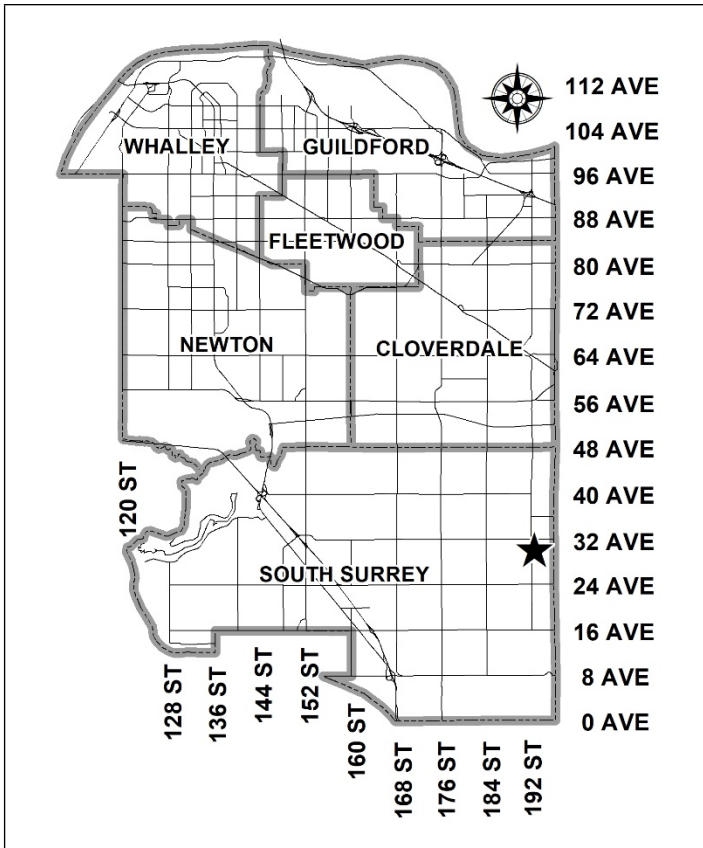


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7920-0321-00
 7920-0321-01

Planning Report Date: July 24, 2023



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

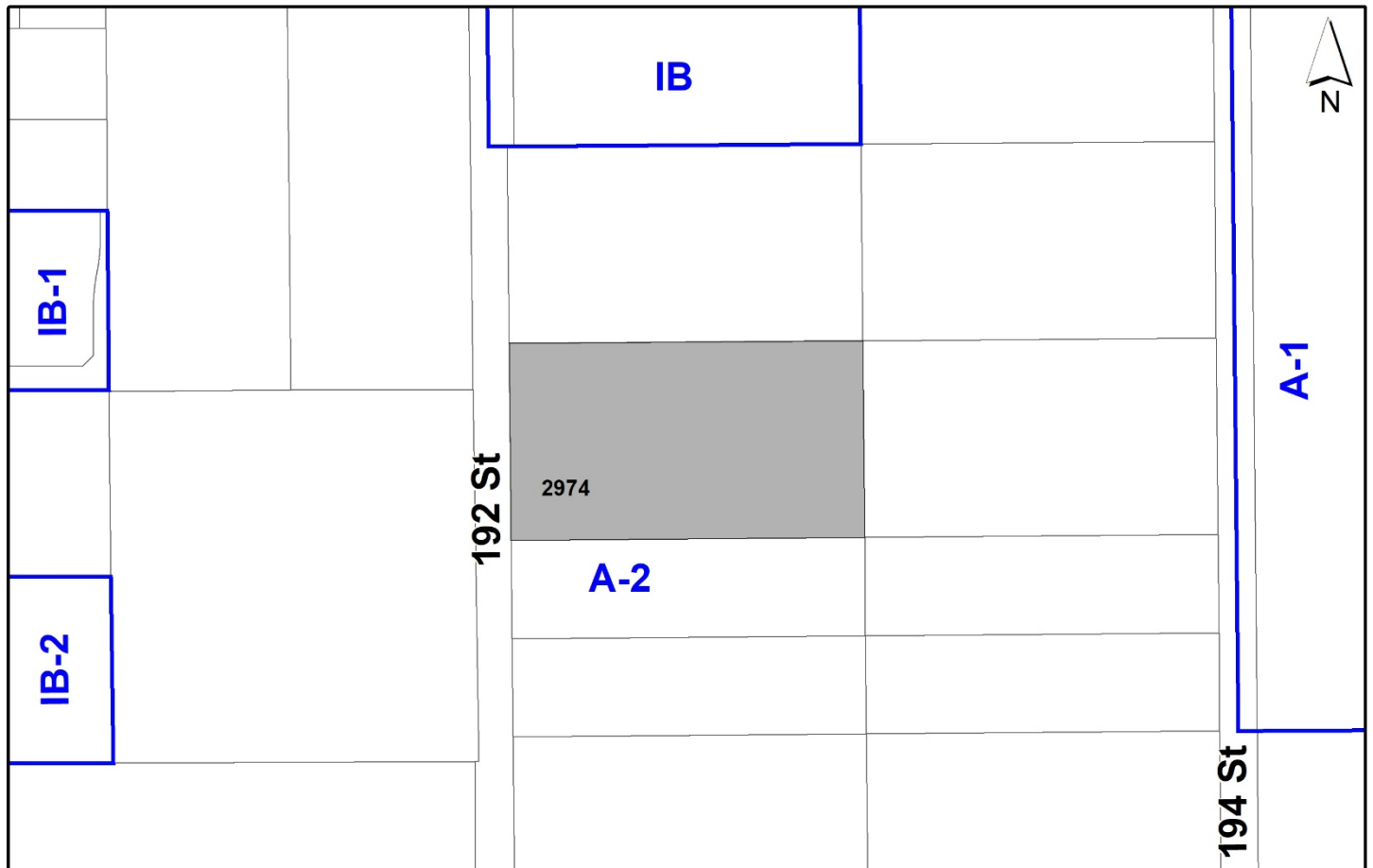
for changes to the site layout and to reduce the number of required parking spaces and allow parking in front of loading bays, to permit the development of a multi-tenant industrial building.

LOCATION: 2974 - 192 Street

ZONING: A-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscape Strips



RECOMMENDATION SUMMARY

- Approval to draft amended Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing a reduction to the required number of parking spaces.
- Proposing some parking spaces to be located in front of loading bays, in units where there are more than one loading bay.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- Council considered the applicant's original proposal at the Regular Council – Land Use Meeting on November 14, 2022, and provided support for a reduction in the number of parking spaces from 132 spaces to 125 spaces. Since the time that the proposal was granted Third Reading of the associated Rezoning By-law, the applicant has reduced the proposed floor area, which changed the number of required parking spaces. A variance is now required to reduce the number of parking spaces from 124 spaces to 116 spaces. The reduced floor area was achieved with the provision of a drive aisle along south portion of the site adjacent the western building.
- No other significant changes are proposed to the use or Form & Character of the proposal. The rezoning and development permit were considered and supported by Council at the Regular Council – Land Use Meeting on November 14, 2022, and are still at Third Reading and conditional support. The subject variance, if supported, will be brought forward for issuance when the application is considered for Final Adoption of the associated Rezoning By-law.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Variance Permit No. 7920-0321-00.
2. Council approve Development Variance Permit No. 7920-0321-01 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum number of on-site parking spaces by 7% (124 spaces to 116 spaces); and
 - (b) to allow parking spaces in front of loading bays for units that have a surplus of usable loading bays.
3. Council authorize staff to draft amended Development Permit No. 7920-0321-00 with the provision of a drive aisle along the southern portion of the site generally in accordance with the updated site plan attached as Appendix I.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) Completion of all conditions of approval identified in the original Planning Report for Development Application No. 7920-0321-00 dated November 14, 2022.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Truck parking	Business Park and Landscape Strips	A-2
North (Across 30 Avenue):	Single family dwelling and truck parking	Business Park and Landscape Strips	A-2
East:	Single family dwelling and truck parking	Business Park	A-2
South:	Single family dwelling and truck parking	Business Park and Landscape Strips	A-2
West (Across 192 Street):	Farm land	Business Park and Landscape Strips	A-2

Context & Background

- The subject site is 2.02 hectares (5 acres) and is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Intensive Agricultural Zone (A-2)".
- A Development Permit, Rezoning and Development Variance Permit were considered by Council at the Regular Council - Land Use Meeting on November 14, 2022.
- A Development Variance Permit is also proposed under Development Application No. 7922-0279-00, which was considered by Council at the Regular Council - Land Use Meeting on

October 03, 2022. This application proposes a variance and a subdivision to facilitate achieving the 30 Avenue road alignment along the northern property line. Completion of Development Application No. 7922-0279-00 is a condition of approval for the subject application.

- The overall building form is consistent with the original proposal. The reduction in floor area was to remove a portion of the building along the northwest corner, to allow for the added drive aisle to facilitate operations. The change is facilitated with the provision of a new drive aisle along the southern portion of the site adjacent proposed Building 1.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "Intensive Agricultural Zone (A-2)" to "Business Park 2 Zone (IB-2)" and a Development Permit for Form and Character to permit the development of an industrial business park building.
- The applicant has revised the site layout and reduced the floor area from the original proposal from 10,501 square metres (FAR 0.65) to 10,084 square metres (FAR 0.61). The change also added a one-way drive aisle along the south portion of the western building to allow vehicles into the loading area.

	Proposed
Lot Area	
Gross Site Area:	16,0564 square metres
Road Dedication:	Through Development Application No. 7922-0279-00
Undevelopable Area:	n/a
Net Site Area:	16,0564 square metres
Number of Lots:	1
Building Height:	12.9 metres
Floor Area Ratio (FAR):	0.61
Floor Area	
Industrial:	155.19 square metres
Commercial:	8,528.99 square metres
Total:	10,084.18 square metres

Referrals

- Engineering: The Engineering Department has no objection to the project as outlined in the original Engineering Review.
- Surrey Fire Department: No concerns.
- Advisory Design Panel: The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

Access

- Three vehicular accesses are proposed to the subject site:
 - A full-movement passenger vehicle access to 30 Avenue;
 - A full-movement truck access to 30 Avenue; and
 - A right-in/right-out only passenger vehicle access to 192 Street, to be shared with future development on lands to the south at 2944 194 Street. In this revised proposal, this access now includes a one-way eastbound drive aisle, to access the loading area from 192 Street.

Parking

- The Zoning Bylaw requires a total of 124 stalls to be provided on site, with the proposed reduction in floor area. The applicant is now proposing 116 stalls, which is a 7% reduction of the minimum Zoning Bylaw requirements. A DVP is proposed to reduce the minimum parking requirements for the site which is discussed in the Variance section below.
- Parking is proposed in front of loading bays for the units on the eastern building that have additional usable loading bays.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP) as follows:

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 2 Zone (IB-2)". The rezoning was considered by Council at the Regular Council – Land Use Meeting on November 14, 2022, and received Third Reading of Rezoning By-law No. 20790 on December 12, 2022.

Parking Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum number of on-site parking spaces by 7% (from 124 to 116); and
 - (b) to allow parking spaces in front of loading bays for units that have surplus usable loading bays.
- The applicant is proposing a total of 116 stalls on site, which is 8 stalls (7% reduction) less than the minimum Zoning Bylaw requirement for the proposed multi-tenant industrial building. Council has previously supported a reduction from 132 stalls to 125 stalls on the site, but the requirements have changed with the reduction in floor area.
- The curved alignment of the future 30 Avenue along the northern property line (which is required to meet technical requirements for a future signalized intersection on 192 St.) results in a unique site configuration that presents constraints and challenges to achieving typical parking efficiencies. As such, staff can support the proposed minor reduction in parking rate, which will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policy recommendations in the Official Community Plan and trends in the region for employment intensification.
- The applicant has demonstrated less demand for parking, as the site is intended for a single occupant. In supporting the proposed parking, a restrictive covenant will be registered on title, restricting the mezzanine space to storage use only (lower intensity use requiring less parking).
- Parking is proposed to be provided in front of loading bays for the units on the eastern building that have additional loading bays. This variance was previously considered and supported by Council, but is being brought back as the original Development Permit No. 7920-0321-00 is being filed, and replaced with a consolidated and updated Development Variance Permit No. 7920-0321-01.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

No additional letter or signage were required for the subject Development Variance Permit.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The only change proposed is that there is now a drive aisle along the south portion of the site, south of the western building, connecting the western parking lot and 192 Street entrance to the loading bay. This is a one-way drive aisle, and does not affect the proposed form and character of the building.

TREES

No changes are proposed to the previous tree information, and the subject variance does not affect any trees.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

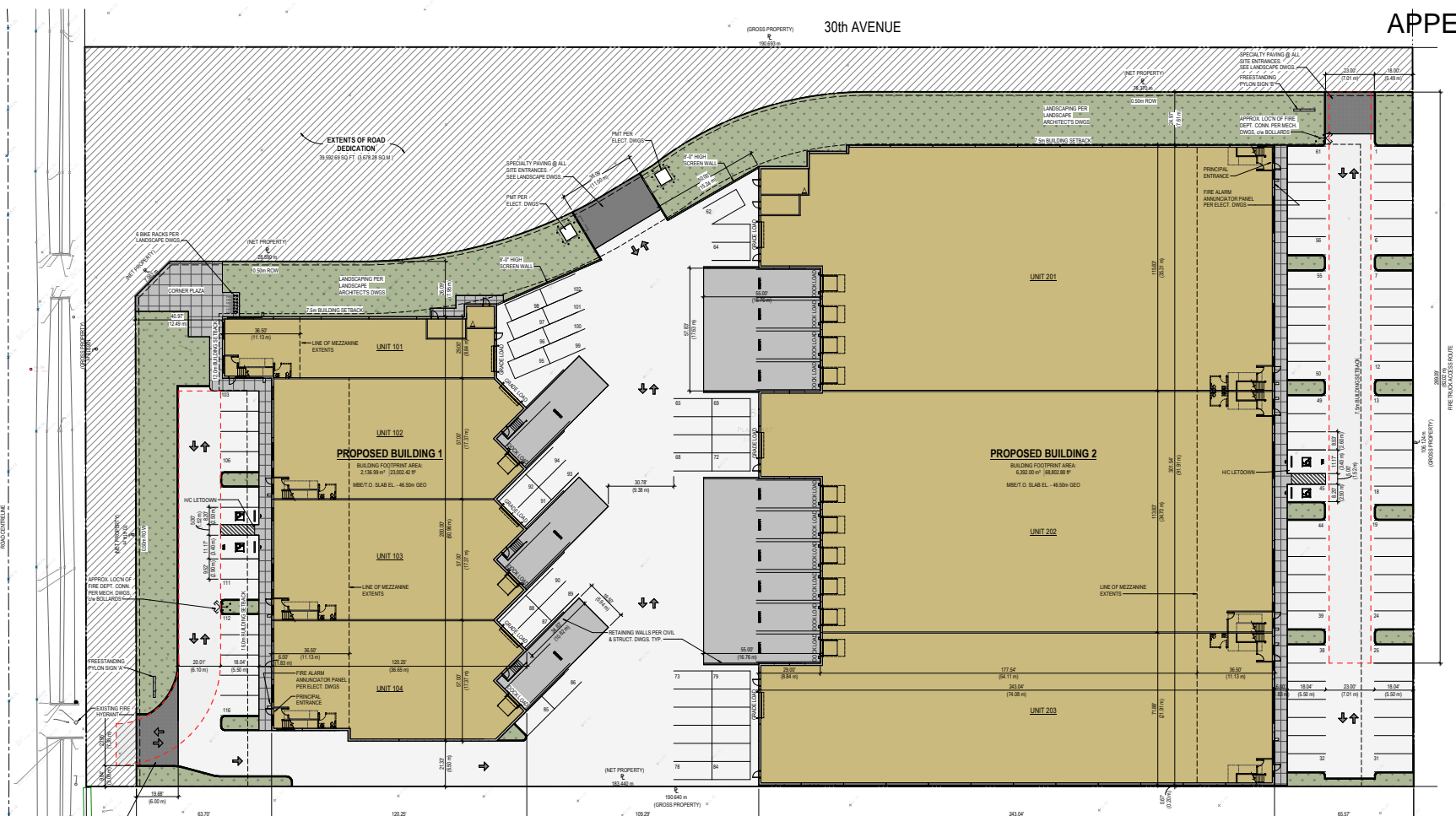
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|---------------|--|
| Appendix I. | Site Plan |
| Appendix II. | Development Variance Permit No. 7920-0321-01 |
| Appendix III. | Initial Planning Report No. 7920-0321-00, dated November 14, 2022. |

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

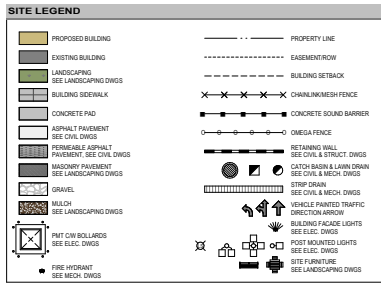
LM/ar

192nd STREET



1 SITE PLAN

SCALE: 1" = 32' 0"



ZONING BY-LAW ANALYSIS

PROJECT DATA

CIVIC ADDRESS: 2974 - 192 STREET, SURREY, BC
 LEGAL ADDRESS: LOT 1, SECTION 03, TOWNSHIP 7, NEW WESTMINSTER DISTRICT PLAN 1467, PID 012-017-158

BUILDING AREA (MAIN FLOOR)

BUILDING 1	2,136.99 sq ft	131,002.42 sq ft
BUILDING 2	6,362.20 sq ft	68,802.88 sq ft

GROSS FLOOR AREA:

BUILDING 1	2,743.89 sq ft	26,997.37 sq ft
BUILDING 2	7,734.49 sq ft	17,547.82 sq ft
TOTAL	10,478.38 sq ft	44,545.19 sq ft

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: RE-ZONE TO BUSINESS PARK 2 ZONE (B-2)

2. SITE AREA:

GROSS PROPERTY AREA	10,343.30 sq ft	117,996.30 sq ft	15.00 acres
NET PROPERTY AREA	10,564.96 sq ft	118,303.70 sq ft	15.00 acres

1. SITE COVERAGE - BUILDING AREA:

BUILDING	FLOOR AREA (SQ FT)	% COVERAGE	MAXIMUM SITE COVERAGE
BUILDING 1	2,743.89	26.19%	40.00%
BUILDING 2	7,734.49	73.81%	60.00%
TOTAL	10,478.38	100.00%	100.00%

4. BUILDING HEIGHT:

MAXIMUM HEIGHT	14.05m (46.07')
PROPOSED HEIGHT	12.85m (42.17')

5. REQUIRED SETBACKS:

FRONT YARD (WEST)	FRONT YARD (EAST)	FRONT YARD (WEST) - VARIANCE (WEST)	FRONT YARD (EAST) - VARIANCE (EAST)	SIDE YARD (FLANKING NORTH)	SIDE YARD (FLANKING SOUTH)	REAR YARD (EAST)
15.24m (49.98')	15.24m (49.98')	12.49m (40.95')	12.49m (40.95')	7.62m (24.97')	7.62m (24.97')	7.62m (24.97')

6. LANDSCAPING REQUIREMENTS: LANDSCAPING AREA, LANDSCAPING SCREENING, AND FENCING SHALL COMPLY WITH CITY OF SURREY BYLAW REQUIREMENTS.

7. VEHICLE PARKING AND LOADING: REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS:

CLASSIFICATION	BY-LAW DEFINITION	USED	GROSS AREA (SQ M)	LOCAL BY-LAW REQUIREMENTS (PERCENTAGE OF SPACES / GROSS AREA (%))	SPACES REQUIRED
BUILDING 1	INDUSTRIAL	1 SPACE FOR EACH 100 SQ M (100.46 SQ FT)	2,136.99	23.00%	47
BUILDING 2	OFFICE	2.5 SPACES FOR EACH 100 SQ M (100.46 SQ FT)	6,362.20	16.00%	161
TOTAL					208

VEHICLE PARKING PROVIDED: 116

8. STALL DIMENSIONS:

STALL TYPE	MINIMUM WIDTH (M)	MINIMUM LENGTH (M)	MINIMUM DRIVEWAY WIDTH (M)	MINIMUM DRIVEWAY LENGTH (M)
STANDARD	2.50	5.50	3.00	7.50
ACCESSIBLE	3.00	6.00	3.50	8.00

VEHICLE PARKING PROVIDED:

STALL TYPE	MINIMUM WIDTH (M)	MINIMUM LENGTH (M)	MINIMUM DRIVEWAY WIDTH (M)	MINIMUM DRIVEWAY LENGTH (M)
STANDARD	2.50	5.50	3.00	7.50
ACCESSIBLE	3.00	6.00	3.50	8.00

TOTAL PARKING SPACES PROVIDED: 116

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0321-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 012-217-158
Lot 6 Section 22 Township 7 New Westminster District Plan 1467
2974 192 St

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces is reduced by 7%.
 - (b) In Subsection F. Off-Street Loading/Unloading of Part 5 Off-Street Parking and Loading/Unloading, to allow parking spaces in front of loading bays for units that have surplus usable loading bays.
5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

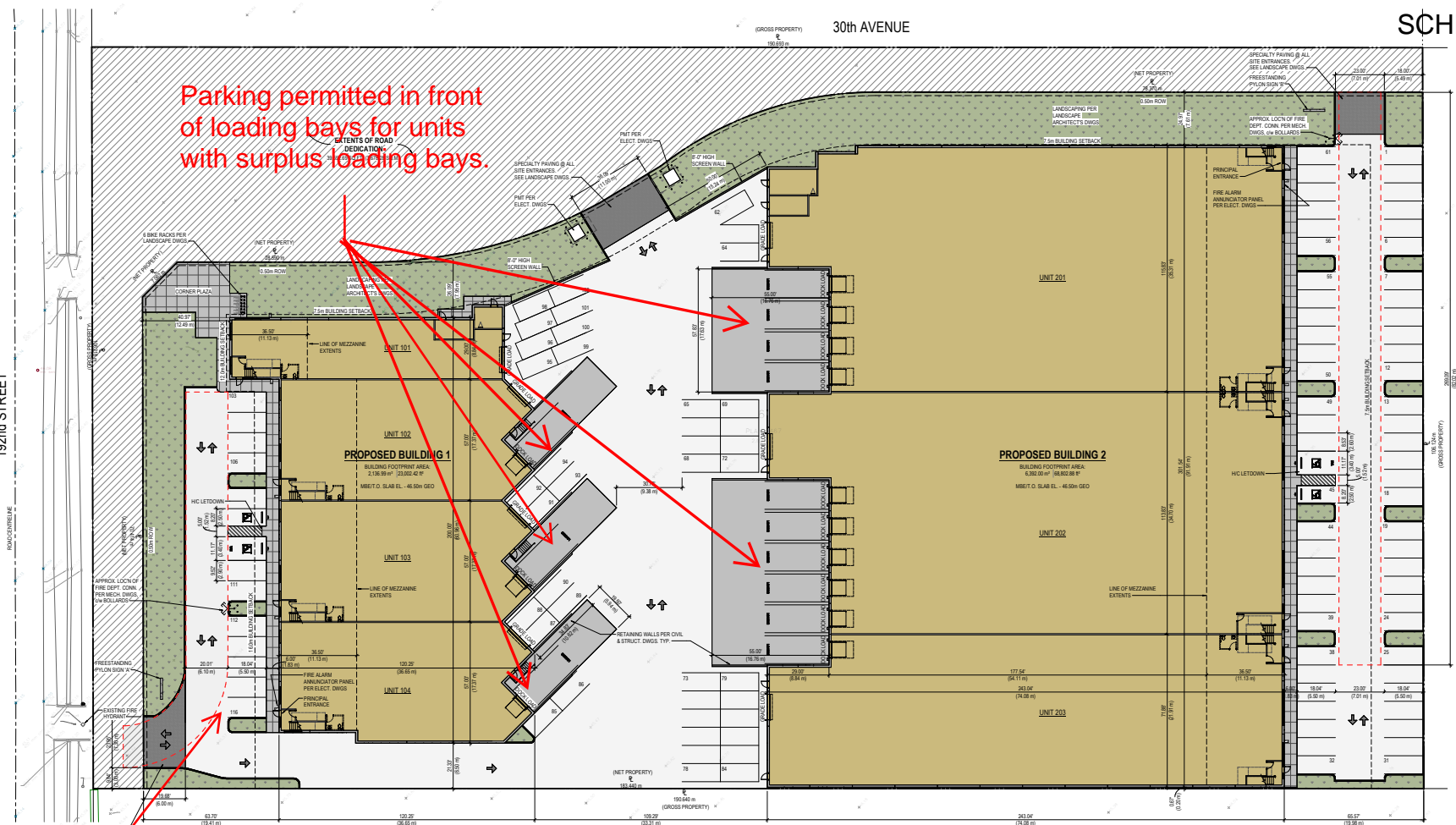
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

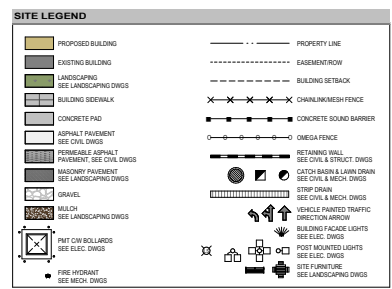
City Clerk – Jennifer Ficocelli

Parking permitted in front of loading bays for units with surplus loading bays.

Parking requirements reduced by 7%.



1 SITE PLAN
SCALE: 1" = 20' 0"



ZONING BY-LAW ANALYSIS
PROJECT DATA

CVIC ADDRESS: 2974 - 192 STREET, SURREY, BC BUILDING USE: MULTI-TENANT MEDIUM HAZARD INDUSTRIAL
LOCAL ADDRESS: LOT 1, SECTION 03, TOWNSHIP 7, NEW WESTMINSTER DISTRICT PLAN 1467, PID 012-017-158

BUILDING AREA (MAIN FLOOR)	BUILDING 1	BUILDING 2	TOTAL
GROSS FLOOR AREA:	2,748.89 sq ft	7,248.89 sq ft	10,000.00 sq ft
NET PROPERTY AREA:	10,084.18 sq ft	10,084.18 sq ft	20,168.36 sq ft

ZONING BY-LAW ANALYSIS (CITY OF SURREY)
1. ZONING: REZONE TO BUSINESS PARK 2 ZONE (B-2)

2. SITE AREA:	GROSS PROPERTY AREA	NET PROPERTY AREA
	10,084.18 sq ft (232.20 m ²)	10,084.18 sq ft (232.20 m ²)

3. SITE COVERAGE - BUILDING AREA:

LEVEL	COVERAGE	PERCENTAGE	MAXIMUM SITE COVERAGE
BUILDING 1	2,748.89 sq ft	27.35%	30.00%
BUILDING 2	7,248.89 sq ft	72.65%	30.00%
TOTAL	10,000.00 sq ft	100.00%	30.00%

4. BUILDING HEIGHT: 14.05m (46.07')
MAXIMUM HEIGHT: 12.85m (42.17')

5. REQUIRED SETBACKS:

REQUIRED	PROVIDED
FRONT YARD (WEST): 10.00m (32.81')	10.00m (32.81')
FRONT YARD (EAST): 10.00m (32.81')	10.00m (32.81')
SIDE YARD (FLANKING NORTH): 7.20m (23.62')	7.20m (23.62')
SIDE YARD (SOUTH): 0.00m (0.00')	0.00m (0.00')
REAR YARD (EAST): 7.20m (23.62')	7.20m (23.62')

6. LANDSCAPING REQUIREMENTS:
LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF SURREY BY-LAW REQUIREMENTS.

7. VEHICLE PARKING AND LOADING:
REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS.
ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

TRUCKS	CLASSIFICATION	BY-LAW DEFINITION	METHOD	GROSS AREA (SQ M)	LOCAL BY-LAW REQUIREMENTS (GROSS AREA (SQ M))	PERCENTAGE OF SPACES (AREA) (SQ M)	SPACES PROVIDED	SPACES REQUIRED
BUILDING 1	INDUSTRIAL	1 SPACE FOR EACH 100 SQ M (100.46 SQ FT)		2,748.89	27.49	100	1	100.00
	OFFICE	2.5 SPACES FOR EACH 100 SQ M (100.46 SQ FT)		2,748.89	109.96	100	2.5	100.00
BUILDING 2	INDUSTRIAL	1 SPACE FOR EACH 100 SQ M (100.46 SQ FT)		7,248.89	72.49	100	1	100.00
	OFFICE	2.5 SPACES FOR EACH 100 SQ M (100.46 SQ FT)		7,248.89	285.96	100	2.5	100.00
TOTAL				10,000.00	362.94	100	5.5	200.00

8. STALL DIMENSIONS:

STANDARD STALL:

- 8.57' (2.60m) W x 18.04' (5.50m) L w/ 6" IN DRIVE ABLE
- 8.57' (2.60m) W x 18.04' (5.50m) L w/ 7.5m DRIVE ABLE
- 8.57' (2.60m) W x 18.04' (5.50m) L w/ 9m DRIVE ABLE
- 8.57' (2.60m) W x 18.04' (5.50m) L w/ 10m DRIVE ABLE

SMALL CAR STALL (MAX. 35%):

- 5.49' (1.67m) W x 18.04' (5.50m) L
- 5.49' (1.67m) W x 18.04' (5.50m) L
- 5.49' (1.67m) W x 18.04' (5.50m) L
- 5.49' (1.67m) W x 18.04' (5.50m) L

ACCESSIBLE STALL (CAR):

- 9.75' (2.97m) W x 18.04' (5.50m) L
- 9.75' (2.97m) W x 18.04' (5.50m) L
- 9.75' (2.97m) W x 18.04' (5.50m) L
- 9.75' (2.97m) W x 18.04' (5.50m) L

ACCESSIBLE STALL (VAN):

- 11.21' (3.41m) W x 18.04' (5.50m) L
- 11.21' (3.41m) W x 18.04' (5.50m) L
- 11.21' (3.41m) W x 18.04' (5.50m) L
- 11.21' (3.41m) W x 18.04' (5.50m) L

*WHERE LENGTH OF STALL ABUTS FENCE, WALL OR STRUCTURE, STALL WIDTH TO BE INCREASED BY 0.89' (0.27m)

*A MAX. OF 0.20' (0.15m) ENCROACHMENT OF STRUCT. COLUMN PERMITTED IN STALL IF DOES NOT INTERFERE WITH DOOR

LOADING STALL:

- 13.12' (4.00m) W x 30.16' (9.20m) L
- 13.12' (4.00m) W x 30.16' (9.20m) L
- 13.12' (4.00m) W x 30.16' (9.20m) L
- 13.12' (4.00m) W x 30.16' (9.20m) L

DRIVE AISLE WIDTH:

- 23.97' (7.30m) AT 90°
- 23.97' (7.30m) AT 90°
- 23.97' (7.30m) AT 90°
- 23.97' (7.30m) AT 90°

LOADING CALCULATION:

- TOTAL LOADING STALLS REQUIRED: 13
- TOTAL LOADING STALLS PROVIDED: 13

VEHICLE PARKING PROVIDED:

PARKING TYPE	No. of SPACES
STANDARD PARKING	112
ACCESSIBLE PARKING	5
TOTAL PARKING SPACES PROVIDED	117



INTER-OFFICE MEMO
Regular Council - Public Hearing
B.1 7920-0321-00
B.7 7922-0232-00
B.9 7921-0090-00
Supplemental Information

TO: Mayor & Council

**FROM: Acting General Manager, Planning & Development
 General Manager, Parks, Recreation & Culture**

DATE: December 12, 2022 **FILE: 1300-16**

**RE: Park Comments Related to Proximity of Amenities Surrounding
 Development Applications
 Regular Council – Public Hearing – December 12, 2022
 Agenda Items B.1., B.7., B.9.**

INTENT

The intent of this memo is to provide comments to Mayor & Council in advance of tonight's Regular Council – Public Hearing Meeting related to park proximity adjacent to Development Applications.

BACKGROUND

In July 2022, the Planning & Development Department and Parks, Recreation & Culture Department began to implement a new process where Planning and Park staff prepared comments specific to the proximity of park amenities related to some Development Applications. When prepared, these comments have been reflected in the Council package.

DISCUSSION

Since introduced, staff have been refining the process to include comments in more of the Development Application Reports that Council receives during Public Hearing.

There are a number of Development Applications that will be discussed this evening where comments were not prepared in advance. Those comments are reflected in the attached Appendix "I". Moving forward, all *new* Development Application Reports will include Park comments related to park amenity proximity.

Jeff Arason, P.Eng.
 Acting General Manager,
 Planning & Development

Laurie Cavan
 General Manager,
 Parks, Recreation & Culture

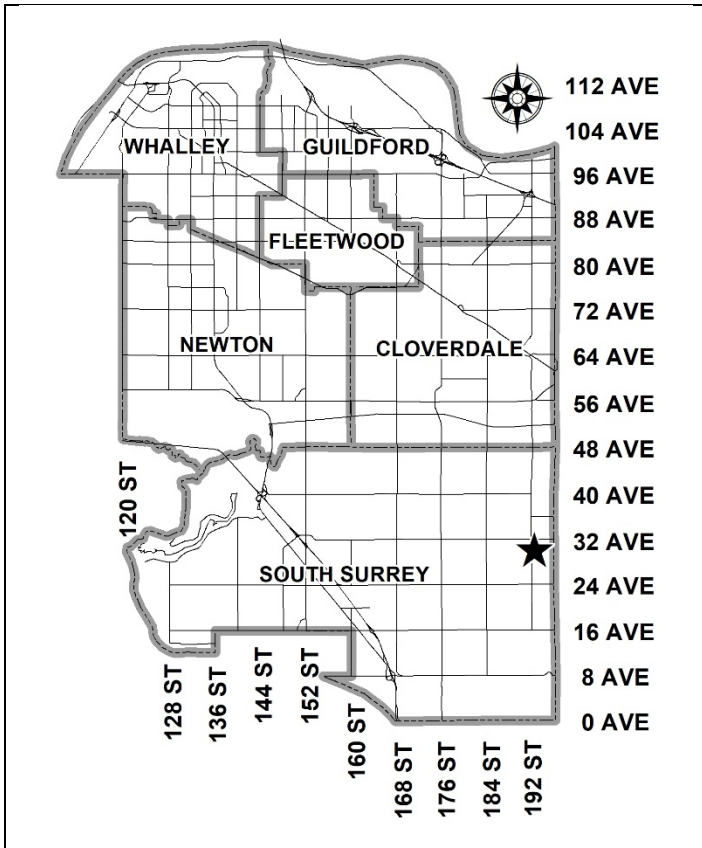
Appendix "I" - Park Planning Comments

c.c. City Clerk
 City Manager

PUBLIC HEARING: December 12, 2022

Park Planning Comments provided on December 12, 2022

ITEM #	DEVELOPMENT APPLICATION #	COMMENTS
PH B.1.	7920-0321-00	<i>Latimer Park is the closest active park, which includes a recreational trail network, and has inventoried natural areas. The park is 550 metres walking distance from the development.</i>
PH B.7.	7922-0232-00	<i>Goldstone Park is the closest active park with amenities that include, sports fields, sports courts, playground, water park, and walking paths. The park is 515 metres walking distance from the development. Owl Park is the closest natural area and is 425 metres walking distance from the park.</i>
PH B.9.	7921-0090-00	<i>Holland Park is the closest active park with amenities that include, walking paths, playgrounds, and open space. The park is 380 metres walking distance from the development. Royal Kwantlen Park is the closest park with natural areas and is 1.3-kilometre walking distance from the development.</i>



PROPOSAL:

- **Rezone** a portion of the site from A-2 to IB-2
- **Development Permit**
- **Development Variance Permit**

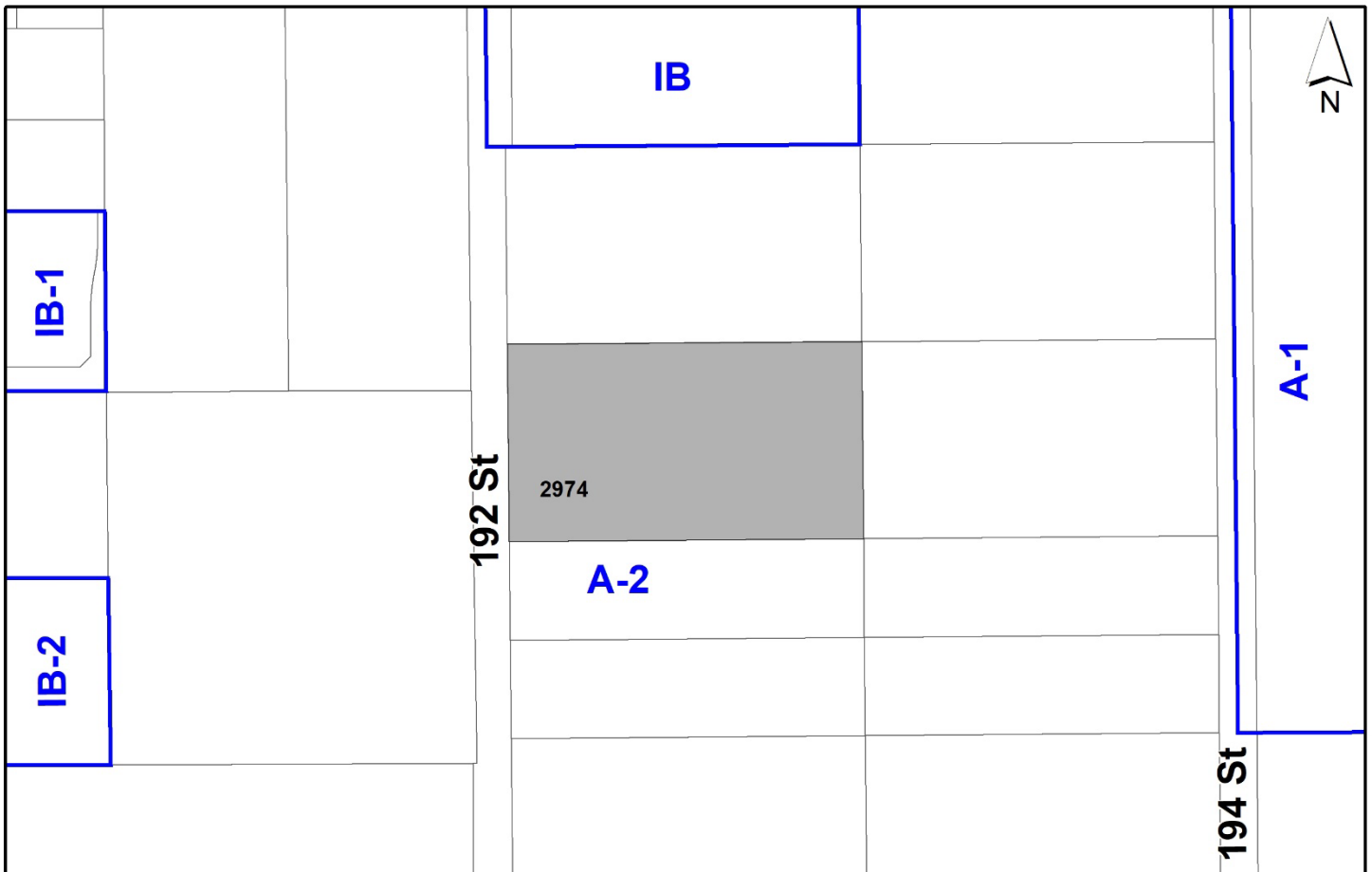
to permit the development of a 10,501 square-metre multi-tenant industrial building.

LOCATION: 2974 - 192 Steet

ZONING: A-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscape Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing a reduction to the required number of parking spaces from 132 to 125 spaces.
- Proposing some parking spaces to be in front of loading bays, in units where there are more than one loading bay.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign is high quality and is of an appropriate size and scale for the development.
- Regarding the proposed parking reduction from 132 to 125 stalls for this site, the applicant has demonstrated less demand for parking, as the site is intended for a single occupant. In supporting the proposed parking, a restrictive covenant will be registered on title, restricting the mezzanine space to storage use only (lower intensity use requiring less parking).
- The units on the east building have multiple loading bays. The applicant is proposing parking in front of the loading bays, as there are more than one loading bay for those units and thus these would be surplus to unit requirements.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "Intensive Agriculture Zone (A-2)" to "Business Park 2 Zone (IB-2)", and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7920-0321-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7920-0321-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum number of on-site parking spaces from 132 to 125; and
 - (b) to allow parking spaces in front of loading bays for units that have surplus unblocked loading bays.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) completion of Development Application No. 7922-0279-00, including for the registration of the subdivision plans associated with this application;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (h) registration of a Section 219 Restrictive Covenant to prohibit any uses that require a Metro Vancouver Air Quality Permit from locating on the site; and
 - (i) registration of a Section 219 Restrictive Covenant to restrict the use of the mezzanine space as storage space.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Truck parking	Business Park and Landscape Strips	A-2
North (Across 30 Avenue):	Single family dwelling and truck parking	Business Park and Landscape Strips	A-2
East:	Single family dwelling and truck parking	Business Park	A-2
South:	Single family dwelling and truck parking	Business Park and Landscape Strips	A-2
West (Across 192 Street):	Farm land	Business Park and Landscape Strips	A-2

Context & Background

- The subject 2.02 hectares (5 acres) site is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Intensive Agricultural Zone (A-2)".
- The site is being used as a temporary out storage operation, which was approved under Temporary Use Permit (TUP) No. 7920-0106-00. This permit has expired and the applicant has proposed Development Application No. 7921-0345-00 to allow this use to continue for an additional 2 year period. This TUP was presented to Council and supported to proceed to Public Notification at the Regular Council - Land Use Meeting on October 03, 2022. This application will be brought forward for further consideration on November 14, 2022, following the Public notification process being completed.
- The site is also under Development Application No. 7922-0279-00, which was considered by Council at the Regular Council - Land Use Meeting on October 03, 2022. This application proposes a Development Variance Permit and a subdivision to facilitate achieving the 30 Avenue road alignment along the northern property line. Completion of Development Application No. 7922-0279-00 is a condition of approval for the subject application .

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "Intensive Agricultural Zone (A-2)" to "Business Park 2 Zone (IB-2)" and a Development Permit for Form and Character to permit the development of an industrial business park building with a gross floor area of 10,501 square metres (FAR 0.65).
- With a gross site area of 20,242 square metres and a road dedication of 3,675 square metres, the total net site area is 16,566 square metres. A portion of the site at the northwest corner is proposed to be consolidated with the northern parcel as part of Development Application No. 7922-0279-00, to facilitate achieving the 30 Avenue road alignment.

- The site has 2 buildings proposed, and is intended as multi-tenant buildings, with 4 units on the western building and 5 units on the eastern building.
- Road dedication for the subject property is to be achieved through Development Application No. 7922-0279-00.

	Proposed
Lot Area	
Gross Site Area:	20,242 square metres
Road Dedication:	3,675 square metres
Undevelopable Area:	n/a
Net Site Area:	16,566 square metres
Number of Lots:	1
Building Height:	13.4 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.65
Floor Area	
Industrial:	8,795 square metres
Offices:	1,706 square metres
Total:	10,501 square metres

Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Surrey Fire Department: No concerns.
- Advisory Design Panel: The application was not subject review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

Road Network & Infrastructure

- The applicant will be providing the following improvements:
 - Dedication along 192 Street and 30 Avenue will be provided through Development Application No. 7922-0279-00.
 - Through this proposal the applicant will construct 30 Avenue, along the north side of the subject site to the City's industrial local road standard which will connect to 192 Street and provide critical full-movement access for businesses and minimize direct accesses to arterial roads.
- A full-movement traffic signal is currently planned as part of a future City capital project at the new intersection of 192 Street and 30 Avenue.

Traffic Impacts

- The proposed development is anticipated to generate approximately 71 vehicle trips in the peak hour (approximately 1-2 vehicles every minute), according to industry standard rates. A site-specific traffic impact assessment was not required as the proposal is below the City's traffic volume threshold.

Access

- Three vehicular accesses are proposed to the subject site:
 - A full-movement passenger vehicle access to 30 Avenue;
 - A full-movement truck access to 30 Avenue; and
 - A right-in/right-out only passenger vehicle access to 192 Street, to be shared with future development on lands to the south at 2944 194 Street.

Parking

- The Zoning Bylaw requires a total of 132 stalls to be provided on site. The applicant is proposing to provide a total of 125 stalls on site, which is 7 stalls less than the (5% reduction) minimum Zoning Bylaw requirements. A DVP is proposed to reduce the minimum parking requirements for the site which is discussed in the Variance section below.
- The curved alignment of 30 Avenue (which is required to meet technical requirements at the future signalized intersection on 192 St.) results in a unique site configuration that presents constraints and challenges to achieving typical parking efficiencies. As such, staff can support the minor reduction in parking rate, which will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policies in the Official Community Plan and trends in the region for employment land intensification.
- Parking is proposed in front of loading bays for the units on the eastern building that have additional loading bays.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The future buildings on the site will be designed with a high-albedo roof with a minimum Solar Reflectance Index value of 75.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along 192 Street and 30 Avenue with expansive two-level spandrel glazing at the northwest corner. There is also a public amenity at the northwest corner. The building is visually anchored at the corner.)

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the northwest corner of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to be away from public view, and to allow for the building to be used as screening for portions of the site. The loading is accessed from 30 Avenue, with landscape buffering and a screen wall covering a portion of the driveway provided to minimize the extent of loading that is visible from public view along this frontage. The western building screens the loading bays from view at 192 Street).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corner and along the 192 Street and 30 Avenue frontages. There is also added articulation and visual anchoring of the building at the northwest corner of the site).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances and anchors the building at the intersection of 192 Street and 30 Avenue).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 2 Zone (IB-2)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 2 Zone (IB-2)", streamside setbacks and parking requirements.

IB-2 Zone (Part 47B)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.00	0.65
Lot Coverage:	60%	56%
Yards and Setbacks		
North (Street Side Yard):	7.5 metres (landscape)	7.5 metres
East (Rear Yard):	7.5 metres	20 metres
South (Side Yard):	0.0 metres adjacent to Mixed Employment	0.0 metres
West (Front Yard):	7.5 metres (landscape) 16 metres (parking)	12 metres 19 metres
Height of Buildings		
Principal buildings:	14 metres	13.4 metres
Accessory buildings:	6 metres	n/a
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Commercial:	44	44
Industrial:	88	81
Total:	132	125

Parking Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum number of on-site parking spaces from 132 to 125; and
 - (b) to allow parking spaces in front of loading bays for units that have surplus unblocked loading bays.
- The applicant is proposing a total of 125 stalls on site, which is 7 stalls (5% reduction) less than the minimum Zoning Bylaw requirements for the proposed use on the site.
- The curved alignment of 30 Avenue (which is required to meet technical requirements at the future signalized intersection on 192 St.) results in a unique site configuration that presents constraints and challenges to achieving typical parking efficiencies. As such, staff can support the proposed minor reduction in parking rate, which will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policy recommendations in the Official Community Plan and trends in the region for employment intensification.
- The applicant has demonstrated less demand for parking, as the site is intended for a single occupant. In supporting the proposed parking, a restrictive covenant will be registered on title, restricting the mezzanine space to storage use only (lower intensity use requiring less parking).
- Parking is being allowed in front of loading bays for the units on the eastern building that have additional loading bays.

- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 07, 2022, and the Development Proposal Sign was installed on September 08, 2022. To date staff have received no comments regarding the proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to visually anchor the western building at the northwest corner of the site and enhance screening to the loading bays from 30 Avenue.
- The general site design consists of two large industrial buildings oriented north-south, with a 7.5-metre landscape buffer along the north frontage and a 6-metre landscape buffer along the western frontage, except at the northwest corner, where the building is proposed without parking in front, and with a 7.5-metre landscape buffer to anchor the corner.
- The south portion of the site is proposed at 0.0 m setback, and the eastern setback is 20 metres, as it accommodates two rows of parking east of the building. A publicly accessible open space plaza is featured at the northwest corner of the site at the future intersection.
- The site contains two buildings, and the loading bays are proposed perpendicular to 30 Avenue, with landscape screening along the street. The loading bays are not visible from 192 Street, as they are screened by the western building. The buildings are proposed to be of concrete tilt-up panels in shades of grey with green accent canopies.
- Vehicular access is proposed on 192 Street to the west which will have a shared access easement, allowing access also to the abutting property to the south in the future. Additional vehicular access is proposed on the east portion of the site on 30 Avenue, and truck and employee access is proposed on 30 Avenue, between both proposed buildings. The loading

area will be screened from public view by the building near 192 Street and landscaping along 30 Avenue.

- No signage is proposed at this time.

Landscaping

- A landscape buffer is provided along both roads, with 6 metres provided on 192 Street, and 7.5 metres provided along 30 Avenue.
- Along the north portion of the site, the landscaping is proposed adjacent to the buildings, and on the west, there is a 6 m landscape buffer in front of the parking, except at the northwest portion of the site, where the building is anchoring the corner and a 7.5-metre landscape buffer is proposed up to the building. A publicly accessible open space plaza is proposed at the northwest corner.
- The new trees on the site will consist of a variety of trees including Vine Maple, Red Maple, White Wonder Dogwood, Fastigiata or Dawyck Beech, Raywood Ash, Worpleson Sweet Gum, Serbian Spruce and Douglas Fir.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include further articulation of the building elevations facing both 30 Avenue and 192 Street, as well as improvements to the landscaping.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Connor Gritter, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Trembling Aspen	1	0	1
Coniferous Trees			
Norway Spruce	1	0	1
Lawson Falsecypress	1	0	1
Pine	2	0	2

Tree Species	Existing	Remove	Retain
Shore Pine	1	0	1
Western White Pine	2	0	2
Scots Pine	1	0	1
Douglas Fir	1	0	1
Western Red "Zebrina" Cedar	8	0	8
Total (excluding Alder and Cottonwood Trees)	18	0	18
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		105	
Total Retained and Replacement Trees		106	
Contribution to the Green City Program		n/a	

- The Arborist Assessment states that there is a total of 18 mature trees on the site, excluding Alder and Cottonwood trees. 1 existing trees, approximately 5% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 18 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The tree plan shows additional trees that have already been removed as part of Temporary Use Permit (TUP) No. 7920-0106-00. The trees are shown in a different colour, and with a note that they had already been removed by April 2022. These were captured under Temporary Use Permit (TUP) No. 7920-0106-00.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees. This would require 1 replacement tree on the site. The applicant is proposing 105 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Vine Maple, Red Maple, White Wonder Dogwood, Fastigate or Dawyck Beech, Raywood Ash, Worpleson Sweet Gum, Serbian Spruce and Douglas Fir.
- In summary, a total of 106 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7920-0321-00

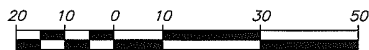
approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

LFM/ar

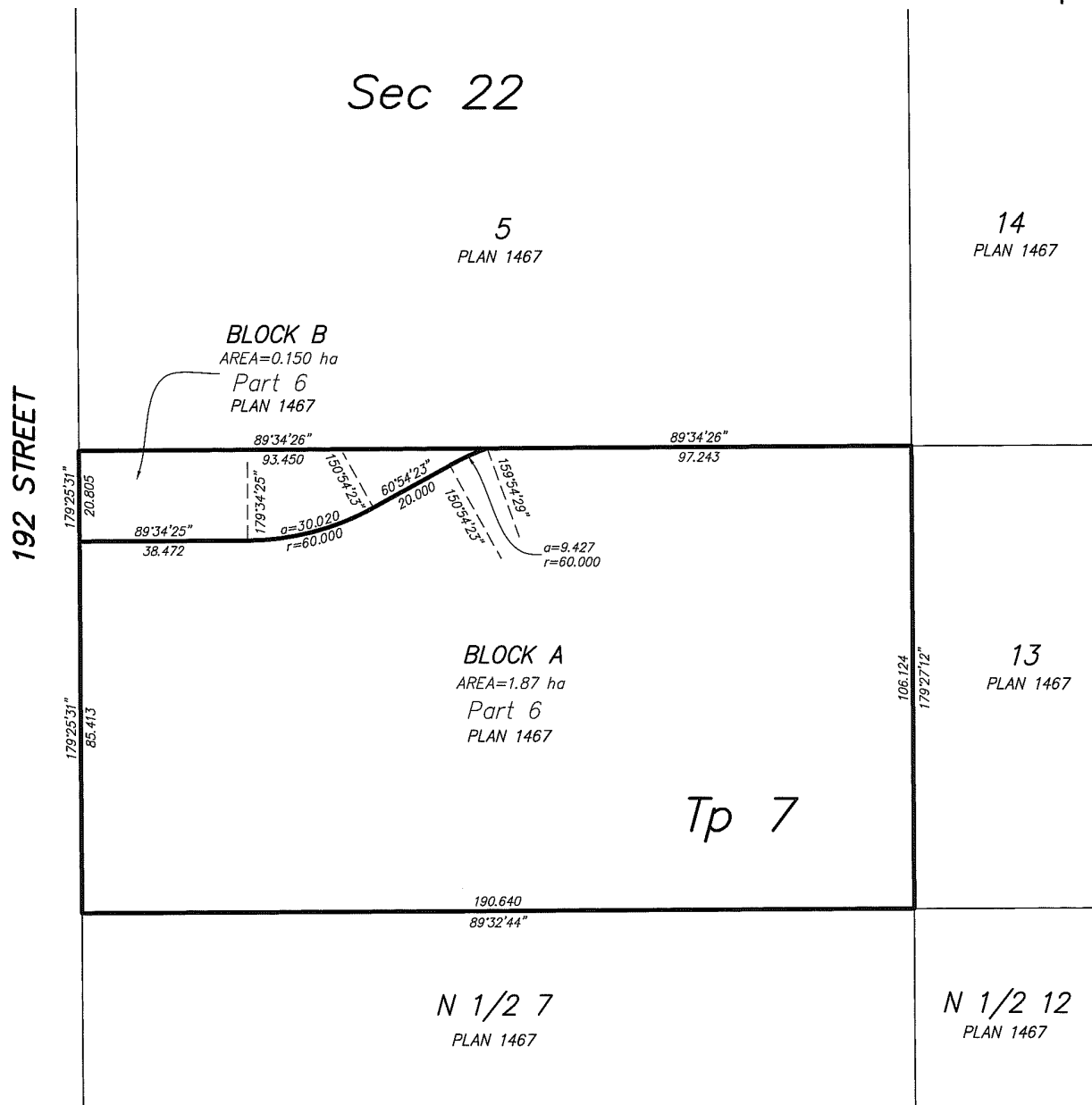
**SURVEY PLAN TO ACCOMPANY
CITY OF SURREY ZONING BYLAW _____
OVER LOT 6 SECTION 22 TOWNSHIP 7
NEW WESTMINSTER DISTRICT PLAN 1467**

BCGS 92G.007



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 279mm IN WIDTH BY 432mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:1000



NOTE:
LEGAL BOUNDARIES ARE BASED ON LAND TITLE
OFFICE RECORDS AND FIELD SURVEY AND ARE
SUBJECT TO CHANGE

APLIN & MARTIN
GEOMATICS LAND SURVEYING LTD.
201, 12448 82nd AVENUE
SURREY, BC V3W3E9 604-597-9189

CERTIFIED CORRECT ACCORDING TO SURVEY
DATE 30 NOVEMBER, 2022
KUNWEN BAO
PROVINCIAL LAND SURVEYOR
VICTORIA, BC V8S 1G3
FILE NO. 2022-001 Zoning



**New Development For 2974 192 Street Surrey BC
Development Permit Application**



KCC Architecture & Design Ltd.
Unit 300 15300 Croydon Drive Surrey V3Z 0Z5
kccarchitecture.com
Tel 604 283 0912



CONTEXT PLAN

DRAWING LIST

- A 0.0** COVER SHEET
- A 1.0** PROJECT DATA
- A 2.0** SITE PLAN
- A 2.1** FIRE TRUCK ACCESS
- A 2.2** PROPERTY OUTLINE
- A 3.0** FLOOR PLAN LEVEL 1 BUILDING A
- A 3.1** FLOOR PLAN LEVEL 2 BUILDING A
- A 3.2** ROOF PLAN BUILDING A
- A 3.3** FLOOR PLAN LEVEL 1 BUILDING B
- A 3.4** FLOOR PLAN LEVEL 2 BUILDING B
- A 3.5** ROOF PLAN BUILDING B
- A 4.0** ELEVATIONS BUILDING A
- A 4.1** ELEVATIONS BUILDING A
- A 4.2** ELEVATIONS BUILDING B
- A 4.3** ELEVATIONS BUILDING B
- A 5.0** SECTIONS
- A 5.1** SECTIONS
- A 5.2** STREET SECTIONS
- A 5.3** STREET SECTIONS
- A 5.4** STREET SECTIONS
- A 6.0** ISO VIEW
- A 6.1** ISO VIEW
- A 6.2** ISO VIEW
- A 6.3** ISO VIEW

SITE DATA

CIVIC ADDRESS

2974 192 STREET
SURREY, BC.

LEGAL DESCRIPTION

LOT 6 SECTION 22 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN 1467
PID: 012-217-158

REZONING

CURRENT ZONING **A-2 INTENSIVE AGRICULTURE ZONE**
PROPOSED ZONING **IB 2 BUSINESS PARK ZONE**

SITE AREA

EXISTING SITE AREA **20,242.57 SM (217,889.21 SF)**
ROAD WIDENING AREA **3,675.77 SM (39,565.52 SF)**
NET SITE AREA **16,566.81 SM (178,323.69 SF)**

GROSS FLOOR AREA

BUILDING A
PROPOSED FOOTPRINT. **2,467.27 SM(26,557.49 SF)**
OFFICE (16%) **866.78 SM(9,330.00 SF)**

BUILDING B
PROPOSED FOOTPRINT. **6,327.53 SM(68,109.00 SF)**
OFFICE (16%) **839.49 SM(9,617.46 SF)**

TOTAL 10,501.07 SM(113,613.95 SF)

DENSITY

PERMITTED 1.00
PROPOSED 0.65

SITE COVERAGE

PERMITTED 60%
PROPOSED **56.02%**

BUILDING HEIGHT

ALLOWED 14.0 M (46.0')
PROPOSED **13.41 M (44.0')**

SETBACKS.

FRONT YARD (WEST)	7.5 M	PERMITTED
	12.0 M	PROVIDED
REAR YARD (EAST)	7.5 M	PERMITTED
	7.5 M	PROVIDED
SIDE YARD (NORTH 30 AV)	7.5 M	PERMITTED
	7.5 M	PROVIDED
SIDE YARD (SOUTH)	0.0 M	PERMITTED
	0.0 M	PROVIDED

PARKING

REQUIRED Office 1,760.33 SM / 100 X 2.5 = 44
Warehouse 8,794.80 SM / 100 = 87.94
TOTAL REQUIRED 132

PROVIDED **TOTAL PROVIDED 125 (PROPOSED PARKING VARIANCES):**
- REDUCE REQUIRED PARKING COUNT FROM 132 TO 125
- VARIANCE FOR THE PARKING STALLS FRONTING THE LOADING
BAYS ON THE EAST PORTION OF THE SITE. THESE UNITS HAVE
ALTERNATE UNBLOCKED LOADING BAYS.

ACCESSIBLE PARKING

REQUIRED 2% OF REQUIRED PARKING STALLS = 2.54
PROVIDED **3**

LOADING

LOADING AT EACH DOOR

CLIENT

HARRY PUREWAL
SEVEN HORSES TRANSPORTATION LTD
Office: 604 553 4440
Email: harry@puregroupinc.ca

ARCHITECT

KARLA CASTELLANOS Architect AIBC
KCC ARCHITECTURE AND DESIGN LTD
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Email: kcastellanos@kccarchitecture.com

CIVIL

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Email: pat@pmjlandscapes.com

ARBORIST

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MIKE FADUM & ASSOCIATES LTD
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Email: mfadum@fadum.ca

GEOTECHNICAL

GEOPACIFIC CONSULTANTS
Office: 604 439 0922
Email: reception@geopacific.ca

SURVEYOR

APLIN & MARTIN CONSULTANTS LTD
Office: 604 597 905

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NO.	DATE	ISSUANCE
1	2022 09 21	ISSUED FOR DP
2	2022 10 17	RE-ISSUED FOR REZONING
3	2022 11 02	RE-ISSUED FOR REZONING



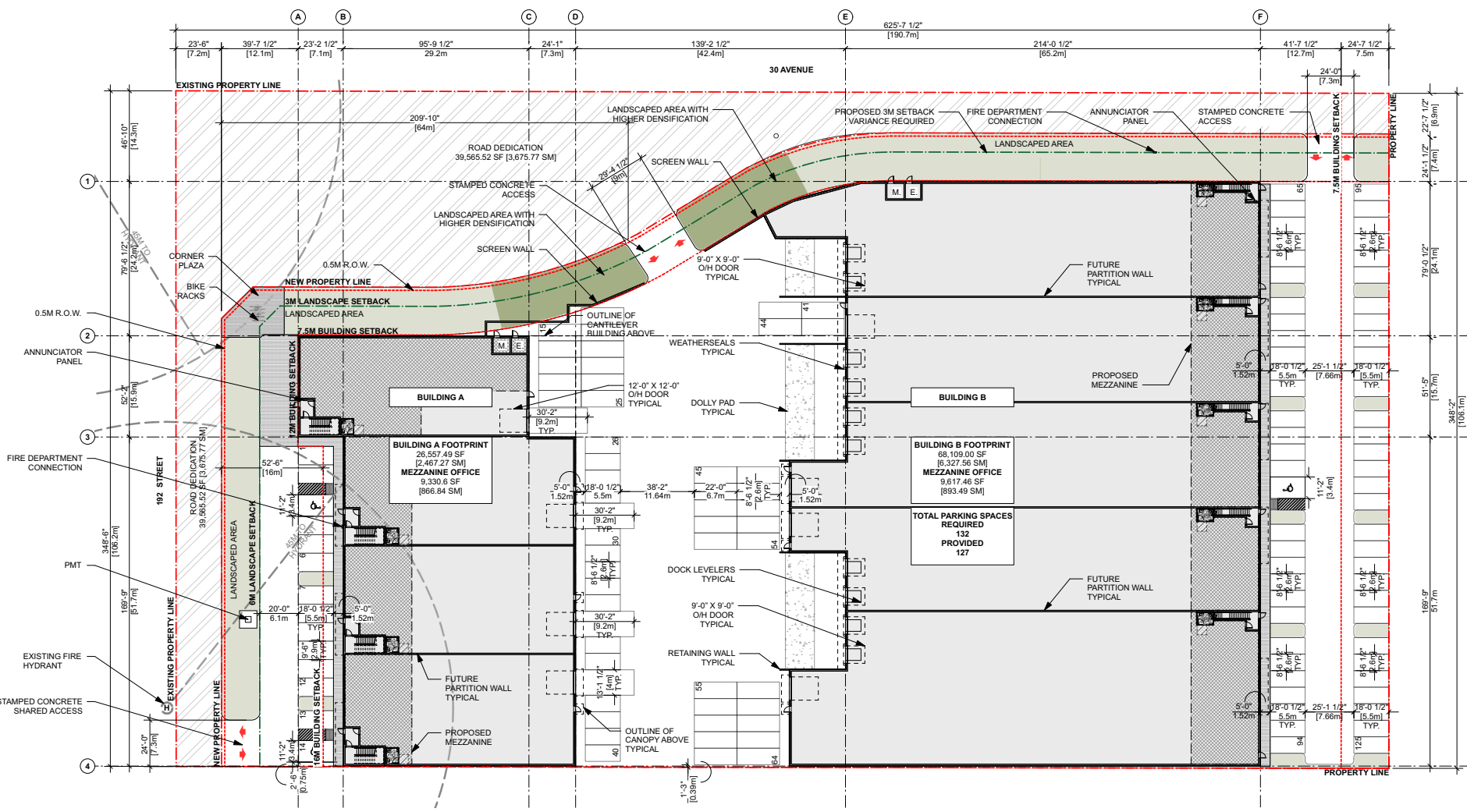
PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

PROJECT DATA

A 1.0





GENERAL NOTES
 LOADING BAYS DESIGNED FOR SMALL TRUCKS
 FOR TOPOGRAPHIC SURVEY REFER TO SURVEY
 PLAN XX DATED XX PREPARED BY
 XX

NO.	DATE	ISSUANCE
1	2022 09 09	ISSUED FOR REVIEW
2	2022 09 13	ISSUED FOR REVIEW
3	2022 09 15	ISSUED FOR REVIEW
4	2022 09 19	ISSUED FOR COORDINATION
5	2022 09 21	ISSUED FOR DP
6	2022 10 17	RE-ISSUED FOR REZONING
7	2022 11 02	RE-ISSUED FOR REZONING

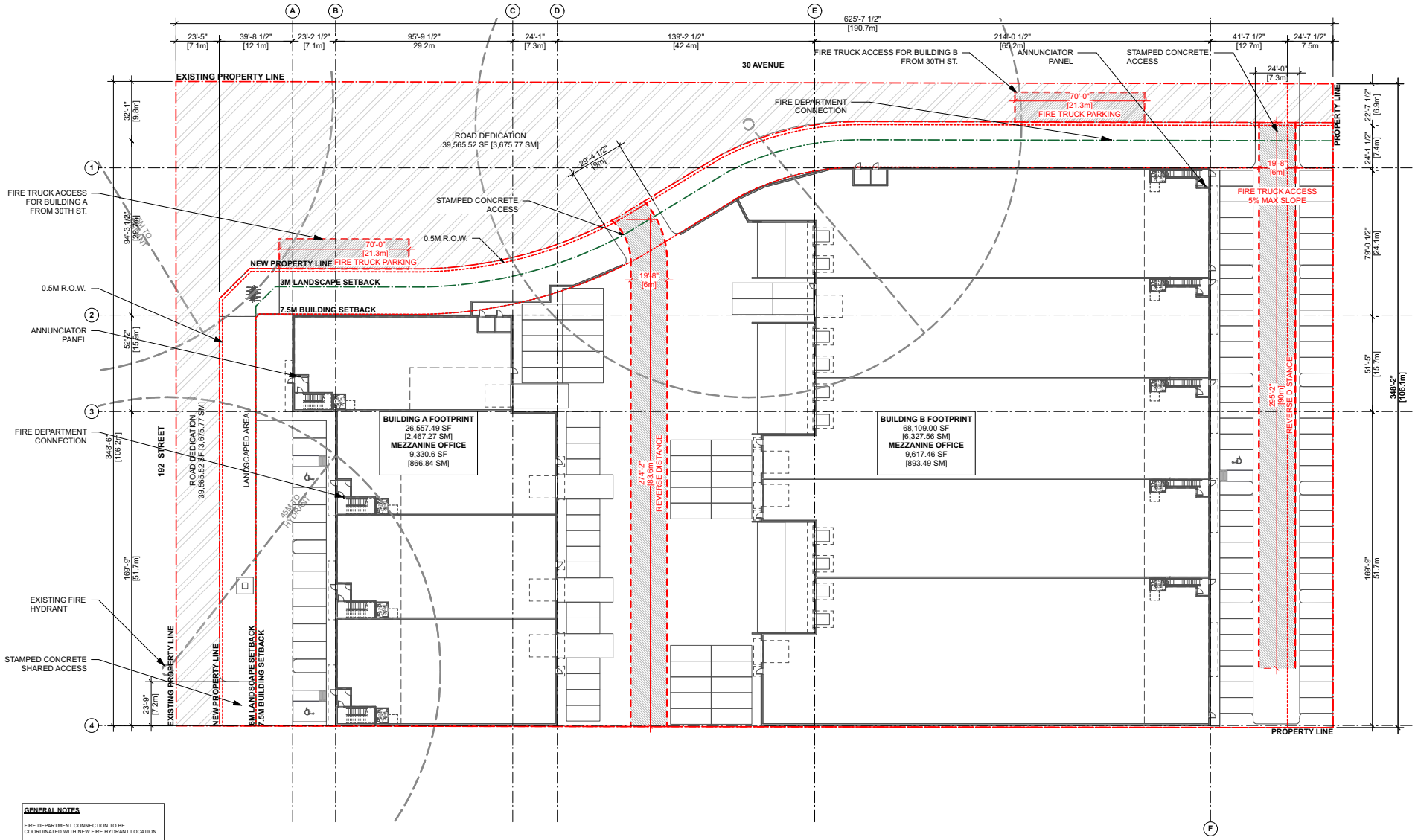


PROPOSED NEW DEVELOPMENT
 2974 192 St
 Surrey BC

SITE PLAN

A 2.0





GENERAL NOTES

FIRE DEPARTMENT CONNECTION TO BE COORDINATED WITH NEW FIRE HYDRANT LOCATION

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NO.	DATE	ISSUANCE
1	2022 09 21	ISSUED FOR REZONING
2	2022 10 17	RE-ISSUED FOR REZONING
3	2022 11 02	RE-ISSUED FOR REZONING



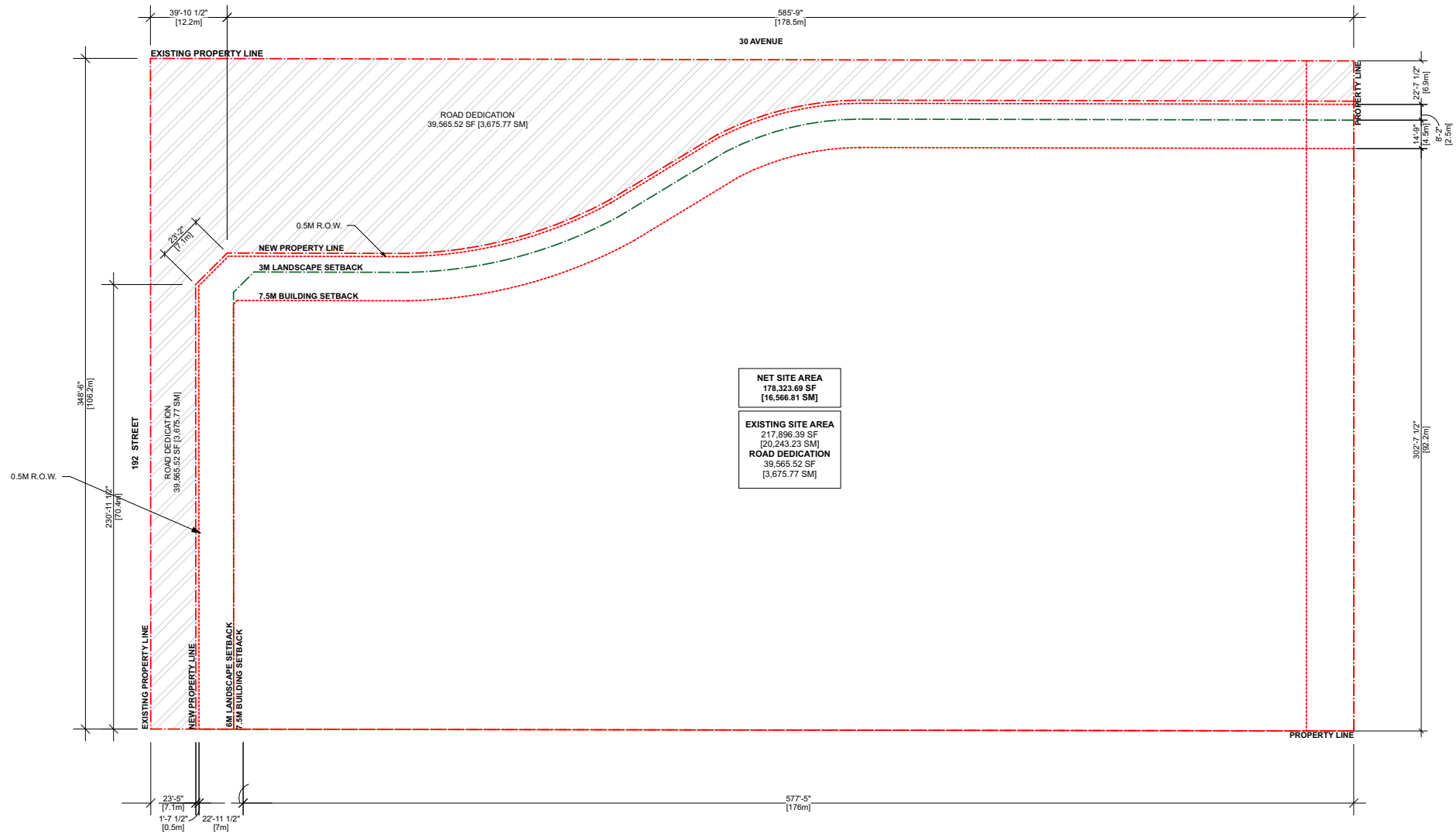
PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

FIRE TRUCK ACCESS

A 2.1





NET SITE AREA
178,323.69 SF
[16,566.81 SM]
EXISTING SITE AREA
217,896.39 SF
[20,243.23 SM]
ROAD DEDICATION
39,565.52 SF
[3,675.77 SM]

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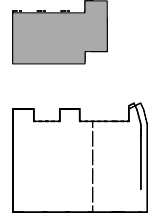


PROPOSED NEW DEVELOPMENT
 2974 192 St
 Surrey BC

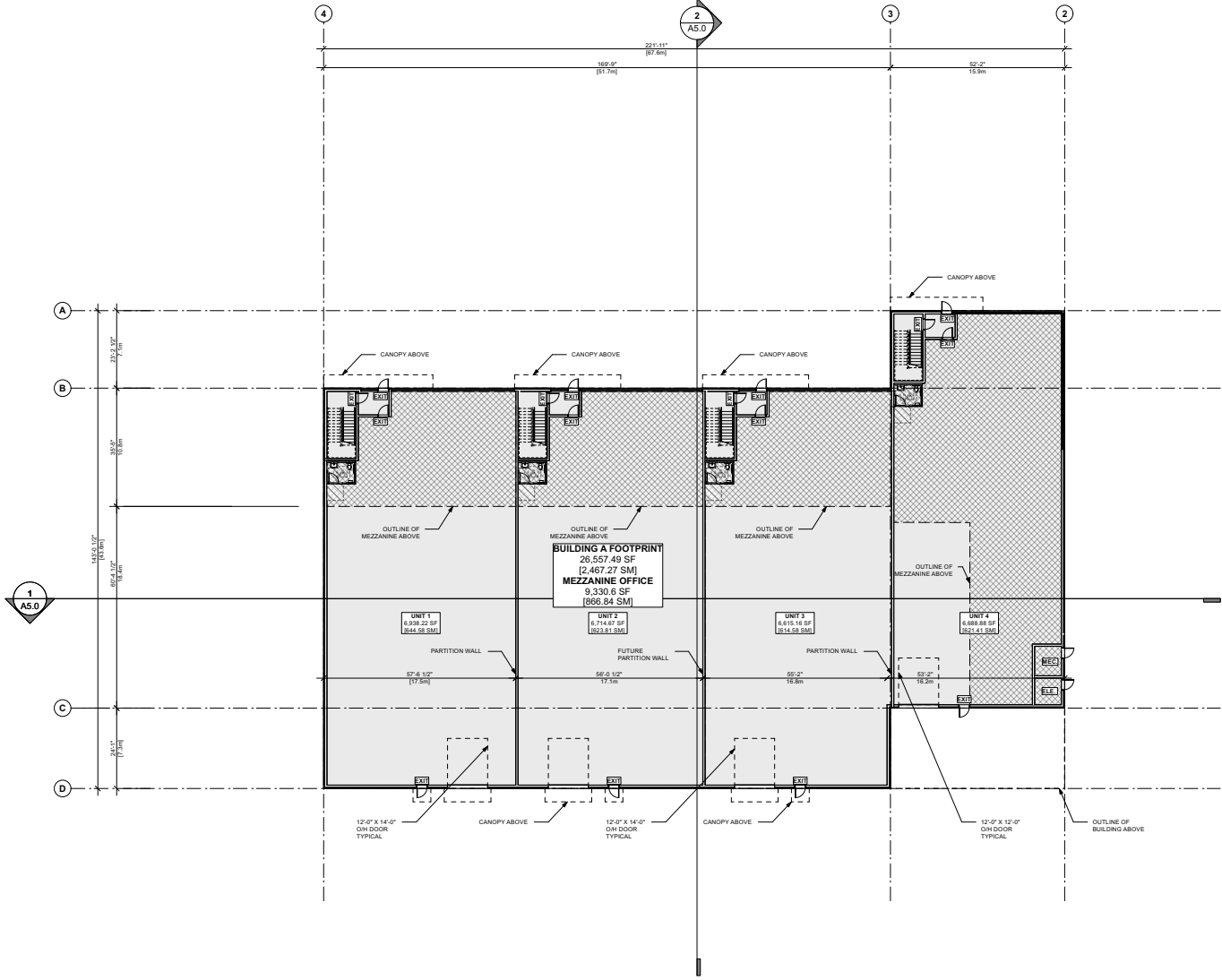
PROPERTY LINES

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KEY PLAN



1 LEVEL 1
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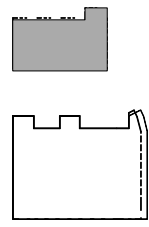
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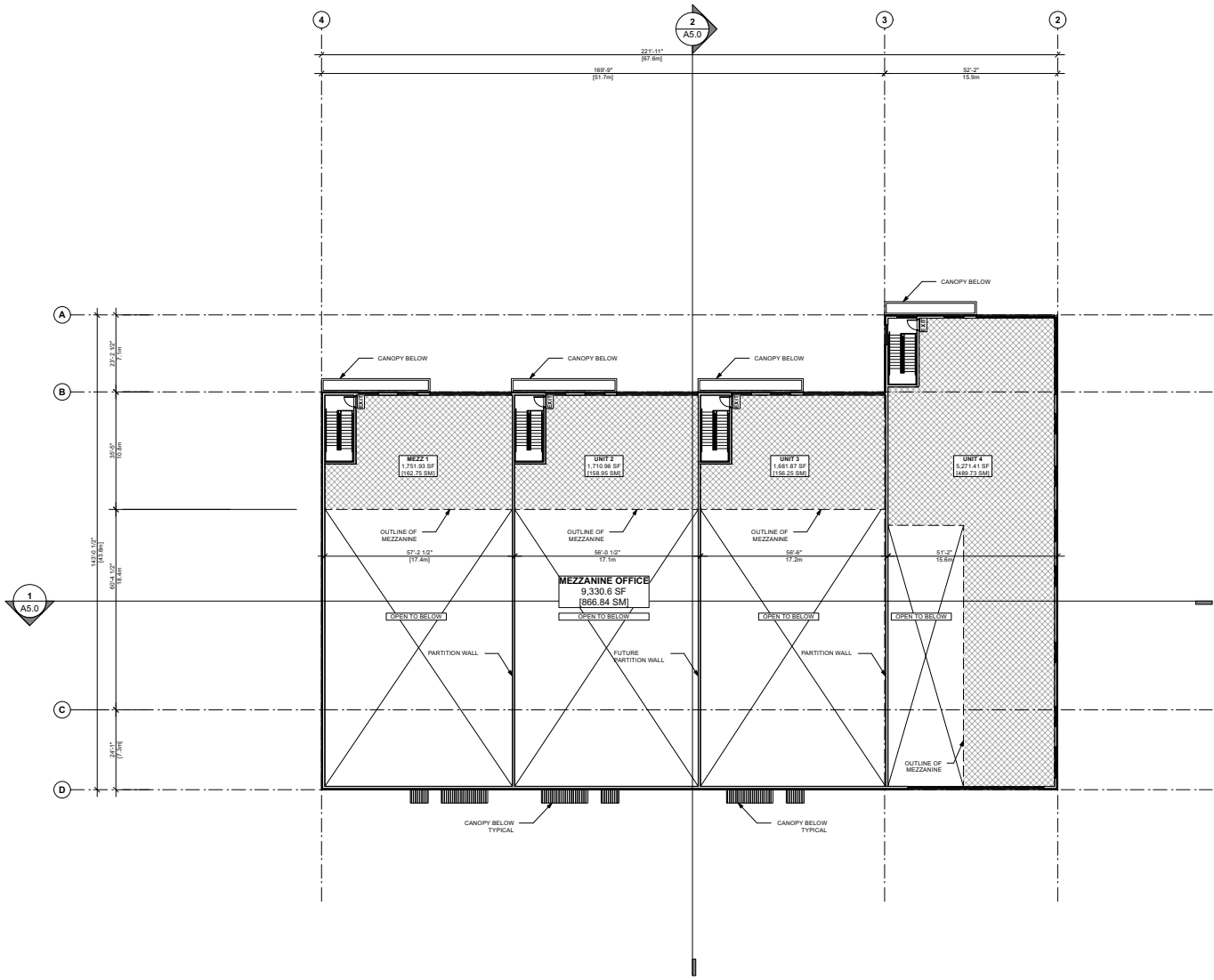
PROPOSED NEW DEVELOPMENT
2974 192 St
Surrey BC

LEVEL 1

A 3.0 A KCC ARCHITECTURE



KEY PLAN



1 MEZZANINE 1:400

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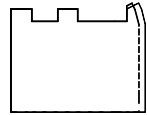
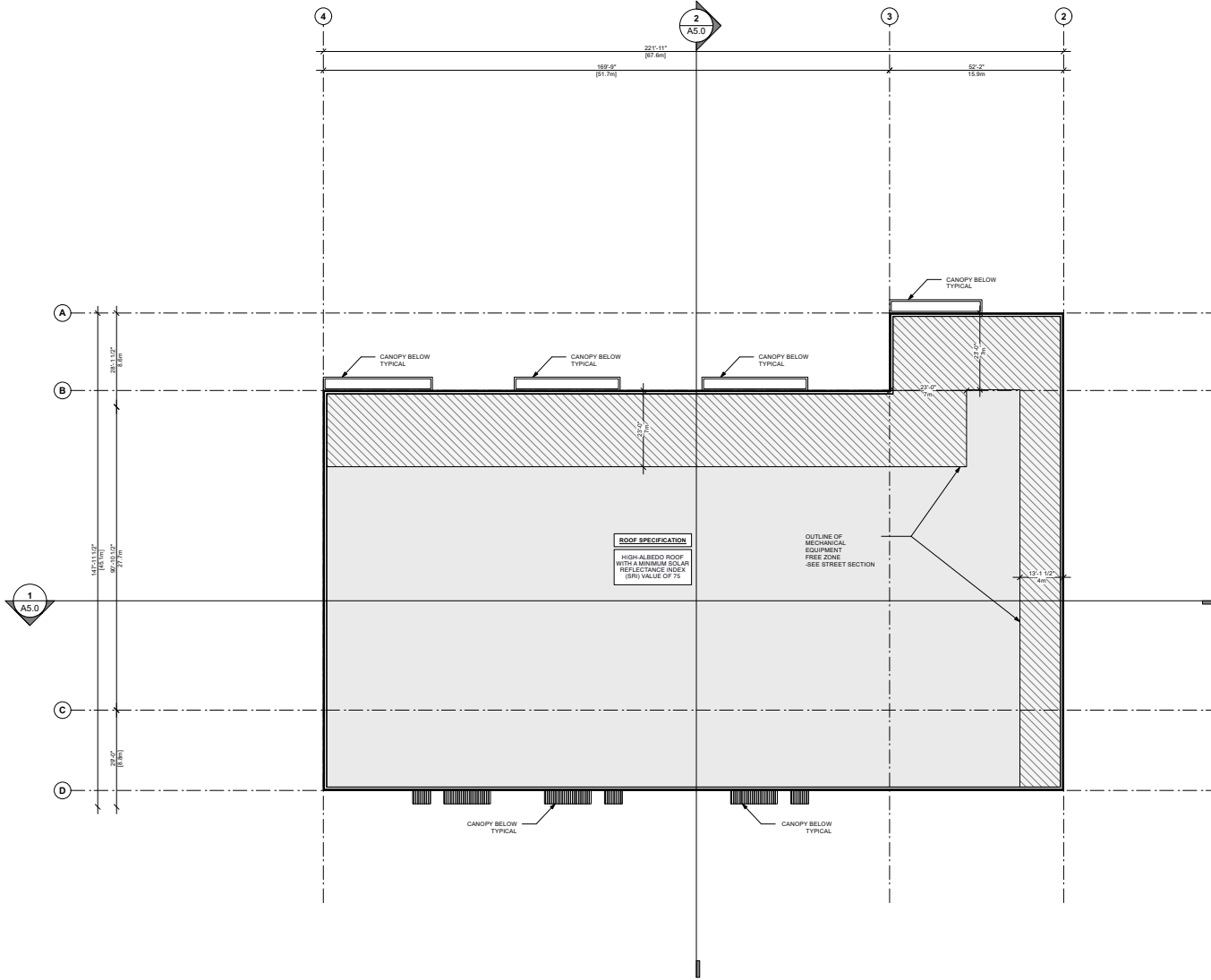
PROPOSED NEW DEVELOPMENT
2974 192 St
Surrey BC

LEVEL 2

A 3.1 A KCC ARCHITECTURE

DRAWN: GG
CHECKED: KC
SCALE: 1:400
FILE: 2006

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kccarchitecture.com
Tel 604 283 0912



KEY PLAN

1 ROOF PLAN
1:400

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2022 10 17
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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ROOF PLAN

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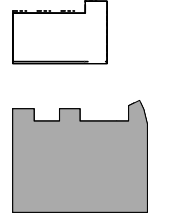
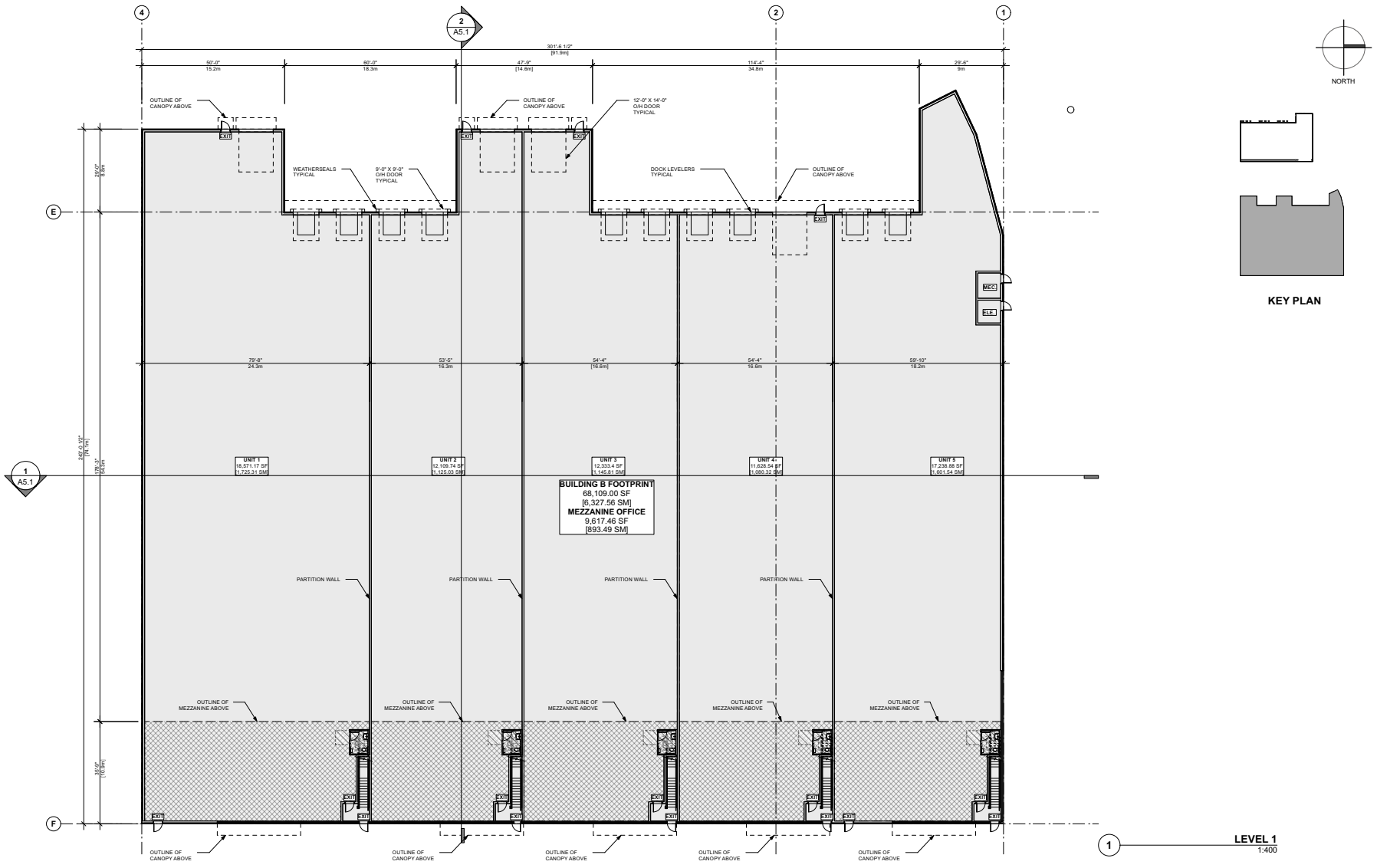


DRAWN: GG
CHECKED: KC

SCALE: 1:400

FILE: 2006

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KEY PLAN

LEVEL 1
1:400

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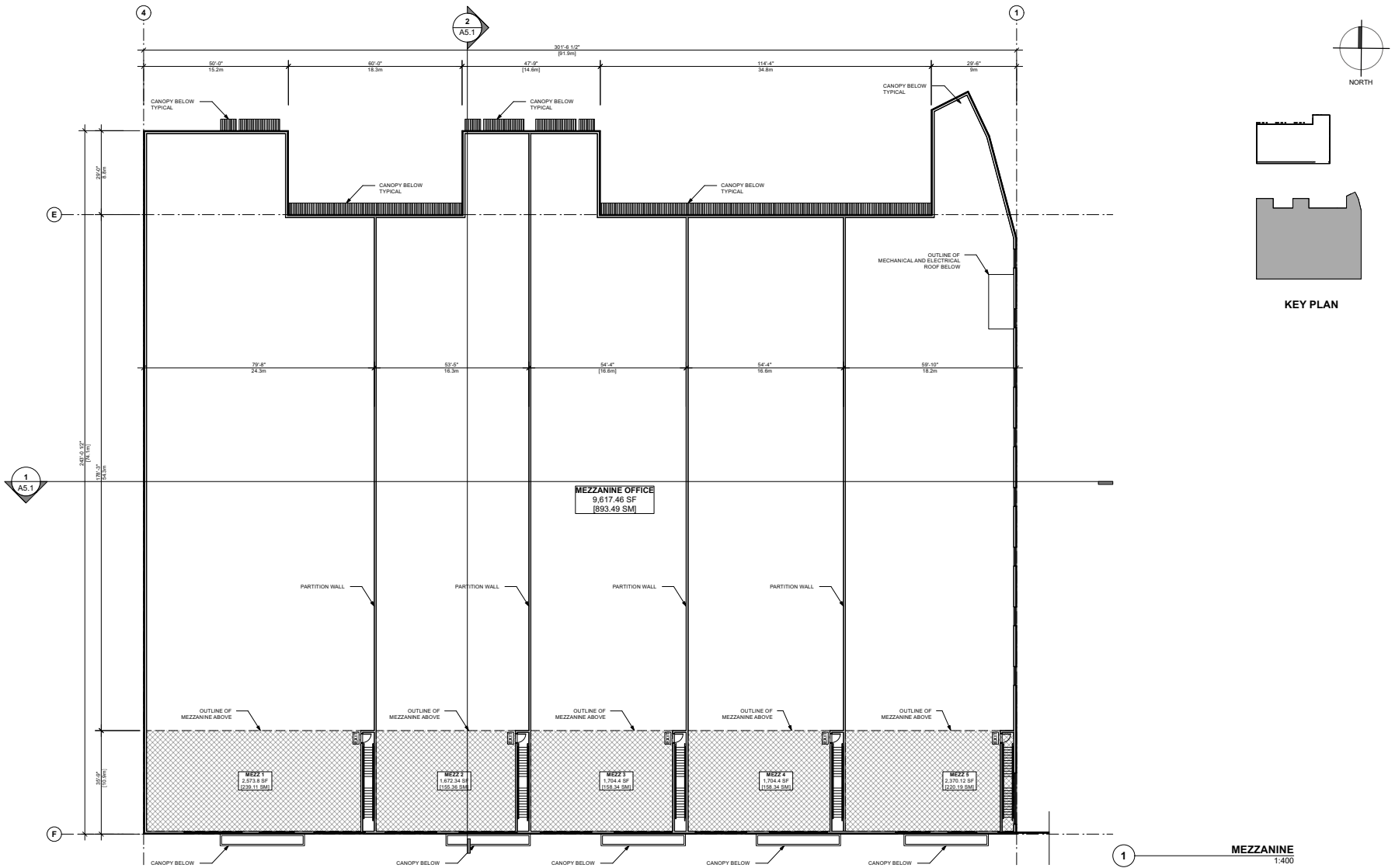
PROPOSED NEW DEVELOPMENT
2974 192 St
Surrey BC

LEVEL 1

A 3.3 B KCC ARCHITECTURE

DRAWN: GG
CHECKED: KC
SCALE: 1:400
FILE: 2006

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MEZZANINE
1:400

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PROPOSED NEW DEVELOPMENT
2974 192 St
Surrey BC

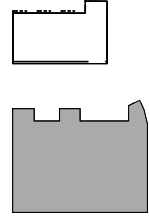
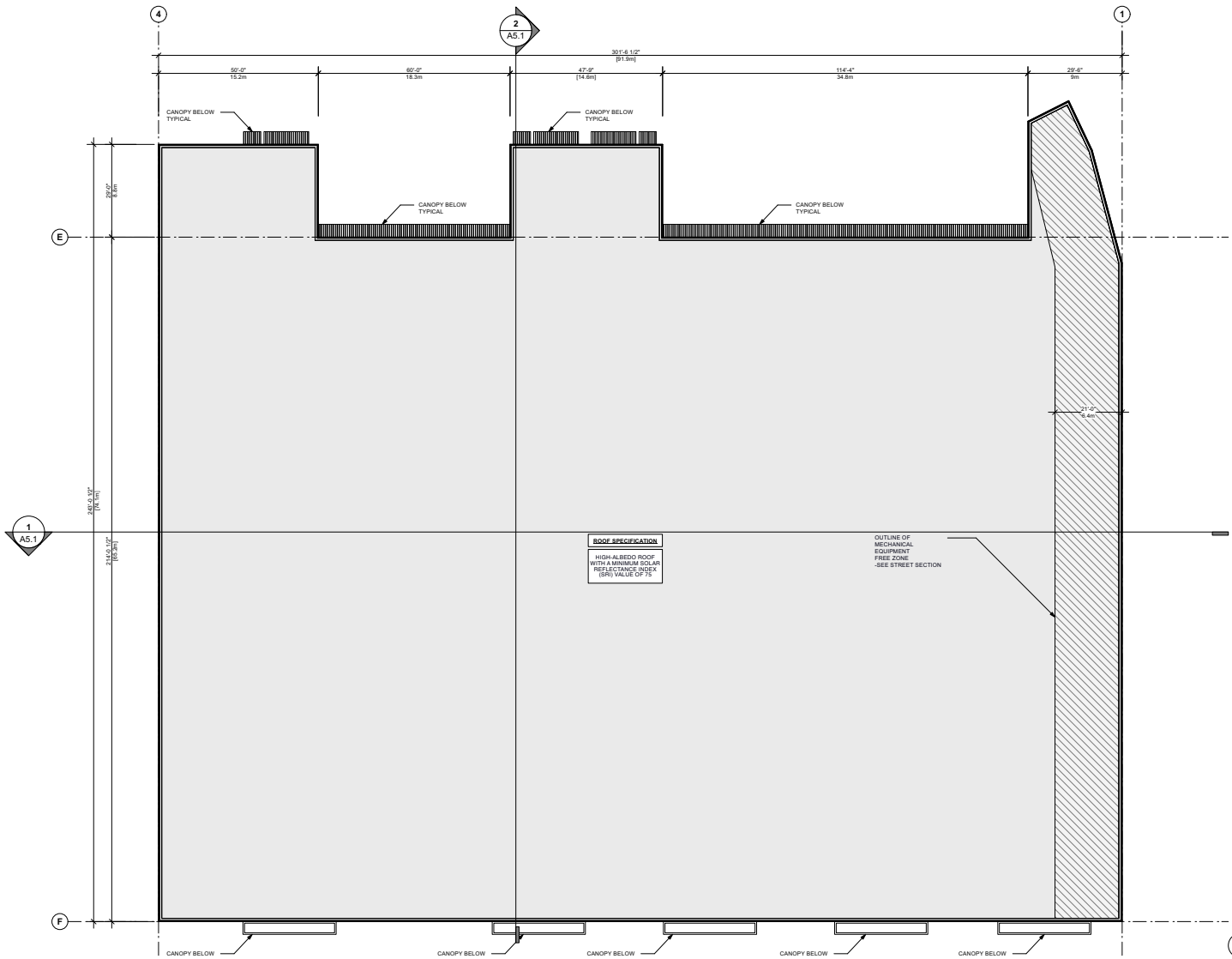
LEVEL 2

A 3.4 B



DRAWN: GG
CHECKED: KC
SCALE: 1:400
FILE: 2006

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1 ROOF PLAN 1:400

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ROOF PLAN

A 3.5 B KCC ARCHITECTURE

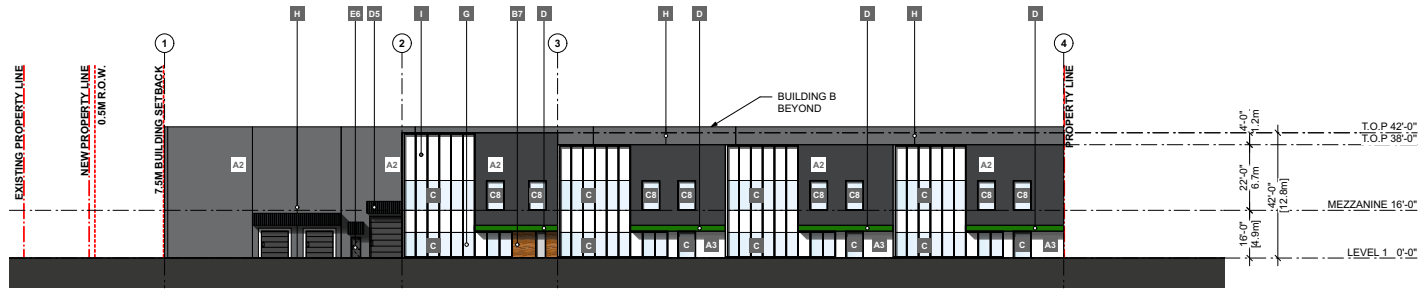
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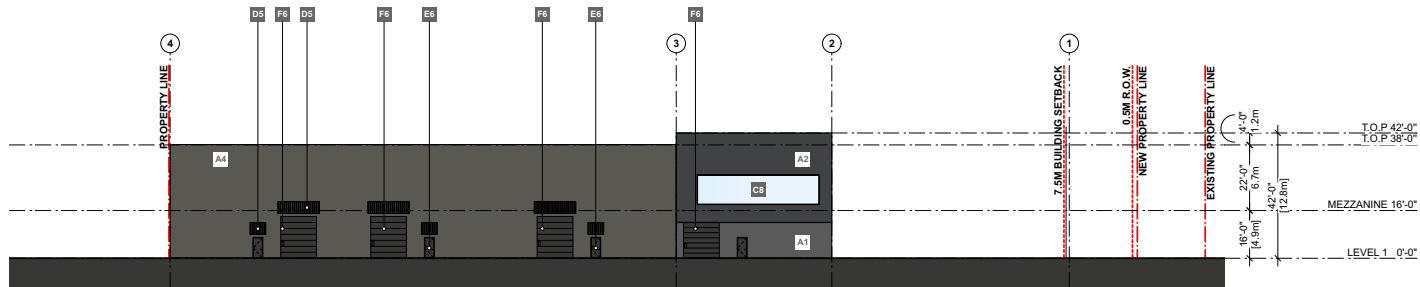
FILE: 2006

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Unit 300 15300 Croydon Drive Surrey BC V3Z 0Z5
Tel 604 283 0912

kccarchitecture.com



2 EAST ELEVATION BUILDING A
1:400



1 WEST ELEVATION BUILDING A
1:400

MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	F INSULATED OVERHEAD DOOR PAINTED (R15)	J PAINTED TRIM
B METAL FAUX WOOD PANEL	G WEATHERSEAL	K BOLLARDS
C CURTAIN WALL	H PANEL JOINT	L SOFFIT
D CANOPY	I SPANDREL PANEL	M PANEL REVEALS
E STEEL FRAME HOLLOW METAL DOOR		

COLOUR LEGEND

1 BENJAMIN MOORE LIGHT GRAY	6 BENJAMIN MOORE PAINT 6
2 BENJAMIN MOORE DARK GRAY	7 METAL FAUX WOOD PANEL TYPE 1
3 BENJAMIN MOORE WHITE	8 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
4 BENJAMIN MOORE LIVING GOLD	9 SPANDREL TYPE 1
5 BENJAMIN MOORE PAINT 5	10 SOFFIT TYPE 1

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ELEVATIONS

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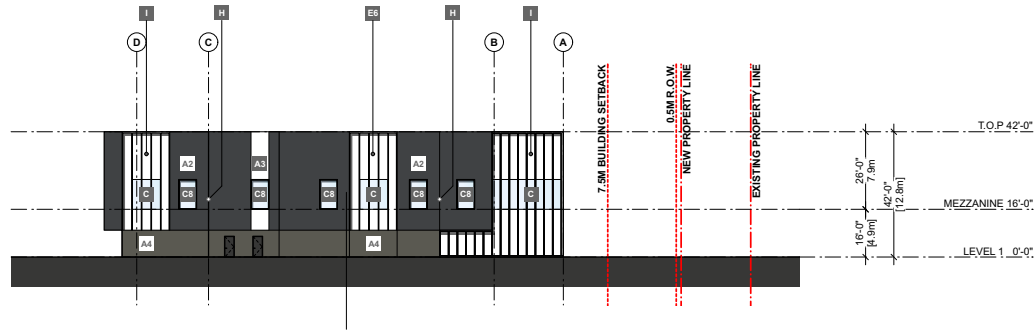


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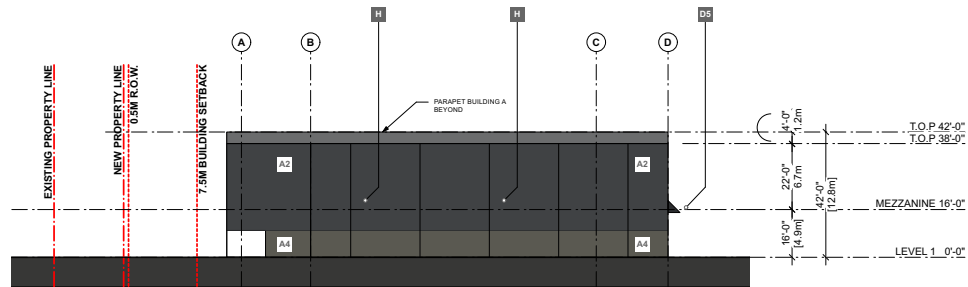
SCALE: 1:400

FILE: 2006

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1 NORTH ELEVATION BUILDING A
1:400



2 SOUTH ELEVATION BUILDING A
1:400

MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	F INSULATED OVERHEAD DOOR PAINTED (R15)	J PAINTED TRIM
B METAL FAUX WOOD PANEL	G WEATHERSEAL	K BOLLARDS
C CURTAIN WALL	H PANEL JOINT	L SOFFIT
D CANOPY	I SPANDREL PANEL	M PANEL REVEALS
E STEEL FRAME HOLLOW METAL DOOR		

COLOUR LEGEND

1 BENJAMIN MOORE LIGHT GRAY	6 BENJAMIN MOORE PAINT 6
2 BENJAMIN MOORE DARK GRAY	7 METAL FAUX WOOD PANEL TYPE 1
3 BENJAMIN MOORE WHITE	8 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
4 BENJAMIN MOORE LIVING GOLD	9 SPANDREL TYPE 1
5 BENJAMIN MOORE PAINT 5	10 SOFFIT TYPE 1

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

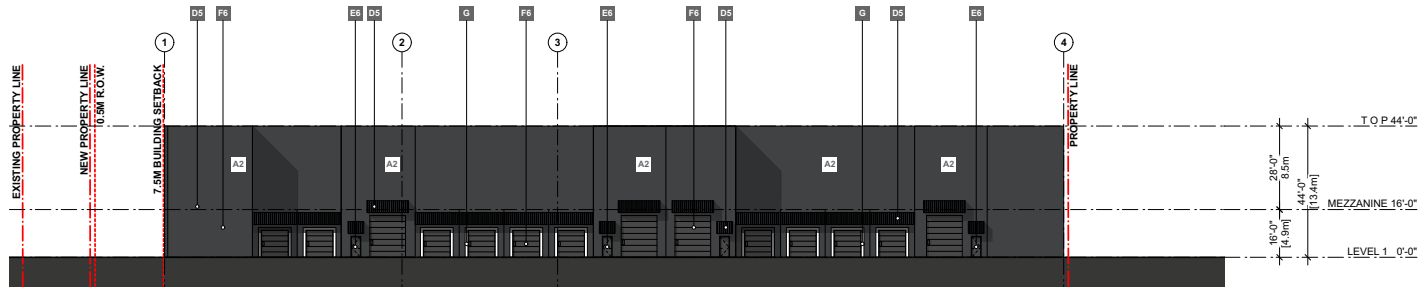
ELEVATIONS

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1 EAST ELEVATION BUILDING B
1:400



2 WEST ELEVATION BUILDING B
1:400

MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	F INSULATED OVERHEAD DOOR PAINTED (R15)	J PAINTED TRIM
B METAL FAUX WOOD PANEL	G WEATHERSEAL	K BOLLARDS
C CURTAIN WALL	H PANEL JOINT	L SOFFIT
D CANOPY	I SPANDREL PANEL	M PANEL REVEALS
E STEEL FRAME HOLLOW METAL DOOR		

COLOUR LEGEND

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ELEVATIONS

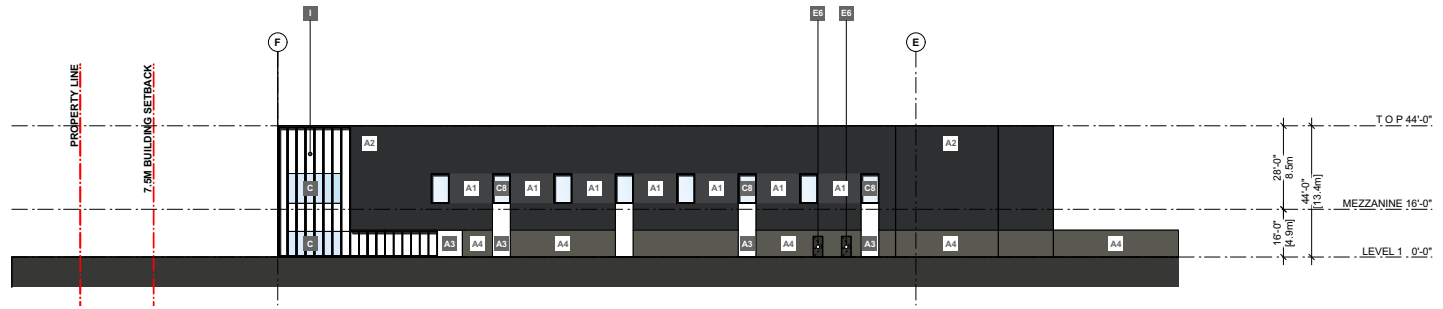
A 4.2 B KCC ARCHITECTURE

DRAWN: GG
CHECKED: KC

SCALE: 1:400

FILE: 2006

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1 NORTH ELEVATION BUILDING B
1:400



2 SOUTH ELEVATION BUILDING B
1:400

MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	F INSULATED OVERHEAD DOOR PAINTED (R15)	J PAINTED TRIM
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4 BENJAMIN MOORE LIVING GOLD	9 SPANDREL TYPE 1
5 BENJAMIN MOORE PAINT 5	10 SOFFIT TYPE 1

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ELEVATIONS

A 4.3 B

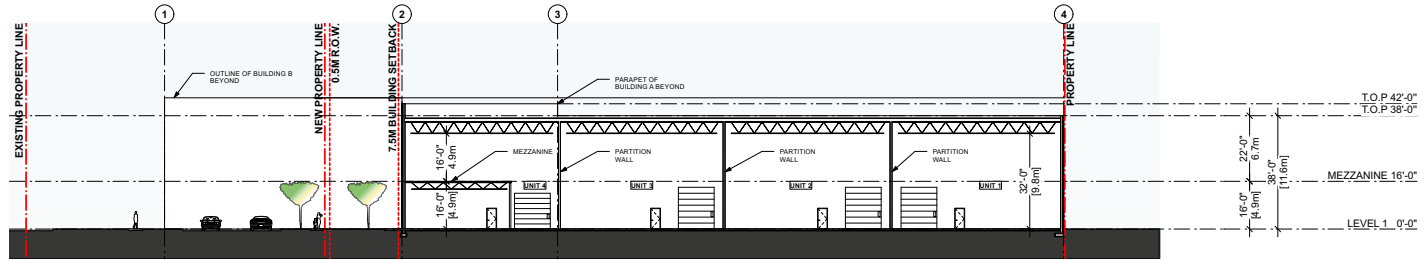


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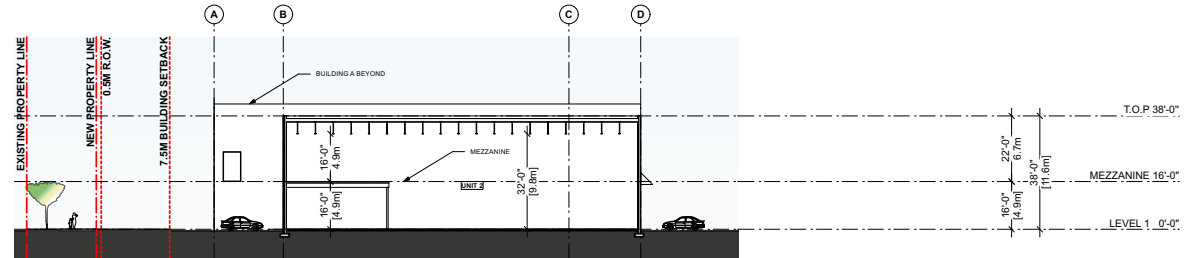
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FILE: 2006

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1 SECTION 1 BUILDING A
1:400



2 SECTION 2 BUILDING A
1:400

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

SECTIONS

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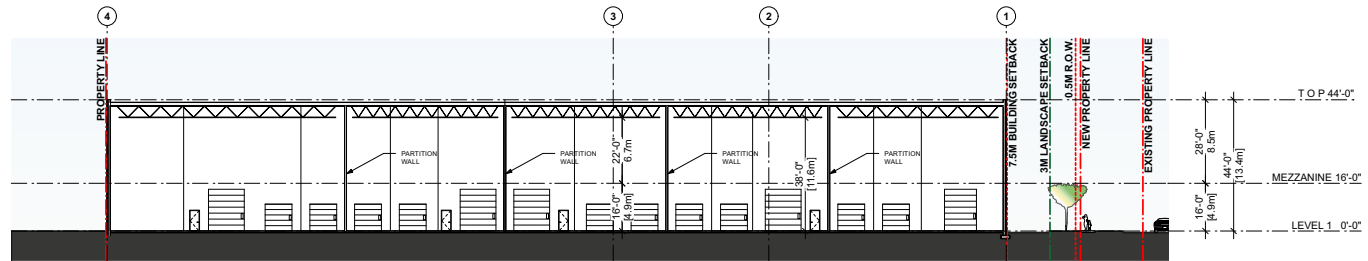


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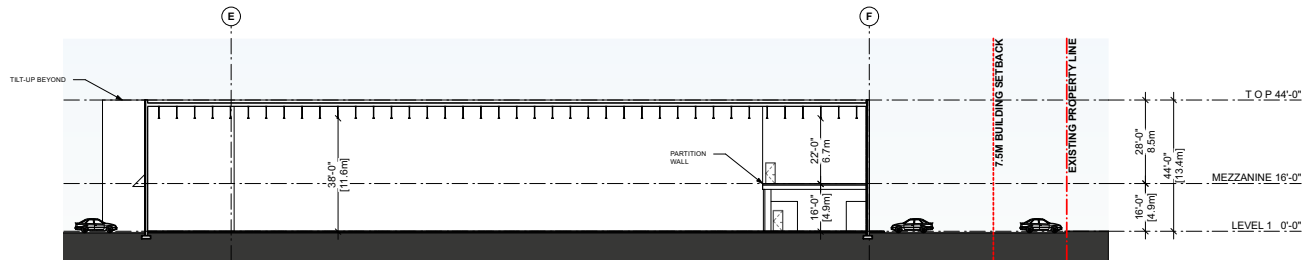
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FILE: 2006

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1 SECTION 1 BUILDING B
1:400



2 SECTION 2 BUILDING B
1:400

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

SECTIONS

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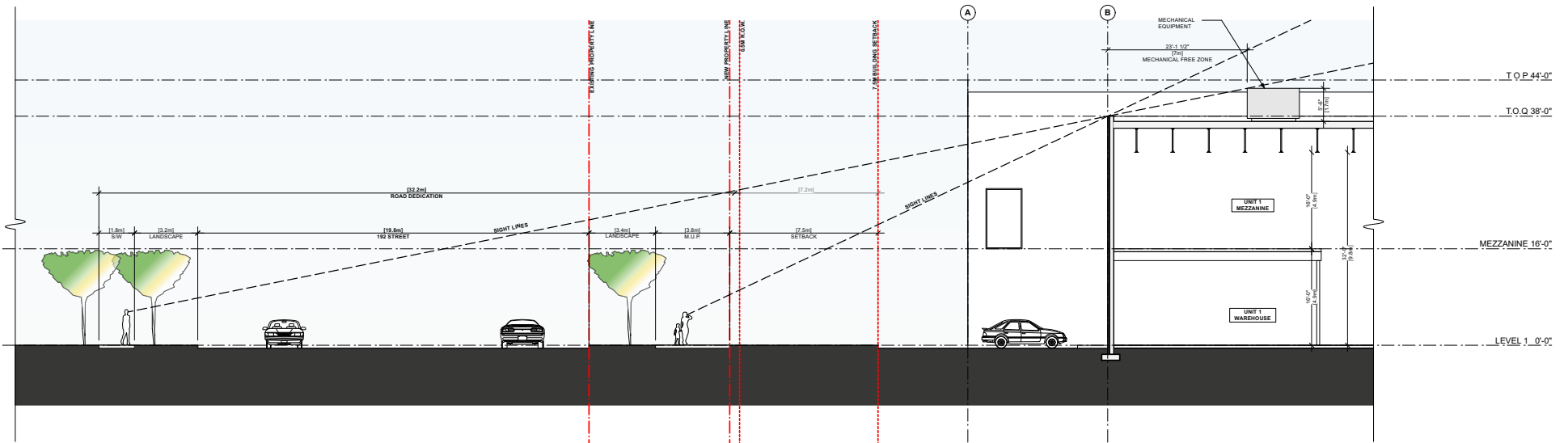


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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

STREET SECTIONS

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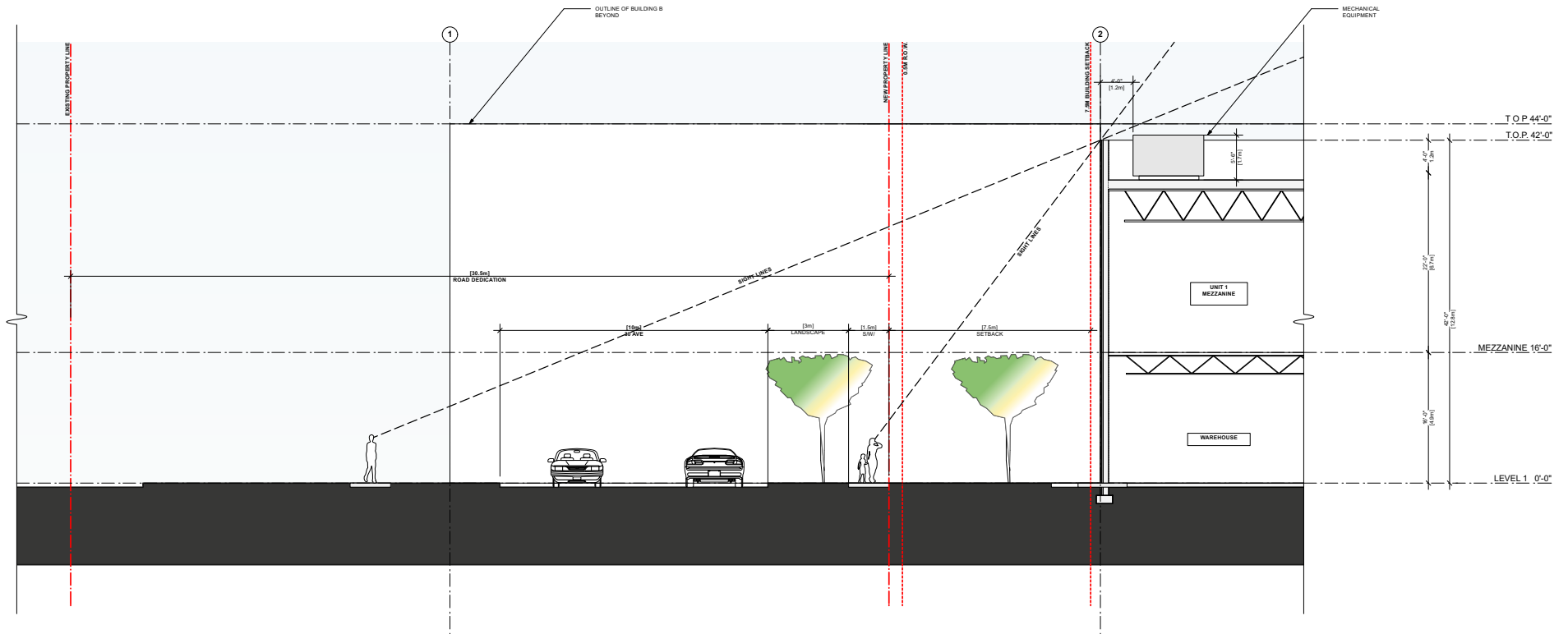


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FILE: 2006

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

STREET SECTIONS

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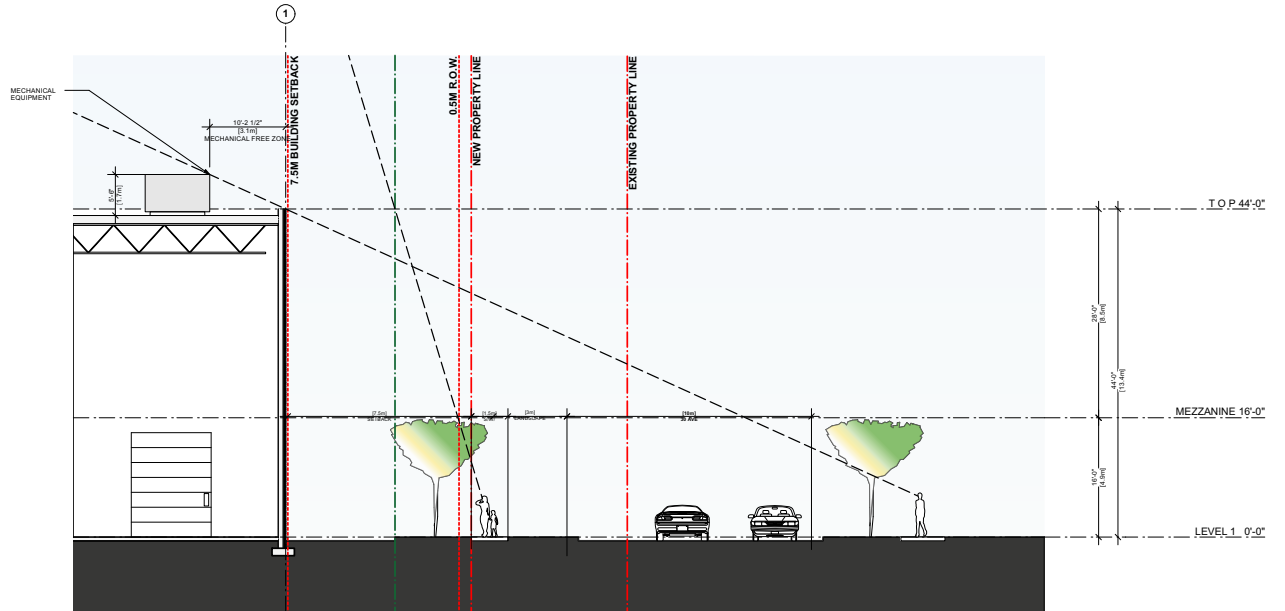
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PROPOSED NEW DEVELOPMENT

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Surrey BC

STREET SECTIONS

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ISO VIEWS

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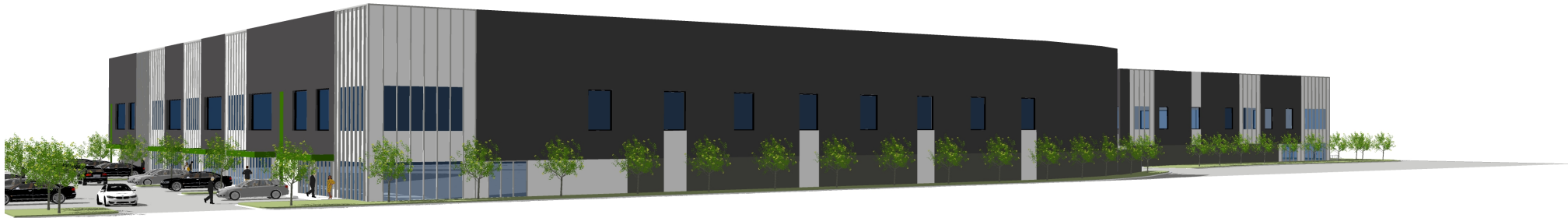


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PROPOSED NEW DEVELOPMENT

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Surrey BC

ISO VIEWS

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PROPOSED NEW DEVELOPMENT

2974 192 St
Surrey BC

ISO VIEWS

A 6.2



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SCALE: NTS

FILE: 2006

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PROPOSED NEW DEVELOPMENT

2974 192 St
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ISO VIEWS

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SCALE: NTS

FILE: 2006

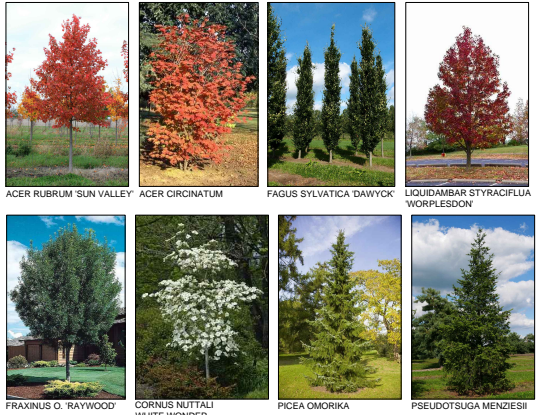
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PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
4	4	ACER CIRCINATUM	VINE MAPLE	3M HT; B&B
12	12	ACER RUBRUM 'SUN VALLEY'	RED MAPLE	5CM CAL; 2M STD; B&B
6	6	CORNUS NUTTALI WHITE WONDER	WHITE WONDER DOGWOOD	6.0CM CAL; 1.5M STD; B&B
		EXISTING TREE		
16	16	FAGUS SYLVATICA 'DAWYCK'	FASTIGIATE OR DAUWYCK BEECH	6CM CAL; 1.8M STD; B&B
7	7	FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH	6CM CAL; 1.8M STD; B&B
21	21	LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	6CM CAL; 2M STD; B&B
35	35	PICEA OMORIKA (NO WEEPING TOP)	SERBIAN SPRUCE	3.0M HT; B&B (SLENDER UPRIGHT FORM ONLY)
4	4	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2.5M HT; B&B

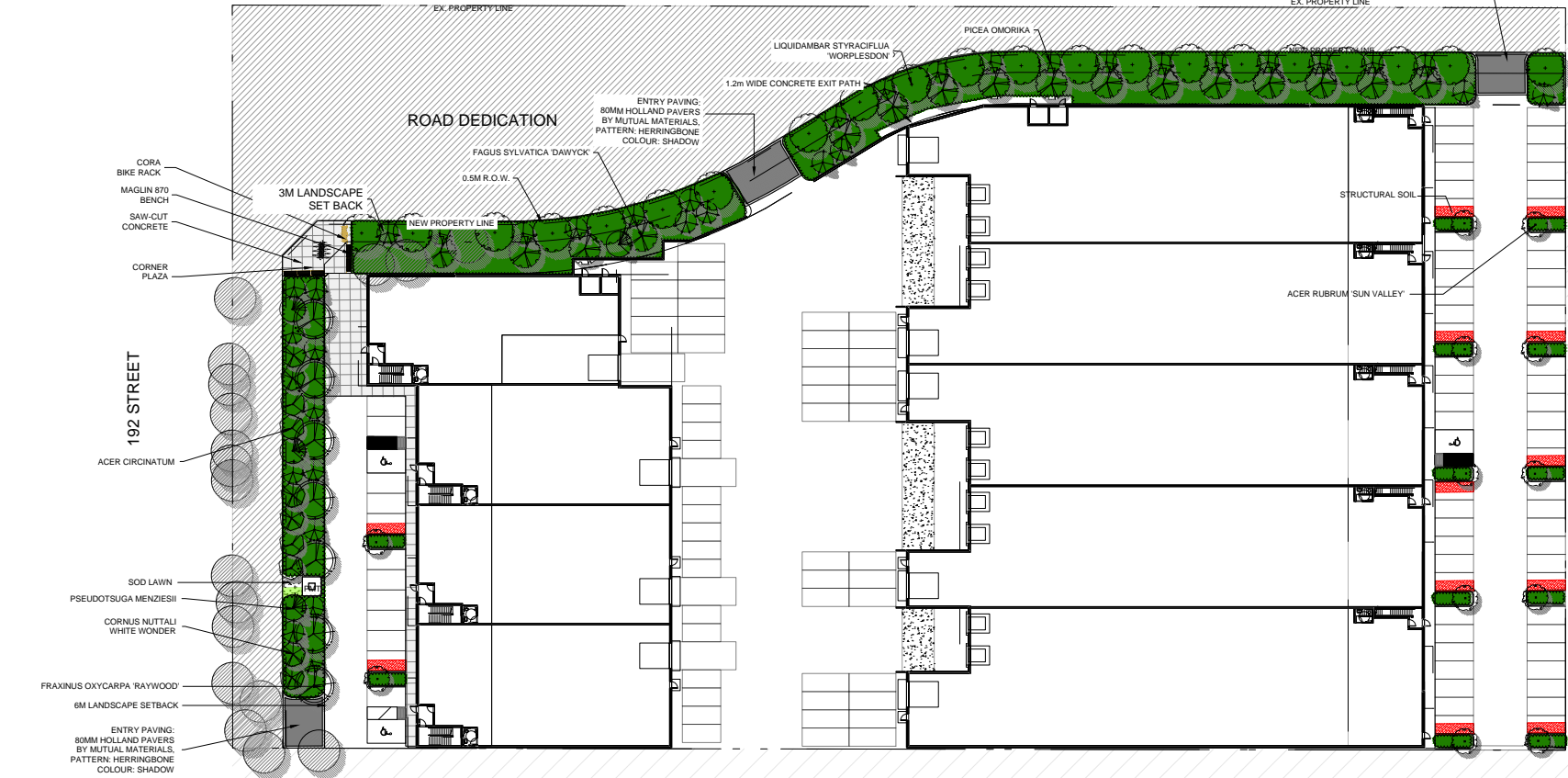
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

STRUCTURAL SOIL



30 AVENUE

ENTRY PAVING:
80MM HOLLAND PAVERS
BY MUTUAL MATERIALS.
PATTERN: HERRINGBONE
COLOUR: SHADOW



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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

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NO.	DATE	REVISION DESCRIPTION	DR.
2	22 NOV 05	NEW SITE PLAN	MM
1	22 SEP 05	NEW SITE PLAN	WZ

CLIENT:

PROJECT:

TEMPORARY USE PERMIT

2974 192ND STREET
SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 20 JUNE 25
SCALE: 1:300
DRAWN: JR
DESIGN: JR
CHKD: PC

DRAWING NUMBER:
L1
OF 3

SEAL:

TREES PROTECTED BY SPECIES

ARBORVITUS
GARRY OAK
PACIFIC DOGWOOD
PACIFIC YEW
WESTERN WHITE PINE
COAST REDWOOD
DWARF REDWOOD
GIANT SEQUOIA
KINKY
MONKEY PUZZLE TREE

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER @ 1.3M DBH	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM DBH 10METRE AT BREAST HEIGHT OR 1.4M FROM GRADE.

SOLID 2x4 CONSTRUCTION WITH CROSS BRACING AND TOP AND BOTTOM NAILS

PLASTIC MESH SCREENING

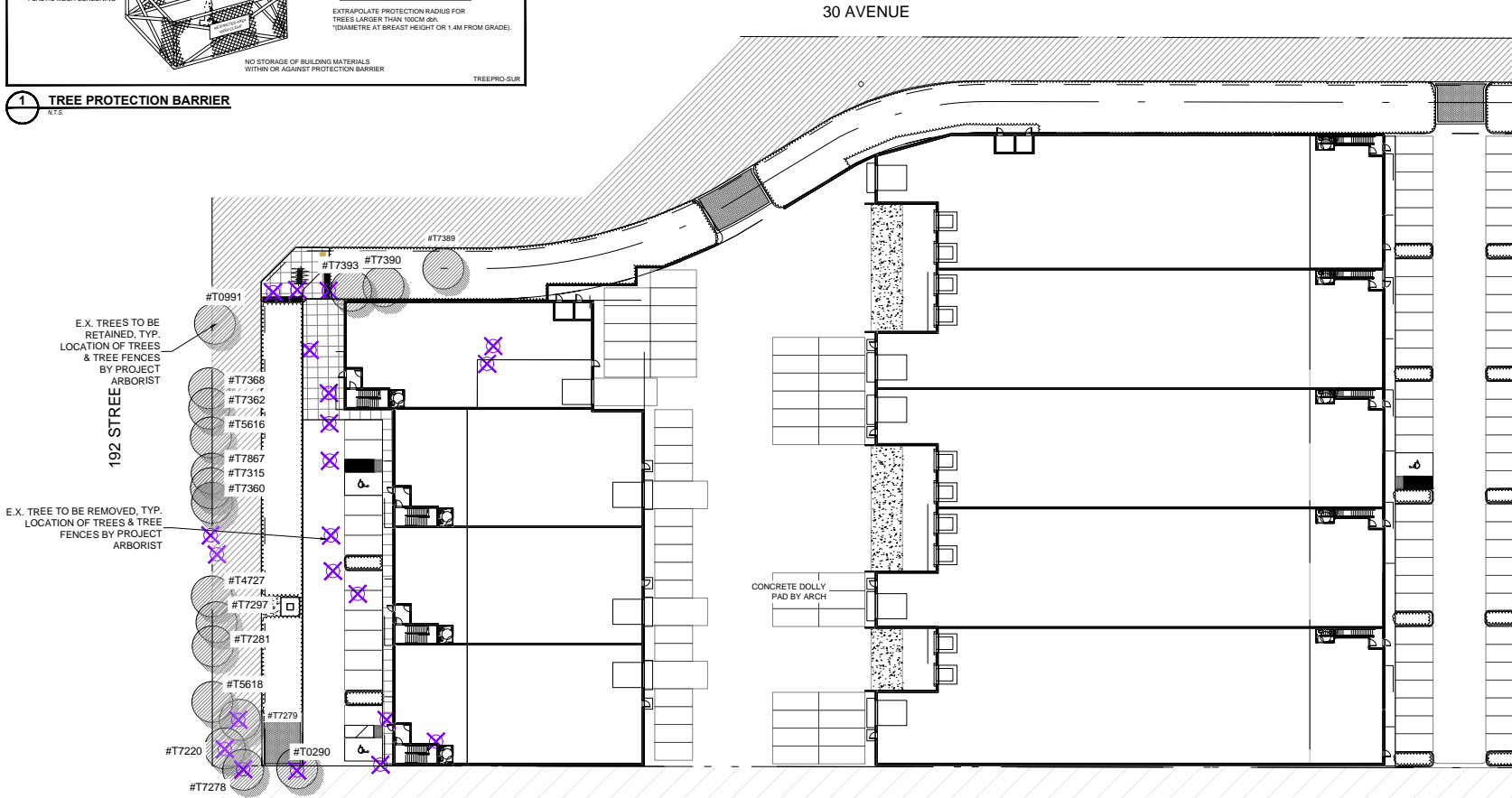
NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

TREEPRO-SUR



NOTE: WORKING TREE TO BE UNDER ARBORIST SUPERVISION CONTACT PROJECT ARBORIST 3 WORKING DAYS BEFORE STARTING CONSTRUCTION IN TREE.

1 TREE PROTECTION BARRIER
N.T.S.



NO.	DATE	REVISION DESCRIPTION	DR.
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1	22 SEP 05	NEW SITE PLAN	WZ

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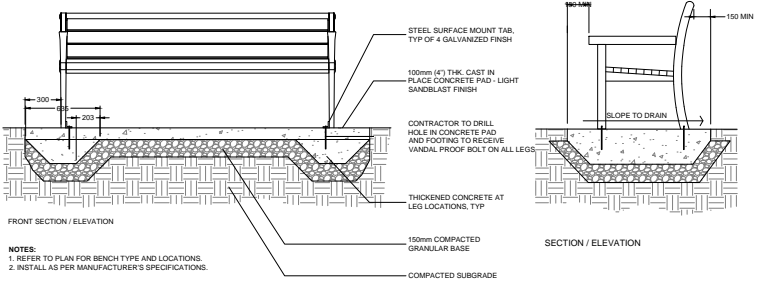
2974 192ND STREET
SURREY

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TREE MANAGEMENT PLAN PLAN

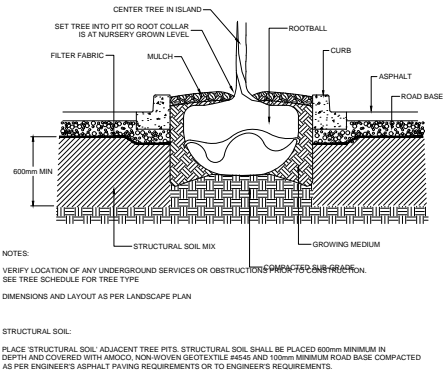
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DESIGN: JR
CHKD: PC OF 3



SEAL:



1 BENCH ON CONCRETE
 SCALE 1:20



2 STRUCTURAL SOIL ADJACENT PLANTING ISLAND
 SCALE 1:20

NO.	DATE	REVISION DESCRIPTION	DR.
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1	22 SEP 19	NEW SITE PLAN	WC

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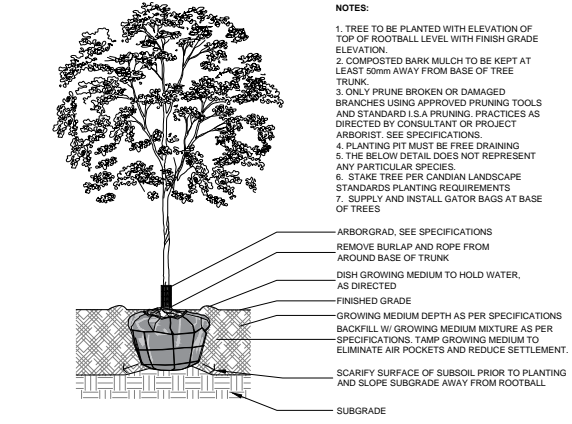
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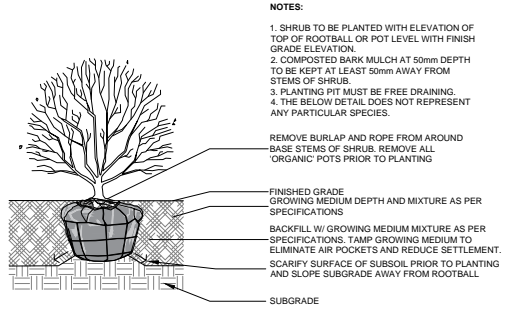
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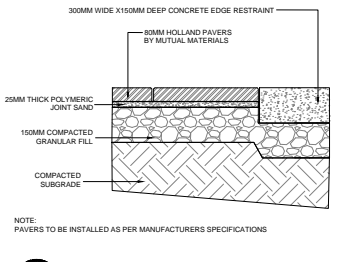
L3
 OF 3



3 TREE PLANTING DETAL
 NTS



4 SHRUB PLANTING DETAL
 NTS



5 PAVERS ON GRADE
 SCALE 1:10

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 04, 2022** PROJECT FILE: **7820-0321-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2974 192 Street**

REZONE

Property and Right-of-Way Requirements

- Complete subdivision and road dedication under 7922-0279-00.
- Secure off-site road dedication or statutory right-of-way (SRW) for the storm main on 2999/3037 194 Street and sanitary main on 2872/2924/2944 192 Street.
- Register 0.5 m wide SRW along all road frontages.

Works and Services

- Construct multi-use pathway on 192 Street.
- Construct the south side of 30 Avenue.
- Construct storm main on 192 Street, 30 Avenue and 2999/3037 194 Street.
- Construct sanitary main on 192 Street, 30 Avenue and 2872/2924/2944 192 Street.
- Construct water main on 30 Avenue.
- Provide storm, sanitary, and water service connections.
- Construct on-site storm mitigation and water quality features.
- Register all applicable legal documents on title and secure necessary permits.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

DJS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 20-0106-00

Address: 2974 – 192 Street

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	19
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	18
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = <u>1</u> - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = <u>0</u> 	1
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	2
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 2 X one (1) = 2 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	2
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: November 3, 2022



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





TWO NATURALIZED PINE SAPLINGS AT ~2cm

0.5M R.O.W.

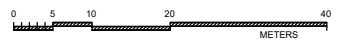
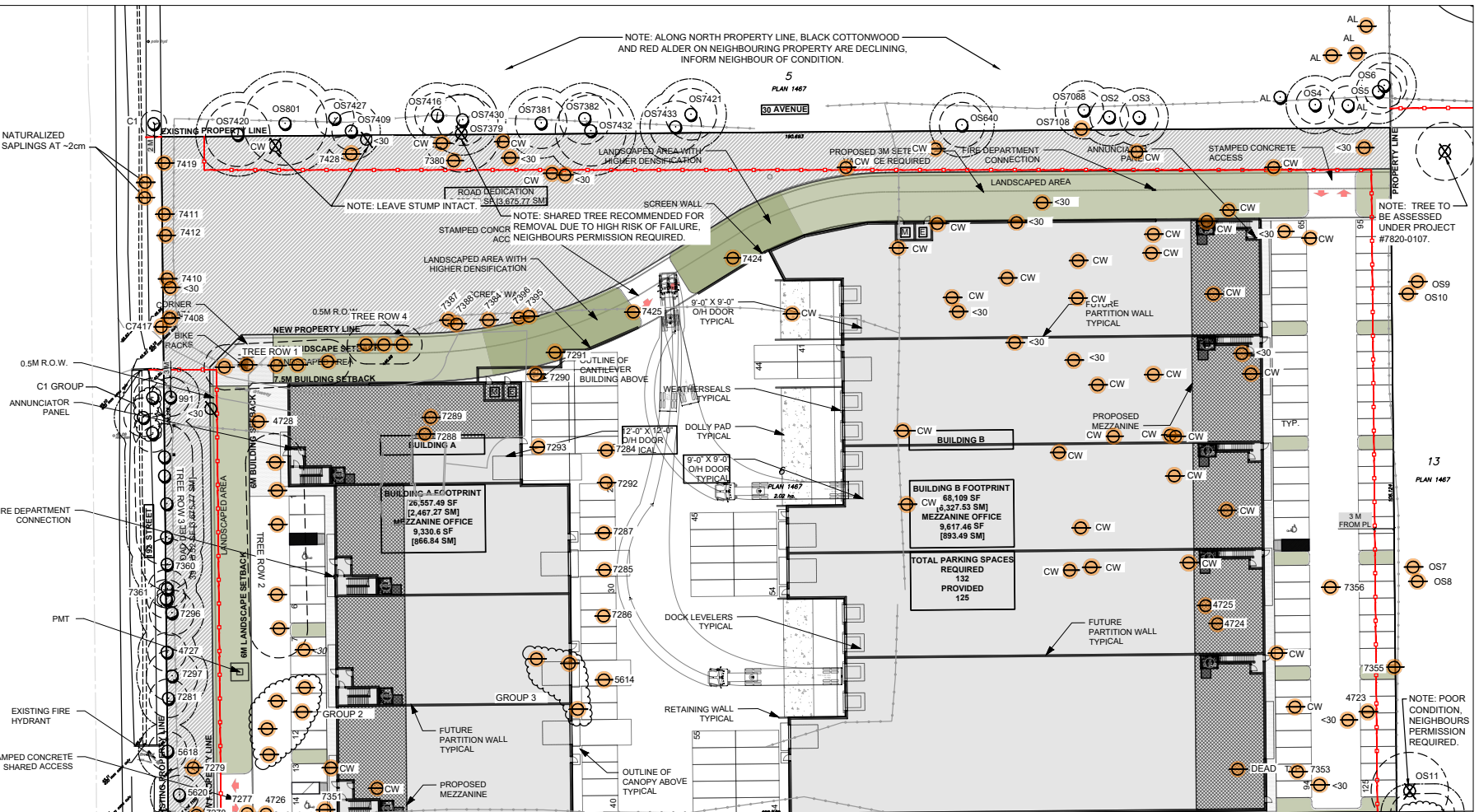
FIRE DEPARTMENT CONNECTION

PMT

EXISTING FIRE HYDRANT

STAMPED CONCRETE SHARED ACCESS

192nd STREET



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- TREE NOT ASSESSED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE PROTECTION FENCING
- TREE REMOVED AS OF APRIL 16, 2022 SITE VISIT

N 1/2 7

PLAN 1467

N 1/2 12

PLAN 1467

NO.	DATE	BY	REVISION
1	NOV03/22	MK	SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3V 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

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PROJECT TITLE
2974 192 STREET
 SURREY, B.C.

SHEET TITLE
T1 - TREE PRESERVATION PLAN
PROPOSED NEW DEVELOPMENT

CLIENT

DATE
 JUNE 29, 2020

DRAWN MK
 SCALE AS SHOWN
 SHEET 1 OF 1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0321-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 012-217-158
 Lot 6 Section 22 Township 7 New Westminster District Plan 1467
 2974 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

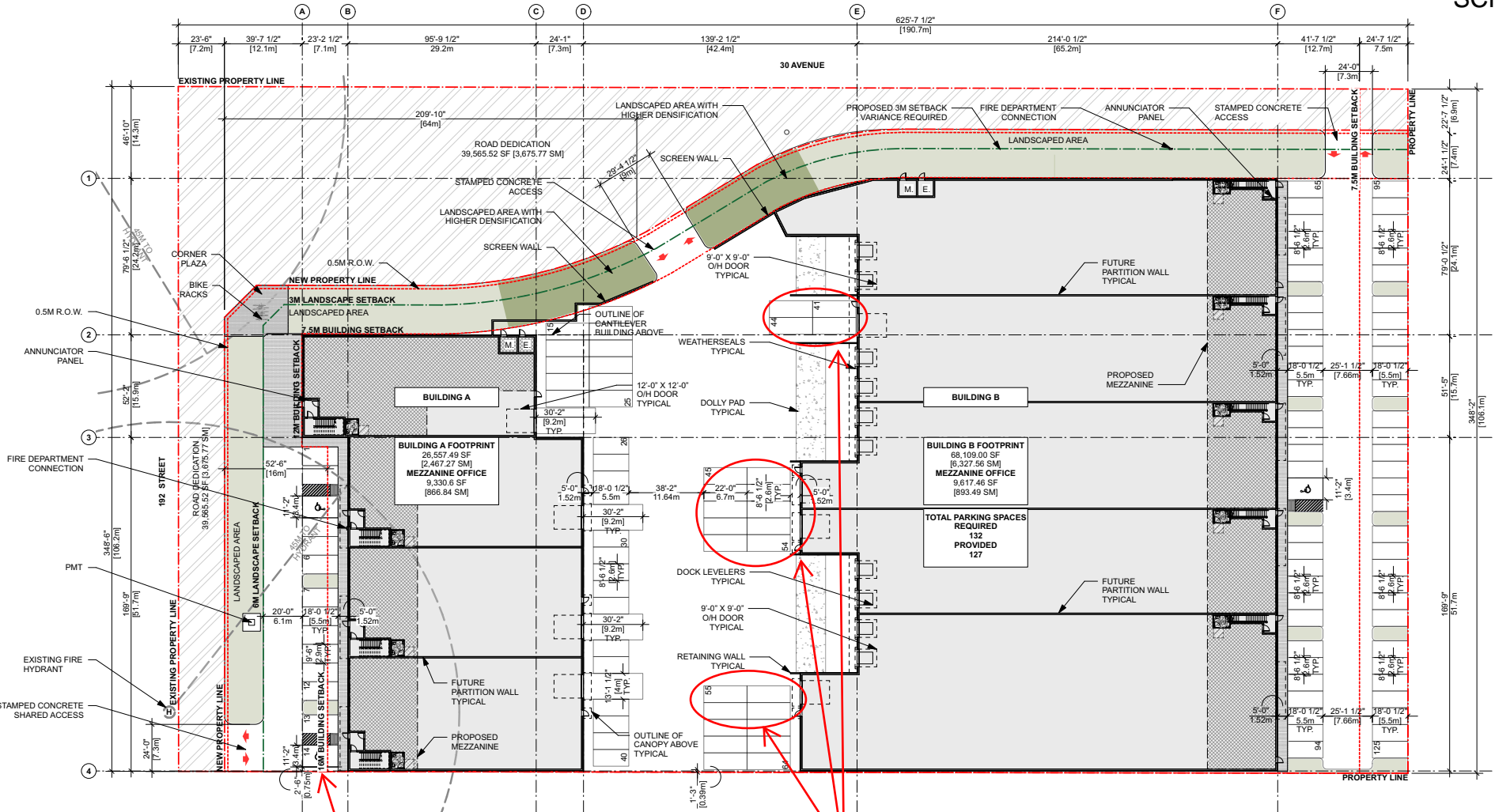
- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces is reduced from 132 to 125.
 - (b) In Subsection F. Off-Street Loading/Unloading of Part 5 Off-Street Parking and Loading/Unloading, to allow parking spaces in front of loading bays for units that have surplus unblocked loading bays.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



Parking requirement reduced from 132 spaces to 125 spaces

Parking permitted in front of loading bays in units with surplus loading bays

GENERAL NOTES
LOADING BAYS DESIGNED FOR SMALL TRUCKS
FOR TOPOGRAPHIC SURVEY REFER TO SURVEY PLAN XX DATED XX PREPARED BY XX

NO.	DATE	ISSUANCE
1	2022 09 09	ISSUED FOR REVIEW
2	2022 09 13	ISSUED FOR REVIEW
3	2022 09 15	ISSUED FOR REVIEW
4	2022 09 19	ISSUED FOR COORDINATION
5	2022 09 21	ISSUED FOR DP
6	2022 10 17	RE-ISSUED FOR REZONING
7	2022 11 02	RE-ISSUED FOR REZONING



PROPOSED NEW DEVELOPMENT
2974 192 St
Surrey BC

SITE PLAN

A 2.0

