAWINGS IMMEDIATELY TO THE CONSULTANT'S OFFICE. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS OF THE OWNER AND/OR OTHER PARTIES AT THE COMMENCEMENT OF THE WORK. ALL DIMENSIONS SHALL BE TO UNLESS OTHERWISE SPECIFIED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS OF THE OWNER AND/OR OTHER PARTIES AT THE COMMENCEMENT OF THE WORK.		
AS SHOWN			

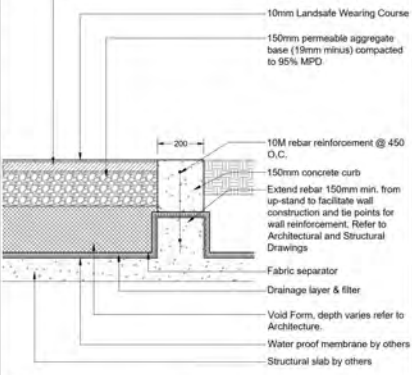


1 DRIP STRIP  
Scale 1:20



NOTES:  
1. Coordinate wall tie in to slab with Architect and Structural Engineer.  
2. All walls over 1.2m in height will need to be Structurally Engineered.  
3. All planters to be connected to Slab drainage system.

2 PLANTER RETAINING WALL  
Scale 1:10



Notes:  
1. Contractor to install engineered wood fiber play surface, filter fabric and drainage system as per manufactures specifications.  
2. Provide Additional Depth as Required in Accordance of Toy Heights and Manufactures Specifications.

3 RUBBER SURFACING ON SLAB  
Scale 1:10

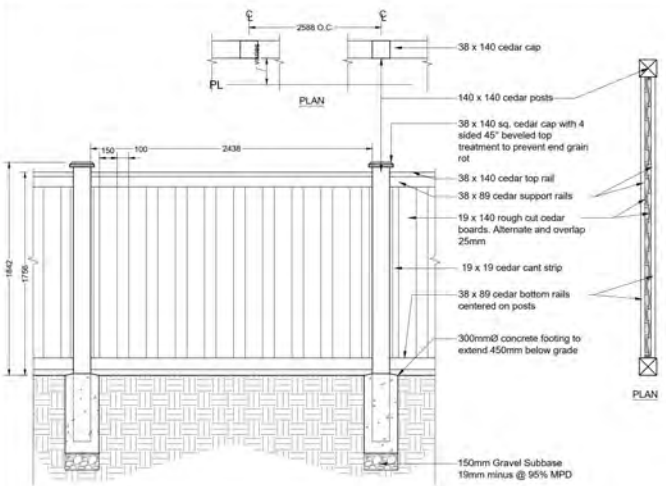


50mm Granite Cap, Flame Finished, 25mm Overhang

25mm x 25mm reveal

Concrete wall, Architectural Finish

Width 400mm, Height Varies 0.9m-1.2m

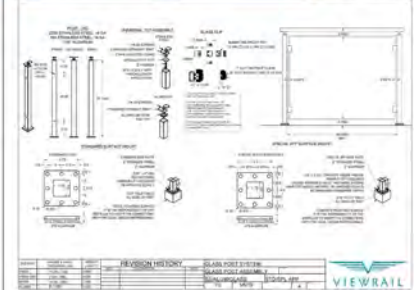


Note:  
1. Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.  
2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.

6 CEDAR PRIVACY FENCE  
Scale 1:20



Gates to be wood frame with wood panels to match top rail. Hinges to connect to aluminum posts. Contractor to provide shop drawings for review and approval by landscape architect.



Model: VIEWRAIL  
Mount: As per manufacturer's specifications and instructions.  
Material: Glass panels, Stainless Steel mounts and rail.  
Manufacturer: Viewrail  
<https://www.viewrail.com> (866) 261-8013

7 GUARDRAIL  
NTS

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	TM	Issued for Review	Oct 10, 2019
2	TM	Issued for ADP	Jan 17, 2020
3	TM	Issued for ADP	Mar 30, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
5	TM	Issued for Final Adoption	Oct 20, 2020
6	TM	Issued for LD Style Amendment	Oct 22, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	TM	Issued for Review	Oct 10, 2019
2	TM	Issued for ADP	Jan 17, 2020
3	TM	Issued for ADP	Mar 30, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
5	TM	Issued for Final Adoption	Oct 20, 2020
6	TM	Issued for LD Style Amendment	Oct 22, 2020

Project:  
Proposed Multi-Family Development  
196 Street

Location:  
6595 196 Street,  
SURREY B.C.

Project Application #: 17-0349

Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND SHALL BE NETWORKED AT THE CONSULTANT'S OFFICE. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE LABELED UNLESS OTHERWISE NOTED.

Drawing Title:  
**DETAILS**

VDZ Project #:  
**DP2019-40**

Drawing #:  
**LD-02**



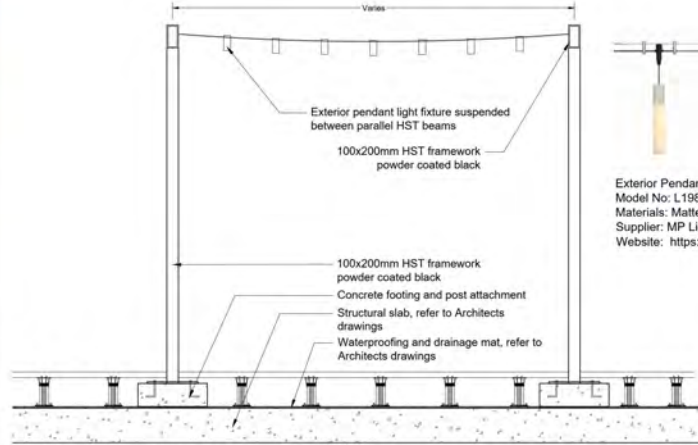
**BIKE RACK**  
 Model: Inox Bike Rack  
 Mount: Ground  
 Capacity: 2 Bikes  
 Materials: Ipe Wood, Stainless Steel  
 Manufacturer: Paris Site Furnishings  
 www.peml.com 1-800-387-6318

1 BIKE RACK  
 NTS



Collection Model: Coeur D'Alene  
 Manufacturer: Texacraft  
 Supplier: Sudden Fun  
<https://www.texacraft.com/Collections-1/coeur-dalene-1c>

2 LOUNGE SET  
 NTS



BUILDING 1: TRELLIS SECTION (WIDTH)

Notes:  
 1. Trellis dimensions vary. See plans.  
 2. Structurally engineered shop drawings to be provided for review and approval by landscape architect

3 CATENARY LIGHTING FRAME  
 NTS



**PICNIC TABLE**  
 Model: Harpo 69" (x2)  
 Size: 69" x 32.5" x 32.5"  
 Model: Harpo 118" (x3)  
 Size: 118" x 32.5" x 32.5"  
 Materials: Wood, Powder Coated Aluminum  
 Manufacturer: Landscape Forms  
[www.landscapeforms.com](http://www.landscapeforms.com)  
[juliar@landscapeforms.com](mailto:juliar@landscapeforms.com)  
 1-800-430-6206 x 1326  
 (Julia Ryan)

**PICNIC BENCH**  
 Model: Harpo Wide Wood 69" (backless) (x4)  
 Size: 69" x 17" x 18"  
 Model: Harpo Wide Wood 118" (backless) (x6)  
 Size: 118" x 17" x 18"

Materials: Wood, Powder Coated Aluminum  
 Manufacturer: Landscape Forms  
[www.landscapeforms.com](http://www.landscapeforms.com)  
[juliar@landscapeforms.com](mailto:juliar@landscapeforms.com)  
 1-800-430-6206 x 1326  
 (Julia Ryan)



4 PICNIC SET  
 NTS



**BENCH**  
 Model: Harpo Wide Wood 69"  
 Size: 69" x 17" x 31"  
 Materials: Wood, Powder Coated Aluminum  
 Backed: Yes  
 Armrests: Yes  
 Manufacturer: Landscape Forms  
[www.landscapeforms.com](http://www.landscapeforms.com)  
[juliar@landscapeforms.com](mailto:juliar@landscapeforms.com)  
 1-800-430-6206 x 1326  
 (Julia Ryan)

5 BENCH  
 NTS



Model: Sorella Planter  
 Materials: Powder-coated Steel  
 Manufacturer: Landscape Forms  
 Size: 30x30x30"  
 Website: <https://www.landscapeforms.com>

6 HILL PLAY AND SLIDE  
 NTS

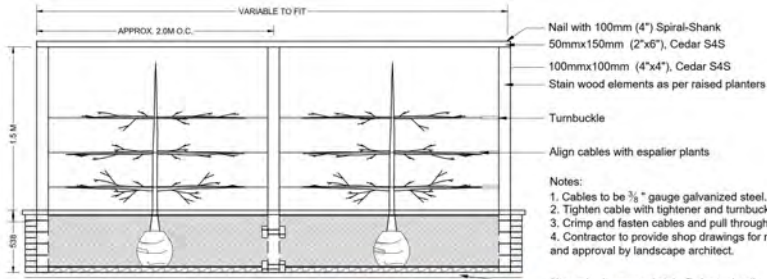
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No.	By	Description	Date

Project:  
 Proposed Multi-Family Development  
 196 Street  
 Location:  
 6595 196 Street,  
 SURREY B.C.  
 Project Application #: 17-0349

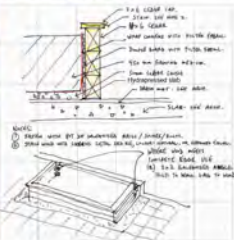
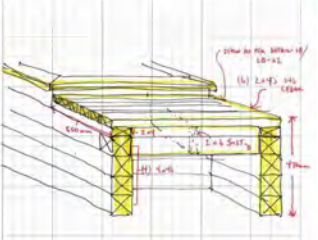
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Approved: DJ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. CONSTRUCTION SHALL LABEL ALL DIMENSIONS TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.



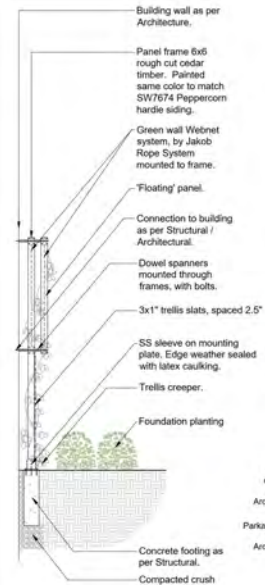
- Nail with 100mm (4") Spiral-Shank 50mmx150mm (2"x6"), Cedar S4S
- 100mmx100mm (4"x4"), Cedar S4S
- Stain wood elements as per raised planters
- Turnbuckle
- Align cables with espalier plants

- Notes:
- Cables to be 3/8" gauge galvanized steel.
  - Tighten cable with tightener and turnbuckle
  - Crimp and fasten cables and pull through posts
  - Contractor to provide shop drawings for review and approval by landscape architect.

Sits on hydropressed slab. Refer to detail and architecture build up.



1 RAISED VEGETABLE PLANTER  
1:20



VINE SPECIES  
North wall: Hobeobia coriacea  
East Wall: Akebia Quintana  
Alternative Species: Loncera ciliosa

CABLE WIRE SYSTEM  
Product name: Webnet  
Supplier: Jakob Rope Systems  
Local Distributor: Rope + Cable Canada, Ph: (604) 714-0028.  
To be installed as per manufacturer's assembly instructions.  
Webnet system to be installed for entire height of concrete wall.



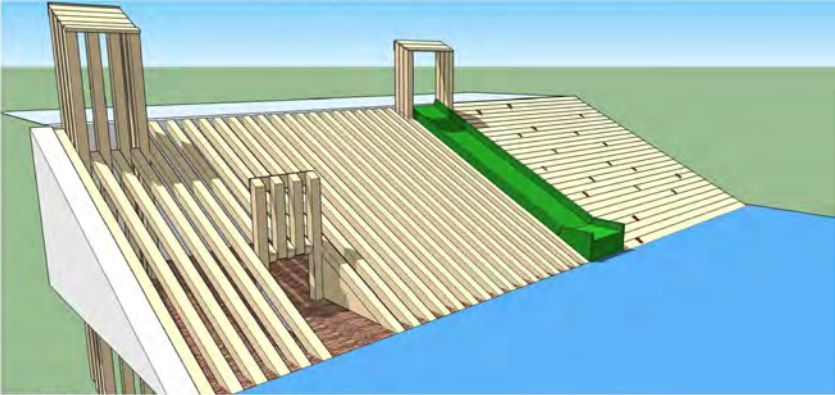
2 GREEN WALL TRELLIS SYSTEM  
1:50

Embankment Slide  
Supplier: Green Roots Play Equipment  
Contact: Samantha Erskine  
Phone: 1-855-382-7529  
Email: info@greenrootsplayequipment.ca  
Product Number: B301425RO or approved equal  
Molded Polyethylene Colour: 10 (Green)  
Installation: Install as per manufacturer's specification

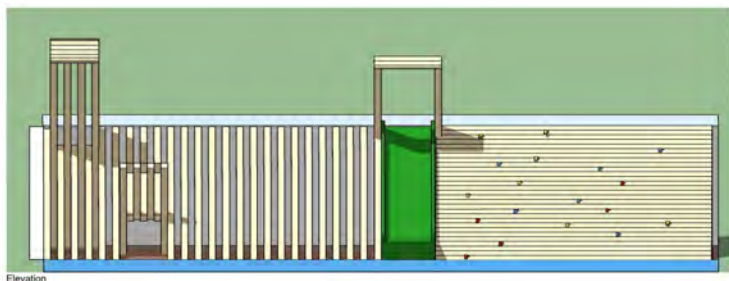


Construction type reference image

- Notes:
- Timber 4x4 Cedar, overlapped and connected with galvanized ready rod.
  - Fasteners to be counter sunk.
  - All aspects of design, openings, fasteners etc to meet current CSA standards for play space design.
  - Area beneath timber play feature to be engineered wood fiber.
  - Area north of slide to be smooth boards with hand holds.



Perspective 1: Hill play and slide



Elevation



Perspective 2: Tunnel and Tower



3 HILL PLAY AND SLIDE  
NTS

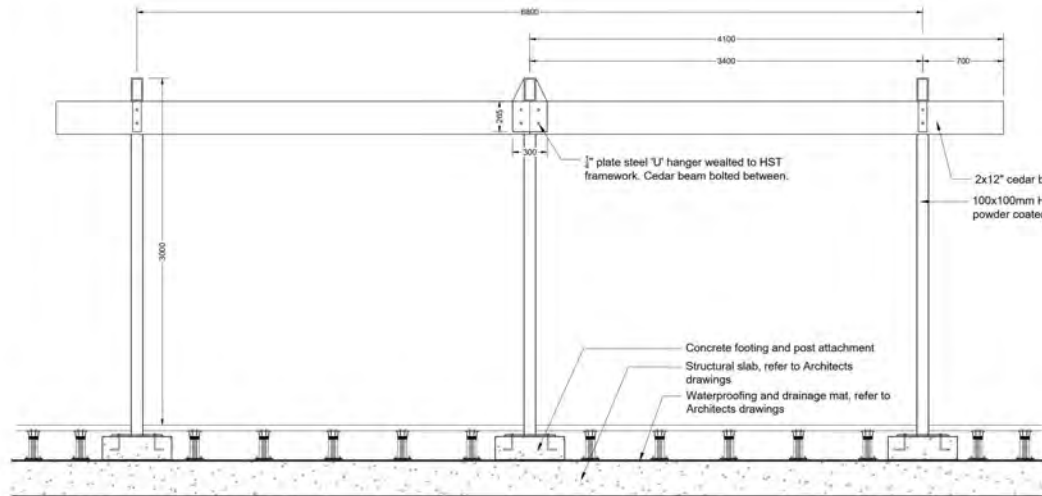
No.	By	Description	Date
8	TM	Issued for CD Review Amendment	Oct 22, 2020
5	TM	Issued for Final Adoption	Oct 20, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
3	TM	Issued for ADP	Mar 30, 2020
2	TM	Issued for ADP	Jan 17, 2020
1	TM	Issued for Review	Oct 10, 2019

REVISIONS TABLE FOR DRAWINGS  
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

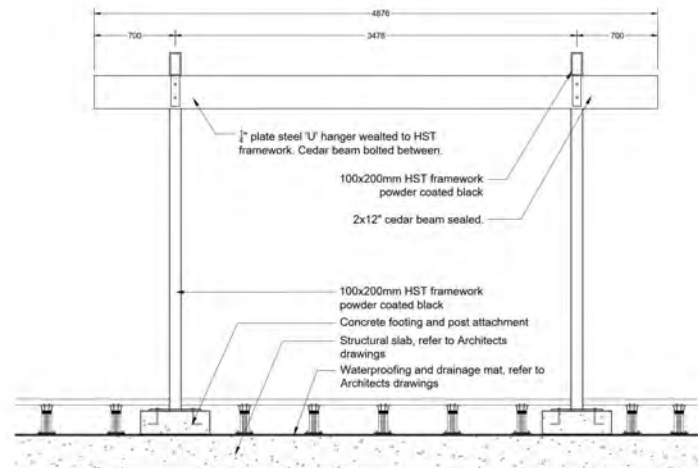
Project:  
Proposed Multi-Family Development  
196 Street  
  
Location:  
6595 196 Street,  
SURREY B.C.  
  
Project Application #: 17-0349

Drawn: TS	Stamp: 24"x36"
Checked: TM	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND VERIFY ANY DISCREPANCIES TO THE CONTRACTOR BEFORE PROCEEDING. ALL DIMENSIONS ARE INDICATED UNLESS OTHERWISE NOTED AT THE CONSTRUCTION OF THE WORK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE.

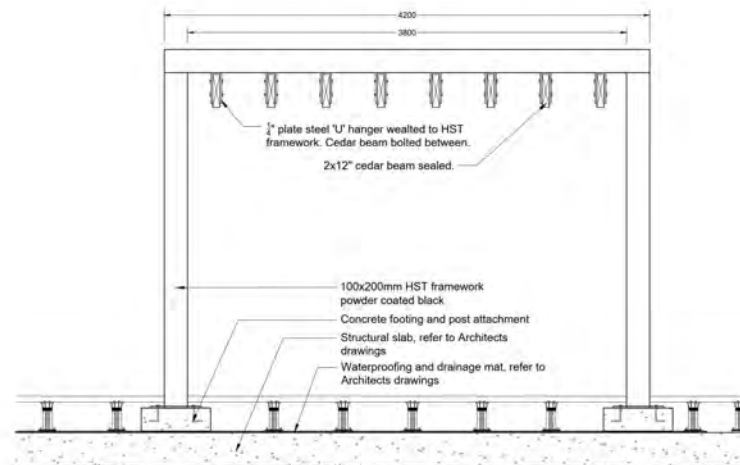


BUILDING 2: TRELLIS SECTION (WIDTH)

- Notes:
1. Trellis dimensions vary. See plans.
  2. Structurally engineered shop drawings to be provided for review and approval by landscape architect
  3. All timber to be stained with Behr Waterproofing Stain and Sealer (Colour: Russet - to be reviewed and approved by landscape architect after viewing samples). Follow all manufacturer's instructions including preparation requirements and products.



BUILDING 1: TRELLIS SECTION (WIDTH)



BUILDING 1: TRELLIS SECTION (LENGTH)

No.	By	Description	Date
9	TM	Issued for CD Review Announcement	Oct 22, 2020
8	TM	Issued for Final Adoption	Oct 20, 2020
4	TM	Issued for Final Adoption	Oct 01, 2020
3	TM	Issued for ADP	Mar 30, 2020
2	TM	Issued for Review	Jan 17, 2020
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
 Proposed Multi-Family Development  
 196 Street  
 Location:  
 6595 196 Street,  
 SURREY B.C.  
 Project Application #: 17-0349

Drawn: TS	Stamp:
Checked: TM	
Approved: DJ	
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THIS DRAWING AND VERIFY ANY DISCREPANCIES TO THE CONTRACTOR. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES.

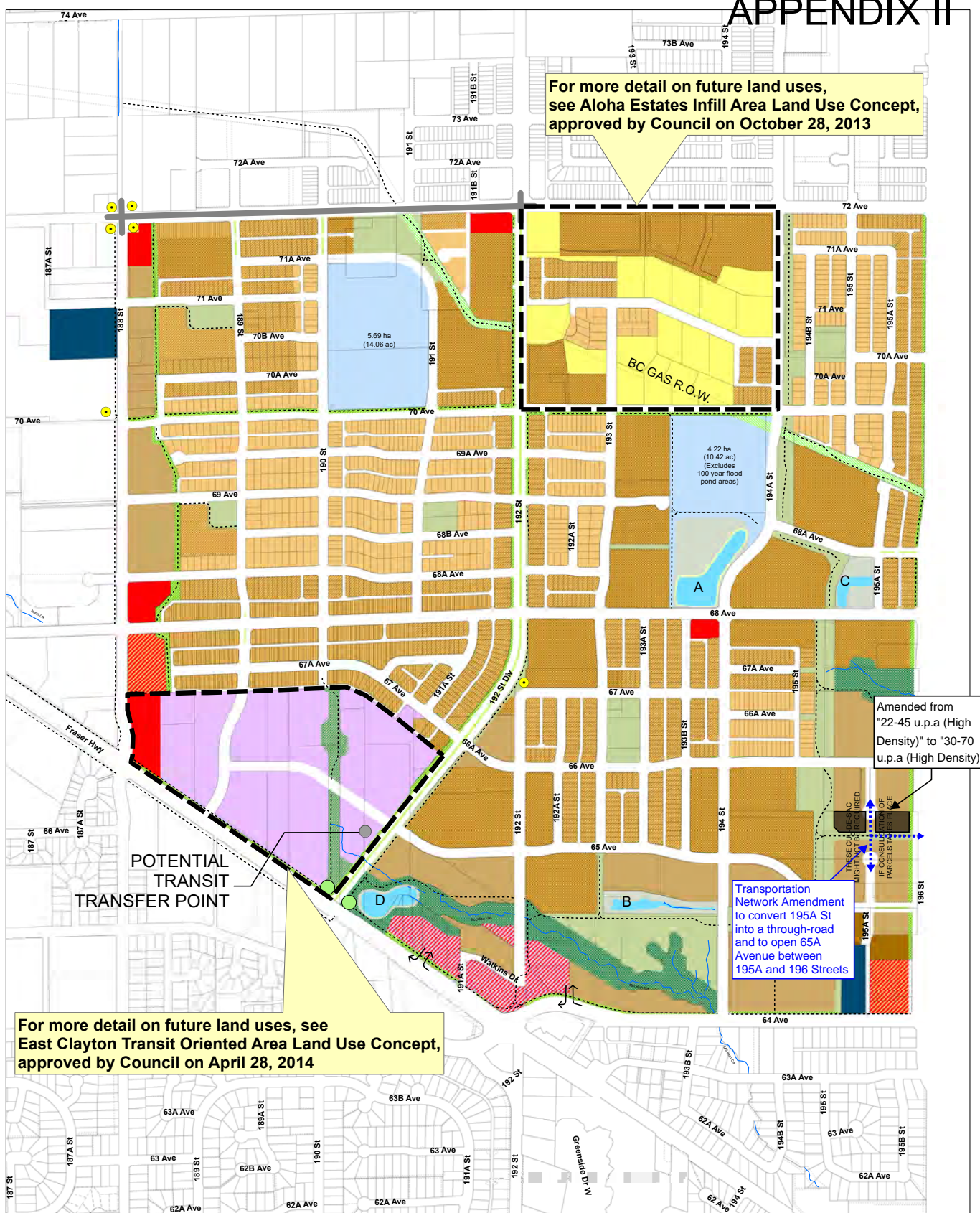
Drawing Title:  
**DETAILS**

VDZ Project #:  
**DP2019-40**

Drawing #:  
**LD-05**

2: VDZ+ A ARCHITECTS 102-6521 CHURCH ST. FORT LANGLEY BC V4M 2R6 TEL: 604-852-0034 FAX: 604-852-0034

For more detail on future land uses, see Aloha Estates Infill Area Land Use Concept, approved by Council on October 28, 2013



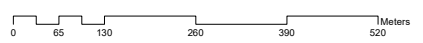
Amended from "22-45 u.p.a (High Density)" to "30-70 u.p.a (High Density)"

Transportation Network Amendment to convert 195A St into a through-road and to open 65A Avenue between 195A and 196 Streets

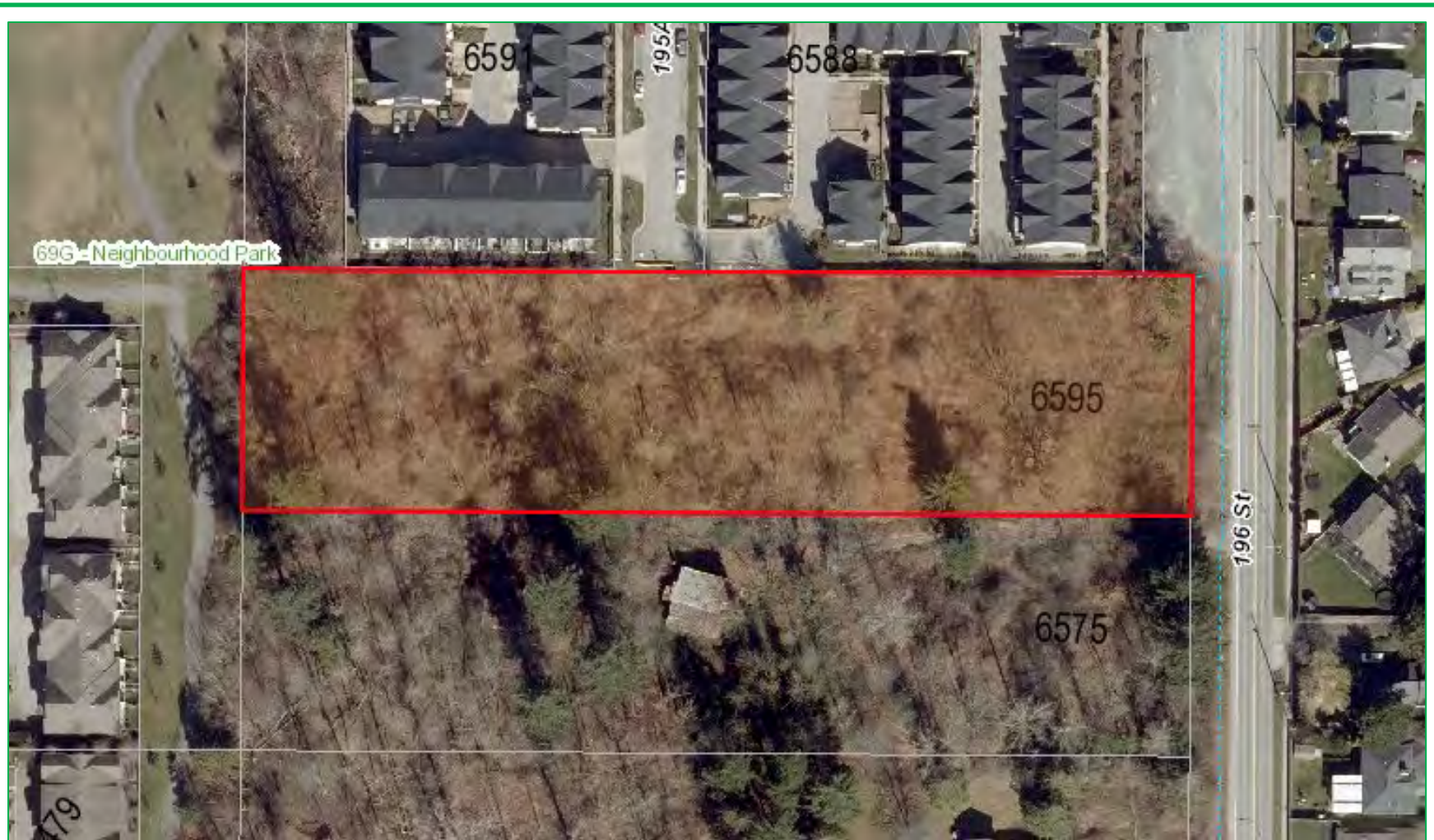
For more detail on future land uses, see East Clayton Transit Oriented Area Land Use Concept, approved by Council on April 28, 2014

- Half Acre Residential
- 6-10 u.p.a. (Low Density)
- 10-15 u.p.a. (Medium Density)
- 10-15 u.p.a. Special Residential
- 15-25 u.p.a. (Medium-High Density)
- 22-45 u.p.a. (High Density)
- 30-70 u.p.a. (High Density)
- Business Park
- Neighbourhood Commercial
- Commercial / Residential
- Specialty Community - Oriented Commercial
- Utility - Open Space
- Institutional (church, schools, civic buildings, seniors housing, etc.)
- Storm Water Ponds (100 year flood event)
- Storm Water Pond on Private Property
- School & Park
- Riparian Protection Area
- Natural Area
- Public Open Space / Park
- Open Space / Park on Private Property
- Special Setback and Landscaping Buffers (landscaped area on private property)
- Urban Landmark / Reference Point
- Neighbourhood Gateway Feature
- Multi Use Pathway on Public Land or on Private Property with Public Use R.O.W.

**EAST CLAYTON LAND USE PLAN**  
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT



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**7920-0259-00 | Aerial View of Subject Site**

# APPENDIX IV

## City of Surrey PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0349-00

Planning Report Date: April 6, 2020

### PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **NCP Amendment** of a portion from 22-45 u.p.a (High Density) to 30-70 u.p.a (High Density) and an amendment to the road network.
- **Rezoning** from RA to CD (based on RM-70) **Development Permit**

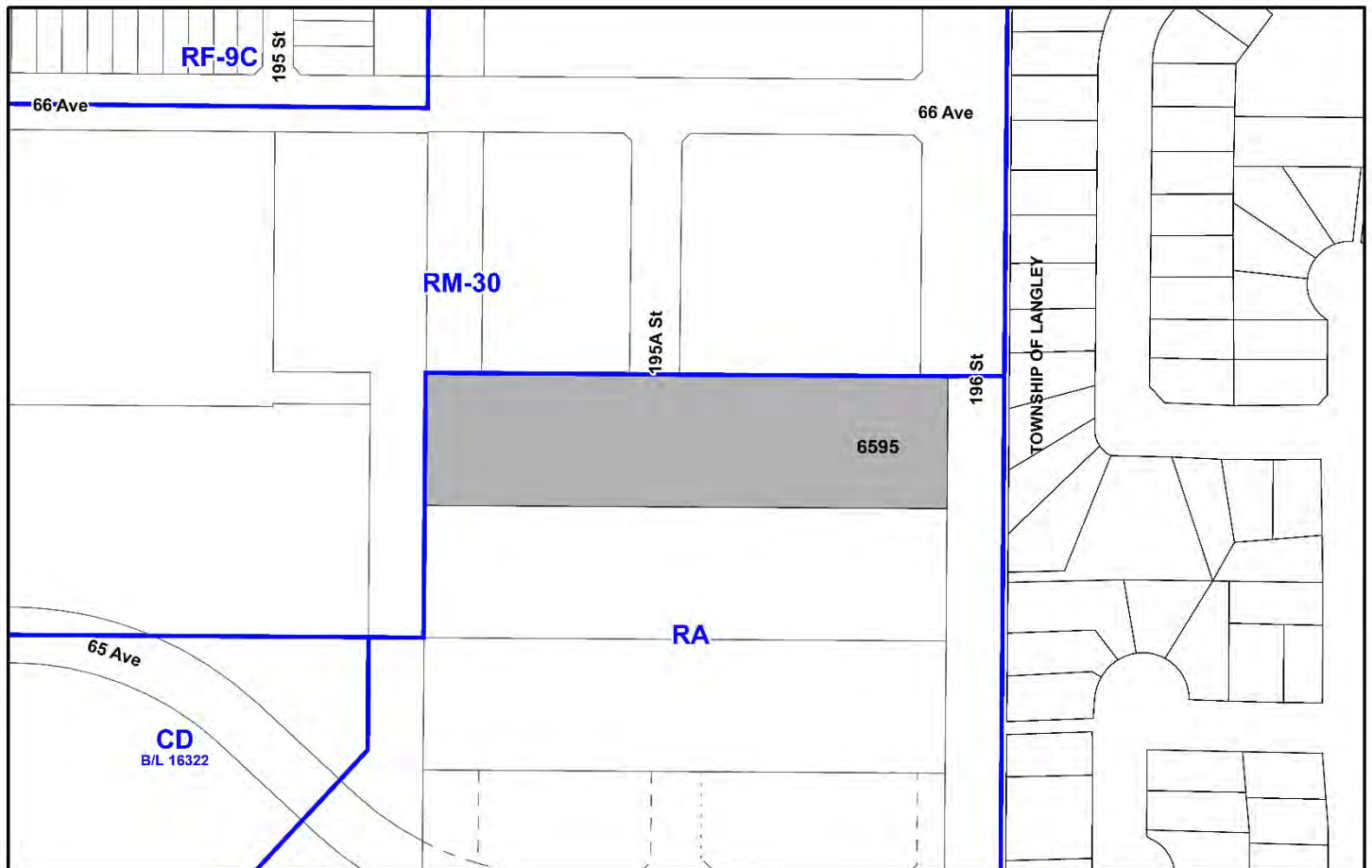
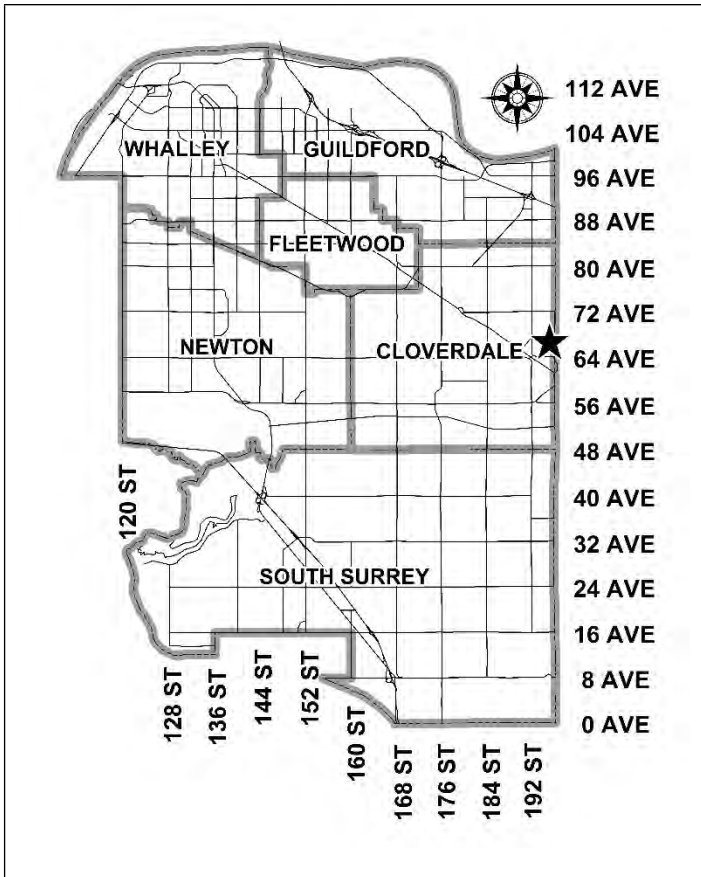
to permit the development of a 5-storey and a 6-storey apartment building.

**LOCATION:** 6595 - 196 Street

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** 22-45 u.p.a (High Density)/Public Open Space/ Park





## RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Urban to Multiple Residential, which is required as part of the implementation process outlined in the East Clayton Neighbourhood Concept Plan (NCP).
- Proposing an amendment to the East Clayton Neighbourhood Concept Plan (NCP) from "22-45 u.p.a. (High Density)" to "30-70 u.p.a. (High Density)" in order to allow for 5 and 6 storey apartment buildings. The road network in the NCP is also proposed to be amended as part of this application to connect 195A Street between 65 Avenue and 66 Avenue and to create a new 65A Avenues east of 195A Street.

## RATIONALE OF RECOMMENDATION

- The proposed OCP amendment from Urban to Multiple Residential is to accommodate the density and built form envisioned in the East Clayton NCP.
- The proposed NCP amendment from "22-45 u.p.a. (High Density)" to "30-70 u.p.a. (High Density)" allows for smaller, more affordable units, and is consistent with the designation of recently approved development to the south. The proposal supports the objectives of the East Clayton NCP to develop a compact, diverse, and walkable community.
- The proposed NCP road network amendment eliminates the two envisioned 195A Street cul-de-sacs and replaces them with a through-road as well as creating 65A Avenue, east of 195A Street. This will create a more connected road network that will disperse vehicular traffic more effectively and provide better pedestrian linkages.
- The proposed building setbacks achieve a more urban, pedestrian streetscape in compliance with the East Clayton Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP. The applicants have also responded to community concerns about the height of the proposed development increasing the northern setback from the adjacent townhome development and further stepping the top storeys of both proposed buildings back to improve privacy and access to sunlight.

- The proposed development achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high standard to achieve a positive urban experience between the proposed buildings and the public realm.
- The applicant has volunteered to dedicated 1,360 square metres of parkland to the City without compensation as a community benefit in support of the proposed NCP Amendment.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a Bylaw be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7917-0349-00, generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) submission of an acoustical report for the units adjacent to 196 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) registration of a Section 219 Restrictive Covenant for installation and maintenance of the landscape buffer along 196 Street;
  - (j) conveyance of proposed Lot 3, to the City, for Parks purposes (as a proposed community benefit);

- (k) registration of a Section 219 Restrictive Covenant to ensure implementation of sustainable design features as offered by the applicant for the project; and
  - (l) registration of access easements and maintenance agreements for shared amenity space between the two buildings on separate lots.
6. Council pass a resolution to amend the East Clayton NCP to redesignate portions of the land from "22-45 u.p.a. (High Density)" to "30-70 u.p.a. (High Density)" and to amend the road network when the project is considered for Final Adoption.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Undeveloped Acreage Property	Urban / 22-45 u.p.a (High Density)	RA
North:	Townhomes	Urban / 22-45 u.p.a (High Density)	RM-30
East (Across 196 Street):	Township of Langley, single detached houses	N/A	N/A
South:	Acreage Property with Single Family Home	Urban / 22-45 u.p.a (High Density)	RA
West:	Park and Townhouses	Urban / 15-25 u.p.a. (Medium-High Density)	RA and RM-30

### Context & Background

- The subject site is currently designated Urban in the OCP and "22-45 u.p.a (High Density)" and "Public Open Space / Park" in the East Clayton NCP. The site is currently zoned One-Acre Residential Zone (RA). There have been no previous development applications related to this property.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing to amend the OCP from Urban to Multiple Residential, and the NCP from "22-45 u.p.a. (High Density)" to "30-70 u.p.a. (High Density)", as well as rezoning from RA to a "Comprehensive Development Zone (CD)", and a Form and Character Development Permit, to facilitate the development of 2 apartment buildings (one 5-storey and one 6-storey) on two lots. An additional lot (proposed Lot 3) is proposed to be conveyed to the City, without compensation, for a public park.

- Development details are provided in the table below:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	8945.0 m <sup>2</sup>
Road Dedication:	3525.3 m <sup>2</sup>
Net Site Area:	5419.7 m <sup>2</sup>
<b>Number of Lots:</b>	3
<b>Building Height:</b>	West Building 4-5 storeys (max 18.48 metres from average existing grade) East Building 4-6 storeys (max 19.63 metres from average existing grade)
<b>Unit Density:</b>	149.8 UPH Gross / 60.6 UPA (gross)
<b>Floor Area Ratio (FAR):</b>	1.23 (gross)
<b>Total Floor Area</b>	10,982.2 m <sup>2</sup>
<b>Residential Units:</b>	134
Studio:	1
1-Bedroom:	34
1-Bedroom + Den	41
2-Bedroom:	42
2-Bedroom + Den	14
Townhouse (4 bedroom)	2
Total:	134

- The proposed floor area of the westernmost building on proposed Lot 2 is 4,571.4 m<sup>2</sup> and the proposed floor area of the easternmost building on proposed Lot 1 is 6,410.8 m<sup>2</sup> for a total combined floor area of 10,982.2 m<sup>2</sup>.
- There are 56 units proposed for the westernmost building and 78 units proposed for the easternmost building for a total of 134 units.

### Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:

**The School District has provided the following projections for the number of students from this development:**

4 Elementary students at Katzie Elementary School  
2 Secondary students at Clayton Heights Secondary School

(Appendix III)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2022.

Parks, Recreation & Culture:	Parks supports the conveyance of land as the as a community benefit requirement for the proposed OCP and NCP amendments.
Surrey Fire Department:	A Building Permit may not be issued until a Construction Fire Safety Plan has been submitted, reviewed and accepted by the Fire Department.
Advisory Design Panel:	The proposal was considered at the ADP meeting on February 13, 2020 and was supported. The applicant has resolved all of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department.
Township of Langley:	The existing built form in the Township of Langley to the east of the proposed development project currently consists of two storey single family residential development. The proposed development should respond to this context in form, scale and design.

### Transportation Considerations

- The west building is proposed to be accessed from the future 195A Street and the east building is proposed to be accessed from the future 65A Avenue. The applicant is being required to construct both frontages along 195A Street and 65A Avenue to the City's local road standard with sidewalks on both sides of the roads and on-street parking.
- The proposed development is located adjacent to the Katzie Greenway and is in close proximity to the on-street bike lanes on 194 Street and 64 Avenue.
- The subject site currently served by bus routes that run along 194 Street and 64 Avenue (Routes 364 and 370), with service on 64 Avenue expected to increase with population growth in the area. The subject site is also approximately one (1) kilometre from a future rapid transit station on Fraser Highway.

### Parkland Considerations

- The western portion of the subject site is designated as "Public Open Space / Park" in the East Clayton NCP and is intended to form part of the north/south linear park (Katzie Greenway). The applicant has volunteered to dedicate 1,360 square metres of land on the west edge of the site in accordance with the NCP as a community benefit in support of the proposed NCP Amendment.

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 2 of the BC Energy Step Code, and possibly Step 3 based upon the date of Building Permit issuance.

- In addition, the applicant has highlighted the following additional sustainable features:
  - Roughed-in EV charging infrastructure for up to 20% of total parking stalls;
  - LED fixtures and occupancy sensors throughout the development;
  - Low or dual flush toilets; and
  - Double glazed windows.

### **School Capacity Considerations**

- The School District has advised that the Clayton area is one of the fastest growing communities in the City due to the build out of East Clayton and the redevelopment of Aloha Estates. To meet increasing demand, the district is constructing a new 565 student elementary school on 194 Street and 76 Avenue. Further, the District currently has a proposed 612 student elementary school which is currently in the planning stages and is targeted to open in Fall 2022.
- As part of the District's 2018/2019 Capital Plan submission to the Ministry of Education, a site expansion and capacity addition to the existing Clayton Elementary School was proposed with a targeted opening date of Fall 2024 to meet future growth in the community. This project has yet to be approved for capital funding by the Province.

## **POLICY & BYLAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The subject site is located within and complies with the General Urban Land Use Designation of Metro Vancouver's Regional Growth Strategy.

### **Official Community Plan**

#### Land Use Designation

- The subject site is currently designated as Urban in the OCP. The Urban designation supports up to 72 units per hectare (30 upa) in approved Secondary Plan areas; however, this designation does not support any zone that achieves a Floor Area Ratio high enough to facilitate the proposed development.

#### Amendment Rationale

- The applicant is proposing to redesignate the site to Multiple Residential, which will allow for a Floor Area Ratio of up to 1.5, calculated on the gross site area. The proposed development's resultant Floor Area Ratio (FAR) is 1.23 calculated on the Gross Site Area.
- The proposed OCP amendment complies with the general intent of the East Clayton NCP which allows for the development of multiple residential apartments.

## PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process including the Township of Langley.

### Themes/Policies

- The proposed development complies with the following themes and policies in the OCP:
  - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy (RGS)* (2011).
 

*(The proposed development complies with the RGS designation)*
  - A1.3 - Accommodate urban land development according to the following order of growth management priorities:
    - d. – Comprehensively-planned new neighbourhoods within approved Secondary Plan areas.
 

*(The proposed development is located within an approved Secondary Plan area.)*
  - A2.1 – Direct residential and mixed-use development into Surrey’s City Centre, Town Centres, Urban Centres, LRT Corridor Planning Areas along Frequent Transit Corridors and in Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 

*(The proposed development is at a sufficient density to encourage transit service expansion and is located in a Secondary Plan area and will support the commercial node at 64<sup>th</sup> Avenue and 196 Street.)*
  - A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to:
    - support high-quality public transit investments
    - use infrastructure efficiently
    - provide housing options
    - provide amenities for residents.

*(The proposed development is at a sufficient density to support transit investments and will utilize infrastructure more efficiently than the current OCP designation. It will provide greater housing options than are currently available in this quadrant of East Clayton and will contribute to the linear parkway envisioned in the East Clayton NCP.)*
  - B4.5 – Direct higher residential densities to locations within walking distance of neighbourhood centres, along main roads, near transit routes and adjacent to major parks or civic amenities.
 

*(The propose development is adjacent to an arterial roadway, a park, and is within 200-metres of a transit route on 194 Street.)*



- C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

*(The proposed development is of a sufficient density to utilize existing infrastructure systems efficiently.)*

- C2.5 – Encourage development patterns, densities and designs that support transit services and that promote efficient walking and cycling.

*(The proposed development is of sufficient density to support transit services and will also improve the pedestrian infrastructure adjacent to the site.)*

## Secondary Plans

### Land Use Designation

- The subject site is currently designated as "22-45 u.p.a (High Density)" and "Public Open Space / Park" in the East Clayton NCP.

### Amendment Rationale

- The applicant is proposing to amend the NCP by redesignating a portion of the subject site from "22-45 u.p.a (High Density)" to "30-70 u.p.a (High Density)" in order to allow for an up to 6-storey apartment form.
- The proposed NCP amendment from "22-45 u.p.a (High Density)" to "30-70 u.p.a (High Density)" allows for smaller units and is consistent with the designation of the adjacent developments approved to the south. The proposal supports the objectives of the East Clayton NCP to develop a compact, diverse and walkable community.
- A corresponding NCP amendment to the road network removes the two envisioned 195A Street cul-de-sacs and replaces them with a through-road as well as creating 65A Avenue, east of 195A Street. This will create a more connected road network that will disperse vehicular traffic more effectively and provide additional pedestrian routes.
- Since the approval of the East Clayton NCP in 2003, the housing market has changed significantly in the Metro Vancouver area due to increases in land and housing prices. The proposed NCP amendment is intended to provide smaller and more affordable housing units.
- The proposed density is permitted under the Multiple Residential Designation of the OCP and complies with the general intent and vision of the East Clayton NCP which allows an apartment form of development.
- The proposed gross density of the development before park and road dedications is less than 1.3.

- The applicant is proposing to dedicate 1,360 square metres of parkland to the City, without compensation, as a community benefit in support of the proposed NCP Amendment.

#### Themes/Objectives

- Principle 1 - Conserve land and energy by designing compact walkable neighbourhoods. This will encourage pedestrian activities where basic services (e.g., schools, parks, transit, shops, etc.) are within a five to six minute walk of their homes.

*(The proposed development contributes to the creation of a compact walkable neighbourhood and will be within walking distance of the commercial node located at 64 Avenue and 196 Street, and transit routes on 194 Street.)*

- Principle 2 - Provide different dwelling types (a mix of housing types, including a broad range of densities from single family homes to apartment buildings) in the same neighbourhood and even on the same street.

*(The proposed development further diversifies the dwelling unit mix in this area of East Clayton.)*

#### **Community Amenity Contributions (CACs)**

- Tier 1 - Contributions
  - On January 1, 2020, the City introduced new Capital Project Contributions (CAC's) as outlined in Corporate Report R224. The proposed development will be subject to the new Tier 1 Capital Plan Project CACs, as identified in Section B.2(a) of Schedule G of the Zoning Bylaw. The Capital Project contribution rates are phased in over 2 years, with rates increasing from \$1,000 to 1,500, to \$2,000 from January 1, 2020 to January 1, 2022 as outlined in Section B.4 of Schedule G of the Zoning Bylaw. The proposed development will provide the applicable per unit Tier 1 CAC at the time of building permit issuance.
- Tier 2 – Contributions
  - A Secondary Plan Amendment to the East Clayton NCP is proposed as part of this development. The applicant is proposed to dedicate to the City 1,360 square metres of parkland, without compensation, as a density bonus community benefit in support to the proposed NCP Amendment. The proposed parkland dedication addresses the Tier 2 CAC requirements for the project.

#### **CD Bylaw**

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed development on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 70 Zone (RM-70)".

- The CD By-law is divided into three Blocks. Block A comprises the proposed parkland and will permit only open space. Blocks B and C are the two development sites (Lots 1 and 2) and are regulated accordingly in the CD By-law.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Unit Density:</b>	N/A	Block A – Not applicable Block B – 264 u.p.h (107 u.p.a.) Block C – 237 u.p.h. (97u.p.a.)
<b>Floor Area Ratio:</b>	1.50	Block A – Not applicable Block B – 2.15 Block C – 1.95
<b>Lot Coverage:</b>	33%	Block A – Not applicable Block B – 52% Block C – 52%
<b>Yards and Setbacks</b>	7.5 metres from all lot lines.	Block A – Not applicable Block B <ul style="list-style-type: none"> <li>• South - 5.0 m</li> <li>• North - 7.3 m</li> <li>• West - 5.0 m</li> <li>• East - 4.5 m</li> </ul> Block C <ul style="list-style-type: none"> <li>• South - 3.0 m</li> <li>• North - 7.7 m</li> <li>• West - 4.5 m</li> <li>• East - 11 m</li> </ul>
<b>Principal Building Height:</b>	50 metres	Block A – Not applicable Block B - 18.6 m Block C - 19.8 m
<b>Permitted Uses:</b>	Multiple unit residential buildings, Ground-Oriented Multiple Unit Residential Buildings, and Child care centres, provided that they do not constitute a singular use on the lot.	Block A – Open Space  Blocks B and C – Multiple unit residential buildings and ground-oriented multiple unit residential buildings.
<b>Amenity Space</b>		
Indoor Amenity:	3 m <sup>2</sup> per dwelling unit	3 m <sup>2</sup> per dwelling unit
Outdoor Amenity:	3 m <sup>2</sup> per dwelling unit	3 m <sup>2</sup> per dwelling unit
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Residential:	195	196
Residential Visitor:	28	28

Total:	223	224
Tandem (%):	0%	0%
<b>Bicycle Spaces</b>		
Residential Secure Parking:	170	229
Residential Visitor:	12	15

- The key differences between the RM-70 Zone and the proposed CD Bylaw are as follows:
  - The FAR density is increased in the CD By-law to allow up to 2.15 FAR (net density). The overall gross density of the development is less than 1.3.
  - The site coverage is higher in the CD By-law to reflect the proposed low-rise apartment form (4 to 6 storey type apartment).
  - The yard setbacks in the CD By-law are designed to meet current urban design standards that create a more urban pedestrian environment. Additionally, the setback along 196 Street incorporates the landscape buffer envisioned in the East Clayton NCP.
  - The principle building height in the CD By-law is significantly lower than the RM-70 Zone. The RM-70 Zone accommodates a high-rise form. The CD By-law limits the buildings' height to 6-storeys maximum, as proposed.

### Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, this contribution does not apply.

### Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### PUBLIC ENGAGEMENT

- Pre-notification letters initially were sent on May 17, 2018 and updated February 12, 2020, and the Development Proposal Sign was installed on July 16, 2018. Staff received twenty-seven responses from neighbouring property owners to the initial referral and three (3) responses to the updated referral (*staff comments in italics*):

The public responses to the initial referral are summarized as follows:

- Residents raised concerns about the additional traffic being introduced into the area noting that on-street parking and congestion at rush hour was already an issue as there is limited transit service in the area. This issue was of particular concern to the residents of the townhouse development directly north of the subject site as 195A Street is now envisioned to run through the site instead of terminating in cul-de-sacs. The development to the north is a strata that is comprised of a hooked lot crossing 195A Street which requires residents to cross the road to pick-up their mail, use the amenity facilities, etc., as such, the potential for through traffic is of concern.

*(The number of one-way trips on 195A Street as a continuous connection between 65 Avenue and 66 Avenue is anticipated to be generally similar to the number of trips on a cul-de-sac configuration, based on typical access and egress traffic patterns. The through connection of 195A Street is in keeping with the principles of the City's Transportation Strategic Plan and provides improved access and circulation for the neighbourhood. Given the length and character of the road, staff does not anticipate high vehicle speeds or high traffic volumes on 195A Street that would be atypical of other local roads in the neighbourhood.)*

- One of the main themes of the comments received by staff were that the site should be developed as townhomes as apartments are too dense and the height being proposed was too high which would impact privacy. Many comments noted that when people moved into the area, they felt comfortable with the "22-45 u.p.a (High Density)" and many bought their dwellings based on that designation.

*(The current "22-45 u.p.a. (High Density)" designation in the East Clayton NCP permits stacked townhouses, row houses, and/or garden apartments (up to 4-storeys). The subject proposal is consistent with the intent of the NCP, which accommodates up to an apartment form, but reflects additional unit density to accommodate smaller, more affordable units, and additional height on portions of the building, which is deemed to have merit given adjacent apartment development to the south, and the proximity of the site to transit including future rapid transit along Fraser Highway).*

*The applicants have also revised their initial design after receiving feedback from the adjacent land owners. The buildings have been setback further away from the townhomes to the north. The top floors of both buildings are also proposed to be stepped back an additional distance to minimize the impact on adjacent residents' privacy.)*

- The impact on area schools was raised by residents, who noted that schools in the area are already overcrowded and suggested that this application would worsen that condition.

*(The proposed application was forwarded to the Surrey School District for comment. Although the schools in East Clayton are over-capacity, the Surrey School District is constructing a new elementary school at 194 Street and 76 Avenue. A second new elementary school is in the tender phase and targeted to open in September 2022.)*

- Approximately half of those who responded had concerns that the majority of the units would be purchased by investors and would be rented out. By extension, there was a concern that renters lead transient lifestyles and that this could further worsen an existing crime issue in the area.

*(The City does not have the ability to restrict private owners from renting out their units. According to the 2018 Surrey Housing Profile report, the City of Surrey's has a 0.4% rental vacancy rate and the share of private households by tenure in condominium apartments in the Cloverdale Community which includes East Clayton is 25% renter occupied and 75% owner occupied.)*

Some residents had concerns about the loss of trees and the impact to wildlife due to the removal of habitat.

*(A portion of the lot (~15%) will be dedicated to the City as parkland and will form part of the north/south linear greenway envisioned in the NCP).*

- The subject development application was reviewed by the Cloverdale Community Association (CCA). The CCA provided the following comments:
  - The Cloverdale Community Association has worked with the developer since 2018 and has been receptive to change requests. The CCA supports the project.
- The applicant has provided a letter of support for the proposed development from the Surrey Board of Trade.

### **Public Information Meeting**

- The applicant held a Public Information Meeting (PIM) on July 30, 2018, which was facilitated by Brook Pooni Associates, Inc. According to the Summary Report submitted to the City, approximately 35 people attended the PIM and 21 comment forms were received.
  - Based on all of the comment forms received a breakdown of the responses are as follows:
    - 52% of responses clearly indicated project support or provided positive feedback;
    - 10% of responses expressed concern, but did not state direct opposition; and
    - 38% of responses voiced opposition or indicated lack of support for the project.
  - There were supportive comments around the efficient use of land, the creation of smaller and more affordable units, and the architectural design of the proposed buildings.
  - Concerns about the height and density, traffic and safety in relation to the extension of 195A Street and removal of the current cul-de-sac configuration, parking, and impacts on school capacity were identified as primary concerns.
  - In addition to the concerns noted, those in opposition to the proposed development expressed concerns about density and height and thought townhomes were more appropriate for the subject site. Additionally, concerns about the potential for renters were also identified.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and to the urban design guidelines in the East Clayton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and partially complies with the design guidelines in the East Clayton Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to find design solutions that would address many of the concerns brought up through the public engagement process and to create a high-quality design that enhances the urban and pedestrian realm around the subject site.

- The proposed development will feature two buildings that respect the sloping topography of the site and the bisection of the site by 195A Street.
- The west building will appear as 5 storeys when viewed from the park at the west end of the site and will appear as 6 storeys when viewed from 195A Street.
- The east building will appear as 4 storeys when viewed from 195A Street and will appear as 6 storeys when viewed from 196 Street.
- The buildings have been sited with specific attention to ensuring privacy and compatibility with the surrounding development.
- The buildings are sited approximately 7.5 metres from the north property line, adjacent to the lower-scale townhouse development. The top storeys of both buildings are proposed to be stepped back an additional 6 metres from the north property line to minimize shadow and overlook impacts on the adjacent townhouse development.
- The massing of the buildings has been modulated to be more compatible with the lower-scale buildings in the area and the applicant has incorporated a variety of the materials and colours to create a visually interesting development.
- Every ground-level unit will have an entrance and private outdoor amenity space at grade in accordance with the OCP's Form and Character and East Clayton NCP's design guidelines.

### Landscaping

- The landscaping for the proposed development includes pathways around the site, a variety of trees and shrubs, benches, raised planters, and outdoor lounging areas for the passive recreational use of the buildings' residents.
- The use of high retaining walls has been minimized as much as possible given the sloping topography of the site. Where retaining walls are proposed to be higher than typical, they are to be screened with additional planting.

### Indoor Amenity

- The indoor amenity areas are distributed as follows:
  - In the west building, there is a multi-purpose indoor amenity area on the ground level connected to the outdoor amenity area. There is another indoor amenity room on the fifth floor that is also connected to a rooftop outdoor amenity area.
  - In the east building, there is a gym on the lower ground level and a multi-purpose indoor amenity area on the upper ground level. These indoor amenity areas are connected to the outdoor amenity areas.
- The proposed development requires 426 square metres of indoor amenity space under the Zoning By-law. The proposed indoor amenity space combined for both buildings is 533 square metres with 146 square metres in the west building and 387 square metres in the east building. The applicant is proposing a shared access and maintenance agreement between the two buildings on separate lots to accommodate shared use by residents of both buildings.

### Outdoor Amenity

- The outdoor amenity areas are distributed as follows:
  - The west building has an outdoor amenity area located at ground level in the north yard as well as an outdoor amenity area located on a deck on the fifth floor of the building.
  - The east building has an outdoor amenity area located at ground level in the north yard.
  - The outdoor amenity areas will feature raised vegetable planters, benches, picnic tables, barbeques, children's play areas, and lounge areas with tables. The outdoor amenity areas will be landscaped with a variety of trees and shrubs, including Japanese Maples, Beech trees from a variety of species, flowering cherry trees, and hemlocks.
  - All outdoor amenity spaces are connected to indoor amenity area.
- The minimum requirements for outdoor amenity area have been exceeded for both buildings

### Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, as follows:
  - Consider expanding green roof or amenity areas.
  - Consider locating accessible stalls adjacent to the elevator core.
  - Reconsider the north side elevations to create a more visually interesting façade facing the townhome neighbours to the north.

### **TREES**

- Michael Harray, ISA Certified Arborist of Diamondhead Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Red Alder	37	37	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bigleaf Maple	7	5	2
Cherry and Plum	4	4	0
English Oak	1	1	0
English Walnut	2	2	0
Paper Birch	1	1	0
<b>Coniferous Trees</b>			
Brewer's Spruce	1	1	0
Douglas Fir	2	0	2



Tree Species	Existing	Remove	Retain
<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>18</b>	<b>14</b>	<b>4</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)	<b>88</b>		
<b>Total Retained and Replacement Trees</b>	<b>92</b>		
<b>Contribution to the Green City Program</b>	<b>\$0</b>		

- The Arborist Assessment states that there is a total of eighteen (18) mature trees on the site, excluding Alder and Cottonwood trees. Thirty-seven (37) existing trees, approximately 67% of the total trees on the site, are Alder and Cottonwood trees. It was determined that four (4) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of sixty-five (65) replacement trees on the site. The applicant is proposing eighty-eight replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on the future 65A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including European Beeches, Tricolour Beeches, Bruns Spruces, and Japanese Pink Snowbell Dwarf, and Mountain Hemlocks.
- In summary, a total of ninety-two (92) trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective, Proposed Subdivision Layout
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Proposed CD Bylaw
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Redesignation Map
Appendix VII.	OCP Redesignation Map
Appendix VIII.	Comments from the Cloverdale Community Association
Appendix IX.	Aerial Photo
Appendix X.	ADP Comments and Response

*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

CW/cm

CITY OF SURREY

BYLAW NO. 20055

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000", as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 005-198-186

North Half Lot 14 Section 15 Township 8 New Westminster District Plan 2468

(6595 - 196 Street)

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium-rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design* and where *density* bonus is provided.

The *Lands* are divided into Blocks A, B, and C as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Kenneth Schuurman, B.C.L.S. on the 30th day of March, 2020.

## B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses, provided such combined uses are part of a *comprehensive design*:

1. BLOCK A

*Open space.*

2. BLOCKS B & C

*Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

## C. Lot Area

Not applicable to this Zone.

## D. Density

1. BLOCK A

Not applicable to this Block.

~~2. BLOCK B~~

~~(a) For the purposes of *building* construction, the maximum *density* shall be a *floor area ratio* of 0.1 or *building area* of 300 sq. m, whichever is smaller. The maximum *density* may be increased to that prescribed in Section D.2(b) and D.2(c) of this Zone if amenity contributions (specifically affordable housing, capital projects, police, fire, libraries, parks and where applicable, underground utilities) are provided in accordance with Schedule G, Sections A, B, D and E of Surrey Zoning By-law, 1993, No. 12000, as amended;~~

~~(b) The *floor area ratio* shall not exceed 2.15 and the *unit density* shall not exceed 264 *dwelling units* per hectare (107 u.p.a); and~~

~~(c) The indoor *amenity space* required in Sub-section J.1 (b) is excluded from the calculation of *floor area ratio*.~~

2. BLOCKS B & C

(a) For the purposes of *building* construction, the maximum *density* shall be a *floor area ratio* of 0.1 or *building area* of 300 sq. m, whichever is less, and a maximum of one *dwelling unit* on the *Lands*.

(b) The maximum *density* may be increased to that prescribed in Section D.2(c) and D.2(d) of this Zone if amenity contributions (specifically affordable housing, capital projects, police, fire, libraries, parks and where applicable, underground utilities) are

provided in accordance with Schedule G, Sections A, B, D and E of Surrey Zoning By-law, 1993, No. 12000, as amended;

- (c) The *floor area ratio* shall not exceed 2.05 and the *unit density* shall not exceed 247 *dwelling units* per hectare (100 u.p.a); and
- (d) The indoor *amenity space* required in Sub-section J.1 (b) is excluded from the calculation of *floor area ratio*.

~~3. BLOCK C~~

- ~~(a) For the purposes of *building construction*, the *maximum density* shall be a *floor area ratio* of 0.1 or *building area* of 300 sq.m, whichever is smaller. The *maximum density* may be increased to that prescribed in Section D.3(b) and D.3(c) of this Zone if *amenity contributions* (specifically *affordable housing*, *capital projects*, *police*, *fire*, *libraries*, *parks* and where applicable, *underground utilities*) are provided in accordance with Schedule G, Sections A, B, D and E of "Surrey Zoning By-law, 1993, No. 12000", as amended;~~
- ~~(b) The *floor area ratio* shall not exceed 1.95 and the *unit density* shall not exceed 237 *dwelling units* per hectare (97 u.p.a); and~~
- ~~(c) The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.~~

E. Lot Coverage

1. BLOCK A

Not applicable to this Block.

2. BLOCKS B & C

The *lot coverage* shall not exceed 52%.

F. Yards and Setbacks

~~1. *Buildings and structures* shall be sited in accordance with the following *minimum setbacks*:~~

---

	<i>Setback</i>	<i>South</i>	<i>North</i>	<i>West</i>	<i>East</i>
		<i>Yard</i>	<i>Yard</i>	<i>Yard</i>	<i>Yard</i>
<i>Use</i>					

---

BLOCK A Not applicable to this Block

BLOCK B

<i>Principal Buildings</i>	5.0 m	7.3 m	5.0 m	4.5 m
<i>Accessory Buildings and Structures</i>	(16 ft.)	(24 ft.)	(16 ft.)	(15 ft.)

BLOCK C

<i>Principal Buildings</i>	3.0 m	7.7 m	4.5 m	11.0 m
<i>Accessory Buildings and Structures</i>	(10 ft.)	(25 ft.)	(15 ft.)	(36 ft.)

---

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Buildings and structures shall be sited in accordance with the following minimum setbacks:

---

	<b>Setback</b>	South Yard	North Yard	West Yard	West Yard (195A Street)	East Yard (195A Street)	East Yard (196 Street)
<b>Use</b>							

<u>BLOCK A</u>	n/a	n/a	n/a	n/a	n/a	n/a	n/a
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BLOCK B

<i>Principal Buildings and Accessory Buildings and Structures</i>	5.0 m (16 ft.)	7.3 m (24 ft.)	5.0 m (16 ft.)	n/a	4.5 m (15 ft.)	n/a
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BLOCK C

<i>Principal Buildings and Accessory Buildings and Structures</i>	3.0 m (10 ft.)	7.7 m (25 ft.)	n/a	4.5 m (15 ft.)	n/a	11.0 m (36 ft.)
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Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.”

2. Notwithstanding Sub-section E.17(b) of Part 4 General Provision of "Surrey Zoning By-law, 1993, No. 12000", as amended, stairs with more than three risers may encroach into the *setbacks*.
3. Notwithstanding the definition of *setback* in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended, decks, porches and roof overhangs may encroach up to 2.0 metres [6.6 ft.] into the required *setbacks* and architectural elements including pilasters, arches, and posts may encroach up to 1.5 metres [4.9 ft.] into the required *setbacks*.

## **G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000, as amended.

### **BLOCK A**

Not applicable to this Block.

### **BLOCK B**

1. *Principal buildings:* The *building height* shall not exceed 18.6 metres [61 ft.].
2. *Accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [ 15 ft.].

### **BLOCK C**

1. *Principal buildings:* The *building height* shall not exceed 19.8 metres [65 ft.].
2. *Accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft.].

## **H. Off-Street Parking**

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, the *Parking Facility Underground* may be located up to 0.5 metres [2 ft.] from the *front lot line* or *lot line* along a *flanking street*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

## J. Special Regulations

1. *Amenity space*, subject to Section B.1, Part 4, General Provisions, of "Surrey Zoning By-law, 1993, No. 12000", as amended, shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*;
  - (b) Outdoor *amenity space* shall not be located within the required *setbacks*; and
  - (c) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

## K. Subdivision

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,300 sq.m. [0.32 acre]	20 metres [66 ft.]	25 metres [82 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.



## L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of "Surrey Zoning By-law, 1993, No. 12000" as amended and in accordance with the servicing requirements for the RM-45 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.
8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, 2018, No. 19478", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone.
9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
10. Development permits may be required in accordance with the "Surrey *Official Community Plan* By-law, 2013, No. 18020", as amended.

3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2020, No. 20055".

PASSED FIRST READING on the 6th day of April, 2020.

PASSED SECOND READING on the 6th day of April, 2020.

PUBLIC HEARING HELD thereon on the 20th day of April, 2020.

PASSED THIRD READING on the 20th day of April, 2020.

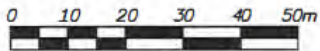
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 19th day of October, 2020.

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW No. 20055  
 OF THE NORTH HALF OF LOT 14, SECTION 15, TOWNSHIP 8,  
 NEW WESTMINSTER DISTRICT, PLAN 2468**

City of Surrey BCGS 92G.017



SCALE 1 : 1000

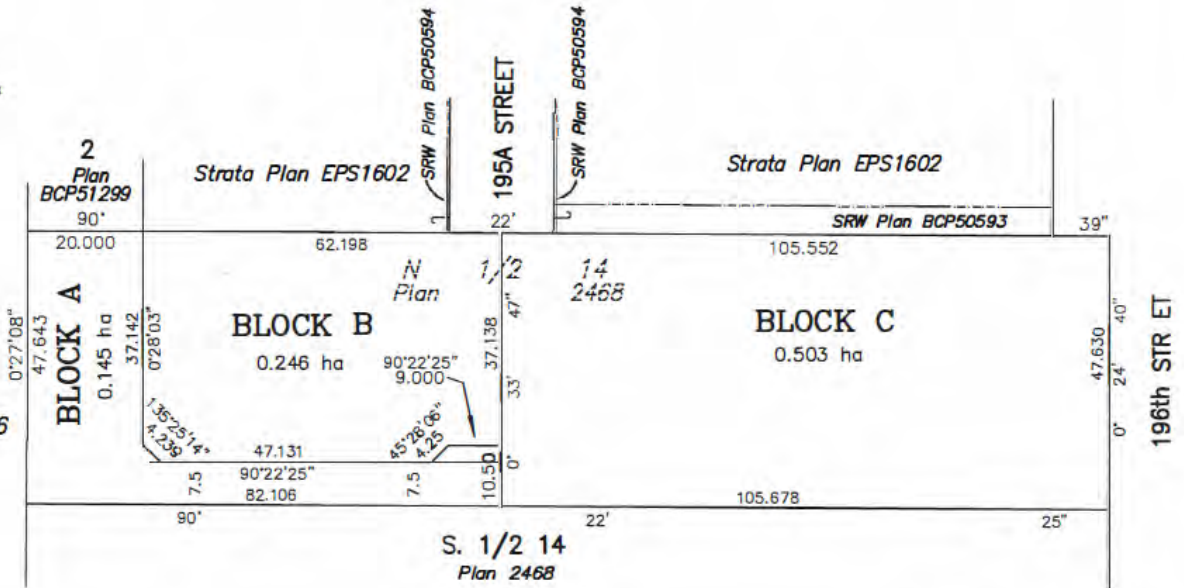
All distances are in metres

**Legend:**

ha Denotes hectare  
 m<sup>2</sup> Denotes square metres



**B**  
 Plan BCP25356



Cameron Land Surveying Ltd.  
 B.C. Land Surveyors  
 Unit 206, 16055 Fraser Highway  
 Surrey, B.C. V4N 0G2  
 Phone: 604-597-3777  
 File: 5940-BYLAW

This plan lies within the jurisdiction of the  
 Approving Officer for the City of Surrey  
 This plan lies within the Metro Vancouver Regional District

Certified correct this 30th day  
 of March, 2020.

Kenneth  
 Schuurman  
 3MUSPR  
 Digitally signed by  
 Kenneth Schuurman  
 3MUSPR  
 Date: 2020.03.30 07:22:09  
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 Kenneth W. Schuurman  
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