

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0011-00

Planning Report Date: April 26, 2021

PROPOSAL:

- **Temporary Use Permit**

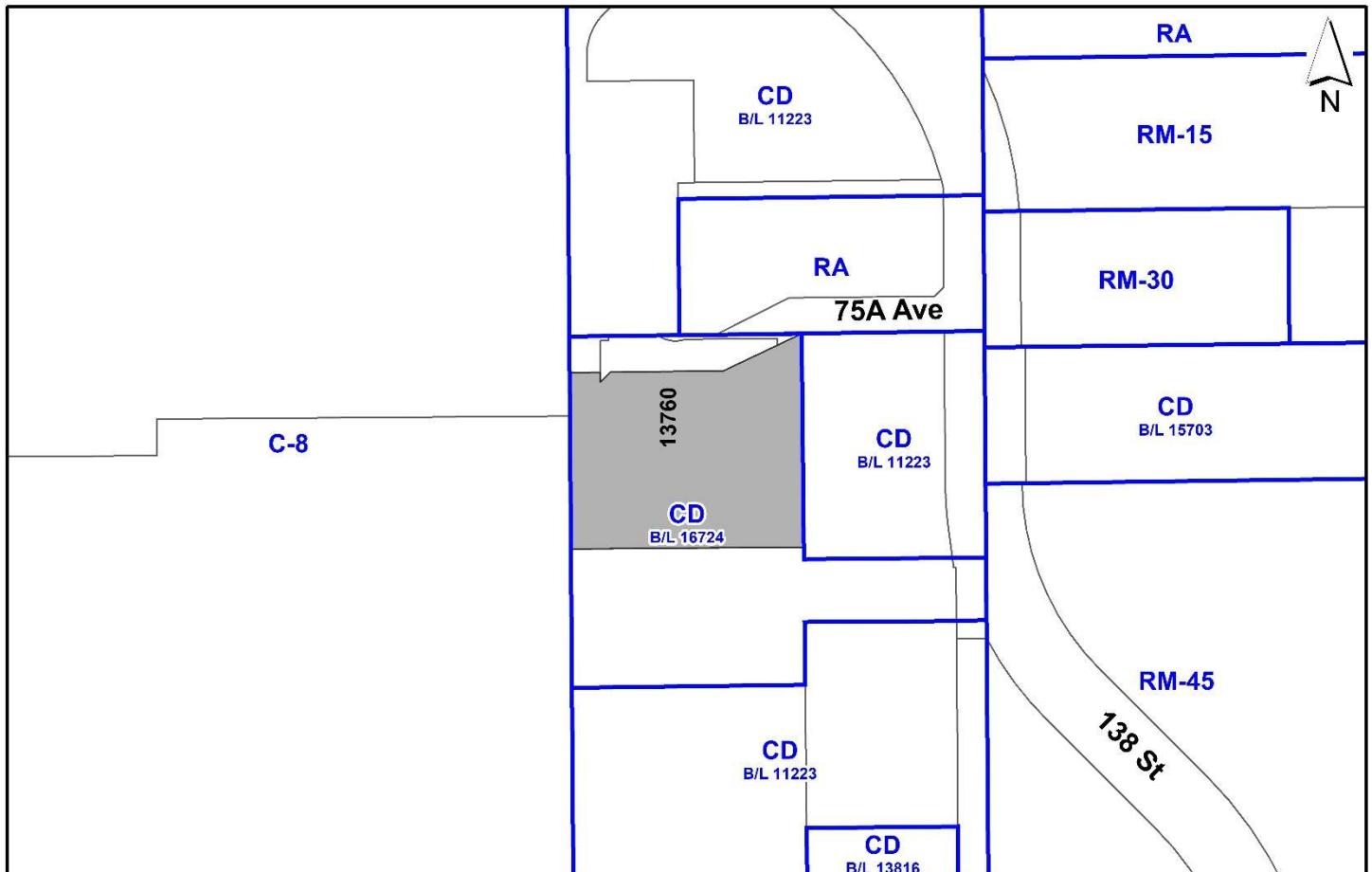
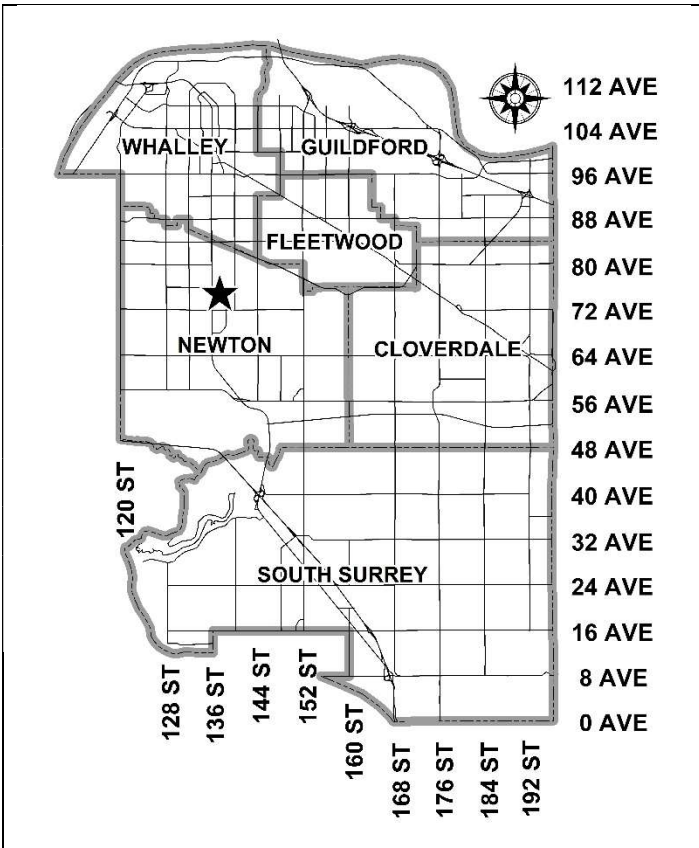
To permit the development of a temporary real estate sales centre for a duration of 3 years for the proposed apartment buildings on the subject site and adjacent properties.

LOCATION: 13760 - 75A Avenue

ZONING: CD (Bylaw No. 16724)

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: High Density Residential



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Temporary Use Permit (TUP) will allow for the construction of a temporary sales centre from which the applicant will be able to market residential units for a proposed development on the subject property and adjacent properties.
- The subject application is associated with Development Application No. 7917-0507-00, which proposed to construct 261 apartment units within three buildings. The application received Third Reading at the Regular Council -Public Hearing meeting on November 23, 2020.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building in the future.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7921-0011-00 (Appendix III) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (d) submission of security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant lot.	Multiple Residential/High Rise Residential	CD (Bylaw No. 16724)
North (Across 75A Avenue):	Existing four-storey apartment building and a vacant lot, which is also under Development Application No. 7917-0507-00.	Multiple Residential/High Rise Residential	CD (Bylaw No. 11223) and RA
East and South:	Existing four-storey apartment buildings.	Multiple Residential/High Rise Residential	CD (Bylaws No. 11223 and 16724)
West:	Existing commercial development fronting King George Boulevard.	Commercial	C-8

Context & Background

- The subject site at 13760 – 75A Avenue is currently designated Multiple Residential in the Official Community Plan (OCP) and High Rise Residential in the Newton Town Centre Plan. It is zoned Comprehensive Development (CD) Zone (Bylaw No. 16724).
- Development Application No. 7917-0507-00, which received Third Reading at the Regular Council -Public Hearing meeting on November 23, 2020, proposes to rezone the subject property and two adjacent properties to a new CD Zone (Bylaw No. 20194), based on the RM-70 Zone.
- One four-storey apartment building is proposed on each of the three subject lots under Development Application No. 7917-0507-00, with a cumulative total of 261 units.

DEVELOPMENT PROPOSAL

Planning Considerations

- The developer of Development Application No. 7917-0507-00 proposes a Temporary Use Permit (TUP) to allow a sales centre on the subject site from which to market their residential units.
- The sales centre is proposed on the southern-most of the three properties proposed for development under Development Application No. 7917-0507-00. The northern-most property, at 13778 – 76 Avenue, will be the location of the first building to be constructed.
- The TUP is proposed to be in effect for three years, which should be sufficient time for the applicant to complete the sales of the proposed apartments.

	Proposed
Lot Area	
Gross Site Area:	0.47 hectares
Road Dedication:	None
Undevelopable Area:	None
Net Site Area:	0.47 hectares
Building Height:	6.26 metres
Building Floor Area:	269 square metres
Floor Area Ratio (FAR):	0.06

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Surrey Fire Department: The Fire Department has no objection to the project.

Planning Considerations

- The sales centre is proposed to be 269 square metres in size. It will be located on the north side of the lot, adjacent to 75A Avenue (see Appendix I).
- Proposed setbacks are as follows, which all exceed the minimum setbacks of the current zone (CD Bylaw No. 16724) and those approved under Development Application No 7917-0507-00:
 - North: 7.6 metres
 - West: 32.4 metres
 - East: 15.9 metres
 - South: 40.0 metres
- The sales centre consists of one single-storey building containing an office/reception area with a small kitchen and bathroom, and a mock-up of a two-bedroom apartment unit.
- The building exterior will be Hardie panel siding in grey slate with Kensington blue around the patio entrance to the residential display suite and wood accents near the main sales entrance. Significant glazing is proposed around the office area on the north and east elevations. The roofing material is standing seam metal roofing in charcoal grey.
- A strip of landscaping and grass approximately 5 metres wide is proposed on the north side of the building, adjacent to 75A Avenue. Landscape planting will consist mainly of flowering shrubs such as heather and azalea, and evergreen hedges such as cedar and yew.
- There are no existing trees on the subject property.
- The Zoning By-law requires 3 parking spaces per 100 square metres of floor area for retail uses, resulting in a minimum requirement of 8 parking spaces. The applicant proposes to provide 12 parking spaces, which exceeds the minimum bylaw requirement.
- Vehicle access to the proposed sales centre will be via a driveway on 75A Avenue. The proposed asphalt parking lot is on the east side of the building.
- A separate pedestrian access to the main entrance of the sales centre is provided from 75A Avenue.
- The site is in close proximity to the Newton Town Centre and is accessible from transit routes on King George Boulevard, 76 Avenue, and 138 Street.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property lies within the "General Urban" designation in Metro Vancouver's Regional Growth Strategy (RGS) and the proposal is compatible with that designation.

Official Community Plan

Land Use Designation

- The site is within the "Multiple Residential" designation in the City's Official Community Plan (OCP). The Multiple Residential designation does not permit stand-alone retail sales, but it does permit apartment buildings. A Temporary Use Permit (TUP) is required in order to allow the sales use to operate on the subject property.

Themes/Policies

- Theme A: Growth Management, including policies for Growth Priorities (A1.1, A1.2, A1.3, and A1.5a), and Accommodating Higher Density (A2.1, A2.6, and A2.6a). These policies encourage development in existing urban areas such as town centres and along transit corridors, in compliance with the Official Community Plan and Metro Vancouver's Regional Growth Strategy. Development is encouraged at densities sufficient to support transit.
 - The three four-storey buildings proposed under Development Application No. 7917-0507-00 support the policies noted above and the Temporary Use Permit will facilitate the construction and sale of the residential units.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 25, 2021, and the Development Proposal Signs were installed on March 23, 2021. Staff received three responses from neighbours (*staff comments in italics*):
 - Two residents expressed concerns about vehicle circulation and parking on 75A Avenue, which is narrower than a typical street. The road is currently perceived to be busy, and the sales centre will increase vehicle traffic.

Transportation Engineering has determined that 75A Avenue will be able to accommodate the increased traffic associated with the three buildings proposed under Development Application No. 7917-0507-00. Vehicular traffic to and from the sales centre is not expected to be heavy. The applicant proposes 12 off-street parking spaces in a lot adjacent to the sales centre, which exceeds the minimum requirement of 8 spaces.

- One resident suggested that the sales centre and associated surface parking lot may attract crime.

The subject property is currently a vacant lot. The introduction of commercial activity here will provide additional "eyes on the street" which will serve as a deterrent for potential criminal activity.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues, as follows:
 - Relocate main entry doors to the north side of the building;
 - Ensure pedestrian walkway, which must be a minimum of 2.0 metres wide, is aligned with the entrance;
 - Replace the walkway on west side of driveway with landscape planting; and
 - Finalize landscaping plan and associated cost estimate.

- The applicant has agreed to the changes noted above.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Temporary Use Permit No. 7921-0011-00

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

MJ/cm

WANSON GROUP - PRE-SALE CENTER

1 STOREY - TEMPORARY NEW CONSTRUCTION

13760 75A AVENUE, SURREY, BC

PROJECT DIRECTORY / CONTACT INFORMATION

OWNER
WANSON DEVELOPMENT LTD.
8572 HUDSON STREET, VANCOUVER, BC V5P 4N2
TOM MILLER
TMILLER@WANSON.CA
604-730-8959

CONTRACTOR
MANSOURI GROUP
106-305 WELCH STREET, NORTH VANCOUVER, BC V7P 1B3
SAM MANSOURI
SAM@MANSOURIDESIGN.COM

ARCHITECTURE + LANDSCAPE
SENG TSOI ARCHITECT INC.
209-1815 WEST SECOND AVENUE, VANCOUVER, BC V6J 1H3
SENG TSOI ARCHITECT ABC, MRAC, ASLA
SENG@STAOFFICE.CA
604-730-7429

SURVEY
REFER TO SURVEY PLAN PREPARED BY MATSON PECK & TOPLISS
SURVEYORS & ENGINEERS FOR PROPERTY LINES AND NATURAL
GRADE TOPOGRAPHY
SURVEY DATE: OCTOBER 18, 2016

MECHANICAL ENGINEER
LEESON ENGINEERING INC.
107-418 EAST KENT AVENUE, VANCOUVER, BC V6X 2X7
ALEX P.L. LEE, P.ENG
604-274-8703

ELECTRICAL ENGINEER
WGW ENGINEERING LTD.
W/F F-2801 DOUGLAS ROAD, BURNABY, BC V5C 5B7
WEI (GUY) WANG, P.ENG.
ELECTRICAL AND FIRE ALARM CONSULTANT
604-234-6003

CIVIL ENGINEERING
MAINLAND ENGINEERING CORPORATION
204-3063 128 STREET, SURREY, BC V3W 4G1
RAJESH MANGLA, M.ENG., P.ENG., C.PESC.
AVINASH BANWAT, P.ENG.
CIVIL@MAINLANDENG.COM
604-543-0044

GEO-TECHNICAL ENGINEERING
GEOPACIFIC
1728 VIKON AVE, VANCOUVER, BC V6P 6P2
604-438-0922
KEVIN BOONWAL, M.ENG., P.ENG.

STRUCTURAL
ADVENTISTORE STRUCTURAL ENGINEERING
131-1305 WELCH STREET
NORTH VANCOUVER, BC V7P 1B3
HEDAYAT PAKNEJAD, P.ENG., M.Sc.
hedayat@adventistore.ca
778-223-3330

ARCHITECTURAL DRAWING INDEX

- A001 COVER SHEET, DRAWING LIST & PROJECT INFO.
- A003 BUILDING ASSEMBLIES
- A004 ROOM SCHEDULES
- A005 WINDOW SCHEDULES
- A101 SITE PLAN
- A102 FLOOR PLAN
- A103 FLOOR TO CEILING PLAN
- A104 ROOF PLAN
- A105 FOUNDATION / SLAB PLAN
- A201 ELEVATIONS
- A202 ELEVATIONS
- A301 SECTIONS
- A302 INTERIOR ELEVATIONS
- A303 DETAILS
- A304 DETAILS
- A305 DETAILS
- L-1 LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 13 SURVEY ZONING BY
LOT A SECTION 21 TOWNSHIP 2 PLAN BC944523 NWD
CIVIC ADDRESS
13760 75A AVENUE, SURREY, BC
EXISTING LOT ZONING
C0 (COMPREHENSIVE DEVELOPMENT ZONE)
BYLAW 16174
AUTHORITY HAVING JURISDICTION
CITY OF SURREY
PROJECT DESCRIPTION
PRE-SALES CENTRE
1 STOREY - TEMPORARY NEW CONSTRUCTION

DEVELOPMENT STATISTICS

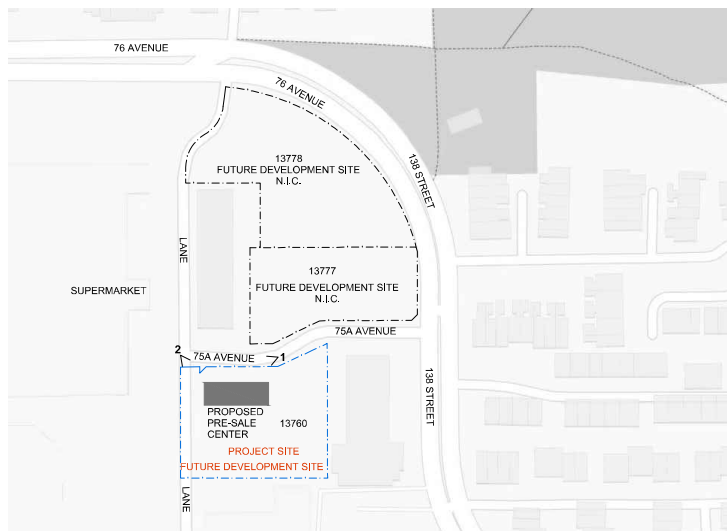
LOT 13760
TOTAL LOT AREA:
4718.0 m² (50,784 SF)
GROSS BUILDING AREA:
269.0 m² (2904 SF)
TOTAL GROSS FLOOR AREA (GFA):
269.0 m² (2904 SF)
PROPOSED FLOOR SPACE RATIO:
269.0 m² (BUILDING GFA) / 4718 m² (LOT AREA) = 0.057 FSR
PROPOSED LOT COVERAGE:
340.89 m² (BUILDING GFA+COVERED AREAS) / 4718 m² (LOT AREA) = 7.22 %
PROPOSED SETBACKS:
FRONT YARD (FACING 75A AVENUE) : 7.6 m (25 ft)
REAR YARD : 41.5 m (136 ft)
SIDE YARD (FACING LANE) : 15.8 m (52 ft)
SIDE YARD (PARKING SIDE) : 32.4 m (106 ft)
PROPOSED BUILDING HEIGHT:
6.23 m (20'5.3" H)
PARKING PROVIDED:
PART 5 SURVEY ZONING BYLAW
Personal Service Use - 3 parking spaces per 100 m² (1,075 R2) of gross floor area.
REQUIRED STALLS: 3 (269.0 m² / 100 m²) = 3 STALLS (INCLUDING 1 HC STALL)
PROVIDED: 12 STALLS (INCLUDING 1 HC STALL)

PROJECT DESCRIPTION

1 storey new construction - temporary use (pre-sales center (presentation centre) that will market the development under application No. 7917-5507-20

PROJECT NOTES

REFER TO SURVEY PLAN PREPARED BY MATSON PECK & TOPLISS FOR PROPERTY LINES AND NATURAL GRADE TOPOGRAPHY



SITE PHOTOS



PERSPECTIVES

CONTEXT PLAN
NOT TO SCALE

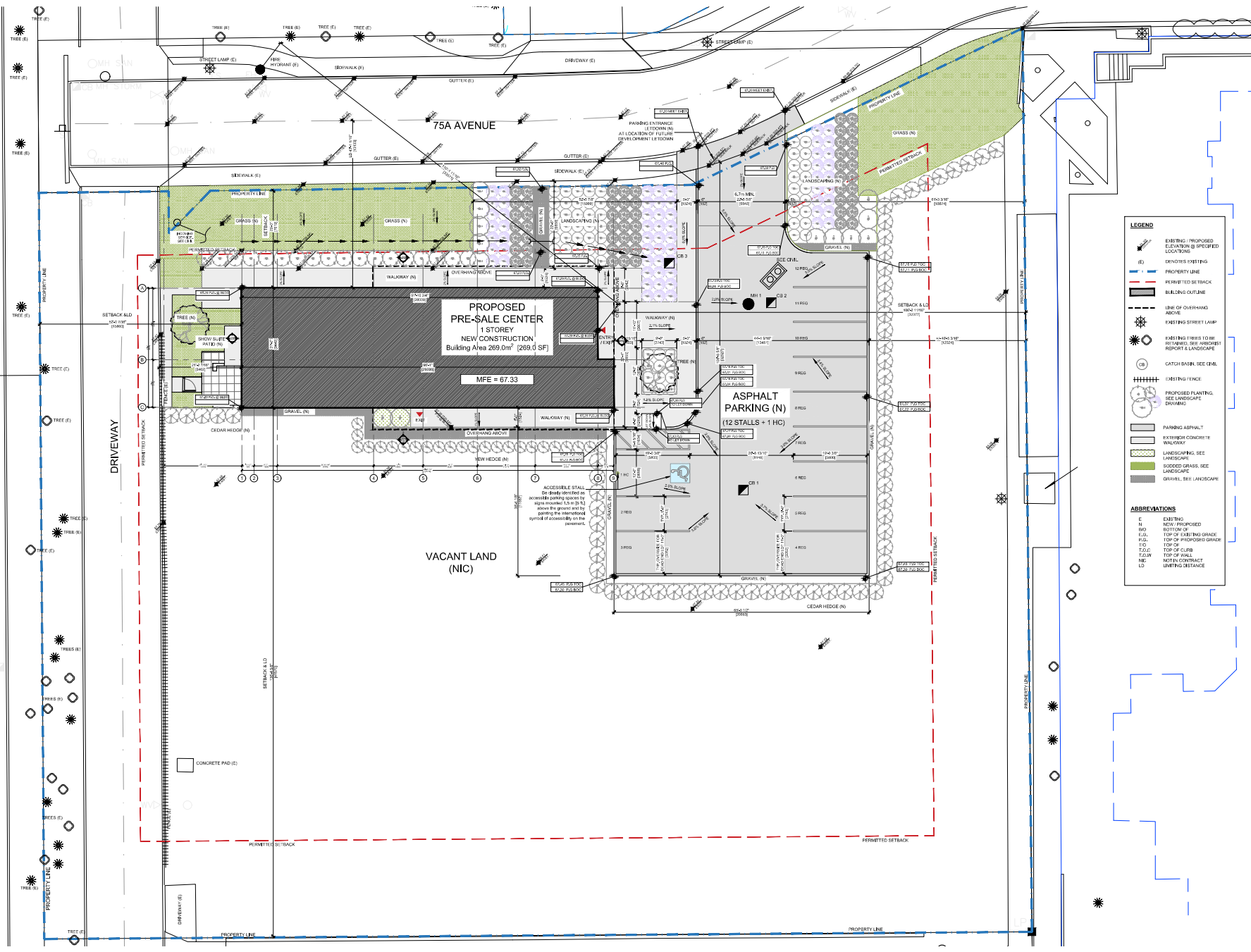
DATE	REVISION
02-JUL-2020	ISSUED FOR CLIENT REVIEW
09-JUL-2020	ISSUED FOR CLIENT REVIEW
16-JUL-2020	ISSUED FOR COORDINATION
31-AUG-2020	ISSUED FOR REVIEW
05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

STA SENG TSOI ARCHITECT INC.
200-1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1H3
INFO@STAOFFICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER
TITLE
COVERSHEET, DRAWING LIST
& PROJECT INFO.

SCALE _____ **DATE DRAWN** _____
NTS
PROJECT NUMBER A001
STA-2002
DRAWN BY CHEERJYOTI
ST



DATE	REVISION
02-JUL-2020	ISSUED FOR CLIENT REVIEW
06-JUL-2020	ISSUED FOR CLIENT REVIEW
16-JUL-2020	ISSUED FOR COORDINATION
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LEGEND

- EXISTING / PROPOSED ELEVATION & SPOT HEIGHT LOCATIONS
- DRIVEWAY MARKINGS
- PROPERTY LINE
- PERMITTED SETBACK
- BUILDING OUTLINE
- LINE OF OVERHANG ABOVE
- EXISTING STREET LAMP
- EXISTING TREES TO BE RETAINED; SEE ARCHITECT REPORT & LANDSCAPE
- CATCH BASIN, SEE CIVIL
- EXISTING FENCE
- PROPOSED PLANTING; SEE LANDSCAPE DRAWING
- PARKING ASPHALT
- EXTERIOR CONCRETE WALKWAY
- LANDSCAPING; SEE LANDSCAPE
- SODDED GRASS; SEE LANDSCAPE
- GRAVEL; SEE LANDSCAPE

ABBREVIATIONS

- E EXISTING
- N NEW / PROPOSED
- B.O. BOTTOM OF
- E.G. TOP OF EXISTING GRADE
- F.G. TOP OF PROPOSED GRADE
- F.T.O. TOP OF FINISH
- F.T.O.C. TOP OF CURB
- F.T.O.W. TOP OF WALL
- F.L.O. TOP OF WALL
- N.C. NOT IN CONTRACT
- L.D. LIMITING DETAIL

STA SENG TSOI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRICE.CA

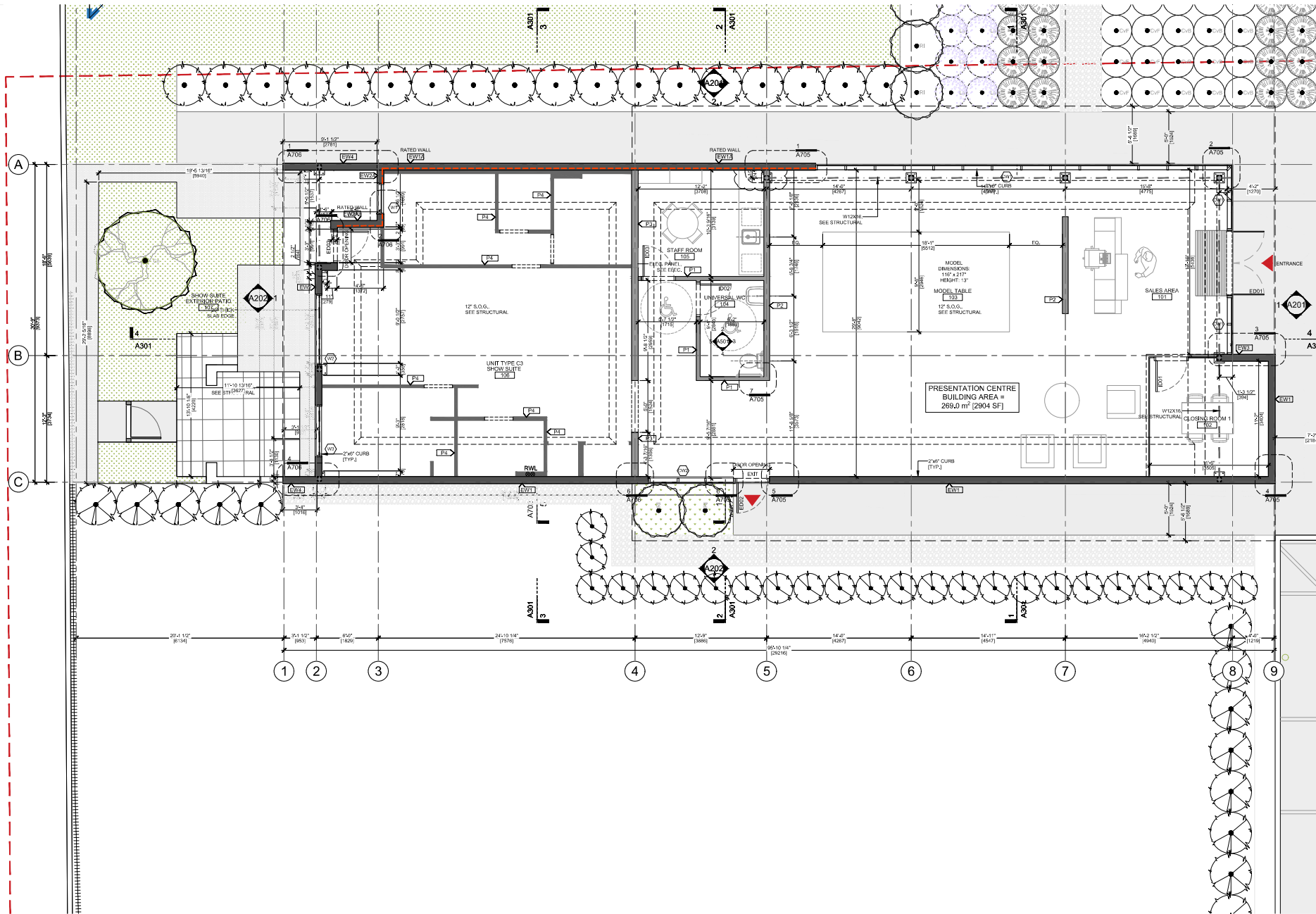


PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER
TYPE
SITE PLAN

SCALE 3/32" = 1'-0"
PROJECT NUMBER STA-2002
DRAWN BY CHECKED BY ST

A101

1 SITE PLAN
3/32" = 1'-0"



DATE	REVISION
02-JUL-2020	ISSUED FOR CLIENT REVIEW
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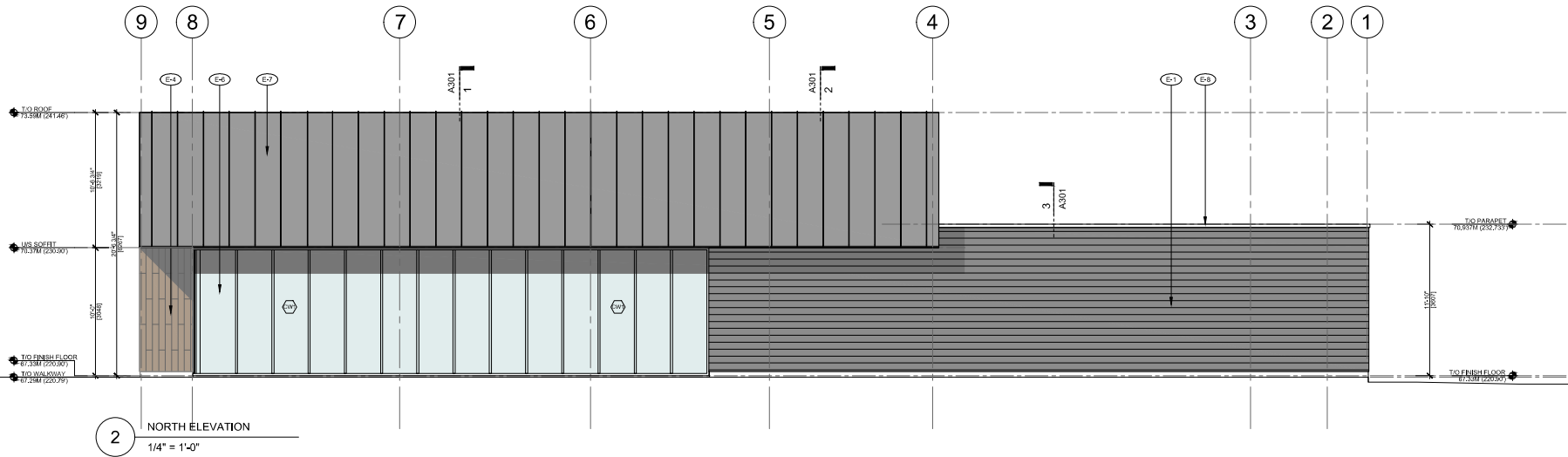
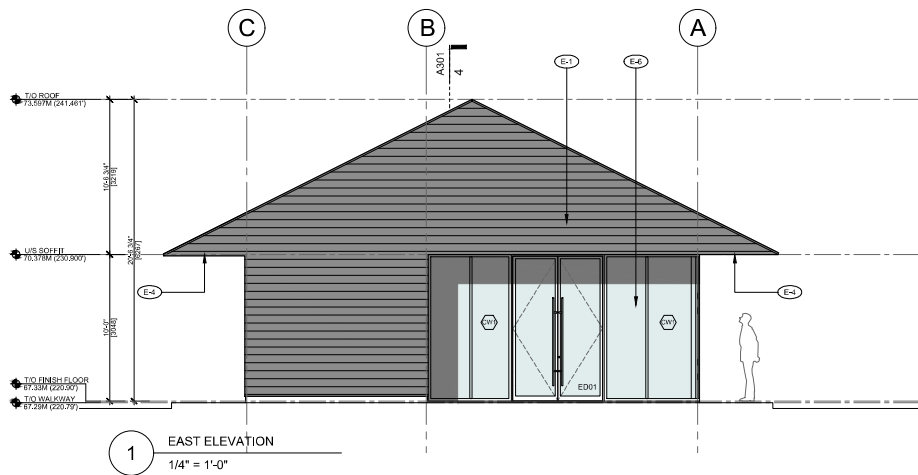


PROJECT
 13760 75A Avenue
 SURREY, BC
 WANSON GROUP
 PRE-SALE CENTER
 TITLE
 GROUND FLOOR PLAN

SCALE
 SEE DWG
 PROJECT NUMBER
 STA-2002
 DRAWN BY
 CHEN/ST
 CHECKED BY
 ST



1 GROUND FLOOR PLAN
 1/4" = 1'-0"



PROPOSED EXTERIOR ELEVATION LEGEND:

- | | | |
|---|---|---|
| E-1 CEMENTITIOUS LAP SIDING PANEL
MADISE GRAY STATE, PREFINISHED
BASE BUILDING CODE: E01.2 | E-2 CEMENTITIOUS PANEL
ARCTIC WHITE
BASE BUILDING CODE: E01.1 | E-3 VINYL WINDOW, WHITE
REFER TO BASE BUILDING SPEC. |
| E-4 CEMENTITIOUS SIDING / BOARD & BATTEN
BM CC-780 NENSINGTON BLUE
BASE BUILDING CODE: E01.2 | E-5 WOOD SOFFIT AND PANELING,
WOOD SPECIES AND FINISH TO MATCH CLT (CROSS
LAMINATED TIMBER) OF BASE BUILDING CLEAR FINISH
BASE BUILDING CODE: E04.1 | E-6 STOREFRONT SYSTEM
CLEAR ANODIZED ALUMINIUM |
| | | E-7 STANDING SEAM METAL ROOFING
CHARCOAL GRAY |
| | | E-8 METAL CAP FLASHING OVER ROOF MEMBRANE
COLOR TO MATCH SIDING |

DATE	REVISION
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STA SENG TSUI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER

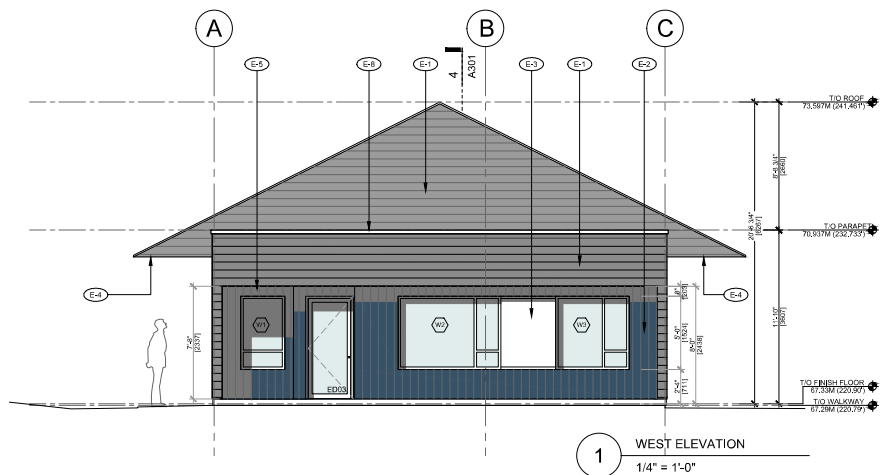
TYPE
ELEVATIONS

SCALE
1/4" = 1'-0"

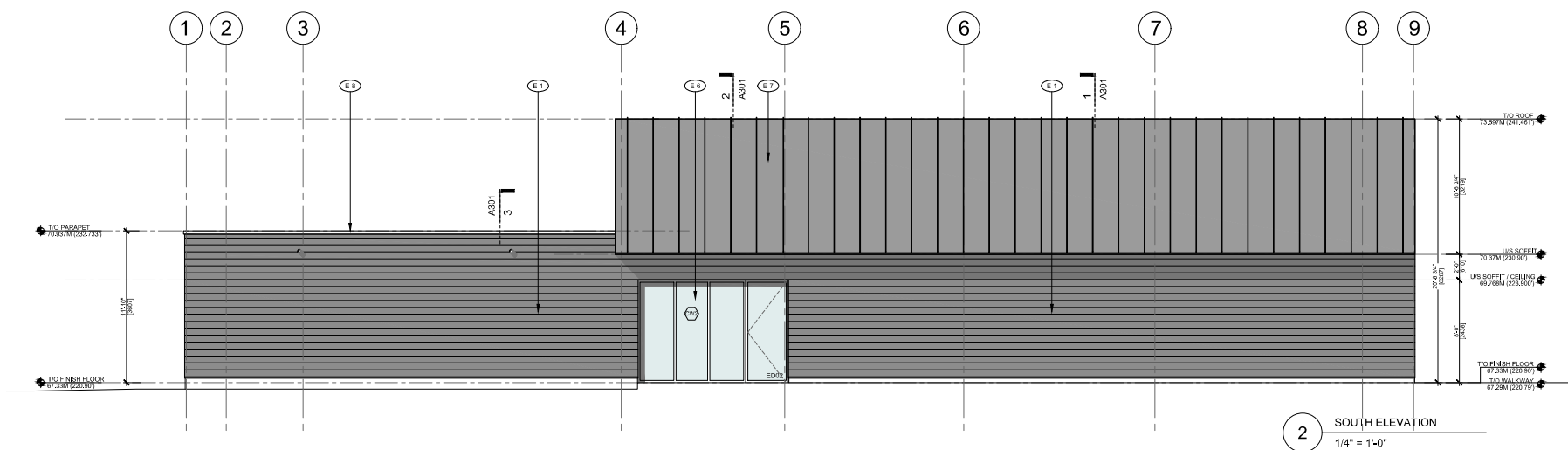
DATE
A201

PROJECT NUMBER
STA-2002

DRAWN BY
ST



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION LEGEND:

- | | | |
|--|--|--|
| (E-1) CEMENTITIOUS LAP SIDING PANEL
HARDIE GRAY STATE, PREFINISHED
BASE BUILDING CODE: E01.2 | (E-2) CEMENTITIOUS PANEL
ARCTIC WHITE
BASE BUILDING CODE: E02.1 | (E-3) VINYL WINDOW, WHITE
REFER TO BASE BUILDING SPEC. |
| (E-4) CEMENTITIOUS SIDING / BOARD & BATTEN
BM CC-780 KENSINGTON BLUE
BASE BUILDING CODE: E01.2 | (E-5) WOOD SOFFIT AND PANELING,
WOOD SPECIES AND FINISH TO MATCH CLT (CROSS
LAMINATED TIMBER) OF BASE BUILDING CLEAR FINISH
BASE BUILDING CODE: E04.1 | (E-6) STONEFRONT SYSTEM
CLEAR ANODIZED ALUMINIUM |
| | | (E-7) STANDING SEAM METAL ROOFING
CHARCOAL GRAY |
| | | (E-8) METAL CAP FLASHING OVER ROOF MEMBRANE
COLOR TO MATCH SIDING |

DATE REVISION

02-JUL-2020	ISSUED FOR CLIENT REVIEW
06-JUL-2020	ISSUED FOR CLIENT REVIEW
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31-AUG-2020	ISSUED FOR REVIEW
05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

STA SENG TSOI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRFICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER

TYPE
ELEVATIONS

SCALE 1/4" = 1'-0"
PROJECT NUMBER A202
DRAWING NO. STA-2002
DRAWN BY CHEEREEY
ST

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7921-0011-00

Issued To:

(the "Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-204-000
Lot A Section 21 Township 2 New Westminster District Plan BCP44523

13760 - 75A Avenue

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A and numbered 7921-0011-00 (1) through to and including 7921-0011-00 (5) (the "Drawings") which is attached hereto and forms part of this permit.

(b) The landscaping shall conform to drawings shown on Schedule A and numbered 7921-0011-00 (6) (the "Landscaping") which is attached hereto and forms part of this permit.

6. The temporary use shall be carried out according to the following conditions:

- (a) Parking is restricted to vehicles less than 5,000 kilograms GVW; and
- (b) Upon termination of this Temporary Use Permit, the real estate centre and temporary parking shall be removed, and the land restored to its original condition.

7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$84,579.50

The Security is for:

- i. Works: \$5,000.00
- ii. Landscaping: \$79,579.50

8. (a) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.

- (b) i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original landscaping Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original landscaping Security will be returned;
- ii. If final approval of the Landscaping is not given by the City, the City has the option of using the landscaping Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping; and

- iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the landscaping Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

- 9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.

- 10. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.

- 11. This temporary use permit is not transferable.

- 12. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____
(Legal Description)

known as _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfil the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

WANSON GROUP - PRE-SALE CENTER

1 STOREY - TEMPORARY NEW CONSTRUCTION

13760 75A AVENUE, SURREY, BC

PROJECT DIRECTORY / CONTACT INFORMATION

OWNER
WANSON DEVELOPMENT LTD.
8572 HUDSON STREET, VANCOUVER, BC V5P 4N2
TOM MILLER
TMILLER@WANSON.CA
604-730-8959

CONTRACTOR
MANSOURI GROUP
106-305 WELCH STREET, NORTH VANCOUVER, BC V7P 1B3
SAM MANSOURI
SAM@MANSOURIDESIGN.COM

ARCHITECTURE + LANDSCAPE
SENG TSOI ARCHITECT INC.
209-1815 WEST SECOND AVENUE, VANCOUVER, BC V6J 1H3
SENG TSOI ARCHITECT ABC, MRAC, ASLA
SENG@STAOFFICE.CA
604-784-7429

SURVEY
REFER TO SURVEY PLAN PREPARED BY MATSON PECK & TOPLISS
SURVEYORS & ENGINEERS FOR PROPERTY LINES AND NATURAL
GRADE TOPOGRAPHY
SURVEY DATE: OCTOBER 18, 2016

MECHANICAL ENGINEER
LEESON ENGINEERING INC.
107-418 EAST KENT AVENUE, VANCOUVER, BC V6X 2X7
ALEX P. LEE, P.ENG
604-274-8703

ELECTRICAL ENGINEER
WGW ENGINEERING LTD.
W/F F-2801 DOUGLAS ROAD, BURNABY, BC V5C 5B7
WEI (GUY) WANG, P.ENG.
ELECTRICAL AND FIRE ALARM CONSULTANT
604-234-6003

CIVIL ENGINEERING
MAINLAND ENGINEERING CORPORATION
204-3063 128 STREET, SURREY, BC V3W 4G1
RAJESH MANGLA, P.ENG., P.ENG., C.P.E.C.
AVANASH BANWAT, P.ENG.
CIVIL@MAINLANDENG.COM
604-543-0044

GEO-TECHNICAL ENGINEERING
GEOPACIFIC
1728 VIKON AVE, VANCOUVER, BC V6P 6P2
604-438-0922
KEVIN BOONWAL, M.ENG., P.ENG.

STRUCTURAL
ADVENTISTORE STRUCTURAL ENGINEERING
131-1305 WELCH STREET
NORTH VANCOUVER, BC V7P 1B3
HEDAYAT PAKNEJAD, P.ENG., M.Sc.
hedayat@adventistore.ca
778-223-3339

ARCHITECTURAL DRAWING INDEX

A001	COVER SHEET, DRAWING LIST & PROJECT INFO.
A003	BUILDING ASSEMBLIES
A004	ROOM SCHEDULES
A005	WINDOW SCHEDULES
A101	SITE PLAN
A102	FLOOR PLAN
A103	ROOFING/CEILING PLAN
A104	ROOF PLAN
A105	FOUNDATION / SLAB PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A301	SECTIONS
A302	INTERIOR ELEVATIONS
A303	DETAILS
A304	DETAILS
A305	DETAILS
L-1	LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 13 SURVEY ZONING BY
LOT A SECTION 21 TOWNSHIP 2 PLAN BC944523 NWD
CIVIC ADDRESS
13760 75A AVENUE, SURREY, BC
EXISTING LOT ZONING
C3 (COMPREHENSIVE DEVELOPMENT ZONE)
BYLAW 16174
AUTHORITY HAVING JURISDICTION
CITY OF SURREY
PROJECT DESCRIPTION
PRE-SALES CENTRE
1 STOREY - TEMPORARY NEW CONSTRUCTION

DEVELOPMENT STATISTICS

LOT 13760
TOTAL LOT AREA:
4718.0 m² (50,784 SF)
GROSS BUILDING AREA:
269.0 m² (2904 SF)
TOTAL GROSS FLOOR AREA (GFA):
269.0 m² (2904 SF)
PROPOSED FLOOR SPACE RATIO:
269.0 m² (BUILDING GFA) / 4718 m² (LOT AREA) = 0.057 FSR
PROPOSED LOT COVERAGE:
340.89 m² (BUILDING GFA+COVERED AREAS) / 4718 m² (LOT AREA) = 7.22 %
PROPOSED SETBACKS:
FRONT YARD (FACING 75A AVENUE) : 7.6 m (25 ft)
REAR YARD : 41.5 m (136 ft)
SIDE YARD (FACING LANE) : 15.8 m (52 ft)
SIDE YARD (PARKING SIDE) : 32.4 m (106 ft)
PROPOSED BUILDING HEIGHT:
6.23 m (20'5.3" H)
PARKING PROVIDED:
PART 5 SURVEY ZONING BYLAW
Personal Service Use - 3 parking spaces per 100 m² (1,075 R2) of gross floor area.
REQUIRED STALLS: 3 (269.0 m² / 100 m²) = 3 STALLS (INCLUDING 1 HC STALL)
PROVIDED: 12 STALLS (INCLUDING 1 HC STALL)

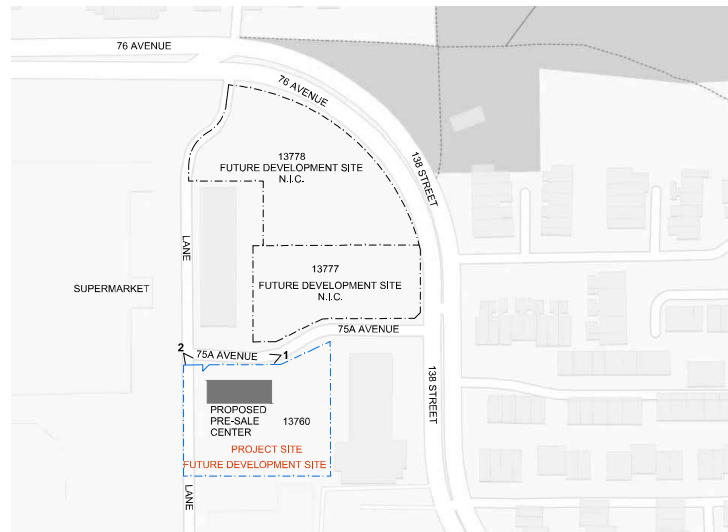
PROJECT DESCRIPTION

1 storey new construction - temporary use (pre-sales center (presentation centre) that will market the development under application No. 7917-5507-20

PROJECT NOTES

REFER TO SURVEY PLAN PREPARED BY MATSON PECK & TOPLISS FOR PROPERTY LINES AND NATURAL GRADE TOPOGRAPHY

DATE	REVISION
02-JUL-2020	ISSUED FOR CLIENT REVIEW
08-JUL-2020	ISSUED FOR CLIENT REVIEW
16-JUL-2020	ISSUED FOR COORDINATION
31-AUG-2020	ISSUED FOR REVIEW
05-JAN-2021	ISSUED FOR TEMP. USE PERMIT



SITE PHOTOS



PERSPECTIVES

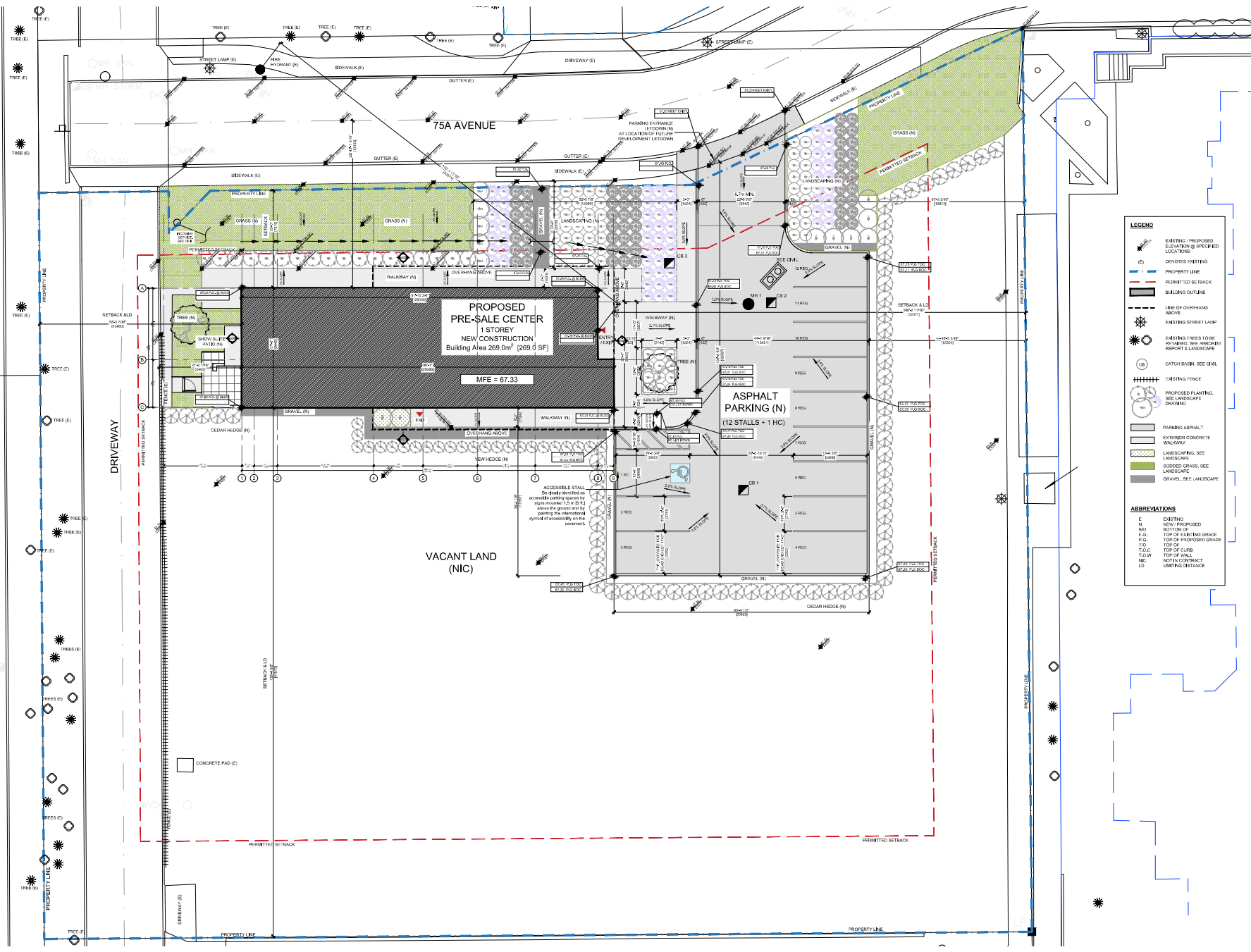
CONTEXT PLAN
NOT TO SCALE

STA SENG TSOI ARCHITECT INC.
200-1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1H3
INFO@STAOFFICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER
THIS
COVERSHEET, DRAWING LIST
& PROJECT INFO.

SCALE: _____ DATE: _____
NTS
PROJECT NUMBER: **A001**
STA-2002
DRAWN BY: CHERRYLIU
ST



DATE	REVISION
02-JUL-2020	ISSUED FOR CLIENT REVIEW
06-JUL-2020	ISSUED FOR CLIENT REVIEW
16-JUL-2020	ISSUED FOR COORDINATION
31-AUG-2020	ISSUED FOR REVIEW
05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

LEGEND

- EXISTING / PROPOSED ELEVATION & SPOT HEIGHT LOCATIONS
- DRIVEWAY MARKINGS
- PROPERTY LINE
- PERMITTED SETBACK
- BUILDING OUTLINE
- LINE OF OVERHANG ABOVE
- EXISTING STREET LAMP
- EXISTING TREES TO BE RETAINED; SEE ARCHITECT REPORT & LANDSCAPE
- CATCH BASIN, SEE CIVIL
- EXISTING FENCE
- PROPOSED PLANTING; SEE LANDSCAPE DRAWING
- PARKING ASPHALT
- EXTERIOR CONCRETE WALKWAY
- LANDSCAPING; SEE LANDSCAPE
- SODDED GRASS; SEE LANDSCAPE
- GRAVEL; SEE LANDSCAPE

ABBREVIATIONS

- E EXISTING
- N NEW / PROPOSED
- B.O. BOTTOM OF
- E.G. TOP OF EXISTING GRADE
- F.G. TOP OF PROPOSED GRADE
- F.T.O. TOP OF FINISH
- F.T.O.C. TOP OF CURB
- F.T.O.W. TOP OF WALL
- F.L.O. TOP OF WALL
- N.C. NOT IN CONTRACT
- L.D. LIMITING DETAIL

STA SENG TSOI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRICE.CA

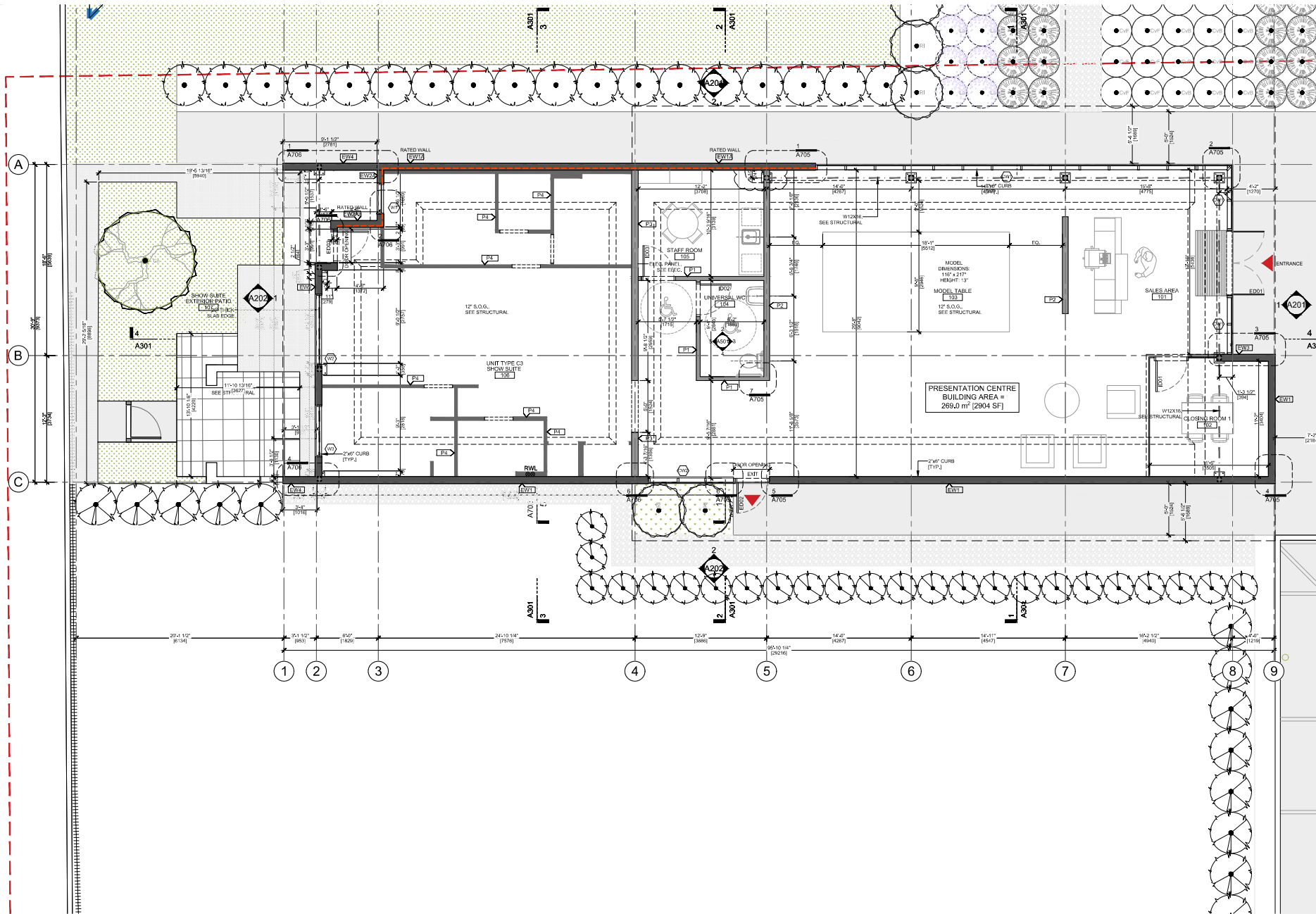


PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER
TYPE
SITE PLAN

SCALE 3/32" = 1'-0"
PROJECT NUMBER STA-2002
DRAWN BY CHECKED BY ST

A101

1 SITE PLAN
3/32" = 1'-0"



DATE	REVISION
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05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

STA SENG TSOI ARCHITECT INC.
 200 - 1675 WEST 2ND AVENUE
 VANCOUVER, BC V6J 1G2
 INFO@STA-GRFICE.CA



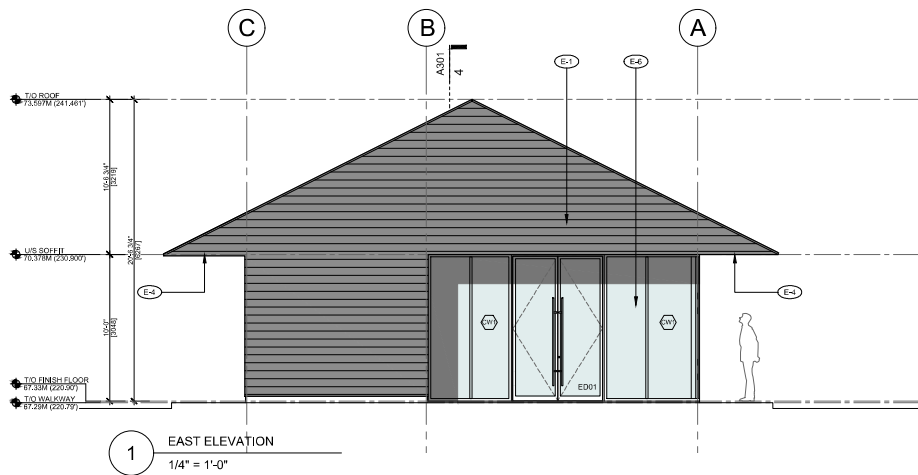
PROJECT
 13760 75A Avenue
 SURREY, BC
 WANSON GROUP
 PRE-SALE CENTER
 TITLE
 GROUND FLOOR PLAN

SCALE
 SEE DWG
 PROJECT NUMBER
 STA-2002
 DRAWN BY
 CHECKED BY
 ST

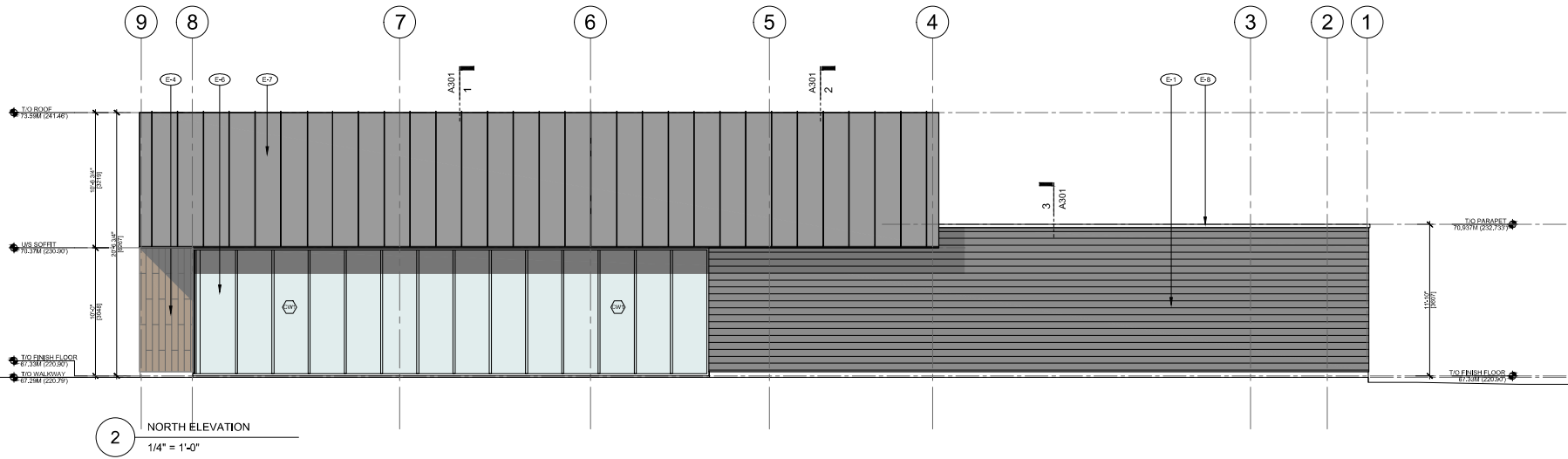


1

GROUND FLOOR PLAN
 1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION LEGEND:

- | | | |
|---|---|---|
| E-1 CEMENTITIOUS LAP SIDING PANEL
MACHINE GRAY STATE, PREFINISHED
BASE BUILDING CODE: E01.2 | E-2 CEMENTITIOUS PANEL
ARCTIC WHITE
BASE BUILDING CODE: E02.1 | E-3 VINYL WINDOW, WHITE
REFER TO BASE BUILDING SPEC. |
| E-4 CEMENTITIOUS SIDING / BOARD & BATTEN
BM CC-780 NENSINGTON BLUE
BASE BUILDING CODE: E01.2 | E-5 WOOD SOFFIT AND PANELING,
WOOD SPECIES AND FINISH TO MATCH CLT (CROSS
LAMINATED TIMBER) OF BASE BUILDING CLEAR FINISH
BASE BUILDING CODE: E04.1 | E-6 STOREFRONT SYSTEM
CLEAR ANODIZED ALUMINIUM |
| | | E-7 STANDING SEAM METAL ROOFING
CHARCOAL GRAY |
| | | E-8 METAL CAP FLASHING OVER ROOF MEMBRANE
COLOR TO MATCH SIDING |

DATE	REVISION
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STA SENG TSOI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER

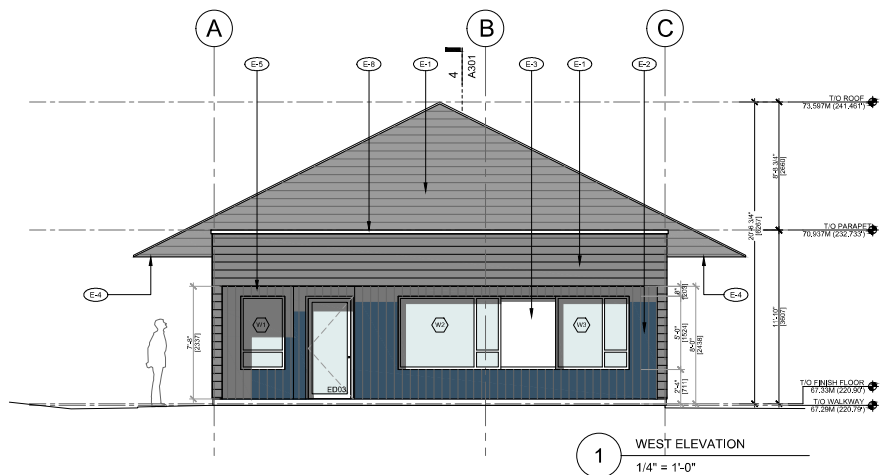
TYPE
ELEVATIONS

SCALE
1/4" = 1'-0"

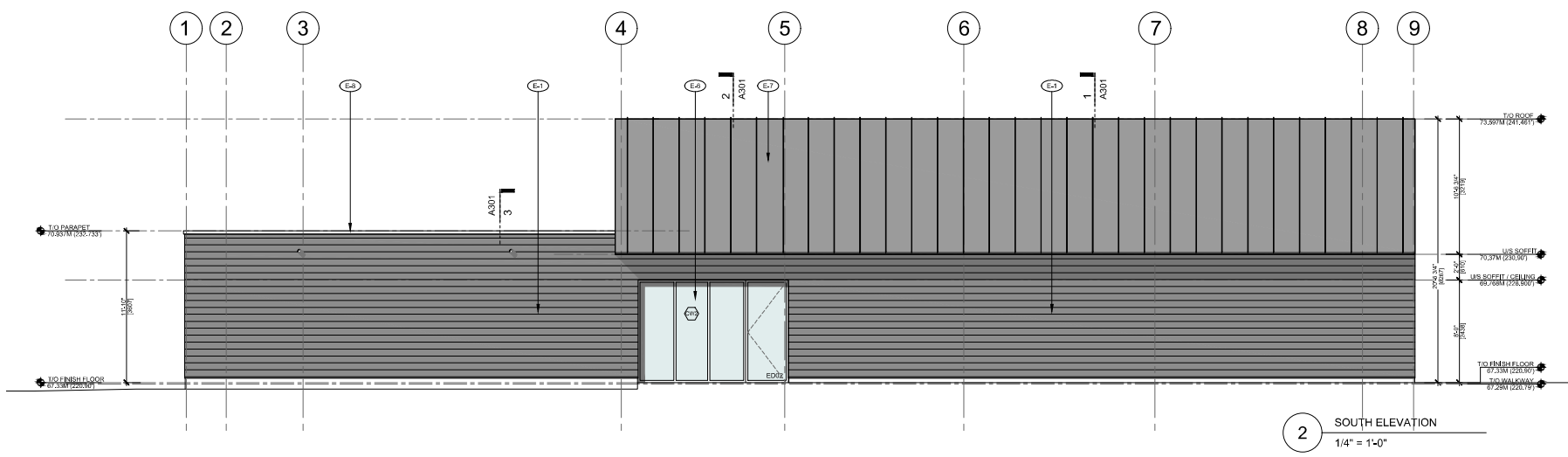
DATE
A201

PROJECT NUMBER
STA-2002

DRAWN BY
ST



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION LEGEND:

- | | | |
|--|---|--|
| (E-1) CEMENTITIOUS LAP SIDING PANEL
HARDIE GRAY STATE, PREFINISHED
BASE BUILDING CODE: E01.2 | (E-2) CEMENTITIOUS PANEL
ARCTIC WHITE
BASE BUILDING CODE: E02.1 | (E-3) VINYL WINDOW, WHITE
REFER TO BASE BUILDING SPEC. |
| (E-4) CEMENTITIOUS SIDING / BOARD & BATTEN
BM CC-780 KENSINGTON BLUE
BASE BUILDING CODE: E01.2 | (E-5) WOOD SOFFIT AND PANELING,
WOOD SPECIES AND FINISH TO MATCH CLT (CROSS
LAMINATED TIMBERS) OF BASE BUILDING CLEAR FINISH
BASE BUILDING CODE: E04.1 | (E-6) STOREFRONT SYSTEM
CLEAR ANODIZED ALUMINIUM |
| | | (E-7) STANDING SEAM METAL ROOFING
CHARCOAL GRAY |
| | | (E-8) METAL CAP FLASHING OVER ROOF MEMBRANE
COLOR TO MATCH SIDING |

DATE REVISION

02-JUL-2020	ISSUED FOR CLIENT REVIEW
06-JUL-2020	ISSUED FOR CLIENT REVIEW
16-JUL-2020	ISSUED FOR COORDINATION
31-AUG-2020	ISSUED FOR REVIEW
05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

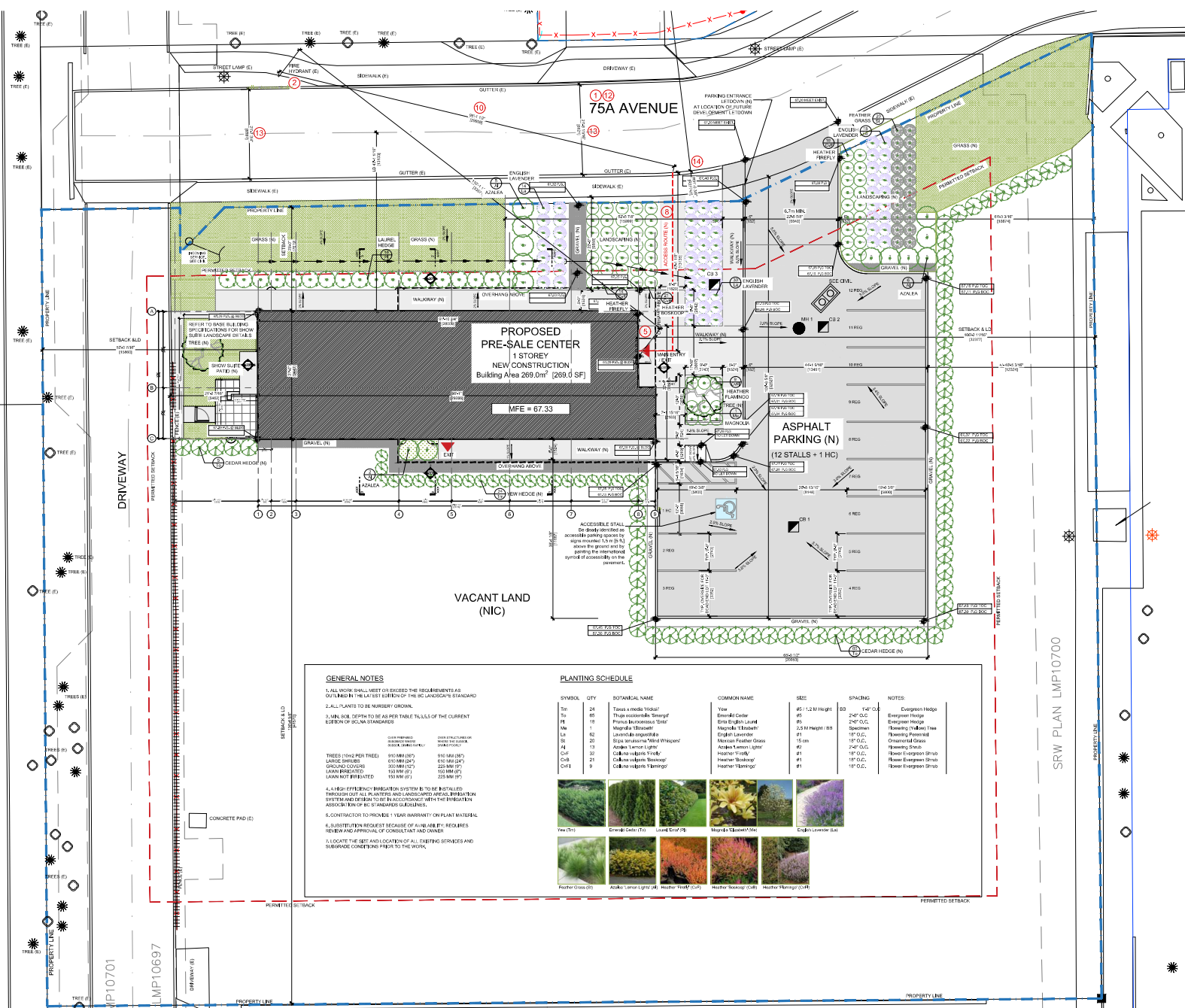
STA SENG TSOI ARCHITECT INC.
200 - 1675 WEST 2ND AVENUE
VANCOUVER, BC V6J 1G2
INFO@STA-GRFICE.CA



PROJECT
13760 75A Avenue
SURREY, BC
WANSON GROUP
PRE-SALE CENTER

TYPE
ELEVATIONS

SCALE 1/4" = 1'-0"
PROJECT NUMBER A202
DRAWING NO. STA-2002
DRAWN BY CHENREZQI
ST



LEGEND

- EXISTING (PROPOSED) ELEVATION & SPICED LOCATIONS
- EXISTING/FUTURE
- PROPERTY LINE
- PERMITTED SETBACK
- BUILDING OUTLINE
- LINE OF OVERHANG ABOVE
- EXISTING STREET LAMP
- EXISTING TREES TO BE RETAINED; SEE ARCHITECT REPORT & LANDSCAPE
- CATCH BASIN, SEE CIVIL
- EXISTING FENCE
- PROPOSED PLANTING; SEE LANDSCAPE DRAWING
- PARKING ASPHALT
- EXTENDING CONCRETE WALKWAY
- LANDSCAPING; SEE LANDSCAPE
- SUDDEN GRASS; SEE LANDSCAPE
- GRAVEL; SEE LANDSCAPE

ABBREVIATIONS

- E EXISTING
- N NEW (PROPOSED)
- R BOTTOM OF
- E.G. TOP OF EXISTING GRADE
- F.G. TOP OF PROPOSED GRADE
- T.O.C. TOP OF CURB
- T.O.W. TOP OF WALL
- F.O.W. FINISH OF WALL
- N.C. NOT IN CONTRACT
- L.D. LIMITING DETACHMENT

GENERAL NOTES

1. ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD
2. ALL PLANTS TO BE NURSERY GROWN.
3. USE ONLY SEEDS TO BE SHOWN IN TABLE TALLS OF THE CURRENT EDITION OF SOLMA STANDARDS

TREES (1/4" x 2" FOR TREES)	910 MM (36")	910 MM (36")
LARGE SHRUBS	610 MM (24")	610 MM (24")
GROUND COVERS	300 MM (12")	225 MM (9")
LAWN BROADCAST	100 MM (4")	100 MM (4")
LAWN NOT BROADCAST	150 MM (6")	225 MM (9")

4. A HIGH EFFICIENCY IRRIGATION SYSTEM IS TO BE INSTALLED THROUGHOUT ALL PLANTERS AND LANDSCAPED AREAS. IRRIGATION SYSTEM AND DESIGN TO BE IN ACCORDANCE WITH THE IRRIGATION ASSOCIATION OF BC'S STANDARDS GUIDELINES.
5. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON PLANT MATERIAL.
6. DISTRIBUTION REQUEST BECAUSE OF A LIABILITY, REQUIRES REVIEW AND APPROVAL OF CONSULTANT AND OWNER.
7. LOCATE THE SET AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADE CONSIDERING PRIOR TO WORK.

PLANTING SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
Tm	24	Taxus s. media 'Holm'	Yew	#5 / 1.2 M Hg #1	80 / 24" O.C.	Evergreen Hedge
Ts	60	Thuja occidentalis 'Smaragd'	Emerald Cedar	#5	24" O.C.	Evergreen Hedge
Rl	18	Prunus baccata 'Sibirica'	Britia English Laurel	#5	24" O.C.	Evergreen Hedge
Na	1	Nepenthes 'Blancpain'	Monkey's Bladder	2.5 M Height #8	Spaceman	Flowering Plant
Ls	62	Lavandula angustifolia	English Lavender	#1	18" O.C.	Flowering Perennial
Sl	20	Stipa baccata 'Gold Whispers'	North Sea Feather Grass	15 cm	18" O.C.	Ornamental Grass
Al	10	Andropogon 'Lemon Light'	Andropogon Grass	#1	24" O.C.	Flowering Grass
Clr	32	Calluna vulgaris 'Frill'	Heather 'Frill'	#1	18" O.C.	Flower Evergreen Shrub
Clb	21	Calluna vulgaris 'Boswell'	Heather 'Boswell'	#1	18" O.C.	Flower Evergreen Shrub
Clv	9	Calluna vulgaris 'Barnings'	Heather 'Barnings'	#1	18" O.C.	Flower Evergreen Shrub

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05-JAN-2021	ISSUED FOR TEMP. USE PERMIT

14-APR-2021 ISSUED FOR TEMP. USE PERMIT
 DISTRIBUTION CONTROL

WANSON DEVELOPMENT LTD.

PROJECT OF
STA SENG TSOI ARCHITECT INC.
 200 - 1675 WEST 2ND AVENUE
 VANCOUVER, BC V6L 3J2
 INFO@STA-DCFX.CA



PROJECT
 13760 75A Avenue
 SURREY, BC
 WANSON GROUP
 PRE-SALE CENTER
 THIS
 LANDSCAPE PLAN

SCALE 3/32" = 1'-0"
 PROJECT NUMBER STA-2002
 DRAWN BY ST
 CHECKED BY ST

1 LANDSCAPE PLAN
 L-1 3/32" = 1'-0"

SRW PLAN LMP10700