

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0143-00

Planning Report Date: December 20, 2021

**PROPOSAL:**

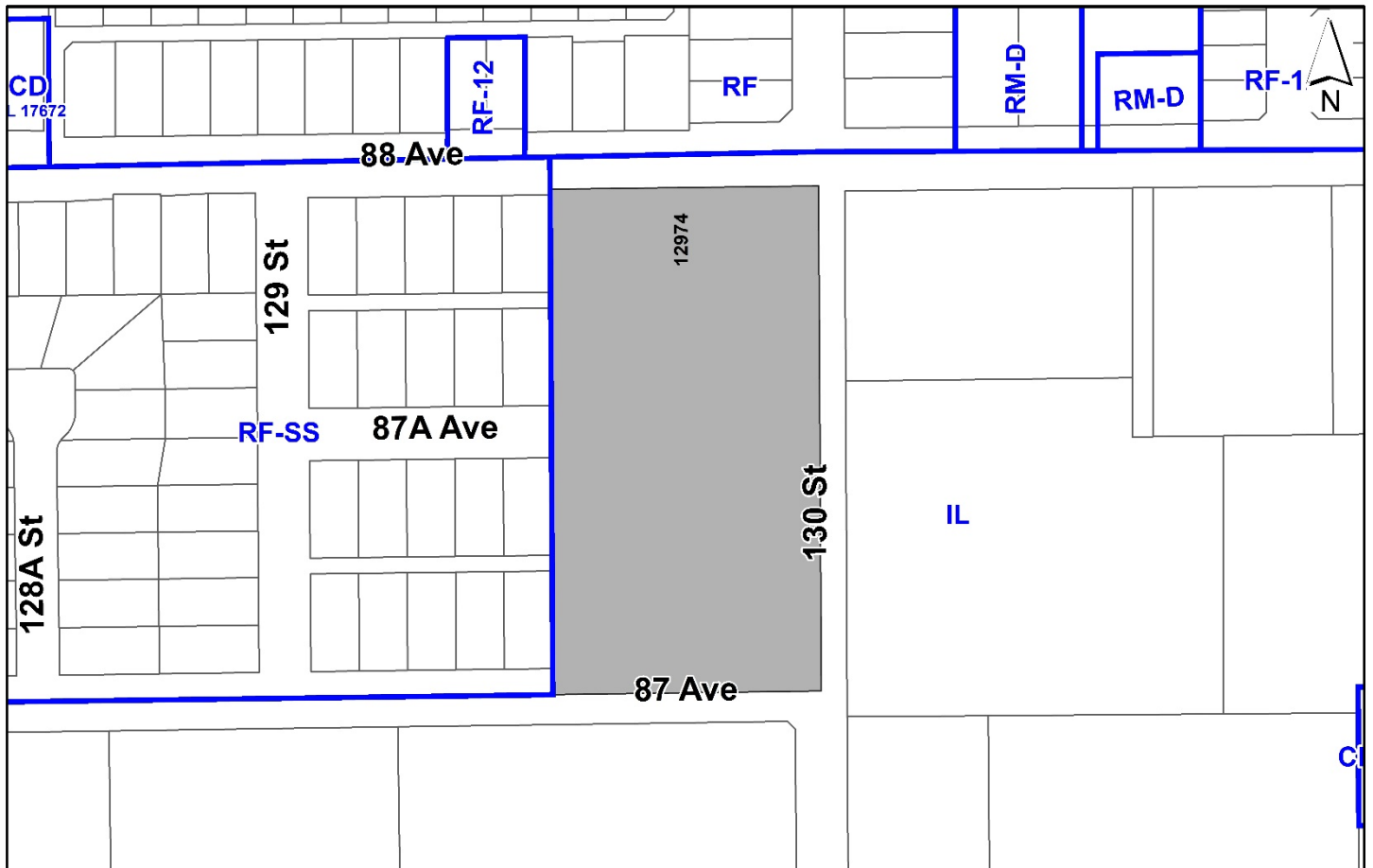
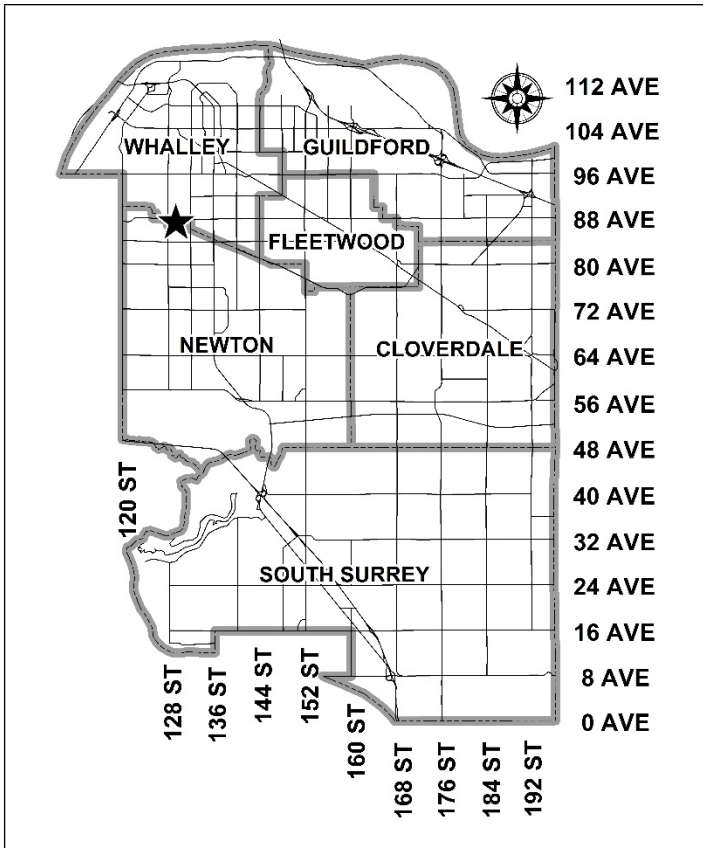
- **Development Permit**

to permit the development of a 5,693 square metre purpose-built single-tenant industrial building.

**LOCATION:** 12974 – 88 Avenue

**ZONING:** IL

**OCP DESIGNATION:** Industrial



**RECOMMENDATION SUMMARY**

- Approval to draft Development Permit for Form and Character.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- None.

**RATIONALE OF RECOMMENDATION**

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal partially complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials, and the site includes a significant landscape buffer on 88 Avenue.
- The proposal will facilitate the relocated operations of AlSCO, a company who supplies linens and uniforms to a variety of businesses including restaurants, healthcare facilities, auto dealerships, and industrial users.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7921-0143-00 generally in accordance with the attached drawings (Appendix I).
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant	Industrial	IL
North (Across 88 Avenue):	Single family dwellings.	Urban	RF
East (Across 130 Street):	Existing industrial buildings.	Industrial	IL
South (Across 87 Avenue):	Existing industrial buildings.	Industrial	IL
West:	Single family dwellings.	Urban	RF-SS

### Context & Background

- The subject site is approximately 1.7 hectares in size and is bounded by 88 Avenue to the north, 87 Avenue to the south, and 130 Street to the east. The site is designated "Industrial" in the Official Community Plan (OCP) and currently zoned "Light Impact Industrial (IL) Zone".

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes a Development Permit to permit the construction of a 5,693 square metre purpose-built single-tenant industrial building for AlSCO, a company that supplies linens and uniforms to a variety of businesses including restaurants, healthcare facilities, auto dealerships, and industrial users.
- AlSCO intends to relocate its current operations in the City of Vancouver to this location. The proposed facility will provide employment for approximately 70-75 people.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	2.01 hectares/20,120 square metres
Road Dedication:	0.30 hectares/3,018 square metres
Undevelopable Area:	n/a
Net Site Area:	1.71 hectares/17,102 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	11.43 m
<b>Unit Density:</b>	n/a
<b>Floor Area Ratio (FAR):</b>	0.33
<b>Floor Area</b>	
Industrial:	5,118 square metres
Office:	575 square metres
Total:	5,693 square metres

### Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

### Transportation Considerations

#### Transit:

- A single transit route passes the subject site (Route 388) with connections to 22<sup>nd</sup> Street SkyTrain station to the west, and Carvolth Exchange in the Township of Langley to the east. ‘
- There are bus stops on both sides adjacent to 130 Street. The intersection with 130 Street has a pedestrian-controlled traffic signal to facilitate pedestrian crossing of 88 Avenue.



Traffic Impacts:

- This proposal did not meet the Surrey Design Criteria Manual threshold of generating 100 trips during the peak hour for requiring a Traffic Impact Analysis (TIA).

Road Network & Infrastructure:

- The Building Permit value will trigger works and services on the site. The applicant is required to construct the 130 Street and 87 Avenue road frontages to the through local standard.
- The applicant has agreed to dedicate 10.0 metres on 130 Street towards achieving the ultimate 20.0 m cross-section for 130 Street, and 8.5 metres on 87 Avenue to achieve the ultimate 10.0 m from centreline. This facilitates the ultimate construction of both roads and will provide safe and functional transportation facilities including sidewalks and wider roadway pavement. The applicant will use monies provided from 7908-0284-00 to complete the east half of the roadway.
- 87A Avenue was planned to bisect the site to connect with 130 Street, however as the applicant's proposal utilizes the entire lot, this local road connection will not be completed.

Access:

- Three driveway accesses are proposed – one passenger vehicle entrance from 130 Street to access the northern parking lot used by staff and visitors, and two truck entrances to the southern parking lot off of 87 Avenue and 130 Street, respectively.
- The passenger vehicle entrance on 130 Street is closer to 88 Avenue than is standard (50 metres minimum), however, was considered acceptable given the constraints of the site and the need for the site to obtain a minimum loading court depth of 40 metres to facilitate their operations.

**Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

**POLICY & BY-LAW CONSIDERATIONS****Regional Growth Strategy**

- The proposal complies with the "Industrial" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

## Official Community Plan

### Land Use Designation

- The proposal complies with the "Industrial" land use designation in the Official Community Plan.

### Themes/Policies

- A4.2 – Encourage the full and efficient build-out of existing planned urban areas:

(The proposed development adds to the available employment lands in Newton.)

- B6.4 – Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The development proposes a 7.5 metre landscape buffer on the west property line adjacent to the existing single family residential that includes dense planting of trees and shrubs. The proposed building height of 11.43 metres is marginally taller than the existing maximum permitted building height for single family buildings in the area (9 metres). The loading court is to be screened from public view on all three sides and the interface between the development site and the residences to the west is appropriate.)

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with the overall site design

(The proposed loading court is visible to the public realm along 87 Avenue and 130 Street. To address this issue, the applicant proposes a screen wall varying in height from 3.0 metres to 3.6 metres and increasing to 8.2 metres adjacent to the above grade wastewater tank.)

### **Zoning By-law**

- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Light Impact Industrial Zone (IL)" and parking requirements.

<b>IL Zone (Part 48)</b>	<b>Permitted and/or Required</b>	<b>Proposed</b>
<b>Unit Density:</b>	n/a	n/a
<b>Floor Area Ratio:</b>	1.00	0.33
<b>Lot Coverage:</b>	60%	33%
<b>Yards and Setbacks</b>		
North:	7.5 m	40.8 m
East:	7.5 m	7.5 m
South:	7.5 m	66.7 m
West:	7.5 m	8.7 m
<b>Height of Buildings</b>		
Principal buildings:	18 m	11.4 m

<b>IL Zone (Part 48)</b>	<b>Permitted and/or Required</b>	<b>Proposed</b>
Accessory buildings or structure:	6 m	6 m
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Office:	14.40	
Industrial:	51.18	
Total:	66	75
Tandem (%):	n/a	n/a
Accessible	1	2

## **PUBLIC ENGAGEMENT**

- Development Proposal Signs were installed on October 26. Staff received did not receive any comments from residents.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development partially complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to improve the building and site interface relative to the existing single family residential lots to the west, and the three public frontages on 88 Avenue with single family residential lots, 87 Avenue, and 130 Street.
- The OCP Urban Design, Policies, General (B6.2) specifies reflecting and enhancing local neighbourhood character and identity; and Public-Private Interface (B6.6) specifies that parking not be located in between buildings and public streets; and the OCP DP1.1(31.b) design guidelines state that parking should be located away from street frontages and street corners; and DP1.1 (122) states that buildings should be oriented to line streets; and DP1.1 (116) states to create building forms with a strong street enclosure, particularly at corners.
- However, the proposed location of parking along 88 Avenue does not conform to these policies and is uncharacteristic of its immediate neighbours along 88 Avenue to the west, north and east – none of which have parking lots nor a deep setback along this street. Staff had requested the building be located to the minimum building setback without a vehicle parking lot located at in front of the building along 88 Avenue. Staff explored concepts with the applicant that could achieve this, including the possibility of a passenger vehicle court at the opposite end of the building along 87 Avenue (with the industrial interface), separated from the loading court. The applicant was unable to accomplish this due to industrial operational layout constraints of the building and the desire to maintain vehicle parking in front of the building.

- In lieu of locating the building to the minimum building setback on 88 Avenue, the applicant has made efforts to improve the 88 Avenue interface with a 3:1 slope berm that is a minimum of 1.33 metres above the adjacent sidewalk grade topped with a 6 m wide landscape screen containing a double offset row of tree plantings at a minimum initial height of 3 metres, interspersed with 1 metre tall shrubs both facing the street and a 8 m wide landscape strip on the slope facing the building.
- A west setback of 8.9 metres, containing landscape buffering provides separation to the adjacent single family residential lots.
- The building is proposed to have an overall contemporary appearance with a simple uniformly rectangular volume that is articulated at the 88 Avenue and 130 Street corner of the building, emphasizing the office component using storefront style glazing at the main entrance and an integrated steel feature canopy.
- The proposed monolithic building is comprised of a combination of tilt-up concrete panels in several shades of grey, oriented in vertical swatches, and contrasted with green colour horizontal painted accents. The building faces along the street are punctuated with several windows.
- The applicant proposes two fascia signs, both of which are located on the top level of the building but are on separate frontages. The Sign Bylaw permits a maximum of one fascia sign per lot frontage that may be located above a first storey for the tenant that occupies the largest percentage of floor area above the first storey. In this case, the only second storey floor area is office space for the use of AlSCO, and therefore, the proposed signage complies with the Sign Bylaw.
- The proposed signage is to be surface-mounted non-illuminated channel lettering.

### Landscaping

- The 88 Avenue landscape buffer exceeds the minimum Zoning Bylaw required width and includes a double offset row of tree plantings at a minimum initial height of 3 metres, interspersed with 1-metre-tall shrubs.
- The 87 Avenue landscape buffer is 3.3 metres-wide, while the 130 Street landscape buffer is 7.5 metre-wide. The landscape buffer on the west property line adjacent to the existing single-family residences is 8.9 metres wide, exceeding the minimum Zoning Bylaw requirement.
- The loading court is proposed to be screened, using solid concrete walls of similar aesthetic as the principal building, from public views on streets as well as from the adjacent single family residences to the west as follows:
  - 87 Avenue: 3 metres tall
  - 130 Street: stepping from 3 to 3.6, 4.3 and 8.2 metres tall in front of the on-site storage tank that is required for the industrial operations.
  - West property line: 3 metres tall
- The proposed landscaping will consist of a variety of trees, including Grand Fir, Norway Spruce, and Japanese Zelkova. The proposed trees will be complimented by a variety of shrubs and groundcover.

- There is one primary staff amenity area at the front (north) of the building facing 88 Avenue/130 Street consisting of bench and picnic table seating.
- Publicly accessible private open space is provided at the 130 Street and 87 and 88 Avenue intersections in the form of a plaza with bench seating and landscaping.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include increasing the number of trees on the east (130 Street) frontage, improving the southeast publicly accessible open space, and providing accurate sight line analysis drawings to ensure the loading court is appropriately screened from view.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### TREES

- Reed Moss, ISA Certified Arborist of KD Planning & Design Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Katsura	1	0	1
Service Berry Species	5	0	5
Magnolia	2	0	2
Burr Oak	4	0	4
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>12</b>	<b>0</b>	<b>12</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>128</b>	
<b>Total Retained and Replacement Trees</b>		<b>140</b>	
<b>Contribution to the Green City Program</b>		<b>\$0</b>	

- The Arborist Assessment states that there are a total of twelve mature trees on the site, and no Alder or Cottonwood trees. It was determined that all twelve trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. As no trees are proposed for removal, there are no tree replacement requirements for this project. The applicant is proposing **128** replacement trees, exceeding City requirements.
- In summary, a total of 140 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation

*approved by Shawn Low*

Ron Gill  
Acting General Manager  
Planning and Development

KS/cm

**PROJECT TEAM**

**ARCHITECT OF RECORD**

LARRY PODHORA | ARCHITECTURE INC.  
 147 HOWBREST ROAD  
 SAANICH, BC V8L 5K1  
 EMAIL: LARRY@PKRAHN.COM  
 PRINCIPAL IN CHARGE: LARRY PODHORA

**BUILDING DESIGN**

KL TECH ENGINEERING LTD.  
 400 - 3407 GLADYS AVENUE  
 ABBOTSFORD, BC V2S 3E8  
 PHONE: 604.853.8831  
 EMAIL: CURTIS@KBERAHN.COM  
 PROJECT MANAGER: CURTIS GREY  
 TECH LEAD: SITU SONU

**CIVIL**

KM CIVIL LTD.  
 400 - 3407 GLADYS AVENUE  
 ABBOTSFORD, BC V2S 3E8  
 PHONE: 604.853.8831  
 EMAIL: PETERS@KBERAHN.COM  
 PROJECT MANAGER: PETER GARDNER  
 TECH LEAD: JEFFREY CHUN

**SURVEY**

KD PLANNING & DESIGN LTD.  
 119-200 VIRTUAL WAY  
 VANCOUVER, BC V6R 0C4  
 PHONE: 604.294.6662  
 EMAIL: REED@KBERAHN.COM  
 PROJECT MANAGER: REED MOSS

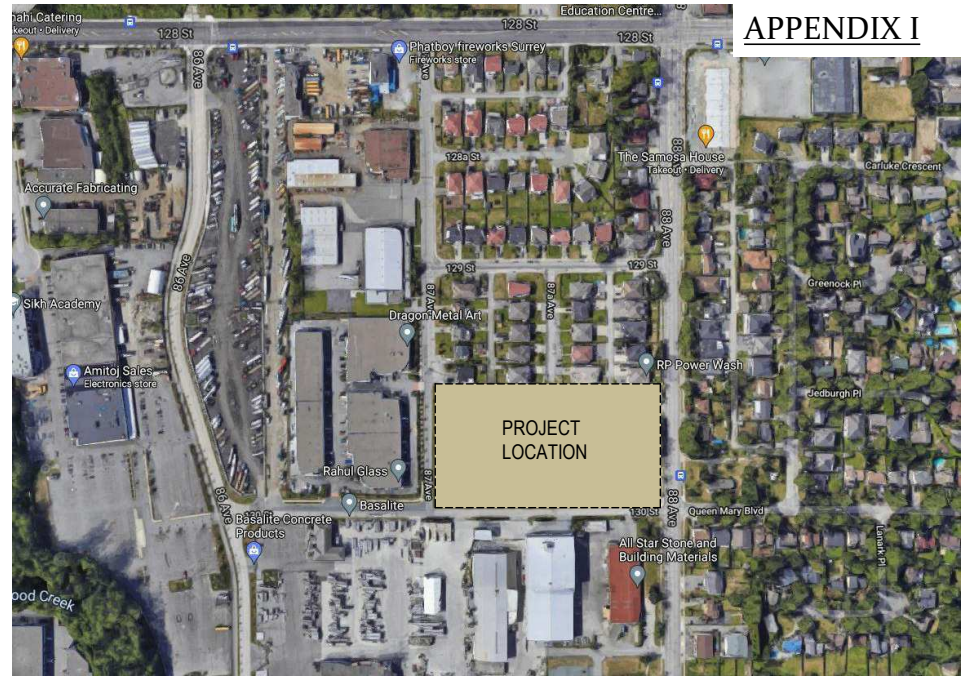
**LANDSCAPE**

KD PLANNING & DESIGN LTD.  
 400 - 3407 GLADYS AVENUE  
 ABBOTSFORD, BC V2S 3E8  
 PHONE: 604.853.8831  
 EMAIL: JESSICA@KBERAHN.COM  
 PROJECT MANAGER: JESSICA THIESSEN  
 TECH LEAD: RIM KIRKLAND

**SHEET LIST**

ARCHITECTURE	GENERAL NOTES & PROJECT DATA	CIVIL	LANDSCAPE
A01	GENERAL NOTES & PROJECT DATA	C1	LOCATION PLAN AND GENERAL NOTES
A02	PERSPECTIVE RENDERINGS	C2	SITE GRADING PLAN
A10	SITE PLAN	C3	SITE SERVICING PLAN
A11	SITE PLAN - BASE		
A12	GATE DETAILS		
A13	FIRE DEPARTMENT SITE PLAN		
A14	SITE SECTIONS		
A21	FLOOR PLANS		
A22	ENLARGED PLANS		
A23	ROOF PLAN		
A31	STREETSCAPES		
A32	BUILDING ELEVATIONS		
A33	BUILDING ELEVATIONS		
A34	BUILDING SECTIONS		
A35	CANOPY DETAILS		

**APPENDIX I**



CONTEXT PLAN



THE KRAHN GROUP OF COMPANIES  
 ABBOTSFORD • EDMONTON • VANCOUVER  
 ABBOTSFORD OFFICE  
 147 HOWBREST RD. NORTH SAANICH, BC V8L 5K1  
 TEL: 604.853.8831 FAX: 604.853.8832 WWW.KRAHN.COM

larry podhora | architecture inc  
 147 HOWBREST RD. NORTH SAANICH, BC V8L 5K1



**ALSCO**  
 12974 88 AVENUE  
 SURREY, BC V3W 3K3

9 2021/12/14 RE-ISSUED FOR DEVELOPMENT PERMIT  
 6 2021/11/30 RE-ISSUED FOR DEVELOPMENT PERMIT

210241-A | A01

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NORTH-EAST PERSPECTIVE RENDERING



SOUTH-WEST PERSPECTIVE RENDERING



SOUTH-EAST PERSPECTIVE RENDERING



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 ABBOTSFORD • EDMONTON • VANCOUVER  
 ABBOTSFORD OFFICE  
 8881 JACET CLIFTON AVE. ABBOTSFORD, BC V3G 0R4  
 T: 604.855.1777 F: 604.855.1778 WWW.KRAHN.COM

larry podhora | architecture inc  
 1417 HOWE STREET RD. NORTH SAANICH, BC V8L 3K1



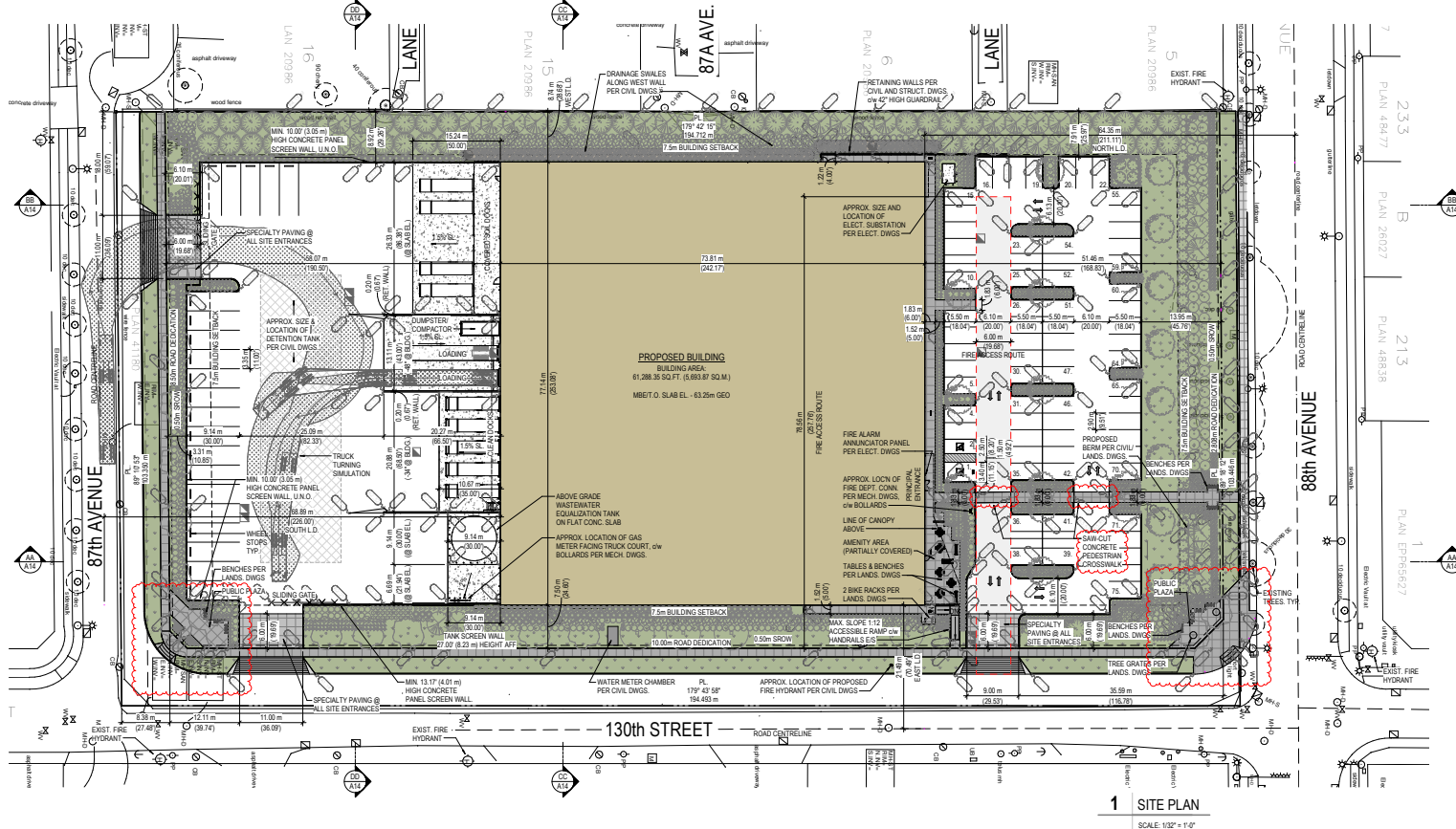
ALSCO  
 12974 88 AVENUE  
 SURREY, BC V3W 3K3

9 2021/12/14 RE-ISSUED FOR DEVELOPMENT PERMIT  
 2 2021/10/01 RE-ISSUED FOR DEVELOPMENT PERMIT

210241-A | A02

PRELIMINARY - NOT FOR CONSTRUCTION





1 SITE PLAN  
SCALE: 1/32" = 1'-0"

**ZONING BY-LAW ANALYSIS**

**PROJECT DATA**

CIVIC ADDRESS: 12974 88 AVENUE, SURREY, BC  
 LEGAL ADDRESS: SECTION 29 TOWNSHIP 2 PLAN WNP3270 PARCEL B, (W011411) LT 7 OF THE NW QUARTER  
 BUILDING USE: MEDIUM HAZARD INDUSTRIAL  
 GROSS BUILDING AREA: 5,693.87 m<sup>2</sup> 61,288.35 ft<sup>2</sup>

**ZONING BYLAW ANALYSIS (CITY OF SURREY)**

1. ZONING: LIGHT IMPACT INDUSTRIAL (LI)  
 2. SITE AREA: GROSS PROPERTY AREA: 20,120.78 m<sup>2</sup> [2.01 hectare] [216,578.38 ft<sup>2</sup>] 4.97 acres  
 NET PROPERTY AREA: 17,102.86 m<sup>2</sup> [1.71 hectare] [184,093.90 ft<sup>2</sup>] 4.23 acres

3. SITE COVERAGE + BUILDING AREAS:

SITE AREA	PROP. SITE COVERAGE	BUILDING AREA	MAXIMUM SITE COVERAGE
50 M SQ FT	COVERAGE	50 M SQ FT	%
17,102.86 (186,831.93)	13.28%	5,693.87 (61,288.35)	32.61%

4. BUILDING HEIGHT:

PRINCIPAL BUILDING	PROPOSED HEIGHT
18.0m (59'1")	11.43m (37'5")

5. REQUIRED SETBACKS:

FRONT YARD (NORTH):	REQUIRED	PROVIDED
7.5m (24'6")	40.83m (133'9")	8.74m (28'8")
SIDE YARD (WEST):	7.5m (24'6")	7.5m (24'6")
SIDE YARD (EAST):	7.5m (24'6")	7.5m (24'6")
REAR YARD (SOUTH):	7.5m (24'6")	66.67m (218'7")

6. LANDSCAPING REQUIREMENTS:

LEVEL	PARKING CLASSIFICATION	BY-LAW DEFINITION USED	LOCAL BY-LAW REQUIREMENTS CALCULATION (GROSS AREA)	AREA (SM)	SPACES REQUIRED
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100 S.M. (1075 S.F.) OF GROSS FLOOR AREA	5,118.02	50,089.86	100.01
MAIN FLOOR	OFFICE	2.5 SPACES FOR EACH 100 S.M. (1075 S.F.) OF GROSS FLOOR AREA	575.86	8,198.48	100.01
TOTAL PARKING SPACES REQUIRED:			5,693.87	61,288.35	65.58

7. VEHICLE PARKING AND LOADING:

LEVEL	PARKING TYPE	No. of SPACES
ACCESSIBLE PARKING	7	
STANDARD PARKING	73	
TOTAL PARKING SPACES PROVIDED	80	

8. BICYCLE PARKING: BICYCLE PARKING REQUIRED: N/A  
 BICYCLE PARKING PROVIDED: N/A

9. REQUIRED SETBACKS:

FRONT YARD (NORTH):	REQUIRED	PROVIDED
7.5m (24'6")	40.83m (133'9")	8.74m (28'8")
SIDE YARD (WEST):	7.5m (24'6")	7.5m (24'6")
SIDE YARD (EAST):	7.5m (24'6")	7.5m (24'6")
REAR YARD (SOUTH):	7.5m (24'6")	66.67m (218'7")

10. LANDSCAPING REQUIREMENTS:

LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF SURREY BY-LAW REQUIREMENTS.

11. VEHICLE PARKING AND LOADING:

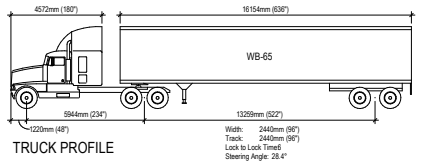
REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

12. TRUCK DIMENSIONS:

STANDARD STALL	9.51' (2.90m) W x 18.04' (5.50m) L
STANDARD STALL ADJACENT STRUCTURE	12.92' (3.93m) W x 18.04' (5.50m) L
SMALL CAR STALL (MAX. 35%)	9.51' (2.90m) W x 16.08' (4.90m) L
ACCESSIBLE STALL (VAN)	8.20' (2.50m) W x 16.08' (4.90m) L + 4.92' (1.50m) W ADJACENT ACCESS AISLE BTWN 2 STALLS
ACCESSIBLE STALL (VAN)	11.15' (3.40m) W x 18.04' (5.50m) L + 4.92' (1.50m) W ADJACENT ACCESS AISLE BTWN 2 STALLS
LOADING STALL:	13.12' (4.00m) W x 30.18' (9.20m) L
DRIVE AISLE WIDTH:	20.01' (6.10m) AT 90°

13. TRUCK PROFILE:

4572mm (150')  
 16154mm (530')  
 5944mm (234')  
 13295mm (527')  
 1220mm (49')



14. BICYCLE PARKING:

BICYCLE PARKING REQUIRED: N/A  
 BICYCLE PARKING PROVIDED: N/A



15. STEP VAN PROFILE:

867mm (342')  
 2440mm (96')  
 867mm (342')  
 3048mm (120')

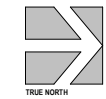


THE KRAHN GROUP OF COMPANIES  
 ABBOTSFORD • EDMONTON • VANCOUVER  
 ABBOTSFORD OFFICE  
 11700 42ND AVE. ABBOTSFORD, BC V3G 2R8  
 WWW.KRAHN.CO.UK

larry podhora | architecture inc  
 1467 POWERS BLVD. NORTH SAANICH, BC V8L 3A1



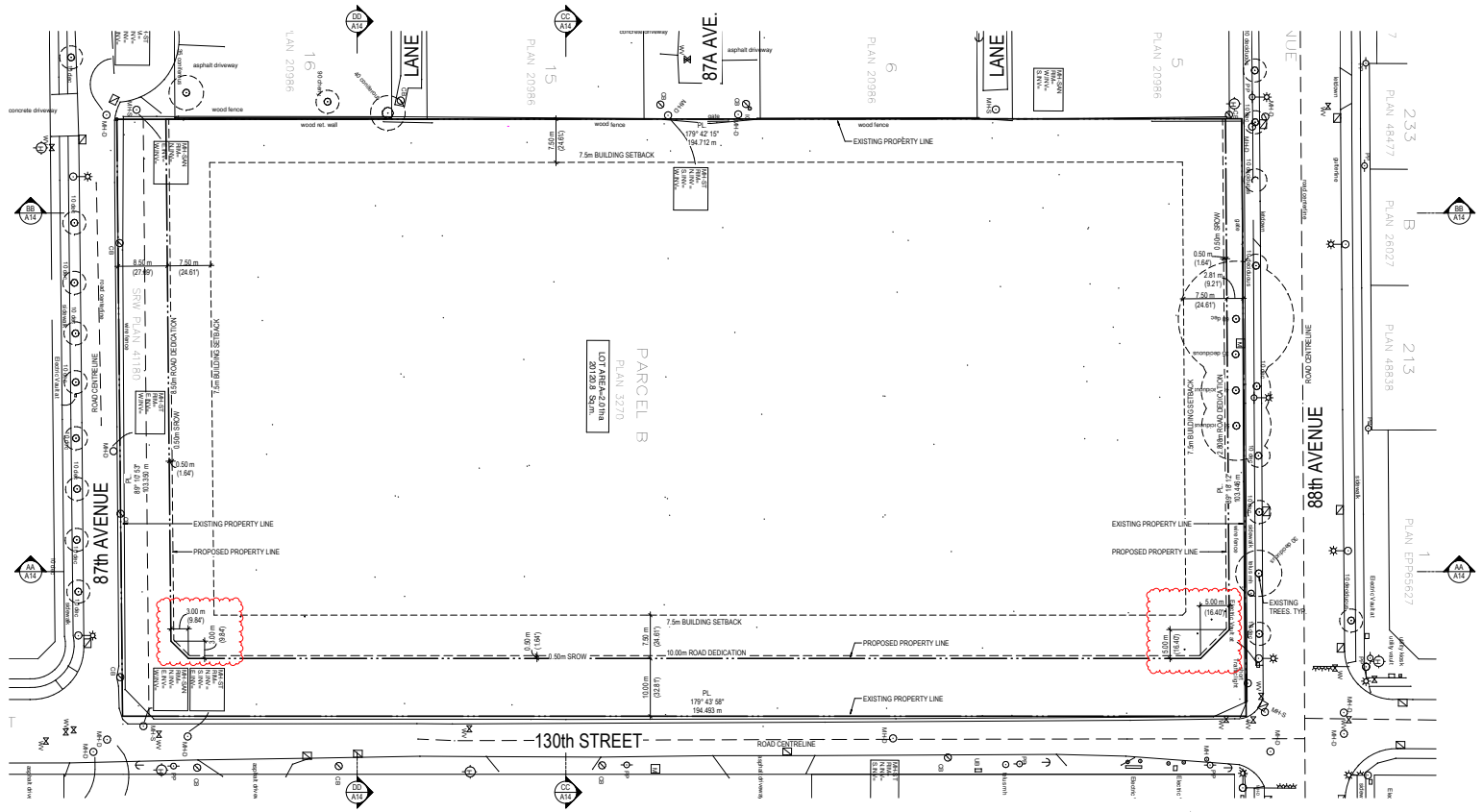
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 12974 88 AVENUE  
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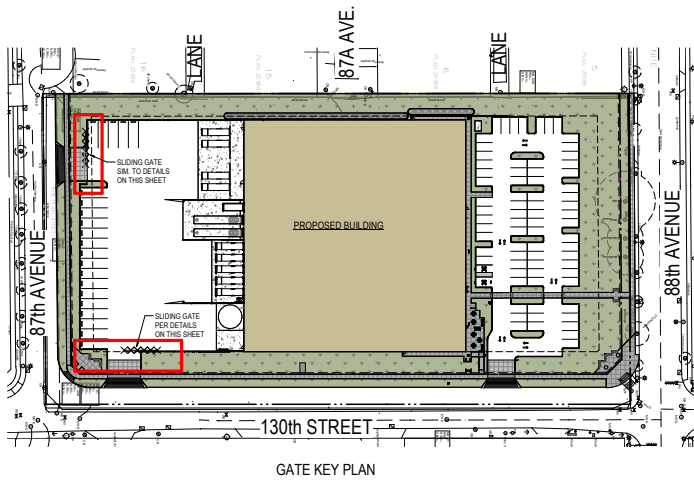
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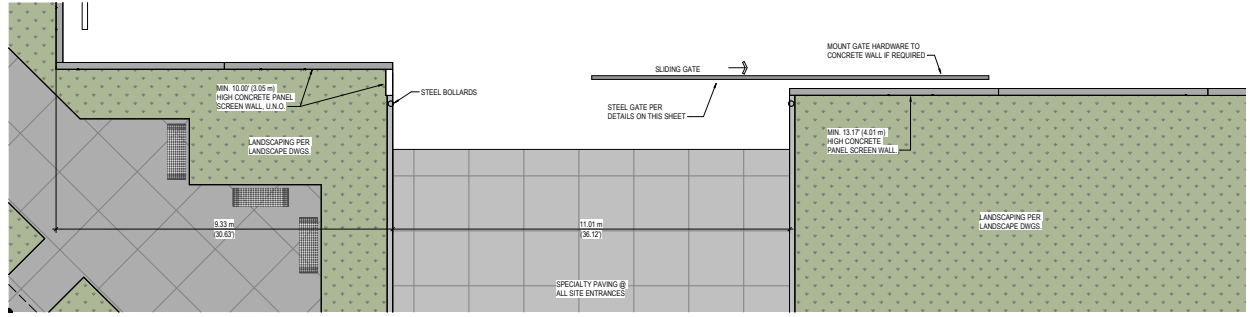


**1 SITE PLAN - BASE**  
SCALE: 1/32" = 1'-0"

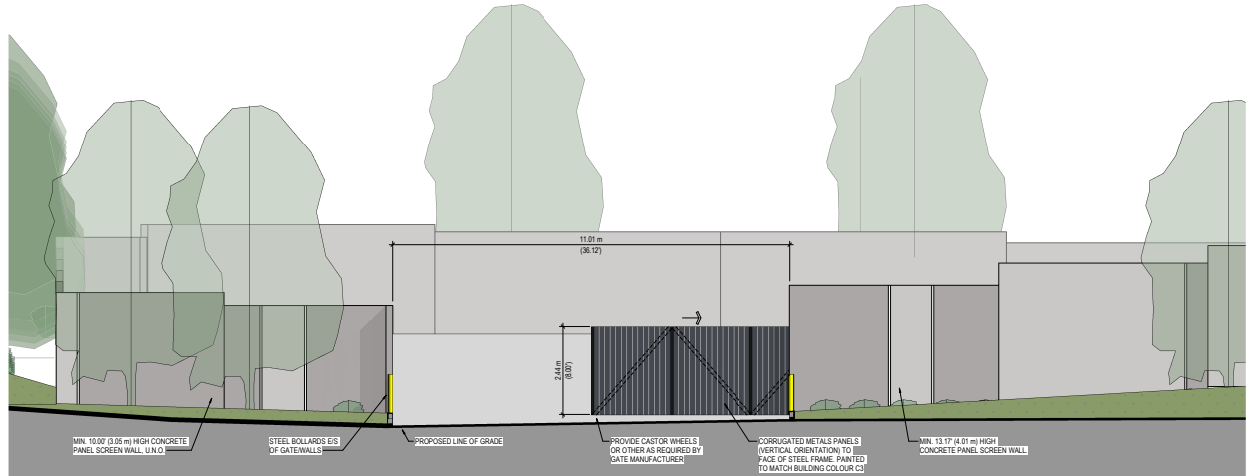




GATE KEY PLAN



1 GATE PLAN  
SCALE: 3/16" = 1'-0"



2 GATE ELEVATION  
SCALE: 3/16" = 1'-0"



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ABBOTSFORD • EDMONTON • VANCOUVER  
ABBOTSFORD OFFICE  
1885 JACET CLAPTON AVE. ABBOTSFORD, BC V3G 2R8  
TEL: 604.857.7700 FAX: 604.857.7701 WWW.KRAHN.CO

larry podhora | architecture inc  
1467 HOWBREST RD. NORTH SAANICH, BC V8L 3K1



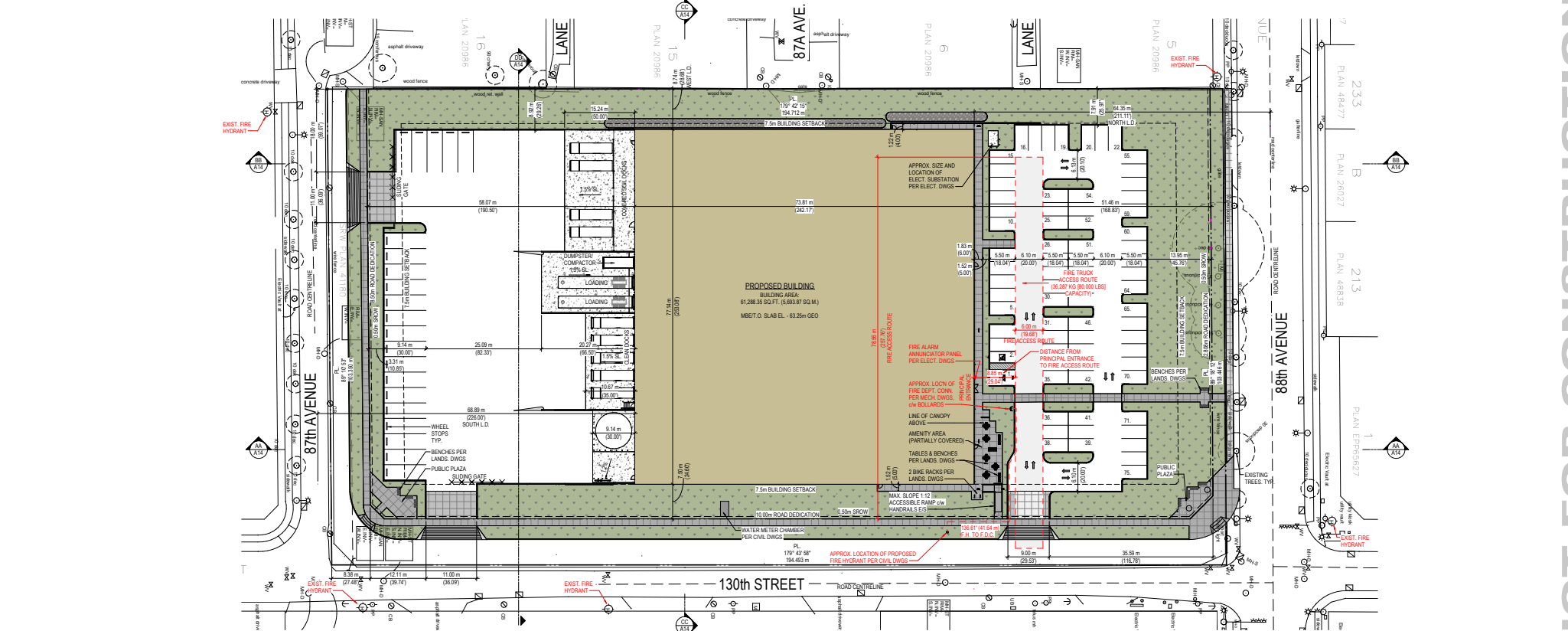
ALSCO  
12974 88 AVENUE  
SURREY, BC V3W 3K3



9 2021/12/14 RE-ISSUED FOR DEVELOPMENT PERMIT  
6 2021/11/30 RE-ISSUED FOR DEVELOPMENT PERMIT

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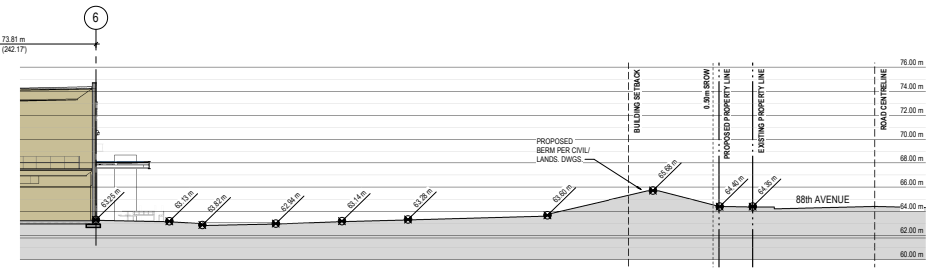
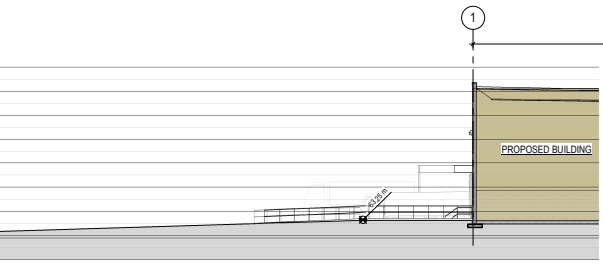
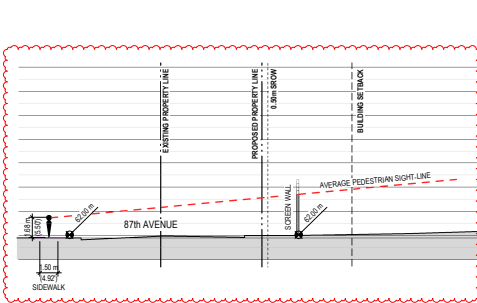
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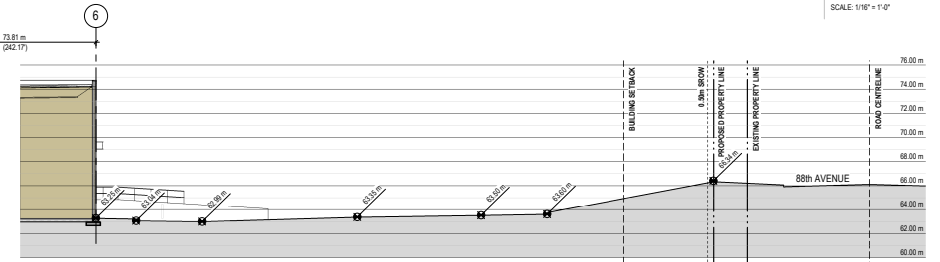
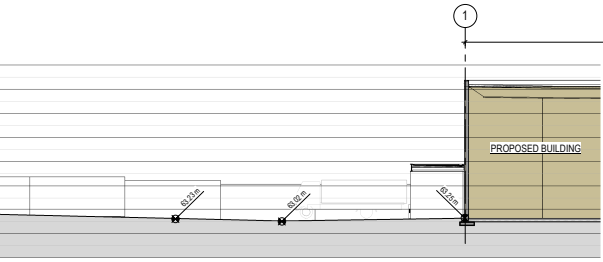
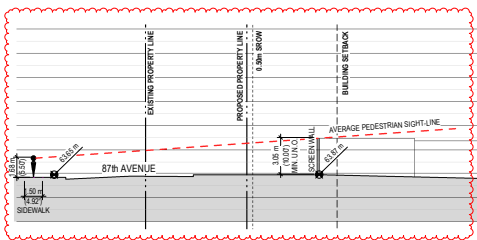
1 SITE PLAN - FIRE DEPARTMENT  
SCALE: 1/32" = 1'-0"



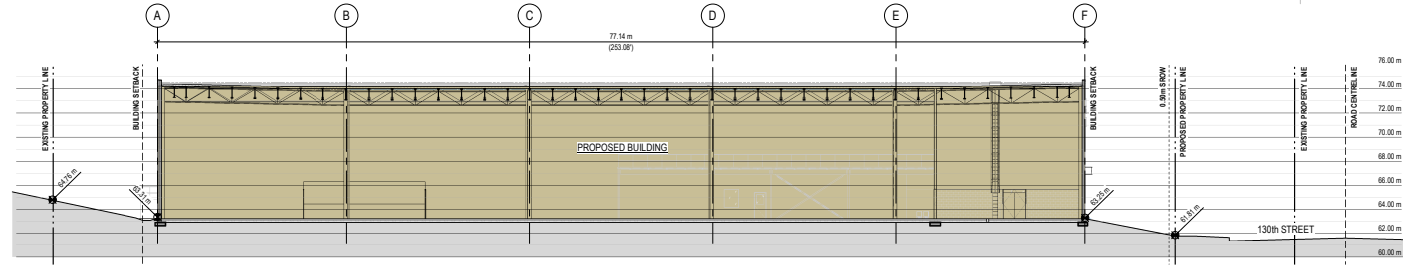
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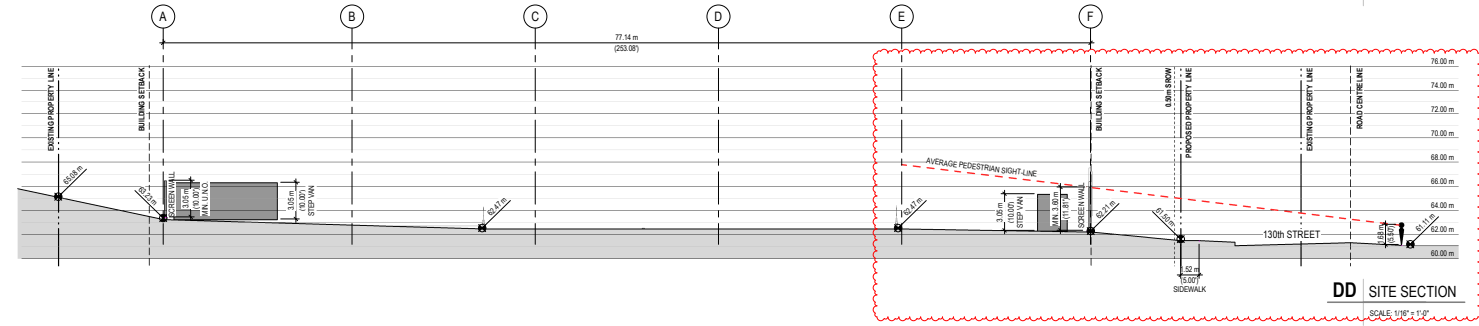
**AA SITE SECTION**  
SCALE: 1/16" = 1'-0"



**BB SITE SECTION**  
SCALE: 1/16" = 1'-0"

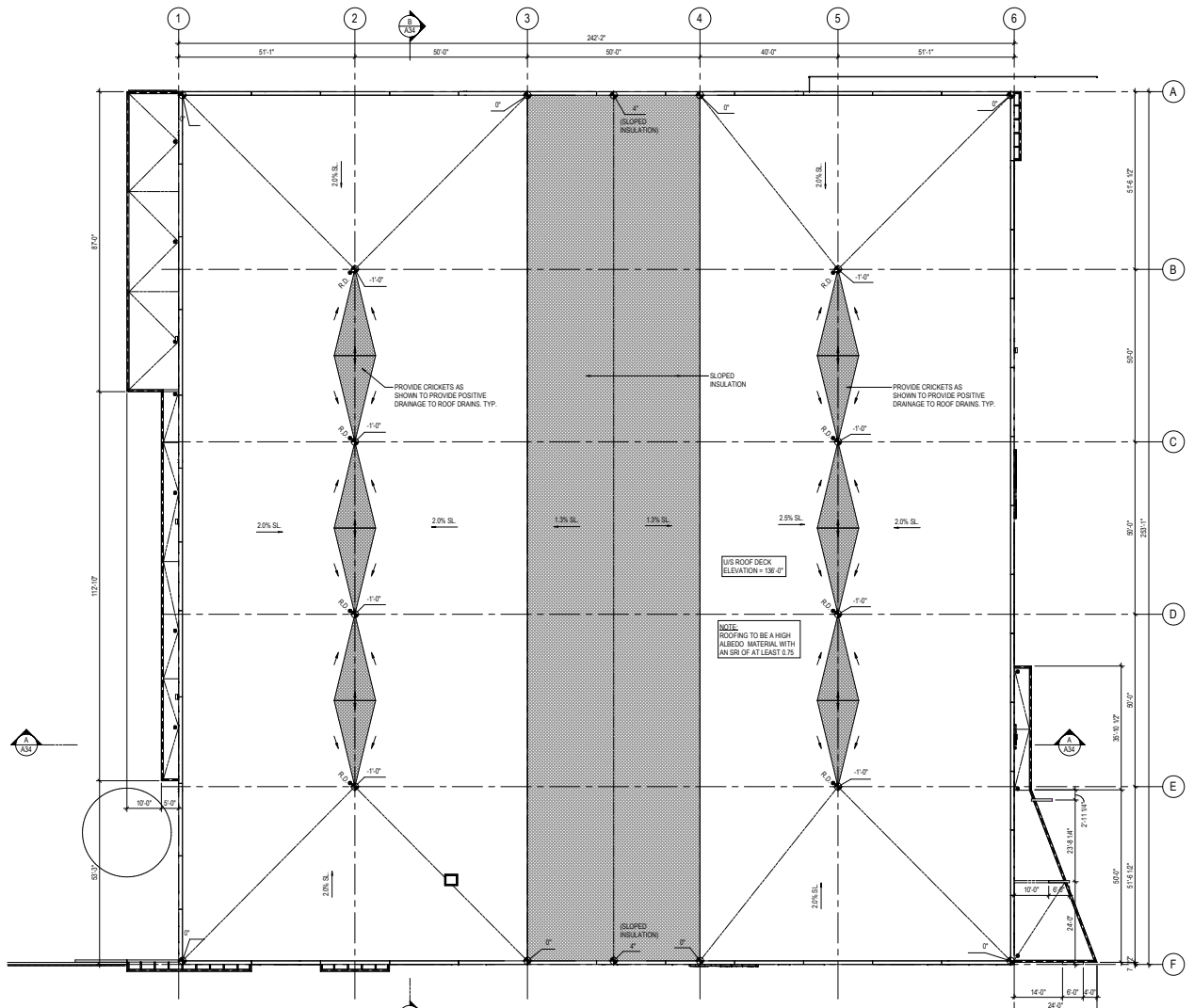


**CC SITE SECTION**  
SCALE: 1/16" = 1'-0"



**DD SITE SECTION**  
SCALE: 1/16" = 1'-0"

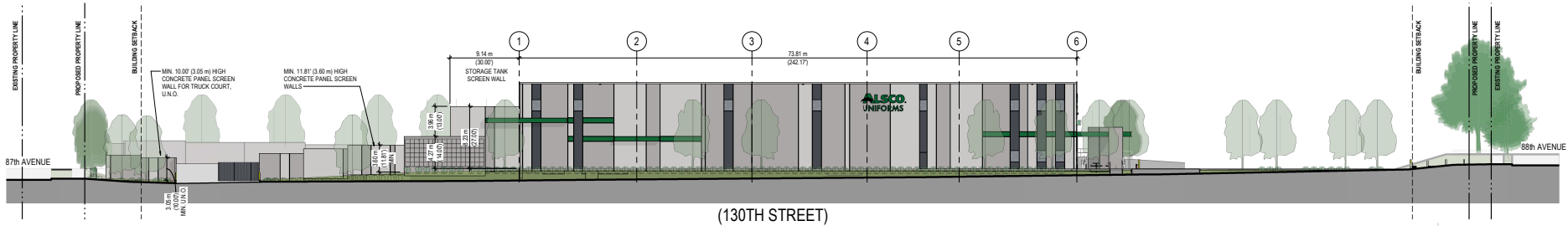




**1 ROOF PLAN**  
SCALE: 1/16" = 1'-0"







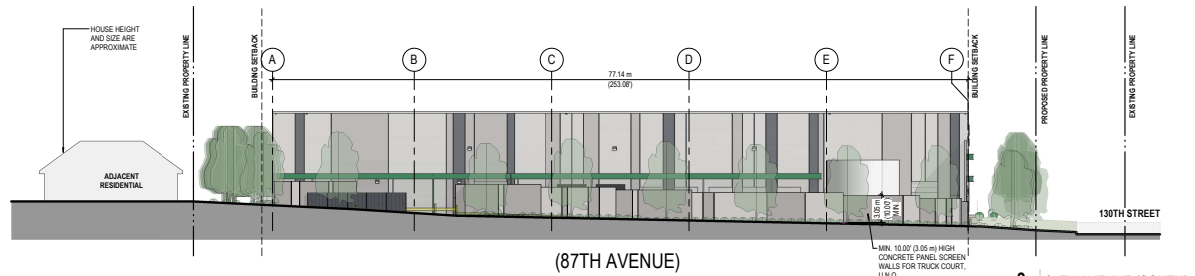
(130TH STREET)

1 130TH STREET (EAST)  
SCALE: 3/8" = 1'-0"



(88TH AVENUE)

2 88TH AVENUE (NORTH)  
SCALE: 3/8" = 1'-0"



(87TH AVENUE)

3 87TH AVENUE (SOUTH)  
SCALE: 3/8" = 1'-0"



**MATERIAL LEGEND**

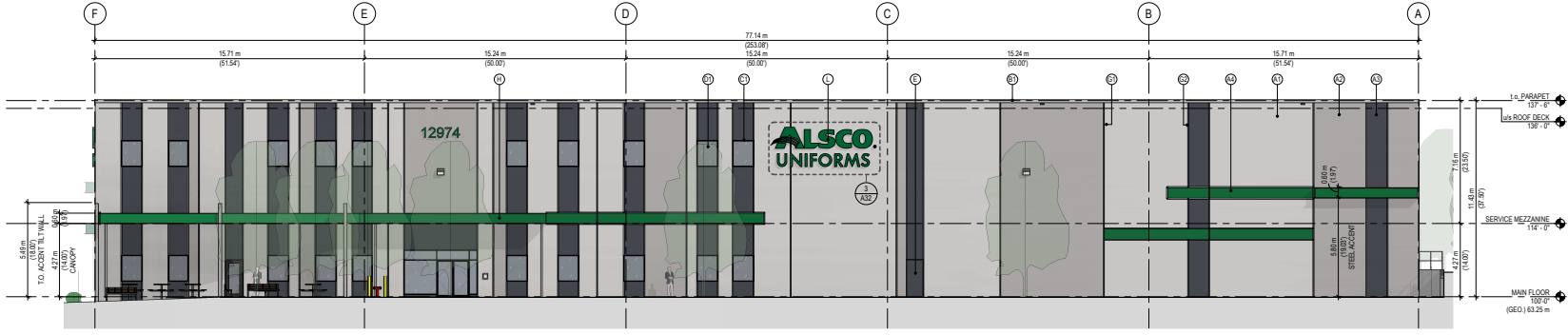
TYPE	DESCRIPTION
A1	CONCRETE TILT PANEL COLOUR: C1
A2	CONCRETE TILT PANEL COLOUR: C2
A3	CONCRETE TILT PANEL COLOUR: C3
A4	CONCRETE TILT PANEL COLOUR: C4
B1	PARAPET CAP FLASHING COLOUR: C1
C1	CURTAINWALLSTOREFRONT MULLION PRE-FINISHED ALUMINUM COLOUR: BLACK SEE GLAZING SCHEDULE
D1	CURTAINWALLSTOREFRONT GLAZING: TINTED GLASS COLOUR: GREY SEE GLAZING SCHEDULE
E	STEEL MAIN DOOR COLOUR: C3
F1	OVERHEAD ROLLING STEEL DOOR COLOUR: C2
F2	OVERHEAD ROLLING STEEL DOOR COLOUR: C1
G1	3/4" CONCRETE PANEL JOINT: SEE DETAIL 318-39 COLOUR TO MATCH ASSOCIATED PANEL
G2	3/4" CONCRETE PANEL REVEAL: SEE DETAIL 318-39 COLOUR TO MATCH ASSOCIATED PANEL
H	STEEL CANOPY: COLOUR: C4
J	BOLLARD PAINTED WITH ENAMEL PAINT COLOUR: YELLOW
K	GAUZZEWEZ STEEL OR PAINTED ALUMINUM TRELLIS
L	BUILDING SIGNAGE: BY ALSCO (SEPARATE PERMIT REQ'D FOR SIGNAGE)
N	WALL LIGHTING (SEE ELEC. DWGS)

\*\*THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.

**PROJECT COLOURS**

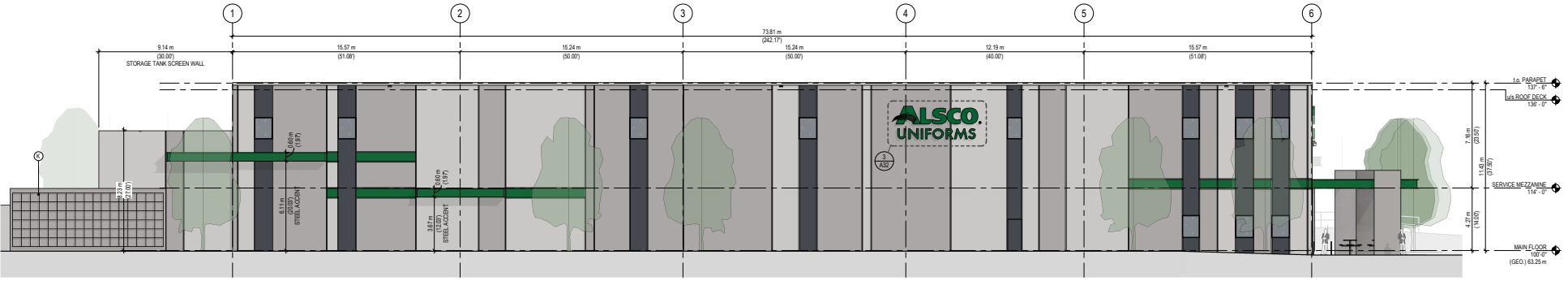
C1	BENJAMIN MOORE CEMENT GRAY (212-69)	
C2	BENJAMIN MOORE STORMY MONDAY (212-50)	
C3	BENJAMIN MOORE BABY SEAL BLACK (219-33)	
C4	BENJAMIN MOORE *SEAWEED (203-10)	

\*COLOUR TO MATCH ALSCO CORPORATE COLOUR AS CLOSE AS POSSIBLE.



(88TH AVENUE)

**1 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



(130TH STREET)

**2 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 TYP. SIGNAGE DETAIL**  
SCALE: 3/16" = 1'-0"



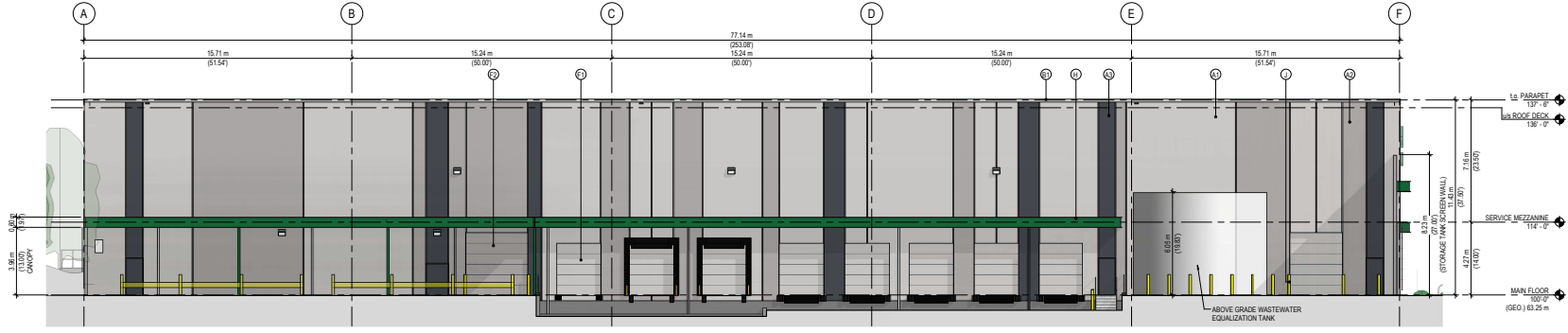
PRELIMINARY - NOT FOR CONSTRUCTION



**MATERIAL LEGEND**

TYPE	DESCRIPTION
A1	CONCRETE TILT PANEL COLOUR: C1
A2	CONCRETE TILT PANEL COLOUR: C2
A3	CONCRETE TILT PANEL COLOUR: C3
A4	CONCRETE TILT PANEL COLOUR: C4
B1	PARAPET CAP FLASHING PARAPET CAP COLOUR: C1
C1	CURTAINWALLSTOREFRONT MULLION PRE-FINISHED ALUMINUM COLOUR: BLACK SEE GLAZING SCHEDULE
D1	CURTAINWALLSTOREFRONT GLAZING: TINTED GLASS COLOUR: GREY SEE GLAZING SCHEDULE
E	STEEL MAIN DOOR COLOUR: C1
F1	OVERHEAD ROLLING STEEL DOOR COLOUR: C2
G1	3/4" CONCRETE PANEL JOINT: SEE DETAIL DWG 30 COLOUR TO MATCH ASSOCIATED PANEL
G2	3/4" CONCRETE PANEL REVEAL: SEE DETAIL DWG 30 COLOUR TO MATCH ASSOCIATED PANEL
H	STEEL CANOPY: COLOUR: C4
J	BOLLARD PAINTED WITH ENAMEL PAINT COLOUR: YELLOW
K	GAUZZED STEEL OR PAINTED ALUMINUM TRELLIS
L	BUILDING SIGNAGE: BY ALSCO (SEPARATE PERMIT REQD FOR SIGNAGE)
N	WALL LIGHTING SEE ELECT. DWGS

\*THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.

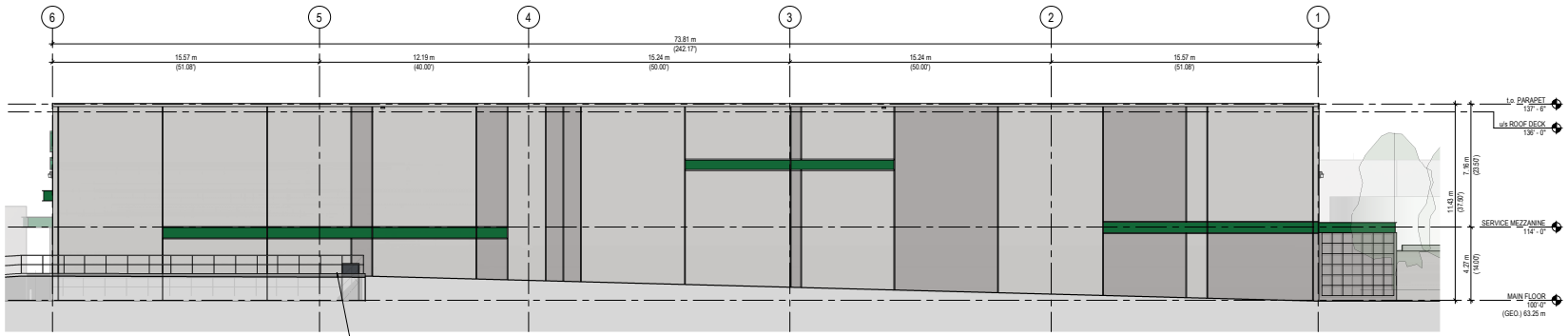


(87TH AVENUE)

**1 SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

**PROJECT COLOURS**

- C1 BENJAMIN MOORE CEMENT GRAY (212-60)
  - C2 BENJAMIN MOORE STORMY MONDAY (212-50)
  - C3 BENJAMIN MOORE BABY SEAL BLACK (219-30)
  - C4 BENJAMIN MOORE \*SEAWEED (203-10)
- \*COLOUR TO MATCH ALSCO CORPORATE COLOUR AS CLOSE AS POSSIBLE.



**2 WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

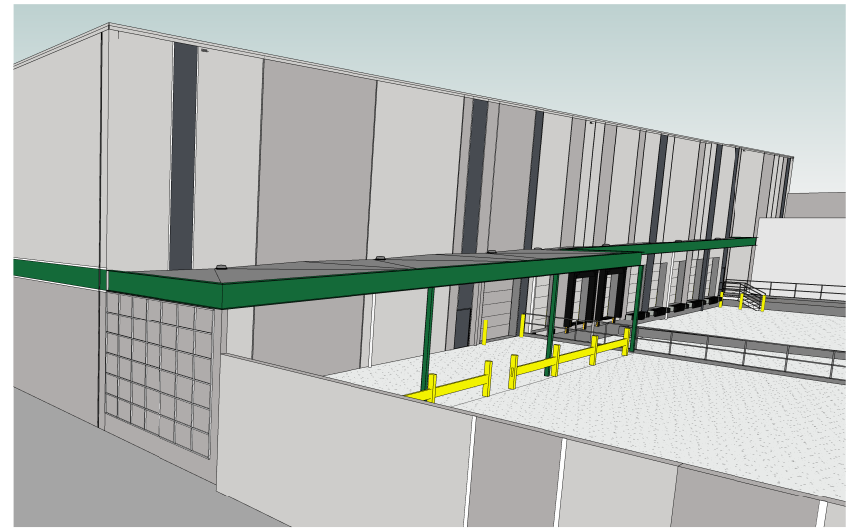


PRELIMINARY - NOT FOR CONSTRUCTION



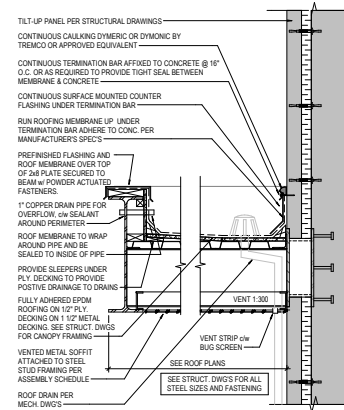
1 NORTH-EAST CANOPY

SCALE:



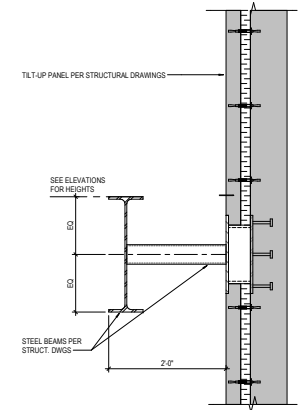
2 SOUTH-WEST CANOPY

SCALE:



3 CANOPY DETAIL

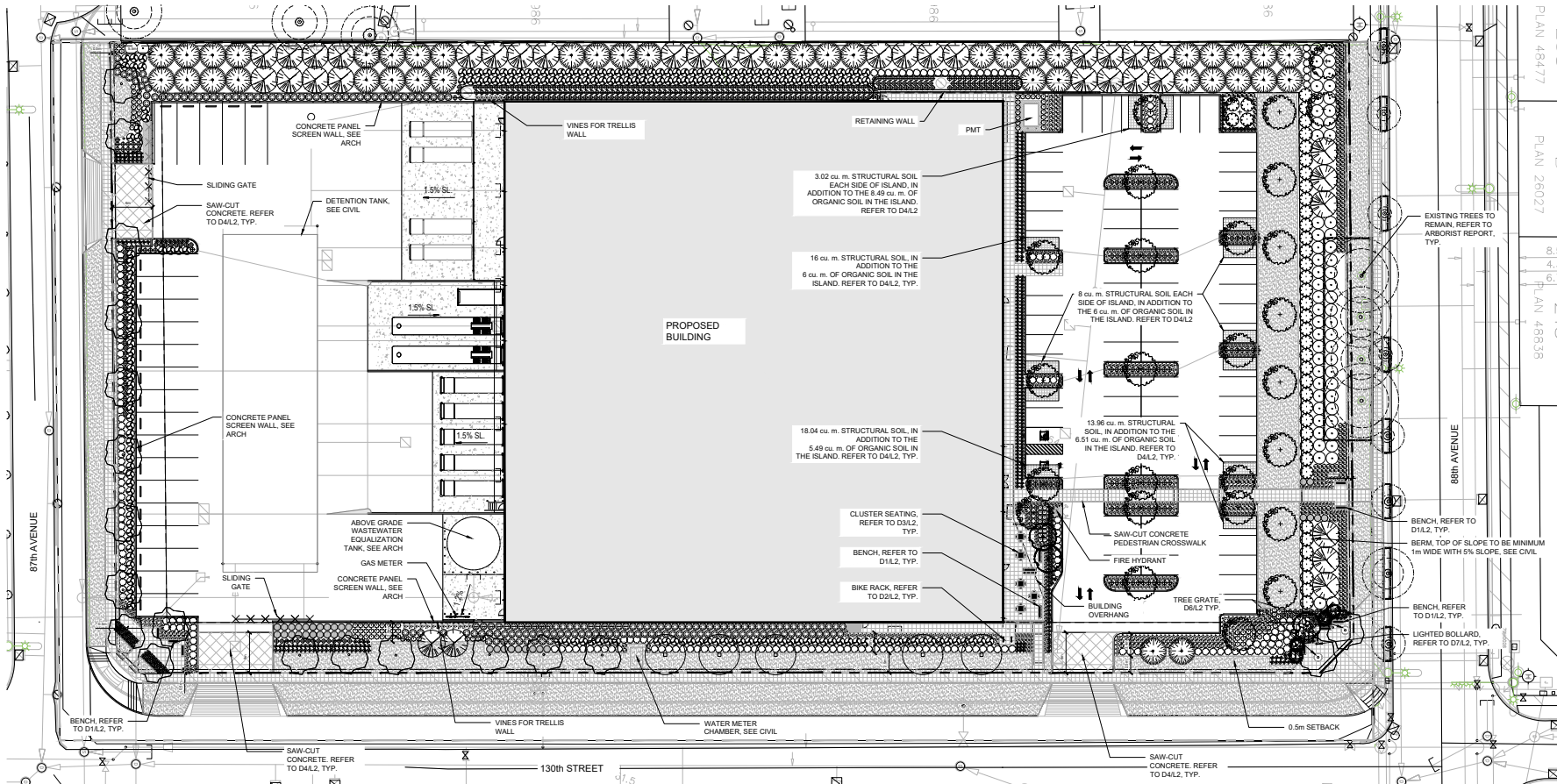
SCALE: 1" = 1'-0"



4 ACCENT DETAIL

SCALE: 1" = 1'-0"





KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	19	<i>Ginkgo biloba</i>	Maidenhair Tree	6cm Cal.	As Shown	W.B.
	5	<i>Quercus jaliscoensis</i> 'Pringreen'	Green Pillar Oak	6cm Cal.	As Shown	W.B.
	3	<i>Acer glabrum</i>	Armstrong Maple	6cm Cal.	As Shown	W.B.
	4	<i>Prunus yedoensis</i> 'Akebono'	Akebono Cherry	6cm Cal.	As Shown	W.B.
	27	<i>Zelkova serrata</i>	Japanese Zelkova	6cm Cal.	As Shown	W.B.
<b>CONIFEROUS TREES</b>						
	42	<i>Abies grandis</i>	Grand Fir	3m Ht.	As Shown	W.B.
	38	<i>Picea abies</i>	Norway Spruce	3m Ht.	As Shown	W.B.
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
	220	<i>Katina latifolia</i> 'Munaf'	Mountain Laurel	30cm Ht.	100cm	#3 Pot
	175	<i>Barroetia racifolia</i>	Fragrant Sweetbox	40 cm Ht.	100cm	#3 Pot
	59	<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Redleaf	50cm Ht.	100cm	#3 Pot
	525	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Cluster Dogwood	45cm Ht.	60cm	#3 Pot
	112	<i>Lonicera nitida</i> 'Lemon Beauty'	Lemon Beauty Box Honey-suckle	30cm Ht.	75cm	#3 Pot
	60	<i>Rhua glabra</i>	Smooth Burnac	150cm Ht.	180cm	#5 Pot
	41	<i>Physocarpus capitatus</i>	Pacific Ninebark	100cm Ht.	100cm	#5 Pot
	221	<i>Mahonia aquifolium</i>	Tall Oregon Grape	60cm Ht.	100cm	#3 Pot
	517	<i>Rudbeckia hirta</i>	Black-eyed Susan	1 Gal.		Planted
	607	<i>Hebe x exoniensis</i>	Mexican Feather Grass	1 Gal.		Planted
	341	<i>Liriodendron tulipifera</i>	Golden Liriodendron	1 Gal.		Planted
	19	<i>Clematis integrifolia</i>	Evergreen Clematis	1 Gal.		Planted

**PLANTING NOTES**

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
- SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING BEDS TO BE FINISHED WITH 15cm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARDS FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWING HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TRAINING FOR EACH SPECIES.
- PROVIDE A ONE-YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
  - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered with 40 hours of water applied by the Contractor or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
  - Maintenance and additional installation of mulch
  - Weed removal
  - Disease control

**GENERAL NOTES**

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTORS OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL PROTECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

**BIDDING NOTES:**

- SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBRES AND ROOT SYSTEM THICK AND HEAVY GROWING CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
  - 40% BLEND OF 3/4" MIXTURE OF KENTUCKY BLUEGRASS
  - 40% CREEPING RED FESCUE
  - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
- SOODED AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE
- LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE
- PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY
- DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING WEATHER PERIODS SOO FROM DRINKING AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOO IN HANDLING. DRY SOO WILL BE REJECTED. DRY SOO WILL BE REJECTED.
- LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

### MLB1055-W 1055 SERIES

**MATERIALS:** The bench frame is constructed from formed steel and the top employs 1" pin wood.

**FINISH:** All steel components are primed with 50 mil wet coating. The High Performance Polymer provides a durable finish on all metal surfaces.

**INSTALLATION:** The bench is delivered pre-assembled. It is supplied with either a surface mount or street bustle installation option.

**TO SPECIFY:** Select SCBR160 Series  
 - Base Type  
 - Street Bustle (SCBR160-02)  
 - Surface Mount (SCBR160-01)

**COMPLEMENTARY PRODUCTS:**  
 - SCBR160  
 - SCBR160  
 - SCBR160

**DIMENSIONS:**  
 Length: 72" (1829 mm)  
 Height: 21" (533 mm)  
 Seat Height: 18" (457 mm)  
 Backrest Height: 21" (533 mm)  
 Backrest Width: 16 1/2" (419 mm)

**MAGLIN**

D1 BENCH N.T.S.

### MAGLIN BIKE RACKS

### SCBR 1600 SERIES

**MATERIALS:** The Bike Rack is made from solid cast aluminum.

**FINISH:** The High Performance Polymer provides a durable finish on all metal surfaces.

**INSTALLATION:** The bike rack is delivered pre-assembled. It is supplied with either a surface mount or street bustle installation option.

**TO SPECIFY:** Select SCBR1600 Series  
 - Base Type  
 - Street Bustle (SCBR1600-02)  
 - Surface Mount (SCBR1600-01)

**COMPLEMENTARY PRODUCTS:**  
 - SCBR1600  
 - SCBR1600

**SCBR1600-02 surface finish shown.**

**DIMENSIONS:**  
 Length: 27 1/2" (701 mm)  
 Height: 28 1/2" (726 mm)  
 Width: 5 1/2" (139 mm)  
 Weight: 16.3 lbs (7.4 kg)

**MAGLIN**

D2 BIKE RACK N.T.S.

### MLPT400-S-W 400 SERIES

**MATERIALS:** The frame is cast aluminum and the top is made of steel. The High Performance Polymer provides a durable finish on all metal surfaces.

**FINISH:** The High Performance Polymer provides a durable finish on all metal surfaces. The top is made of steel with a wet coating finish.

**INSTALLATION:** The table is delivered pre-assembled. It is supplied with either a surface mount or street bustle installation option.

**TO SPECIFY:** Select MLPT400 Series  
 - Finish Color  
 - Material (Cast Aluminum)  
 - Surface Mount (MLPT400-S-01)  
 - Street Bustle (MLPT400-S-02)

**COMPLEMENTARY PRODUCTS:**  
 - MLPT400  
 - MLPT400

**DIMENSIONS:**  
 Length: 42" (1067 mm)  
 Width: 42" (1067 mm)  
 Height: 28" (711 mm)  
 Weight: 22.5 lbs (10.2 kg)

**MAGLIN**

D3 CLUSTER SEATING N.T.S.

### SAW-CUT CONCRETE SPECIFICATION

**SAW-CUT CONCRETE SPECIFICATION:**  
 - CONCRETE CLASS: C-2  
 - ENTRAINMENT: 4% AIR  
 - FINISH: BROOM FINISH PERPENDICULAR TO LENGTH OF SIDEWALK

**EXPANSION JOINT DETAIL SECTION:**  
 - JOINT TYPE: GROUTED  
 - MATERIALS: POLYURETHANE FOAM, GROUT, CONCRETE

**SAW-CUT DETAIL SECTION:**  
 - SAW DEPTH: 1/4" (6.35 mm)  
 - SAW SPACING: 4" (101.6 mm)

**NOTES:**  
 1. CONCRETE TO BE CLASS C-2 AT 28 DAYS WITH 4% AIR ENTRAINMENT.  
 2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.  
 3. EXPANSION JOINTS TO BE LOCATED AT EVERY 40' AND WHERE CONCRETE JOINTS MEET OTHER STRUCTURES OR BUILDINGS.  
 4. SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 40'.  
 5. CONCRETE TO BE SPECIFIED WITH WHITE PIGMENT CURING COMPOUND.  
 6. ALL DIMENSIONS ARE IN MILLIMETRES.

D4 SAW-CUT CONCRETE N.T.S.

### STRUCTURAL SOIL

**CONCRETE CURBS REFER TO:**  
 - CIVIL DRAWINGS  
 - SUPPLY AND SUBSISTENCE SPECIFICATIONS  
 - STRUCTURAL SOIL PROPORTIONS BY HEIGHT

**CHARACTERISTICS:**  
 - COMPACTED 100% CLAY  
 - CLAY CLASS: HYDROLOGICAL CLASSIFICATION SYSTEM

**INSTALLATION REQUIREMENTS:**  
 - TREE MATERIALS AT MINIMUM 10% ORGANIC MATTER PLUS 2% NITROGEN AND 0.5% PHOSPHORUS  
 - INSTALL AND COMPACT TO 98% OF MAXIMUM DRY WEIGHT  
 - HIGHLY ANGLICULAR NOTICES

**CLASSIFICATION SYSTEM:**  
 - ORGANIC, CLAY, SAND, SILT, GRAIN, CLAY 25-40%

**DETAILS:**  
 - 2" (50 mm) ROUND PRESSURE TREATED STAKES SET VERTICALLY & FINELY INTO UNDISTURBED SUBSTRATE  
 - ALIGN STAKES PARALLEL WITH ADJACENT SIDEWALKS & PAVEMENT EDGES & WITH PREVAILING WINDS IN OPEN SPACES  
 - STAKES NOT TO DAMAGE OR PENETRATE FOOTBALL

**3" (75 mm) WIDE WOVEN NYLON BANDING IN FIGURE & PATTERN ATTACHED TO WOOD STAKES BY BRONZE NAIL OR HEAVY DUTY STAPLE OR APPROVED EQUAL.**

**TREE GUARD - TO BE ADJUSTED AS NECESSARY**

**75 mm DEPTH OF BARK MULCH TAPER AT TOP OF FOOTBALL SO TREE BASE EXPOSED**

**100 mm HIGH TEMPORARY WATER RING / SOIL BASIN AROUND TREE PIT**

**CUT OFF & REMOVE ALL STRAPS, TWINE, WIRE BASKETS, ETC. LOOSEN & FOLD BACK BURLAP TO BOTTOM OF PLANTING HOLE**

**PREPARED PLANTING MEDIUM - FIRMLY PACKED**

**100 mm COMPACTED SOIL MOUND 50/50 MIX SUPPLIED MEDIUM & EXISTING SOIL.**

**ROOTBALL PLUS 50 mm**

D5 STRUCTURAL SOIL N.T.S.

### TREE GRATE

**CONCRETE CURBS REFER TO:**  
 - CIVIL DRAWINGS  
 - SUPPLY AND SUBSISTENCE SPECIFICATIONS  
 - STRUCTURAL SOIL PROPORTIONS BY HEIGHT

**CHARACTERISTICS:**  
 - COMPACTED 100% CLAY  
 - CLAY CLASS: HYDROLOGICAL CLASSIFICATION SYSTEM

**INSTALLATION REQUIREMENTS:**  
 - TREE MATERIALS AT MINIMUM 10% ORGANIC MATTER PLUS 2% NITROGEN AND 0.5% PHOSPHORUS  
 - INSTALL AND COMPACT TO 98% OF MAXIMUM DRY WEIGHT  
 - HIGHLY ANGLICULAR NOTICES

**CLASSIFICATION SYSTEM:**  
 - ORGANIC, CLAY, SAND, SILT, GRAIN, CLAY 25-40%

**DETAILS:**  
 - 2" (50 mm) ROUND PRESSURE TREATED STAKES SET VERTICALLY & FINELY INTO UNDISTURBED SUBSTRATE  
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**3" (75 mm) WIDE WOVEN NYLON BANDING IN FIGURE & PATTERN ATTACHED TO WOOD STAKES BY BRONZE NAIL OR HEAVY DUTY STAPLE OR APPROVED EQUAL.**

**TREE GUARD - TO BE ADJUSTED AS NECESSARY**

**75 mm DEPTH OF BARK MULCH TAPER AT TOP OF FOOTBALL SO TREE BASE EXPOSED**

**100 mm HIGH TEMPORARY WATER RING / SOIL BASIN AROUND TREE PIT**

**CUT OFF & REMOVE ALL STRAPS, TWINE, WIRE BASKETS, ETC. LOOSEN & FOLD BACK BURLAP TO BOTTOM OF PLANTING HOLE**

**PREPARED PLANTING MEDIUM - FIRMLY PACKED**

**100 mm COMPACTED SOIL MOUND 50/50 MIX SUPPLIED MEDIUM & EXISTING SOIL.**

**ROOTBALL PLUS 50 mm**

D6 TREE GRATE N.T.S.

### LIGHTED BOLLARD

**1-800 BOLLARDS**  
 The Bollard Experts

**DETAILS:**  
 - 4" (101.6 mm) DIA. ALUMINUM BOLLARD  
 - 12" (304.8 mm) HIGH  
 - 1" (25.4 mm) DIA. LED LIGHTS

**INSTALLATION:**  
 - 4" (101.6 mm) DIA. ALUMINUM BOLLARD  
 - 12" (304.8 mm) HIGH  
 - 1" (25.4 mm) DIA. LED LIGHTS

**NOTES:**  
 1. BOLLARDS TO BE COMPACTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS  
 2. BOLLARDS TO BE COMPACTED TO 98% OF MAXIMUM DRY WEIGHT  
 3. BOLLARDS TO BE COMPACTED TO 98% OF MAXIMUM DRY WEIGHT  
 4. BOLLARDS TO BE COMPACTED TO 98% OF MAXIMUM DRY WEIGHT

**1-800 BOLLARDS**  
 THE BOLLARD EXPERTS  
 1-800-800-8000  
 WWW.1800BOLLARDS.COM

D7 LIGHTED BOLLARD N.T.S.

### DECIDUOUS TREE

**DETAILS:**  
 - SINGLE STRAIGHT LEADER REQUIRED - DO NOT CUT  
 - PRUNE ANY DAMAGED OR DEAD BRANCHES  
 - DO NOT REMOVE LEADERS

**2" (50 mm) ROUND PRESSURE TREATED STAKES SET VERTICALLY & FINELY INTO UNDISTURBED SUBSTRATE  
 ALIGN STAKES PARALLEL WITH ADJACENT SIDEWALKS & PAVEMENT EDGES & WITH PREVAILING WINDS IN OPEN SPACES  
 STAKES NOT TO DAMAGE OR PENETRATE FOOTBALL**

**3" (75 mm) WIDE WOVEN NYLON BANDING IN FIGURE & PATTERN ATTACHED TO WOOD STAKES BY BRONZE NAIL OR HEAVY DUTY STAPLE OR APPROVED EQUAL.**

**TREE GUARD - TO BE ADJUSTED AS NECESSARY**

**75 mm DEPTH OF BARK MULCH TAPER AT TOP OF FOOTBALL SO TREE BASE EXPOSED**

**100 mm HIGH TEMPORARY WATER RING / SOIL BASIN AROUND TREE PIT**

**CUT OFF & REMOVE ALL STRAPS, TWINE, WIRE BASKETS, ETC. LOOSEN & FOLD BACK BURLAP TO BOTTOM OF PLANTING HOLE**

**PREPARED PLANTING MEDIUM - FIRMLY PACKED**

**100 mm COMPACTED SOIL MOUND 50/50 MIX SUPPLIED MEDIUM & EXISTING SOIL.**

**ROOTBALL PLUS 50 mm**

DECIDUOUS TREE N.T.S.

### CONIFEROUS TREE

**DETAILS:**  
 - SINGLE STRAIGHT LEADER REQUIRED - DO NOT CUT  
 - PRUNE ANY DAMAGED OR DEAD BRANCHES  
 - DO NOT REMOVE LEADERS

**2" (50 mm) ROUND PRESSURE TREATED STAKES SET VERTICALLY & FINELY INTO UNDISTURBED SUBSTRATE  
 ALIGN STAKES PARALLEL WITH ADJACENT SIDEWALKS & PAVEMENT EDGES & WITH PREVAILING WINDS IN OPEN SPACES  
 STAKES NOT TO DAMAGE OR PENETRATE FOOTBALL**

**3" (75 mm) WIDE WOVEN NYLON BANDING IN FIGURE & PATTERN ATTACHED TO WOOD STAKES BY BRONZE NAIL OR HEAVY DUTY STAPLE OR APPROVED EQUAL.**

**TREE GUARD - TO BE ADJUSTED AS NECESSARY**

**75 mm DEPTH OF BARK MULCH TAPER AT TOP OF FOOTBALL SO TREE BASE EXPOSED**

**100 mm HIGH TEMPORARY WATER RING / SOIL BASIN AROUND TREE PIT**

**CUT OFF & REMOVE ALL STRAPS, TWINE, WIRE BASKETS, ETC. LOOSEN & FOLD BACK BURLAP TO BOTTOM OF PLANTING HOLE**

**PREPARED PLANTING MEDIUM - FIRMLY PACKED**

**100 mm COMPACTED SOIL MOUND 50/50 MIX SUPPLIED MEDIUM & EXISTING SOIL.**

**ROOTBALL PLUS 50 mm**

CONIFEROUS TREE N.T.S.

### SHRUB AND PERENNIAL PLANTING DETAIL

**DETAILS:**  
 - CUT OFF & REMOVE ALL STRAPS, TWINE, WIRE BASKETS, ETC.

**75-100 mm HIGH TEMPORARY WATER RING / SOIL BASIN AROUND SHRUB**

**75 mm DEPTH OF BARK MULCH TAPER AT TOP OF FOOTBALL AT BASE OF SHRUB**

**SCARPY SIDES OF PLANTING HOLE**

**PREPARED PLANTING MEDIUM - FIRMLY PACKED**

**100 mm COMPACTED SOIL MOUND 50/50 MIX SUPPLIED MEDIUM & EXISTING SOIL.**

**SOIL DEPTH 450 mm MINIMUM IN ALL SHRUB PLANTING BEDS.**

SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.

**Krahn GROUP OF COMPANIES**

ABBOTSFORD OFFICE  
 400-4387 CLAYTON AVE. ABBOTSFORD, BC V3S 2E9  
 T: 604.883.8531 F: 604.883.1589 www.krahn.com

VANCOUVER OFFICE  
 290-1515 KOOTENAY ST. VANCOUVER, BC V6K 4Y3  
 T: 604.204.6662 F: 604.204.6663 www.krahn.com

**KD Planning & DESIGN LTD**

NO.	DATE	BY	DESCRIPTION
4	01/10/21		RE-ISSUED FOR DP
3	13/10/21		ISSUED FOR 50% REVIEW
2	09/10/21		RE-ISSUED FOR DP
1	14/05/21		ISSUED FOR DP

NO. DATE: (YYYY) / (MM) / (DD)

ISSUES & REVISIONS:

SCALE:



**PROJECT NAME:**  
 ALSO

**PROJECT ADDRESS:**  
 12974 88 AVE. SURREY, BC

**DRAWING TITLE:**  
 DETAIL & NOTES

**SCALE:** AS NOTED

**DRAWN:** RM

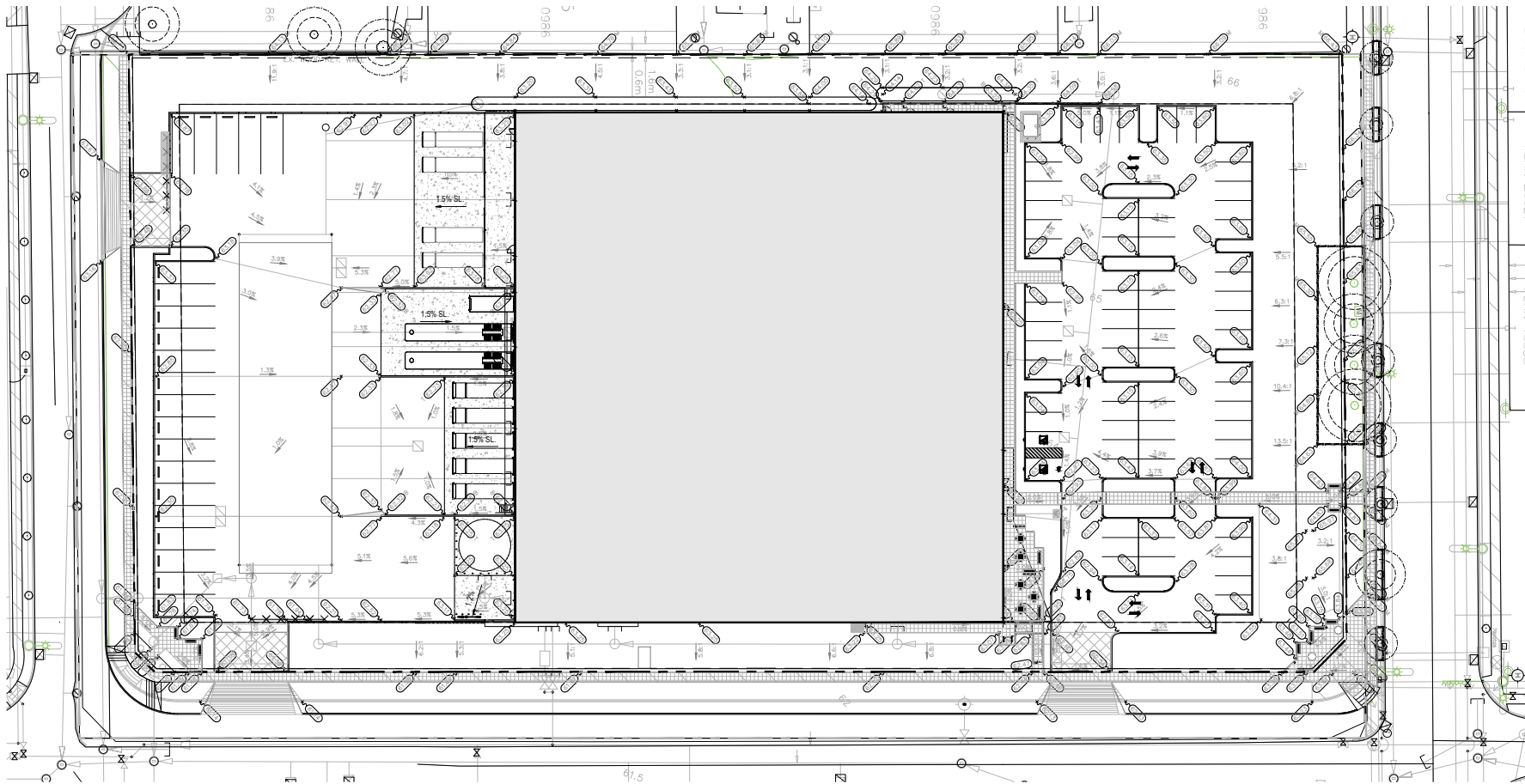
**CHECKED:** JT

**PROJECT NO.:** 2102414

**DRAWING NO.:** L2

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- LEGEND**
- TURF GRASS
  - CONCRETE SIDEWALK PAVING
  - STAMPED CONCRETE WALKWAY
  - CRUSHED GRANULAR PATH
  - BENCH

NO.	DATE (YYYY)	DESCRIPTION
4	01/12/21	RE-ISSUED FOR DP
3	13/10/21	ISSUED FOR 50% REVIEW
2	01/05/21	RE-ISSUED FOR DP
1	14/05/21	ISSUED FOR DP

ISSUES & REVISIONS:



PROJECT NAME:  
**ALSCO**

PROJECT ADDRESS:  
**12974 88 AVE. SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE GRADING PLAN**

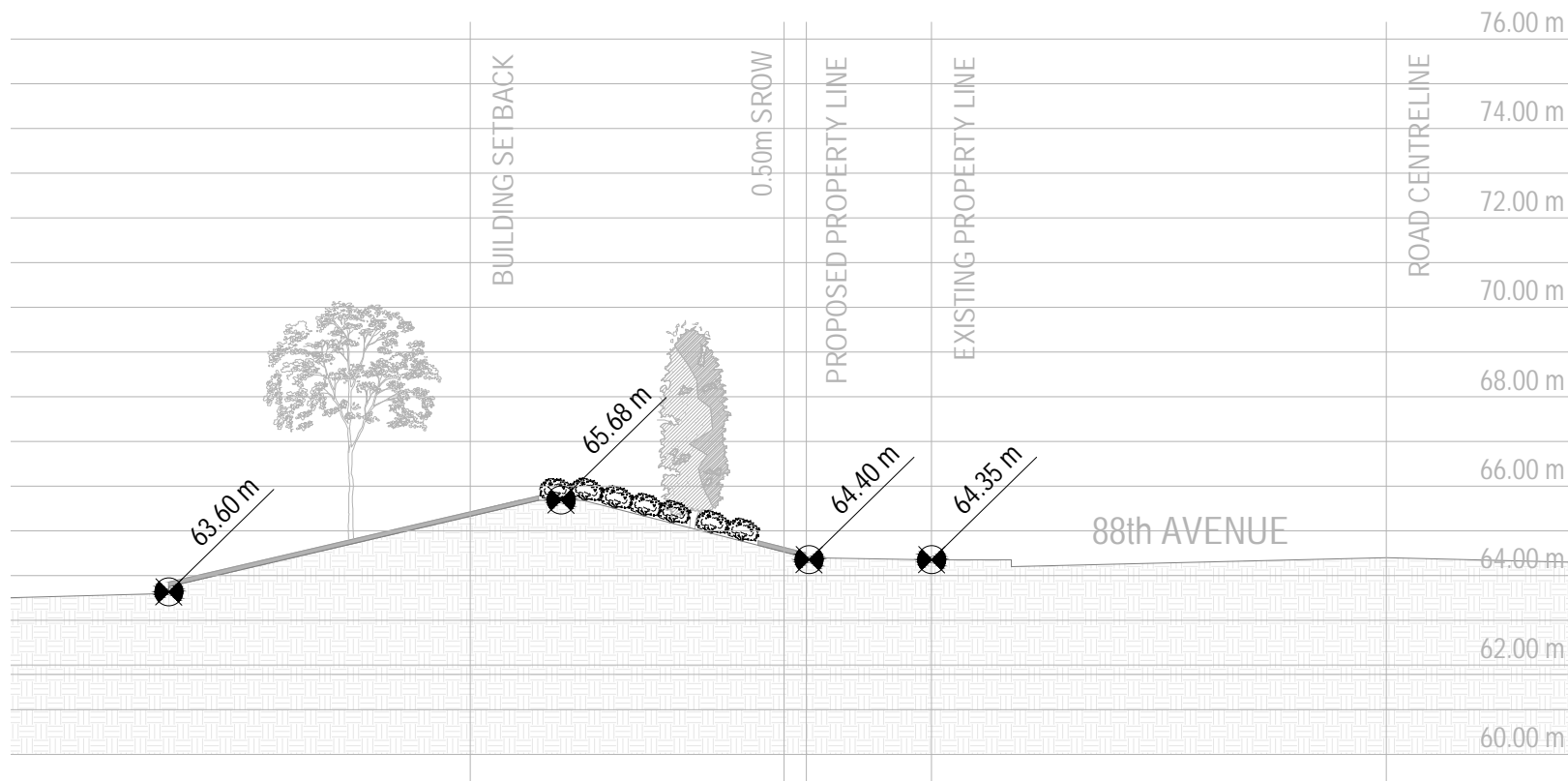
SCALE: 1:300

DRAWN: RM

CHECKED: JT

PROJECT NO: 2102414

DRAWING NO: **L3**



4	01/1/2021	RE-ISSUED FOR DP
3	13/1/2021	ISSUED FOR 50% REVIEW
2	07/1/2021	RE-ISSUED FOR DP
1	14/05/21	ISSUED FOR DP
NO. DATE: (WHY) (DESCRIPTION)		
ISSUES & REVISIONS:		

SEAL:



PROJECT NAME:

ALSCO

PROJECT ADDRESS:

12974 88 AVE. SURREY, BC

DRAWING TITLE:

SECTION

SCALE: AS NOTED

DRAWN: RM

CHECKED: JT

PROJECT NO: 2102414

DRAWING NO:

L4

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S1 BERM SECTION

N.T.S.

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TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **December 14, 2021** PROJECT FILE: **7821-0143-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 12974 88 Avenue**

### DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of issuance of the Development Permit:

#### ***Property and Right-of-Way Requirements***

- Dedicate 2.808 m along 88 Avenue.
- Dedicate 8.5 m along 87 Avenue.
- Dedicate 10.0 m along 130 Street.
- Dedicate 5.0 m x 5.0 m corner cuts at 88 Avenue and 130 Street intersection.
- Dedicate 3.0 m x 3.0 m corner cut at 87 Avenue and 130 Street intersection.
- Register 0.5 m Statutory Right-of-Way (SRW) along 88 Avenue, 87 Avenue, and 130 Street.
- Register drainage and sanitary SRWs along west of the property to City Standards.
- Register SRW for access to onsite sanitary storage tank.

#### ***Works and Services***

- Construct north side of 87 Avenue.
- Construct west side of 130 Street and modify existing signal at 88 Avenue and 130 Street intersection as required.
- Grade property line along 88 Avenue to +/-300 mm of road centerline elevation.
- Construct water main along 88 Avenue.
- Construct sanitary main along 130 Street.
- Register a Restrictive Covenant (RC) on title for onsite stormwater mitigation features.
- Register an RC on title for water quality/sediment control chamber installation and maintenance.
- Register an RC on title for sanitary storage tank.

A Servicing Agreement is required prior to issuance of Development Permit.



Jeff Pang, P.Eng.  
Acting Development Services Manager

AY

## Tree Preservation Summary

**Surrey Project No:**

**Address:** 12974 88 Ave, Surrey, BC

**Registered Arborist:** Reed Moss, #PN-8960A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	12
<b>Protected Trees to be Removed</b>	0
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	12
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio <u>0</u> X two (2) = 0	<b>0</b>
<b>Replacement Trees Proposed</b>	128
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	0

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio <u>0</u> X two (2) = 0	<b>0</b>
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by:

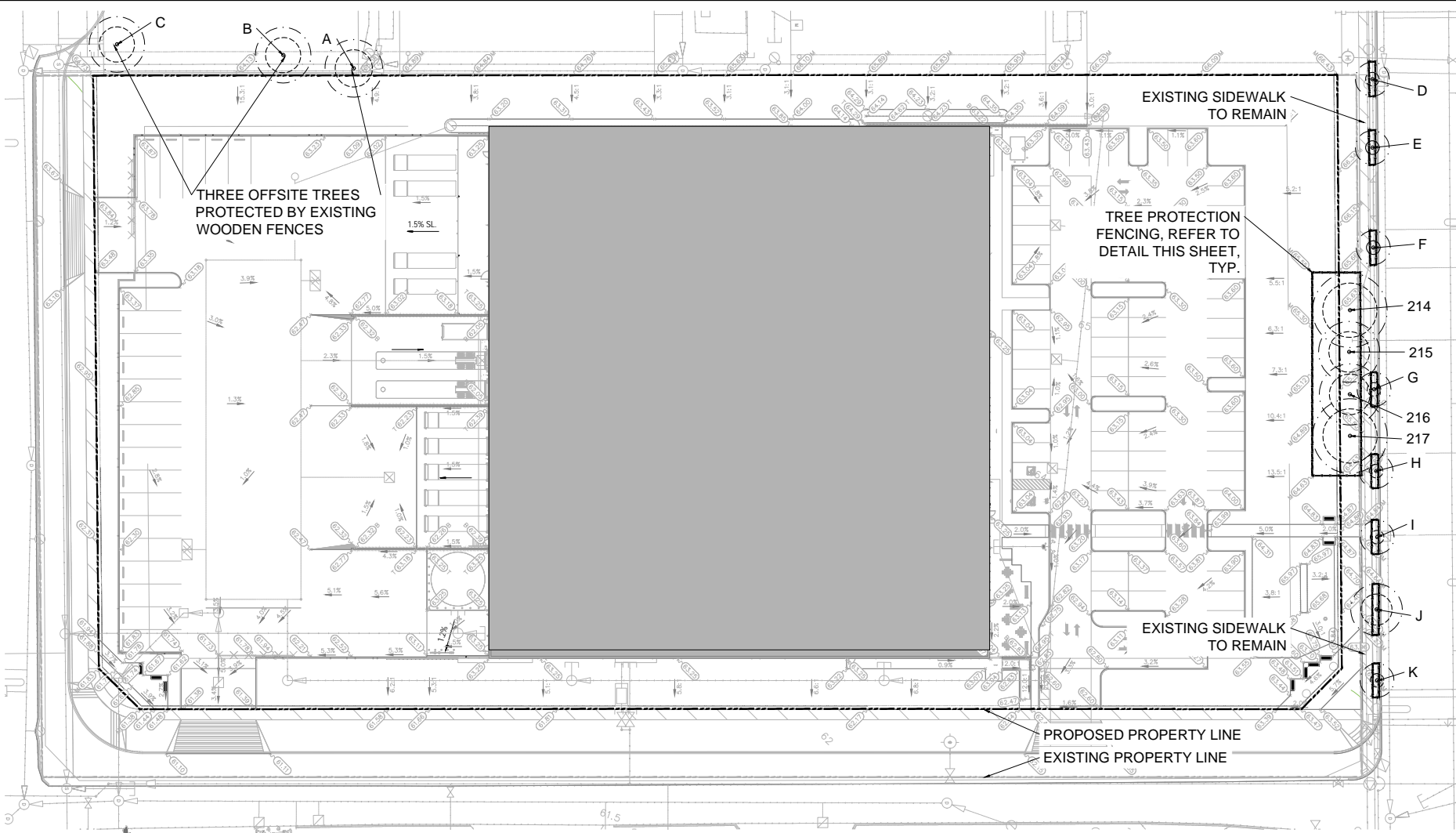


(Signature of Arborist)

December 1, 2021

Date





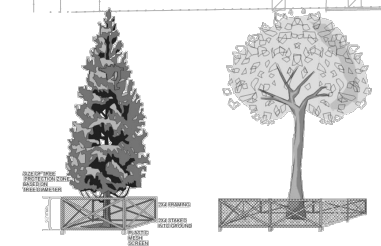
**LEGEND**

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- TREE PROTECTION FENCING
- TREE TAG NO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE, 1.5m OFFSET FROM CRITICAL ROOT ZONE

3	01/12/2021	ISSUED FOR PERMIT
2	14/10/2021	ISSUED FOR PERMIT
1	14/05/2021	ISSUED FOR PERMIT

NO. DATE: (MM/DD) DESCRIPTION:  
ISSUES & REVISIONS:

SEAL:  
Assessment Done June 26, 2020  
By Reed Moss I.S.A. #PN-8960A



Signage to be posted on each tree protection barrier (weather-proof, 11x17" minimum size)

**NO ENTRY**  
**TREE PROTECTION ZONE**  
No grade change, storage of material or equipment is permitted within this fenced area.  
Tree protection barrier must remain in place for the duration of construction.

For information call Trees & Landscape Section  
(604) 681-4675

**TABLE 1. TREE INVENTORY**

\*The tree health and structural condition ratings are as follows and are based on factors that could include one or a combination of:  
**Poor Condition** - Severe Canopy dieback, significant lean, decayed, missing leader, significant disease or parasitic plant presence  
**Fair Condition** - Moderate Canopy dieback and/or lean, limb diebacks, multiple stems, moderate foliage damage from stress, moderate damage from disease or parasite.  
**Good condition** - Healthy/vigorous growth, no or minor visible defects or damage

TAG/TREE #	BOTANICAL NAME	COMMON NAME	DBH (cm)	CANOPY RAD. (m)	CRZ (m)	TPZ (m)	CONDITION	COMMENTS	LOCATION	RECOMMENDATION
A	Thuja plicata	Western Red Cedar	35	3	2.275	3.775	Good		Off Site	Retain and protect
B	Prunus sp.	Cherry Species	40	3	2.6	4.1	Good		Off Site	Retain and protect
C	Pseudotsuga menziesii	Douglas Fir	40	3	2.6	4.1	Good		Off Site	Retain and protect
D	Amelanchier sp.	Service Berry Species	15	2	0.975	2.475	Good		Boulevard	Retain and protect
E	Amelanchier sp.	Service Berry Species	15	2	0.975	2.475	Good - Fair	Corrected lean, trunk wounds	Boulevard	Retain and protect
F	Magnolia sp.	Magnolia Species	9	1	0.585	2.085	Fair - Poor	Shaded dieback, exfoliating bark, trunk wounds	Boulevard	Retain and protect
G	Amelanchier sp.	Service Berry Species	10	2	0.65	2.15	Good - Fair	Shaded dieback	Boulevard	Retain and protect
H	Amelanchier sp.	Service Berry Species	10	2	0.65	2.15	Good		Boulevard	Retain and protect
I	Amelanchier sp.	Service Berry Species	10	2	0.65	2.15	Good		Boulevard	Retain and protect
J	Cercidiphyllum japonicum	Katsura	35	3	2.275	3.775	Good - Fair		Boulevard	Retain and protect
K	Magnolia sp.	Magnolia Species	15	3	0.975	2.475	Good	Pruned for hydro wires	Boulevard	Retain and protect
214	Quercus macrocarpa	Bur Oak	60	5	3.9	5.4	Good - Fair	Heavily pruned for hydro wires	On Site	Retain and protect
215	Quercus macrocarpa	Bur Oak	40	4	2.6	4.1	Good - Fair	Heavily pruned for hydro wires	On Site	Retain and protect
216	Quercus macrocarpa	Bur Oak	45	5	2.925	4.425	Good - Fair	Heavily pruned for hydro wires	On Site	Retain and protect
217	Quercus macrocarpa	Bur Oak	60	6	3.9	5.4	Good - Fair	Heavily pruned for hydro wires	On Site	Retain and protect

**SUMMARY: SURREY**  
15 SIGNIFICANT TREES ASSESSED  
15 TREES PROPOSED FOR RETENTION

PROJECT NAME:  
**12974 88 AVE. DEVELOPMENT**

PROJECT ADDRESS:  
**12974 88 AVE. SURREY, BC**

DRAWING TITLE:  
**TREE MANAGEMENT PLAN, INVENTORY AND NOTES**

SCALE: 1:400 AT ARCH C SIZE

DRAWN: RM

CHECKED: ST

PROJECT NO.: 180948-L

DRAWING NO.: **T1**

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