

**ADDITIONAL PLANNING COMMENTS REPORT**

Application No.: 7921-0160-00  
7921-0161-00

Planning Report Date: March 7, 2022

**PROPOSAL:**

- **OCP Amendment** from Commercial to Multiple Residential
- **LAP Amendment** from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) and Medium Density Townhouses (15-30 UPA)
- **Rezoning** from CD to CD (based on RM-70 and C-8)
- **Development Permit**

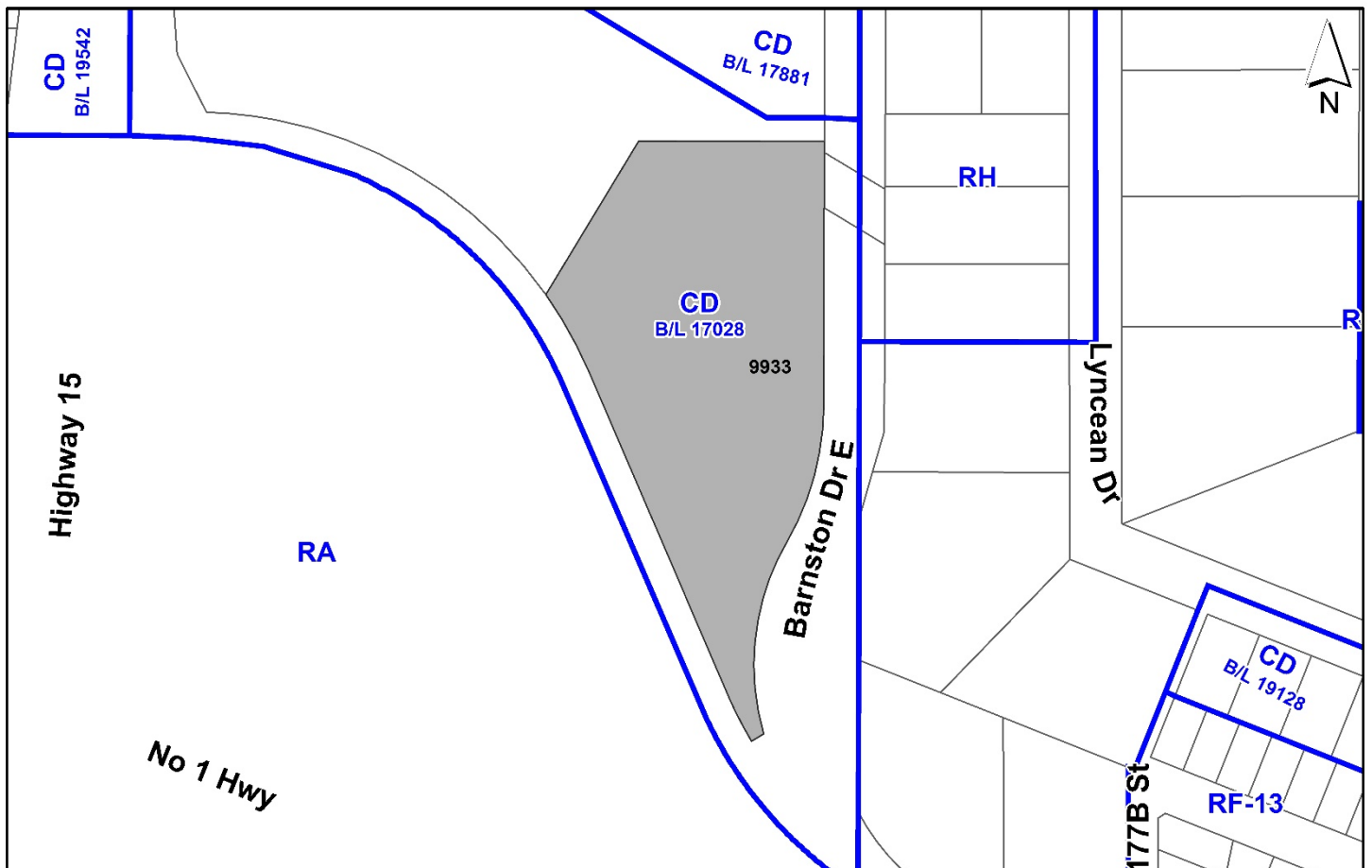
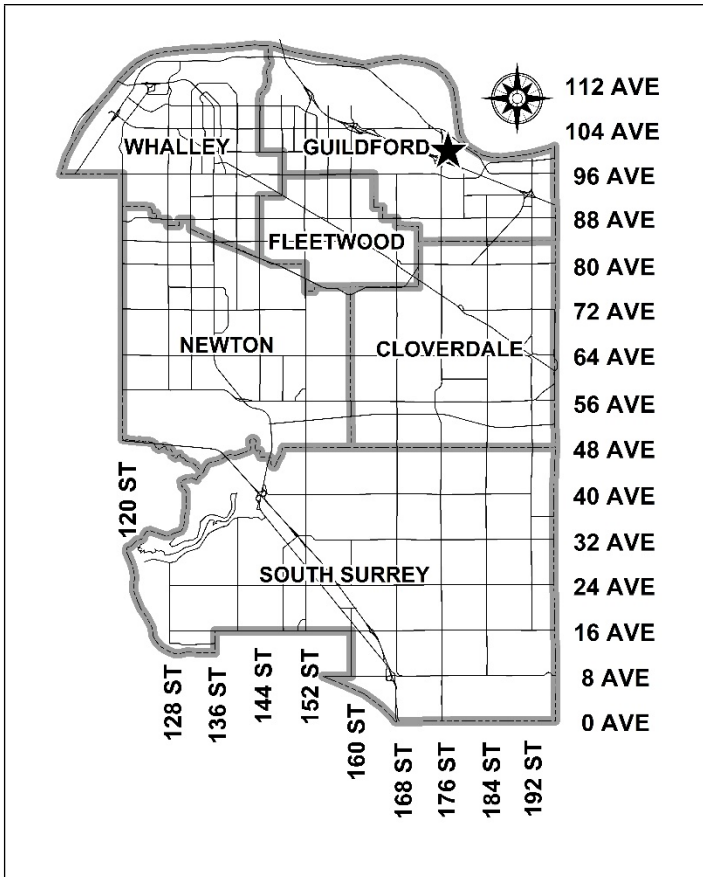
to permit the development of a 54-unit, 5-storey mixed-use building, including 1,554 square metres of ground floor commercial, including a stand-alone daycare, and 43 townhouse units.

**LOCATION:** 9933 - Barnston Drive East

**ZONING:** CD Bylaw No. 17028

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Neighbourhood Commercial



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an OCP Amendment from Commercial to Multiple Residential and an amendment to Figure 42 "Major Employment Areas" by removing the Commercial designation from subject site.
- Proposing an Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot 1 and Medium Density Townhouses (15-30 UPA) for proposed Lot 2.

## RATIONALE OF RECOMMENDATION

- The subject Development Application No. 7921-0160-00 and Development Application No. 7921-0161-00 are running concurrently, and both located at 9933 Barnston Drive East. These applications are being brought forward simultaneously to the March 7, 2022, Regular Council – Land Use Meeting for consideration by Council under this report.
- A previous Planning and Development Report for Development Application No. 7921-0160-00/7921-0161-00 was considered by Council at the July 26, 2021, Regular Council – Land Use Meeting. Council directed that the application be referred back to staff to work with the applicant and the community to redesign the development.
- The applicant held two virtual meetings with the Directors of the Fraser Heights Community Association (FHCA), on September 22, 2021, and February 2, 2022, to discuss details of the proposed development. City staff were also in attendance. The project has been modified in response to comments and concerns raised by the FHCA at those meetings, and in response to comments and concerns from the larger community through the City's pre-notification process (development proposal sign and pre-notification letters).
- Details of the proposed modifications to the project are outlined in detail in the body of this report, but in summary the changes include:
  - an improved site plan with the mixed-use building and its active neighbourhood commercial uses oriented toward the street;
  - an increase of 330 square metres of commercial space;
  - a newly proposed publicly accessible outdoor space integrated into the site design and will be programmed for community use;
  - a better-situated daycare within a stand-alone building and adjacent outdoor play area,

- a reduction of 8 townhouse units,
  - elimination of all tandem garage townhouse units (all units are now double side-by-side garages); and
  - an increase in visitor parking rates from 0.2 spaces per unit to 0.3 spaces per unit.
- The subject site has exposure from one (1) major road, Barnston Drive East and future commercial development is anticipated within Anniedale Tynehead. The applicant has advised that a large-scale commercial development on the subject site consistent with the Commercial designation in the OCP and LAP is not viable.
- The proposed 5-storey mixed use building, with ground floor commercial retail and a stand-alone daycare building, will provide neighbourhood-scale commercial services to the Abbey Ridge neighbourhood, and will support a publicly accessible open space for community use on the site.
- The proposed land use, density and building forms are appropriate for this part of Abbey Ridge and are consistent with the adjacent sites to the north, which allows for a mix of townhouses and apartments.
- The Fraser Heights Community Association (FHCA) have advised that the modifications to the project are insufficient to address their concerns and those of the larger community, and that a formal public information session should have been coordinated to obtain additional feedback from the neighbourhood. The applicant has elected not to host a public information meeting.
- Staff contend that the applicant has taken reasonable steps to address neighbourhood concerns by adding commercial space (including a standalone childcare facility) along with publicly accessible open space and reducing townhouse density (with all side-by-side garage units and additional visitor parking), and on this basis, the modified proposal has merit for further consideration by Council.

## RECOMMENDATION

The Planning and Development Department recommends that:

1. An OCP Amendment By-law be introduced to:
  - (a) amend "Figure 3: General Land Use Designations" by redesignating the subject site, from Commercial to Multiple Residential; and
  - (b) amend "Figure 42: Major Employment Areas" by removing the Commercial designation from the subject site;and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD Bylaw No. 17028)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No.7921-0160-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation and Infrastructure;
  - (d) approval from the Ministry of Forests, Lands and Natural Resource Operations under the Water Sustainability Act confirming the Class C watercourse;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;

- (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department if required;
  - (i) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan and Sensitive Ecosystem Development Permit (Streamside) to the satisfaction of City staff if required;
  - (j) provision of a cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
  - (k) registration of a right-of-way for public rights-of-passage for the area between the mixed-use building face and the street edges;
  - (l) registration of an access easements to secure for the proposed shared access between the proposed developments;
  - (m) submission of an acoustical report for the units adjacent to Highway 1 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (n) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning and Development Services; and
  - (o) a volumetric statutory right-of-way to secure public access to the outdoor amenity space.
6. Council pass a resolution to amend the Abbey Ridge Local Area Plan (LAP) to redesignate the land from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot 1 and Medium Density Townhouses (15-30 UPA) for proposed Lot 2 when the project is considered for final adoption.

#### SITE CONTEXT and BACKGROUND

Direction	Existing Use	Local Area Plan Designation	Existing Zone
Subject Site	Vacant parcel	Neighbourhood Commercial	CD (Bylaw No. 17028)
North (Across Kinder Morgan Trans Mountain oil pipeline):	4-storey apartment.	High Density Multiple Residential 25-30 upa	CD (By-law No. 17881)

Direction	Existing Use	Local Area Plan Designation	Existing Zone
East (Across Barnston Drive East):	Single family dwellings on large lots.	Suburban Residential 2-4 upa, Low Density Townhouse 12-15 upa, and Tree Retention Area	RA and RH
South (Across Highway No. 1):	Anniedale Traditional School	Light Industrial in the Anniedale-Tynehead NCP	RA
West:	Vacant lot.	High Density Multiple Residential 25-30 upa	CD (By-law No. 17028)

## Context and Background

### Precinct Area Background

- On June 27, 2011, Council approved a partial Official Community Plan (OCP) amendment from Suburban and Commercial to Multiple Residential for a 6.04-hectare (14.9-acre) site at 176 Street and Barnston Drive East (File No. 7908-0052-00) in the Abbey Ridge area.
- At the same time, Council approved a rezoning from the ""Combined Service Gasoline Station Zone (CG-2)"" and ""Comprehensive Development Zone (CD)"" (By-law No. 14876) to ""Comprehensive Development Zone (CD)"" (By-law No. 17028) (based on CG-2, C-8, and RM-70) to permit a mixed-use development to be constructed in multiple phases.
- Council also approved a General Development Permit No. 7908-0052-00 for a Master Plan that would guide the future development of the overall site (Appendix III showing overall master plan).
- On October 3, 2011, Council approved Development Permit No. 7910-0316-00 for a 71-unit, 4-storey apartment building and an 80-unit townhouse development on Blocks C and D as shown on the original master plan. The 80-unit townhouse development and 4-storey apartment building have been constructed (9983 and 9987 Barnston Drive East).
- Block B (9955 - Barnston Drive East), as shown on the original master plan and intended for 4-to 6-storey apartment buildings, is vacant.
- The proposal under the current development applications (Application Nos. 7921-0160-00 and 7921-0161-00) is for the lands shown as Block A on the original master plan, and currently addressed as 9933 - Barnston Drive East. Under the original master plan (General Development Permit No. 7908-0052-00), Block A was intended for a community commercial shopping centre.

Previous Development Application No. 7916-0037-00

- A previous Planning and Development Report for Development Application No. 7916-0037-00 (now closed), for the subject site, was considered by Council on June 12, 2017, and the OCP Amendment and rezoning By-laws were granted First and Second Reading.
- Through that application, the applicant proposed an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential and to remove the Commercial designation in Figure 42: Major Employment Areas of the OCP, with a corresponding rezoning proposal to allow a 5-storey apartment building with ground-floor commercial and a 54-unit townhouse development.
- A Public Hearing was subsequently held on June 26, 2017. Significant opposition was presented at the Public Hearing, with respect to the lack of commercial floor space and lack of sidewalks in the area.
- The OCP Amendment By-law was denied by Council and the Rezoning By-law was, as a result, "Not in Order". Council noted that the applicant should work with the community to find a viable solution to the issues raised during the Public Hearing.
- Application No. 7916-0037-00 was closed on July 14, 2017, and the Bylaws were filed on December 4, 2017.

7921-0160-00/7921-0161-00 (subject application)

- A previous Planning and Development Report for Development Application No. 7921-0160-00/7921-0161-00 was considered by Council at the July 26, 2021, Regular Council – Land Use Meeting. The staff recommendation put forward in the July 2021 Planning and Development Report was that the applications be denied.
- Council directed that the application be referred back to staff to work with the applicant and the community to redesign the development.
- Subsequent to this direction by Council, staff have worked with the applicant and the Fraser Heights Community Association (FHCA) to revise the proposed development.
- The applications brought forward in July 2021 included an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential, Rezoning and Development Permit to allow for a 5-storey apartment building with 1,224 square metres of ground-floor commercial space and 51 residential dwelling units above, and 54 townhouse units.
- The application continues to include an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential, Rezoning and Development Permit. However, the applicant now proposes a 5-storey mixed-use building with 1,328 square metres of ground-floor commercial space and 54 residential dwelling units above, a 226 square metre stand-alone childcare centre building (for a total combined commercial floor area of 1554 square metres) and 43 townhouse units, with other corresponding design improvements.

- In summary, the modifications to the proposed developments include the following:
  - an improved site plan with the mixed-use building and active neighbourhood commercial uses oriented toward the street;
  - an overall increase of 330 square metres of commercial space;
  - a newly proposed publicly accessible outdoor area integrated into the site design;
  - a better-situated daycare within a stand-alone building;
  - a reduction of 8 townhouse units and the elimination of all tandem garage units; and
  - an increase in visitor parking rates from 0.2 spaces per unit to 0.3 spaces per unit.

## CURRENT DEVELOPMENT PROPOSAL

### Planning Considerations

- The modified proposal for the site includes the following:
  - Official Community Plan (OCP) Amendment to redesignate the subject site from Commercial to Multiple Residential and to Figure 42 "Major Employment Area map" to remove the Commercial designation;
  - Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot 1 and Medium Density Townhouses (15-30 UPA) for proposed Lot 2.
  - Rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17028) to CD (based on RM-70 and C-8);
  - Subdivision into two lots (proposed Lot 1 – mixed use building and daycare, and Lot 2 – proposed townhouses); and
  - Development Permit for Form and Character.
- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation, and therefore an amendment to the RGS is not required.
- On February 6, 2017, Council approved the Abbey Ridge Local Area Plan (LAP) (Corporate Report No. R32; 2017) to guide development in the area. The subject site is designated Neighbourhood Commercial, which correlates to the Commercial designation in the OCP. Therefore, the proposed OCP Amendment from Commercial to Multiple Residential also requires a corresponding LAP Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot 1 and to Medium Density Townhouses (15-30 UPA) for proposed Lot 2.



- The proposed rezoning from Comprehensive Development (CD By-law No. 17028) to CD (based on RM-70, C-8 and RM-30) will facilitate the proposed 5-storey mixed-use building, and standalone daycare building on the southern portion of the site (proposed Lot 1) and the 43-unit townhouse development on the northern portion of the site (proposed Lot 2).
- The site is intended to be subdivided into two (2) lots. Proposed Lot 1 (south lot) is 5,659 square metres and proposed Lot 2 (north lot) is 9,029 square metres in size.

Mixed-use Commercial (Lot 1, 7921-0160-00)

- The mixed-use building is proposed to have 54 residential dwelling units and 1,328 square metres of ground-floor commercial floor area. Lot 1 also includes the standalone daycare building.

<b>21-0160-00 Lot 1 Mixed Use</b>	<b>Proposed</b>
<b>Lot Area</b>	
Gross Site Area:	5,656 square metres
Road Dedication:	N/A
Undevelopable Area:	NA
Net Site Area:	5,656
<b>Building Height:</b>	5-storeys
<b>Unit Density:</b>	39 units per acre
<b>Floor Area Ratio (FAR):</b>	1.0
<b>Floor Area</b>	
Residential:	4,116 square metres
Commercial:	1,328 square metres
Daycare (standalone building)	226 square metres
Total:	5,670 square metres
<b>Residential Units:</b>	
1-Bedroom:	24
2-Bedroom:	30
Total:	54

Townhouse Development (Lot 2 7921-0161-00)

- The townhouse site is proposed to have 43 residential dwelling units.

21-0161-00 Townhouse	Proposed
<b>Lot Area</b>	
Gross Site Area:	9,026 square metres
Road Dedication:	N/A
Undevelopable Area:	528 square metres
Net Site Area:	8,498
<b>Building Height:</b>	3-storeys
<b>Unit Density:</b>	20.5 upa/50.6uph
<b>Floor Area Ratio (FAR):</b>	0.91
<b>Floor Area</b>	
Residential:	7,704 square metres
Total:	7,704 square metres
<b>Residential Units:</b>	
3-Bedroom:	43
Total:	43

## Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
School District:	The School District has advised that there will be approximately 38 school-age children generated by this development, of which the School District has provided the following expected student enrollment.  22 Elementary students at Bothwell School 16 Secondary students at Fraser Heights School  (Appendix III)  The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2025.
Parks, Recreation and Culture:	Parks requests that the applicant provide publicly accessible outdoor space on-site. This space should be designed in such a way that members of the public understand it is for the general public and they feel comfortable using the space.
Ministry of Transportation and Infrastructure (MOTI):	Final approval from MOTI required.
Surrey Fire Department:	No concerns, subject to detailed review at Building Permit.
Trans Mountain:	No objections to the proposed development.

Advisory Design Panel: The application was not referred to the ADP but was reviewed by staff and found satisfactory.

## Transportation Considerations

### Transit

- The site is not currently serviced by any transit routes and there are no transit stops in its immediate vicinity.
- The nearest transit stop is located approximately 1,800 m away along 96 Avenue, serviced by routes 388 (22nd St Station/Carvolth Exchange) and 501 (Langley Centre/Surrey Central Station).

### Traffic Impacts

- Based on the proposed density and anticipated site-generated traffic volumes, the development does not trigger the requirement for a Transportation Impact Analysis (TIA) to evaluate traffic impacts to the surrounding network and identify any required improvements to mitigate impacts.

### Road Network and Infrastructure

- Barnston Drive East is generally an east-west Collector Road running approximately parallel to the Trans-Canada Highway. Fronting the subject development, the road has a north-south alignment responsive to the diversion around the Highway 1/Highway 15 interchange. A standard Collector Road cross-section will be constructed, which includes a sidewalk, parking pocket, on-street cycling lane and landscape boulevard with street trees and lighting.
- The site is bounded by Provincial highways to the west (Highway 15) and to the south (Highway 1). No access or improvements are planned for these highways as part of the subject development.

### Access

- The primary vehicle access to the site will be shared between two driveways. The southernmost driveway connects to a private drive aisle that ends in a cul-de-sac and provides access to the underground commercial parking as well as the residential townhouses. The northernmost driveway connects to a private drive aisle that provides access to the residential townhouses.
- An access easement will be registered to secure for the newly proposed shared accesses.

### Parking

- The applicant will be providing 151 parking spaces to serve the mixed-use building and standalone daycare building (141 underground and 10 surface spaces) and 100 parking spaces to serve the townhouses (86 resident spaces and 14 visitor spaces). Visitor parking for the project exceeds Bylaw requirements (0.3 spaces per unit vs. 0.2 spaces per unit).

- On-street parking will also be available on Barnston Drive East fronting the development.

### **Natural Area Considerations**

- A watercourse is located west of the subject property and within the Ministry of Transportation and Infrastructure road allowance, identified in COSMOS as a Class C watercourse.
- In accordance with the required City processes with respect to Sensitive Ecosystem Development Permit Areas (Streamside Protection) the applicant is required to engage an appropriate Qualified Environmental Professional (QEP) to prepare the required environmental assessments and reports.
- A Detailed Riparian Areas Assessment report must be submitted to the Ministry of Forests, Lands and Natural Resource Operations and Rural Development (the Ministry) to confirm the Riparian Areas Protection Regulation (RAPR) setback requirements.
- A Stream Classification Assessment report must be submitted to the Ministry for stream classification determination and the Notice of Advice from the Ministry, under the Water Sustainability Act (WSA).
- The proposed development and building setbacks are reflective of a Class C watercourse. Should the assessments and reports, outlined above, result in a different watercourse classification, the building setbacks will be required to reflect the setbacks outlined in Part 7A of the Zoning Bylaw and may impact the development. The applicant has retained a Qualified Environmental Professional (QEP) to undertake this work.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
  - The majority of the selected landscape species are native and drought tolerant / low maintenance plants making landscape highly water efficient.
  - Large windows will be provided into all occupied areas which will provide natural light to almost all interior spaces. Where natural sun light provides adequate side lighting and top lighting, the appropriate lighting control methods per ASHRAE will be implemented.
  - Energy efficient LED lighting is proposed.
  - Building envelope design will be dictated to meet the Energy Step Code 3 requirements as per Climate Zone 4. The windows will be double glazed units with energy star rating and argon gas filled sealed units and low E coatings on the interior to NAFS-80 requirements, Energy Act requirements stipulated in CSA-A440-04 and will have Step 3 BC code compliance as adopted by the City of Surrey.
  - A Building Envelope Consultant will be reviewing proper insulation installation to ensure thermal envelope barrier continuity.
  - Interior cooling is provided with passive, natural ventilation through operable windows, with gross flow consideration in window placement to optimize ventilation effectiveness and thermal comfort.

- Equipment will be installed to maximum energy efficiency potential.
- Mechanical equipment to be free of CFC emissions.
- Electrical power receptacles will be provided for every residential parking space and half the visitor parking spaces, capable of providing level 2 or higher of electric vehicle charging, as per the City of Surrey Electric Vehicle Charging Requirements in New Developments. The proposed electric vehicle charging system infrastructure will implement an Energy Management System suitable to accommodate up to four (4) load managed EV chargers on a 40A circuit.
- Concrete garage roof slab will be designed to drain off over the edges into the surrounding soils to increase storm water retention and slow passage into the storm system.
- Bicycle storage is provided in the parking area to encourage transportation alternates to the car. Electric outlets will be installed in the bicycle storage for the purpose of charging e-bikes to further promote "green transportation."

## **POLICY and BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the General Urban designation in the Metro Vancouver's Regional Growth Strategy.

### **Official Community Plan**

#### Land Use Designation

- The application is proposing to amend the OCP from Commercial to Multiple Residential and an amendment to Figure 42 "Major Employment Areas" to remove the subject site.

#### Amendment Rationale

- The amendment is proposed to accommodate a mixed-use apartment and townhouse development.
- The subject site has exposure from one (1) major road, Barnston Drive East and future commercial development is anticipated within Anniedale Tynehead. The applicant has advised that a large-scale commercial development on the subject site consistent with the Commercial designation in the OCP and LAP is not viable.
- The proposed 5-storey mixed use building, with ground floor commercial retail and a stand-alone daycare building, will provide neighbourhood-scale commercial services to the Abbey Ridge neighbourhood.

### Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
  - A3.5 – Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character.
  - A3.7 – Encourage local neighbourhood commercial centres and associated local gathering places to appropriately locate within existing neighbourhoods in order to increase walking and cycling options and contribute to neighbourhood character.

### **Secondary Plans**

#### Land Use Designation

- The application is proposing to amend the Abbey Ridge Local Area Plan.
- On February 6, 2017, Council approved the Abbey Ridge Local Area Plan (LAP) (Corporate Report No. R32; 2017) to guide development in the area. The subject site is designated Neighbourhood Commercial, which correlates to the Commercial designation in the OCP. Therefore, the proposed OCP Amendment from Commercial to Multiple Residential also requires a corresponding LAP Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot 1 and to Medium Density Townhouses (15-30 UPA) for proposed Lot 2.

#### Themes/Objectives

- The proposed development is consistent with the following guiding principles in the Abbey Ridge Local Area Plan:
  - Provide appropriate land use transitions: Provide an appropriate interface between new and established neighbourhoods through compatible density, form, and scale of housing, and through landscaped and natural buffers.
  - Provide housing choice: Provide for housing choice through selected areas of higher density along the Highway 1 corridor, supporting transit service and local retail.

### **CD By-law**

- The applicant proposes to rezone the subject site from ""Comprehensive Development Zone (CD) Bylaw No. 17028"" to a new ""Comprehensive Development Zone (CD)"".
- The applicant is proposing a ""Comprehensive Development Zone (CD)"" to accommodate a proposed mixed-use building, standalone daycare, and townhouse development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the ""Multiple Residential 70 Zone (RM-70)"" , ""Community Commercial Zone (C-8) , and ""Multiple Residential 30 Zone (RM-30)"" .

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, RM-30 Zone, C-8 and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70/RM-30 Zone	C-8 Zone	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.50/N/A	0.8	<b>Lot 1</b> 1.0 (net)  <b>Lot 2</b> 0.91 (net)
<b>Lot Coverage:</b>	33%/45%	50%	<b>Lot 1</b> 34% <b>Lot 2</b> 42%
<b>Yards and Setbacks</b>	7.5 metres / 4.5 metres	7.5 metres	Variable
<b>Principal Building Height:</b>	50 metres/13 metres	12 metres	<b>Lot 1</b> 5-storeys (22 metres) <b>Lot 2</b> 3-storeys (11 metres)
<b>Permitted Uses:</b>	<p>The RM-70 Zone and RM-30 Zone permits multiple unit residential buildings and ground-oriented multiple residential buildings.</p> <p>The C-8 Zone permits commercial uses including:</p> <ul style="list-style-type: none"> <li>• Retail stores;</li> <li>• Personal service uses;</li> <li>• General service uses;</li> <li>• Beverage container return centres;</li> <li>• Eating establishments;</li> <li>• Neighbourhood pubs;</li> <li>• Liquor store;</li> <li>• Office uses;</li> <li>• Parking facilities;</li> <li>• Automotive service uses;</li> <li>• Indoor recreational facilities;</li> <li>• Entertainment uses;</li> <li>• Assembly halls;</li> <li>• Community services;</li> <li>• Child care facilities;</li> </ul>	<p>Residential uses will comply with the RM-30 and RM-70 Zone.</p> <p>Commercial uses will include the following, with some restrictions:</p> <ul style="list-style-type: none"> <li>• Retail stores;</li> <li>• Personal service uses;</li> <li>• Eating establishments;</li> <li>• Neighbourhood pubs;</li> <li>• Liquor store;</li> <li>• Office uses;</li> <li>• General service uses;</li> <li>• Indoor recreational facilities;</li> <li>• Entertainment uses</li> <li>• Community services;</li> <li>• Child care facilities; and</li> <li>• Cultural uses.</li> </ul>	

Zoning	RM-70/RM-30 Zone	C-8 Zone	Proposed CD Zone
	<ul style="list-style-type: none"> <li>Cultural uses; and</li> <li>One dwelling unit.</li> </ul>		
Indoor Amenity:	<p><b>Lot 1</b> 162 square metres Block B 129 square metres</p>		<p><b>Lot 1</b> The proposed 153m<sup>2</sup> meets the Zoning Bylaw requirement and cash-in-lieu for the 9 m<sup>2</sup> shortfall will be required.</p> <p><b>Lot 2</b> The proposed 156m<sup>2</sup> exceeds the Zoning Bylaw requirement</p>
Outdoor Amenity:	<p><b>Lot 1</b> 162 square metres</p> <p><b>Lot 2</b> 129 square metres</p>		<p><b>Lot 1</b> The proposed 1,313m<sup>2</sup> exceeds the Zoning Bylaw requirement.</p> <p><b>Lot 2</b> The proposed 345m<sup>2</sup> exceeds the Zoning Bylaw requirement.</p>
<b>Parking (Part 5)</b>	<b>Required</b>		<b>Proposed</b>
<b>Number of Stalls</b>			
<b>Lot 1</b>			
Commercial:	40		40
Daycare:	6		6
Residential:	76		89
Residential Visitor:	11		16
<b>Total:</b>	<b>133</b>		<b>151</b>
<b>Lot 2</b>			
Residential:	86		86
Residential Visitor:	9		14
<b>Total:</b>	<b>95</b>		<b>100</b>

**Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan.



- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance (\$2,000 per unit).
- The proposed development may be subject to the Tier 2 Capital Plan Project CACs, which will be calculated in accordance with the flat rates under Schedule G of the Zoning Bylaw, if applicable, and payable prior to Final Adoption.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. The proposed residential units will be subject to this requirement at building permit stage.

### **Public Art Policy**

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on January 31, 2022, and the Development Proposal Signs were installed on January 31, 2022. Staff received approximately 45 responses from neighbouring residents (*staff comments in italics*):
  - Inadequate commercial space on a property zoned and designated to provide large-format commercial intended to serve the area.
    - (*The subject site has exposure from one (1) major road, Barnston Drive East, indirect access from Highway 1 and future large-format commercial is anticipated nearby in Anniedale-Tynehead. The applicant has advised that a large-scale commercial development is not viable on the subject site.*)
    - (*The commercial development proposed is reflective of a typical neighbourhood-scale mixed-use commercial building with 5 commercial retail units proposed on the ground level, 4 floors of residential floor space above and a stand-alone daycare.*)
    - (*Area residents have expressed the desire to have walkable, pedestrian-oriented commercial development in the area. The proposed development reflects the comments to provide a walkable neighbourhood commercial development.*)

- Lack of green space on the site and in the area.
  - *(The mixed-use development is proposing to provide 1,105 square metres of publicly accessible open space that includes hard and soft landscaping and trees. This open space is sited behind the mixed-use building and connects to the street and public realm. It is intended to service the commercial and the neighbourhood and includes planting, benches, an open lawn area, pour-in-place rubber play area and patio space).*
- Existing parking issues in the neighbourhood
  - *(There are limited existing opportunities for street parking nearby. There will be some street parking available along Barnston Dr. E, fronting the development. The proposed development is exceeding visitor parking requirements. There is parking proposed within the proposed shared drive aisle that will allow for daycare pickup and drop-off. All townhouse units will feature side-by-side garages with no tandem parking garages proposed which reduces on-street parking demand).*
- Increased traffic congestion and lack of proximity to transit.
  - *(Approximately 30 vehicle trips during peak hours are anticipated as a result of the proposed development which is not considered significant given current volumes and capacity. There would be potential for higher peak traffic volume if the entire site were developed as commercial, with more concentrated peak volumes and including evenings and weekends).*
- 6-storey building height
  - *(The applicant initially proposed to increase the height of the mixed-use building from 5 to 6-storeys. In response to input from the community, the applicant has removed the 6<sup>th</sup> storey. The current proposal is a 5-storey mixed-use building).*
- School crowding concerns.
  - *(Bothwell Elementary is currently operating slightly below capacity. Surrey School District has submitted a request to the Ministry to purchase a new site in Abbey Ridge in the next 5 years. The Ministry has not yet approved this request. Fraser Heights Secondary is currently operating at 111% capacity. The School District has requested a 300 capacity addition that has not yet received approval from the Ministry).*
- Too much residential density in the neighbourhood.
  - *(The applicant had proposed to increase the height of the mixed-use building from 5 to 6-storeys. In reply to community feedback, the applicant has removed the 6<sup>th</sup> storey and the current proposal is a 5-storey mixed-use building. The 5-storey height is generally consistent with existing 4-storey residential buildings to the north of the subject site).*
- Previous denial of a proposed development by Council on the site.
  - *(The subject applications were referred back to staff to work with the applicant and the community to redesign the development at the July 26, 2021, Regular Council – Land Use meeting. Staff have worked with the applicant, and the proposal has been modified in response to community feedback).*

### **Fraser Heights Community Association (FHCA) Meetings**

- The applicant held two virtual meetings with the Directors of the Fraser Heights Community Association (FHCA) on September 22, 2021, and February 2, 2022. City staff were also in attendance.
- Both meetings took place on Zoom and included a brief overview of the proposed development by the project architect and developer, which highlighted any changes that were made. This was followed-up by a question and comment period.
- The discussion and comments provided by the FHCA at the meetings were similar to the comment received through the pre-notification process, and as outlined above.

### **Subsequent Comments from the FHCA:**

- The most recent proposal from for the site was reviewed by the Fraser Heights Community Association Directors. The Fraser Heights Community Association have indicated that the proposal continues to inadequately respond to their comments and concerns as summarized below:
  - The FHCA have engaged with this developer on this development proposal on an ongoing basis;
  - the minimal advances made in commercial /retail and green space are not sufficient;
  - existing parking problems on the larger site are not addressed;
  - there is no public transportation provided in this area. It is necessary that extra parking be provided on site;
  - the removal of the 6th floor on the mixed-use building is not a concession as the original proposal was a 5-storey mixed-use building;
  - a public information meeting should have been held to solicit feedback from the larger community and that relying solely on discussions with the FHCA is putting them in unfair position as a volunteer group of residents.
- The FHCA recommend that this proposal be denied by Council.
- The applicant has elected not to host a public information meeting and contends that ongoing discussions with the FHCA and City staff provided sufficient guidance for project enhancements.
- Staff contend that the applicant has taken reasonable steps to address neighbourhood concerns by adding commercial space (including a standalone childcare facility) along with publicly accessible open space and reducing townhouse density (with all side-by-side garage units and additional visitor parking), and on this basis, the modified proposal has merit for further consideration by Council.

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed development generally complies with the design guidelines in the Official Community Plan.

- The application was not referred to the ADP but was reviewed by staff and found generally satisfactory subject to detailed design review in advance of final adoption, as outlined below.

#### Mixed-Use Site (Lot 1)

- On Lot 1, the development consists of a 5-storey mixed-use building with ground-floor commercial retail units facing east towards Barnston Drive East, along with a standalone daycare building.
- The commercial retail units will front Barnston Drive East and also interface with the courtyard and plaza and amenity area located at the back of the building.
- The mixed-use building consists of a grey brick veneer base. The building materials include fiber cement panel siding in light grey with reveals and dark grey corrugated galvalume siding.
- The proposed building incorporates a modern, contemporary design with flat roofs and roof overhangs and significant glazing. The building includes grey aluminum rails with tempered glass panels for all the proposed decks.
- Significant glazing and a metal canopy are proposed over the commercial units to accentuate the storefronts and to provide weather protection.
- A 2-storey, stand-alone daycare is also proposed on the site.
- The design of the daycare is complimentary to the mixed-use development with a more residential approach. Materials include brick veneer and fibre cement shingle siding in similar grey colour palettes.

#### *Parking and Vehicle Access (Mixed-Use Site)*

- The applicant proposes a two-level parking garage on proposed Lot 1 for the mixed-use building. Some surface parking, in the drive-aisle, is also proposed to accommodate parking for the commercial units and pick-up and drop-off for the daycare.
- The entrance to the underground parking ramp is at the north end of the building and integrated into the building design. No direct vehicle access is permitted or proposed to the Highway No. 1 off-ramp, which connects to Highway No. 17 (South Fraser Perimeter Road).
- The applicant proposes 151 parking spaces for the proposed mixed-use building (Lot 1), which includes 89 resident parking spaces and 16 visitor parking spaces for the dwelling units, and 46 parking spaces for the ground floor commercial units and daycare. The proposed number of parking spaces exceeds the parking requirements in the Zoning By-law.
- The proposal includes a total of 110 bicycle parking spaces located within the underground parking garage, which exceeds the minimum 72 bicycle parking space requirement under the Zoning By-law. Additional bicycle parking spaces (bicycle rack) will be provided outside of the main lobby to the dwelling units, near the commercial units.

### Amenity Spaces (Mixed-Use Site)

#### *Indoor Amenity*

- Based on the 54 proposed dwelling units in the mixed-use building (proposed Lot 1) and the minimum requirement of 3.0 square metres of indoor amenity space per unit, a total of 162 square metres of indoor amenity space is required.
- The development proposes 153 square metres of indoor amenity space, which is below the indoor amenity space requirement specified in the CD Zone but does meet the minimum requirement of 74 square metres required for a low to mid-rise building. The applicant will provide a monetary contribution in accordance with City policy to address this shortfall.
- The indoor amenity space consists of a lounge, fitness and meeting room on the second floor of the building that have direct access to a rooftop outdoor patio.

#### *Outdoor Amenity*

- Based on the 54 proposed dwelling units in the mixed-use building and the minimum requirement of 3.0 square metres of outdoor amenity space per unit, a total of 162 square metres of outdoor amenity space is required. The development proposes 1,313 square metres of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.
- There is a publicly accessible outdoor amenity space, 1,105 square metres in area, proposed behind the mixed-use building that is designed to connect to the street frontage and public realm. This space will be designed as a public space for community use.
- Additional outdoor amenity space consists of a private landscaped amenity area at the south end of the proposed building and a rooftop patio area located directly off the indoor amenity space on the second floor of the building.

### Landscaping

- A conceptual landscape plan has been prepared by PMG Landscape Architects.
- The conceptual landscape plans defines areas for hard and soft landscaping, tree planting and, public outdoor areas and plazas.
- Detailed landscaping plans, including design of the public outdoor/plaza area, will be developed through a detailed landscape design review process for the proposed development prior to final approval.

### Townhouse Site (Lot 2)

- The proposed 43-unit townhouse project consists of three-storey buildings with garages accessed internally at grade.
- All of the proposed townhouses consist of double car, side-by-side garages, with no tandem garaged proposed. The RM-30 Zone allows for 50% tandem garages and the proposed CD Zone will not permit any tandem garages.

- The proposed building materials include fiber cement plank siding painted three shades of grey and fiber cement panel siding painted white. Fiber cement shingle siding as well as wood trims are also painted white.
- Dark grey asphalt shingle roofs are proposed on all of the buildings.
- The proposed townhouses are a contemporary design with pitched roofs and roof overhangs and significant glazing.

#### *Parking and Vehicle Access (Townhouse)*

- The primary entrance to site is proposed be at the north portion of the property, off of Barnston Drive E, through an existing shared access easement with the property to the north. The secondary access is proposed via the new shared drive-aisle between the mixed-use and townhouse developments, Lots 1 and 2.
- The applicant proposes 100 parking spaces for the proposed townhouses (Lot 2), which includes 86 resident parking spaces and 14 visitor parking spaces for the dwelling units. The proposed number of parking spaces exceed the visitor parking requirements in the Zoning By-law by 5 spaces.

#### Amenity Spaces (Townhouse)

##### *Indoor Amenity*

- Based on the 43 proposed townhouse units (proposed Lot 2) and the minimum requirement of 3.0 square metres of indoor amenity space per unit, a total of 129 square metres of indoor amenity space is required.
- The development proposes 156 square metres of indoor amenity space, which exceeds the Bylaw requirements.
- The indoor amenity space is connected to a block of townhouse units and is 2-storeys. It is located directly adjacent to the primary outdoor amenity area located at the north end of the site.

##### *Outdoor Amenity*

- Based on the 43 proposed townhouse units and the minimum requirement of 3.0 square metres of outdoor amenity space per unit, a total of 129 square metres of outdoor amenity space is required. The development proposes 345 square metres of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.
- The primary outdoor amenity area is located adjacent to the amenity building, to the north, and will be programmed to include passive and play areas and landscaping. A second outdoor area is located near Barnston Dr. E and will function as a public plaza space.

### Outstanding Development Permit Items

- The applicant is required to address all outstanding detailed urban design comments prior to Final Approval of the Development Permit, should the application be supported by Council.
- Below is a high-level summary:
  - Design development to improve and refine the public realm interface and coordination, in particular at the commercial units and the publicly accessible open space (Plaza);
  - Development of the landscape treatment and wayfinding to the outdoor public courtyard; and
  - Design development and resolution of the building concept, including corner treatment, detailed architectural expression, and finish materials.

### **TREES**

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Let prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:
- The Arborist Assessment states that there are no mature trees on the site. New trees planted on the site will consist of a variety of trees including Japanese Maple, Bonfire Sugar Maple, Himalayan Cedar, Pink Flowering Dogwood, Star Magnolia, Serbian Spruce and Douglas Fire.
- Boulevard street trees will be planted along Barnston Drive East. This will be determined by the Engineering Department during the servicing design review process.
- In summary, there are no existing trees on the site and no contribution to the Green City Program.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Master Plan
- Appendix IV. School District Comments
- Appendix V. OCP Amendment Maps
- Appendix VI. Original Planning Report No. 7921-0160-00 and 7921-0161-00 dated July 26, 2021 and Planning Report No. 7916-0037-00 dated June 12, 2017

*approved by Ron Gill*

Ron Gill  
Acting General Manager  
Planning and Development

IM/cm



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
REZONING BYLAW NO. \_\_\_\_\_ OF LOT 1,  
DISTRICT LOT 389A AND 390A, GROUP 2,  
NEW WESTMINSTER DISTRICT, PLAN BCP49206**

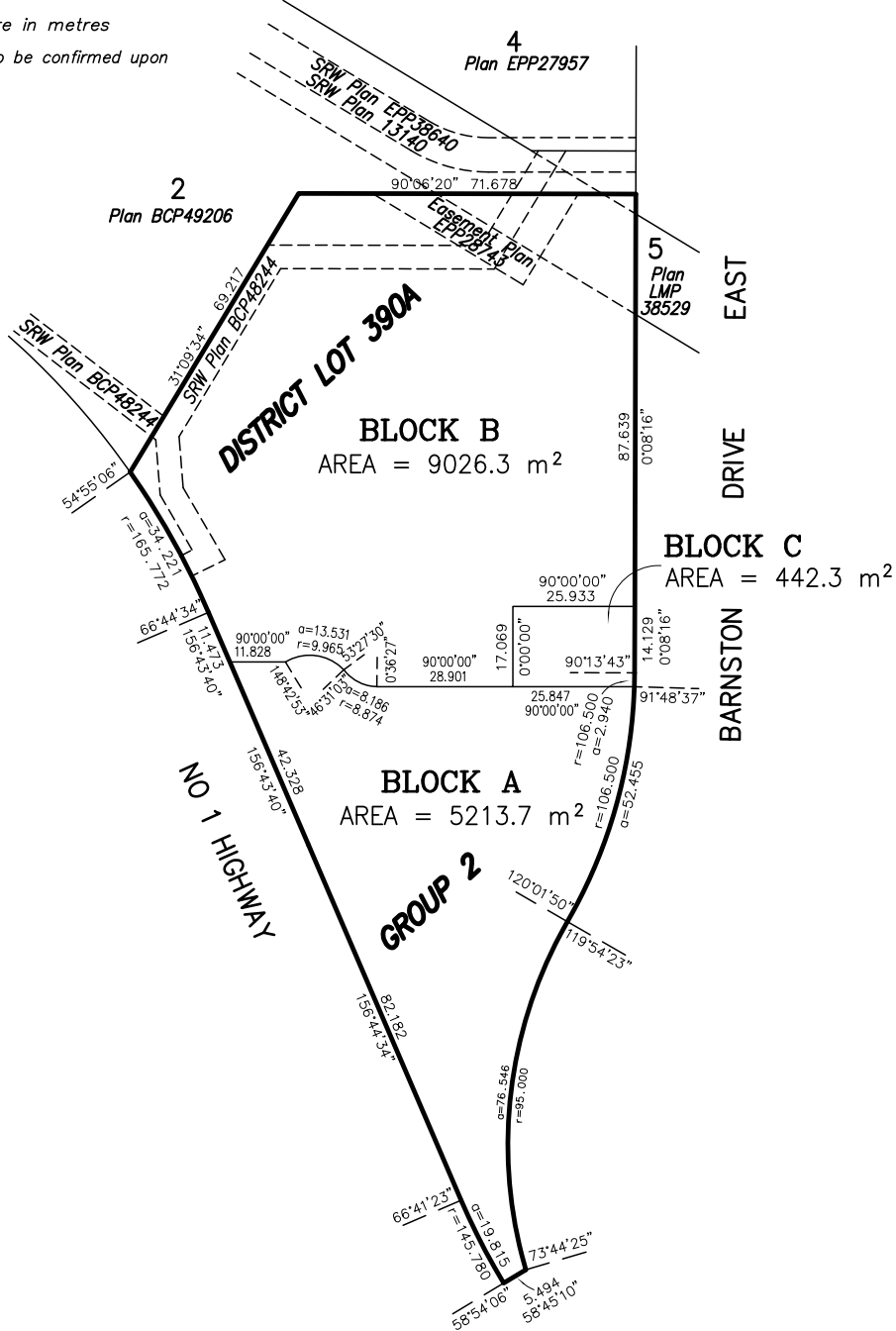
City of Surrey B.C.G.S. 92G.017



SCALE 1 : 1250

All distances are in metres

Lot dimensions to be confirmed upon field survey.



Cameron Land Surveying Ltd.  
B.C. Land Surveyors  
Unit 234 - 18525-53rd Avenue  
Surrey, B.C. V3S 7A4  
Phone: 604-597-3777  
File: 5943-ZONING

Certified correct to survey dated  
this 2nd day of March, 2022.

Sean Costello, B.C.L.S.

## DEVELOPMENT DATA LOT 1 - MIXED USE

<b>Site Area :</b>	60,881 s.f. +/-	1.398 Ac.	0.566 Ha.	5,656.0 m <sup>2</sup>
<b>Lot 1</b>				
<b>F.A.R. Lot 1</b>	59,381 s.f.	0.98 FAR	(excluding ramp)	
<b>Density Lot 1</b>	54 Units	=	38.64 UPA	95.47 UPH
<b>Site Coverage Lot 1</b>	20,242 s.f.	33.2%		
<b>Gross Floor Area Commercial</b>	1st Floor 14,295 s.f. 1,328.0 m <sup>2</sup> (excluding ramp)			
<b>Condo</b>	2nd Floor	11,076 s.f.	1,029.0 m <sup>2</sup>	12 Units
	3rd Floor	11,076 s.f.	1,029.0 m <sup>2</sup>	14 Units
	4th Floor	11,076 s.f.	1,029.0 m <sup>2</sup>	14 Units
	5th Floor	11,076 s.f.	1,029.0 m <sup>2</sup>	14 Units
	<b>Total</b>	<b>58,599 s.f.</b>	<b>5,444 m<sup>2</sup></b>	<b>54 Units</b>
<b>Daycare</b>	1st Floor	1,211	112.5 m <sup>2</sup>	
	2nd Floor	1,221 s.f.	113.4 m <sup>2</sup>	
	<b>Total</b>	<b>2,432 s.f.</b>	<b>226 m<sup>2</sup></b>	
<b>Building Height</b>	5 storey (1 Storey Commercial + 4 Storey Residential) Daycare (2 Storey)	Varies		21.74 m. Max. 8.43 m
<b>Setbacks</b>	North	6.0 ft.	1.83 m	
	East	14.7 ft.	4.47 m	
	South	13.6 ft.	4.14 m	
	West	38.7 ft.	11.80 m	

## UNIT BREAKDOWN

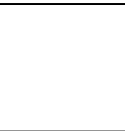
Name	Type	Area Gross	# of Units	Total Gross Area
Unit A	1 Bed	576 s.f. 53.51 m <sup>2</sup>	24	13,824 s.f. 1,284.29 m <sup>2</sup>
Unit B	2 Bed	805 s.f. 74.79 m <sup>2</sup>	8	6,440 s.f. 598.30 m <sup>2</sup>
Unit B1	2 Bed Adapt.	864 s.f. 80.27 m <sup>2</sup>	7	6,048 s.f. 561.88 m <sup>2</sup>
Unit B2	2 Bed	782 s.f. 72.65 m <sup>2</sup>	7	5,474 s.f. 508.55 m <sup>2</sup>
Unit B3	2 Bed	702 s.f. 65.22 m <sup>2</sup>	8	5,616 s.f. 521.74 m <sup>2</sup>
<b>Total</b>			<b>54</b>	<b>37,402 s.f. 3,474.76 m<sup>2</sup></b>

CRU #1	2,600 s.f.	241.54 m <sup>2</sup>
CRU #2	2,013 s.f.	187.02 m <sup>2</sup>
CRU #3	2,309 s.f.	214.56 m <sup>2</sup>
CRU #4	2,698 s.f.	250.63 m <sup>2</sup>
CRU #5	3,080 s.f.	286.11 m <sup>2</sup>
<b>Total</b>	<b>12,700 s.f.</b>	<b>1,179.9 m<sup>2</sup></b>

<b>Parking Required</b>	Commercial	3/100 m <sup>2</sup>	40 spaces
	Daycare - 6 Employees x 0.7		4 spaces
	Daycare - Drop off		2 spaces
	<b>Total Commercial</b>		<b>46 spaces</b>
	Condo - 1 Bed x 1.3 spaces		31 spaces
	Condo - 2 Bed x 1.5 spaces		45 spaces
	Condo - Visitor x 0.2/unit		11 spaces
	<b>Total Condo</b>		<b>87 spaces</b>
	<b>Total Required:</b>		<b>133 spaces</b>
<b>Parking Provided</b>	Surface		8 Commercial
			2 Daycare Drop off
			<b>10 Total Surface</b>
	U/G Commercial /Daycare		32 Commercial
			4 Daycare Employee
			<b>36 Total Underground</b>
	U/G Residential		89 Residents
			16 Visitor (0.3 / unit)
	<b>Total Provided</b>		<b>105 Total Underground</b>
	<b>Total Provided</b>		<b>151 spaces</b>
<b>Bike Spaces Req'd</b>	Commercial	GFA/100 x .06	1 spaces
	Secured Resident	1.2 per unit	65 spaces
	Surface Visitor		6 spaces
	<b>Total Required</b>		<b>72 spaces</b>
<b>Bike Spaces Prov'd</b>	Secured Commercial		1 space
	Secured Resident		103 spaces
	Surface Visitor		6 spaces
	<b>Total Provided</b>		<b>110 spaces</b>
<b>Amenity</b>	<b>Outdoor</b>		
	Required :	3.2 m <sup>2</sup> / Unit X	54 Units = 172.8 m <sup>2</sup>
	Provided :	Public Amenity	11,894 s.f. = 1,105.0 m <sup>2</sup>
		Roof Top Amenity	2,237 s.f. = 207.8 m <sup>2</sup>
		<b>Total Provided:</b>	<b>14,131 s.f. = 1,312.8 m<sup>2</sup></b>
		+ Daycare Play	1,888 s.f. = 175.4 m <sup>2</sup>
<b>Indoor</b>			
Required :	3.2 m <sup>2</sup> / Unit X	54 Units = 172.8 m <sup>2</sup>	
Provided :		1,650 s.f. = 153.3 m <sup>2</sup>	

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ISSUE	DATE	BY	ISSUED FOR
#1	FEB. 14/22	J.F.E.	DEVELOPMENT PERMIT



049-C-COMBO.dwg

CLIENT : JOE DHALIVAL	DESIGNER : J.F.E.	DATE : Max: 1.22	SCALE : 1" = 4'-0"
PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT 1-1855 BARGISTON DR. SURREY, B.C.			
SHEET COMBINS : DEVELOPMENT DATA - MIXED USE LOT 1			

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8



PHONE: (804) 597-7100  
FAX: (804) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO. 15065	SHEET NO. AC-100
PROJECT NO.	REV. NO.



**CONTEXT PLAN**  
 SCALE: 1" = 40'-0"

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REV#	DATE	DRN	CKD	ISSUE FOR	BY



669-CONTEXT.dwg

DESIGN : L.P.S.	DRAWN :
DATE : FEB. 3 22	SCALE : N.T.S.

CLIENT : JOE DHALJAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT 1-4883 BARNISTON DR.E. SURREY, B.C.  
 SHEET COMMENTS :  
 CONTEXT PLAN

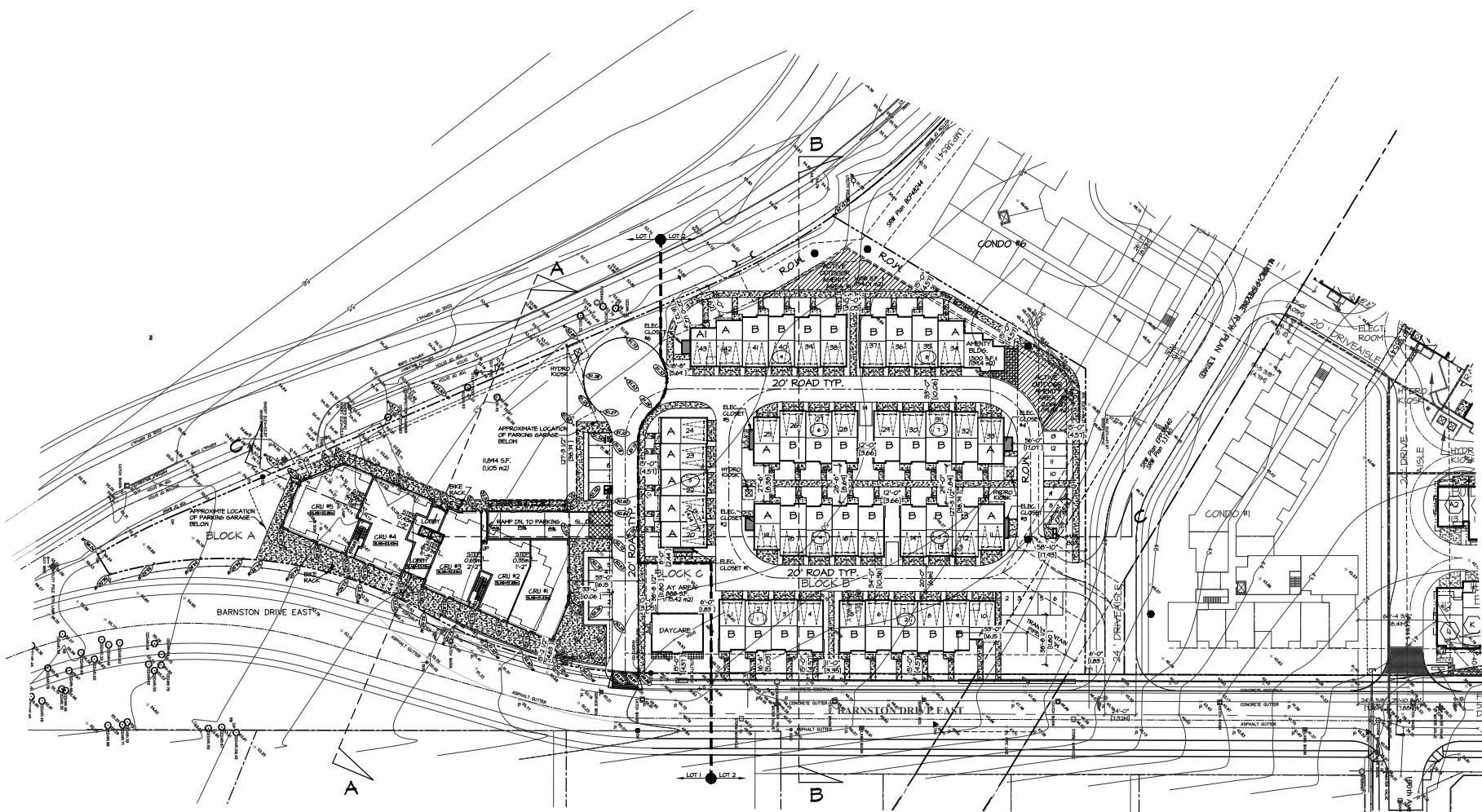


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mci@b-daritek.com

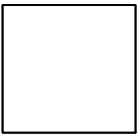
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-1.01

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**OVERALL SITE PLAN**  
 SCALE: 1" = 40'-0"

ISSUE NO.	DATE	BY	ISSUED FOR
#1	FEB 14/22	L.FEL	DEVELOPMENT PERMIT



CLIENT: JOE DHALIWAL  
 PROJECT: COMMERCIAL CONDO DEVELOPMENT  
 LOT 14885 BARNSTON DR. SURREY, B.C.  
 SHEET COMBINS 1  
 OVERALL SITE PLAN

DESIGN: L.FEL  
 DRAWN: L.FEL  
 DATE: MAY 12 2022  
 SCALE: 1" = 40'-0"



UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (804) 597-7100  
 FAX: (804) 597-2099  
 EMAIL: mail@darkitex.com

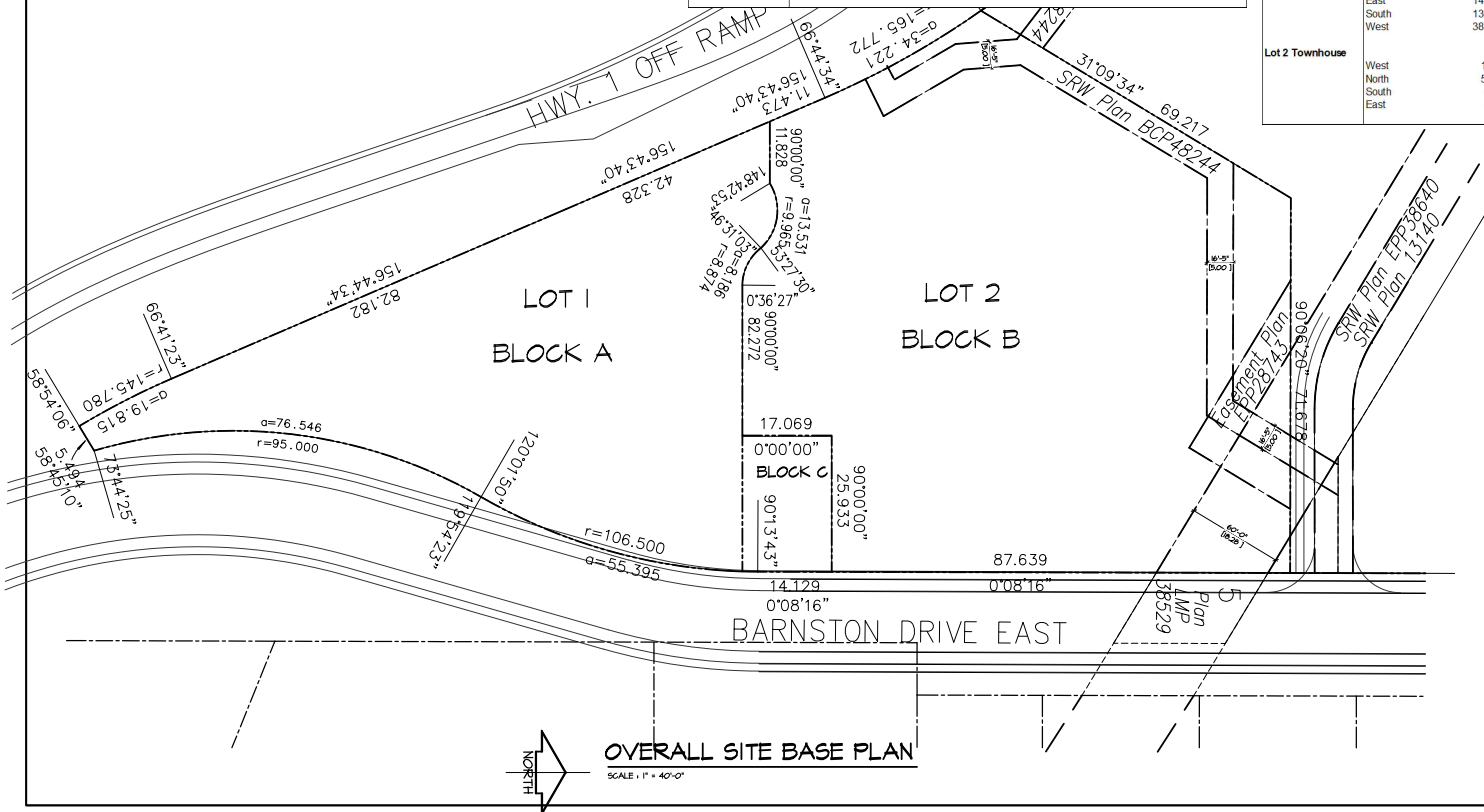
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-102

# DEVELOPMENT DATA LOTS 1 & 2 COMBINED

<b>Site Area:</b>					
Lot 1 Gross	60,881 s.f. +	1.398 Ac.	0.566 Ha.	5,656.0 m <sup>2</sup>	
Lot 2 Gross	97,158 s.f. +	2.230 Ac.	0.903 Ha.	9,026.3 m <sup>2</sup>	
<b>Total:</b>	<b>158,039 s.f. +</b>	<b>3.628 Ac.</b>	<b>1.468 Ha.</b>	<b>14,682.3 m<sup>2</sup></b>	
<b>Trans-Mountain Pipeline SRW</b>					
Site Area:	5,678 s.f. +	0.130 Ac.	0.053 Ha.	527.5 m <sup>2</sup>	
<b>Site Area:</b>	<b>91,480 s.f. +</b>	<b>2.100 Ac.</b>	<b>0.850 Ha.</b>	<b>8,498.8 m<sup>2</sup></b>	
(minus TMP)					
<b>Site Area Total: Net (minus TMP)</b>	<b>152,361</b>	<b>3.498 Ac.</b>	<b>1.415 Ha.</b>	<b>14,154.8 m<sup>2</sup></b>	
<b>Utilities SRW</b>					
Site Area:	6,912 s.f. +	0.159 Ac.	0.064 Ha.	642.1 m <sup>2</sup>	
<b>F.A.R.: Net</b>					
Lot 1	59,381 s.f.	5,517 m <sup>2</sup>	0.98 FAR		
Lot 2	82,924 s.f.	7,704 m <sup>2</sup>	0.91 FAR		
<b>Total:</b>	<b>142,305 s.f.</b>	<b>13,221 m<sup>2</sup></b>	<b>0.93 FAR</b>		
<b>Density: Net</b>					
Lot 1	54 Units =	38.64 UPA	95.5 UPH		
Lot 2	43 Units =	20.48 UPA	50.6 UPH		
<b>Total:</b>	<b>97 Units</b>	<b>27.73 UPA</b>	<b>68.5 UPH</b>		
<b>Site Coverage: Net Provided</b>					
Lot 1	20,242 s.f.	1,881 m <sup>2</sup>	33.2%		
Lot 2	37,231 s.f.	3,459 m <sup>2</sup>	40.7%		
<b>Total:</b>	<b>57,473 s.f.</b>	<b>5,339 m<sup>2</sup></b>	<b>37.7%</b>		

<b>Parking Required:</b>		
<b>Lot 1 - Com/Condo</b>	Commercial 1,328m <sup>2</sup> x 3/100m <sup>2</sup>	40 spaces
	Condo - 24 - 1 B x 1.3 spaces	31 spaces
	Condo - 30 - 2 B x 1.5 spaces	45 spaces
	Condo - Visitor x 0.2/unit	11 spaces
	<b>Total Condo</b>	<b>87 spaces</b>
<b>Lot 1 - Daycare</b>	Daycare - 6 Employees x 0.7	4 spaces
	Daycare - Drop off	2 spaces
	<b>Total Daycare</b>	<b>6 spaces</b>
<b>Lot 1 Total</b>		<b>133 spaces</b>
<b>Lot 2 - Townhouse</b>	2 spaces / unit	86 spaces
	Visitor 0.2 spaces / unit	9 spaces
	<b>Total Townhouse</b>	<b>95 spaces</b>
<b>Total Required</b>		<b>228 spaces</b>
<b>Parking Provided:</b>		
<b>Lot 1 - Com/Condo</b>	Surface	8 Commercial 2 Daycare Drop off 10 Total Surface
	U/G Commercial /Daycare	32 Commercial 4 Daycare Employee 36 Total Underground
	U/G Residential	89 Residents 16 Visitor (0.3 / unit) 105 Total Underground
	<b>Total Provided</b>	<b>151 spaces</b>
<b>Lot 2 - Townhouse</b>	Garages	86 spaces
	Visitor spaces (0.3 spaces / unit)	14 spaces
	<b>Total</b>	<b>100 spaces</b>
<b>Total Provided</b>		<b>251 spaces</b>

<b>Lot 1 Bike Spaces Req'd</b>		Commercial GFA/100 x .06	1 spaces		
		Secured Resident 1.2 per unit	65 spaces		
		Surface Visitor	6 spaces		
<b>Total Required</b>			<b>72 spaces</b>		
<b>Lot 1 Bike Spaces Prov'd</b>		Secured Commercial	1 space		
		Secured Resident	103 spaces		
		Surface Visitor	6 spaces		
<b>Total Provided</b>			<b>110 spaces</b>		
<b>Amenity:</b>					
<b>Lot 1 - Com/Condo</b>	<b>Outdoor</b>	Required: 3.2 m <sup>2</sup> / Unit X	54 Units =	172.8 m <sup>2</sup>	
	Provided:	Public Amenity	11,894 s.f.	=	1,105.0 m <sup>2</sup>
		Roof Top Amenity	2,237 s.f.	=	207.8 m <sup>2</sup>
		<b>Total Provided:</b>	14,131 s.f.	=	1,312.8 m <sup>2</sup>
		+ Daycare Play Ar	1,888 s.f.	=	175.4 m <sup>2</sup>
<b>Lot 2 - Townhouse</b>	<b>Outdoor</b>	Required: 3.0 m <sup>2</sup> / Unit X	43 Units =	129.0 m <sup>2</sup>	
	Provided:	Active Outdoor Amenity #1		=	154.0 m <sup>2</sup>
		Active Outdoor Amenity		=	191.1 m <sup>2</sup>
		<b>Total</b>		=	345.1 m <sup>2</sup>
	<b>Indoor</b>	Required: 3.0 m <sup>2</sup> / Unit X	43 Units =	129.0 m <sup>2</sup>	
	Provided:			=	156.4 m <sup>2</sup>
<b>Total Provided:</b>	Outdoor:	19,734 s.f.	1,833 m <sup>2</sup>		
	Indoor:	3,334 s.f.	310 m <sup>2</sup>		
<b>Building Height:</b>					
Lot 1 - Condo	5 Storey (1 Storey Commercial + 4 Storey Residential)	Varies	21.74 m. Max.		
Lot 1 - Daycare	2 Storeys	8.43 m			
Lot 2 - Townhouse	3 Storeys	10.9 m			
<b>Setbacks</b>					
<b>Lot 1 Mixed Use</b>	North	6.0 ft.	1.83 m		
	East	14.7 ft.	4.47 m		
	South	13.6 ft.	4.14 m		
	West	38.7 ft.	11.80 m		
<b>Lot 2 Townhouse</b>	West	15 ft.	4.57 m		
	North	36 ft.	10.97 m		
	South	6 ft.	1.83 m		
	East	8 ft.	2.44 m		



<b>ISSUED FOR</b>			
DATE	BY	DATE	BY
FEB. 04/22	L.F.A.		
#1			

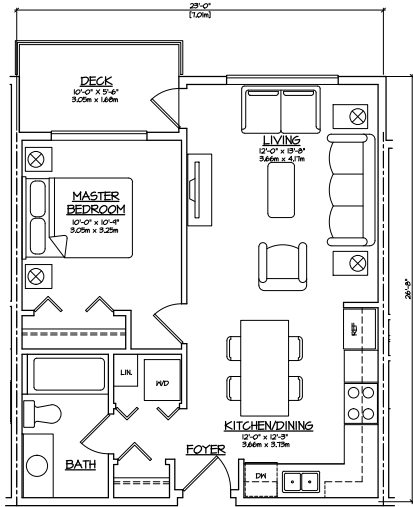
C66-C-CONDO SITE PLAN - BASE PLAN

DESIGN :	JOE DHALJAL
L.P.D.	
DRAWN :	
DATE :	NOV. 3. 22
SCALE :	1" = 40'-0"
PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT 1 & 2 - 4983 BARNSTON DR. E., SURREY, B.C.	
SHEET COMMENTS : OVERALL SITE BASE PLAN DEVELOPMENT DATA	

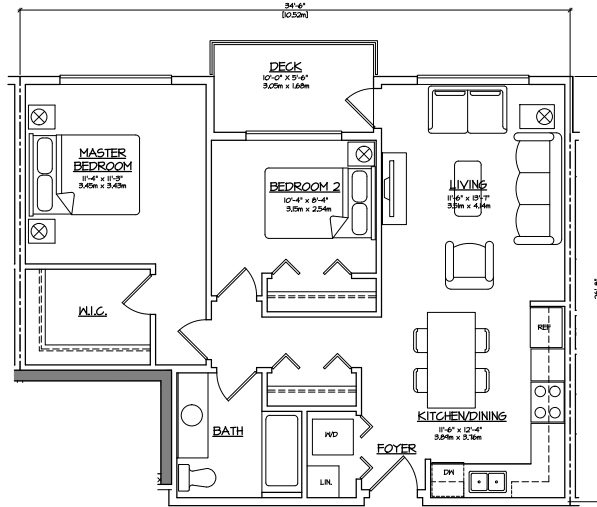
**barnett dembeck**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H5

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mol@b-dcrlt.com

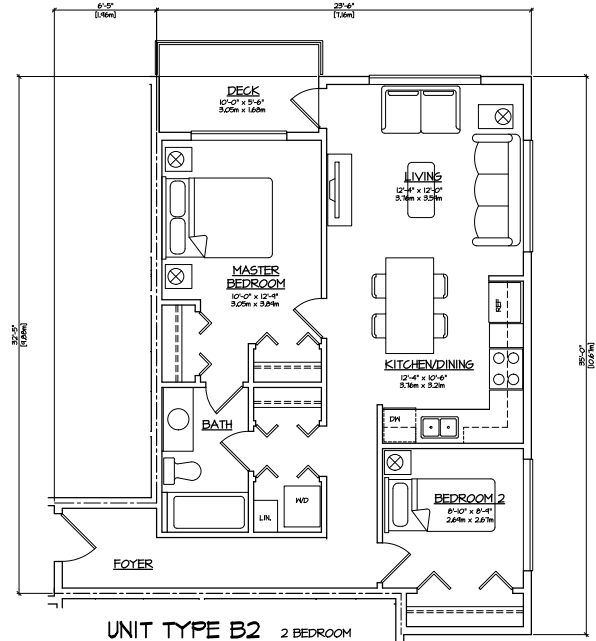
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-1.03



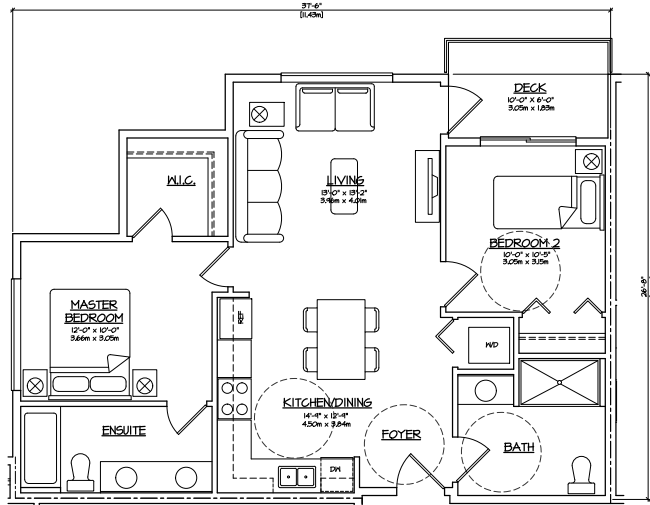
**UNIT TYPE A** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
576 S.F.  
(53.51 m<sup>2</sup>)



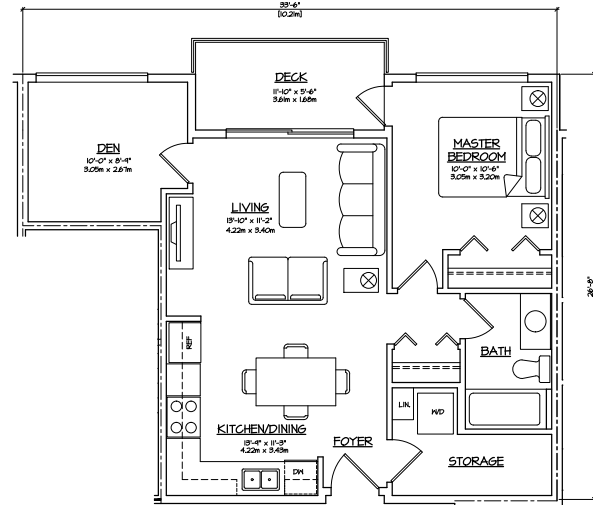
**UNIT TYPE B** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
805 S.F.  
(74.74 m<sup>2</sup>)



**UNIT TYPE B2** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
782 S.F.  
(72.65 m<sup>2</sup>)



**UNIT TYPE B1** | 2 BEDROOM H/C ADAPTABLE  
SCALE: 1/4" = 1'-0"  
864 S.F.  
(80.21 m<sup>2</sup>)



**UNIT TYPE B3** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
702 S.F.  
(65.22 m<sup>2</sup>)

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REV.	DATE	BY	ISSUED FOR



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DESIGN :	J.S.
DRAWN :	BARNETT
DATE :	May 22
SCALE :	1/4" = 1'-0"
CLIENT :	JOE PHALUVAL
PROJECT :	COMMERCIAL CONDO DEVELOPMENT LOT L-1833 BARNSTON DRE, SURREY, B.C.
SHEET CONTENTS :	UNIT PLANS

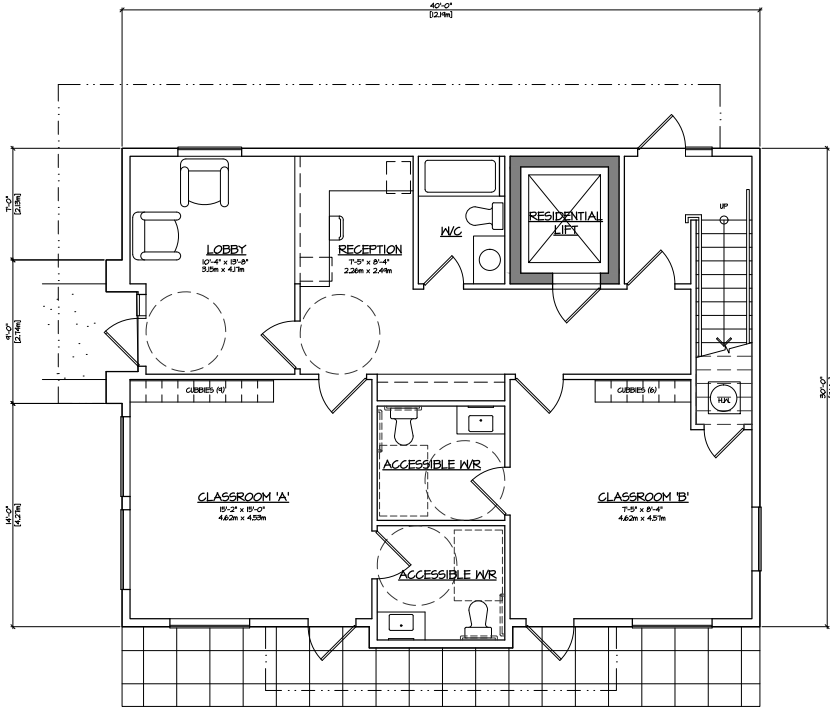
**barnett denbck**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

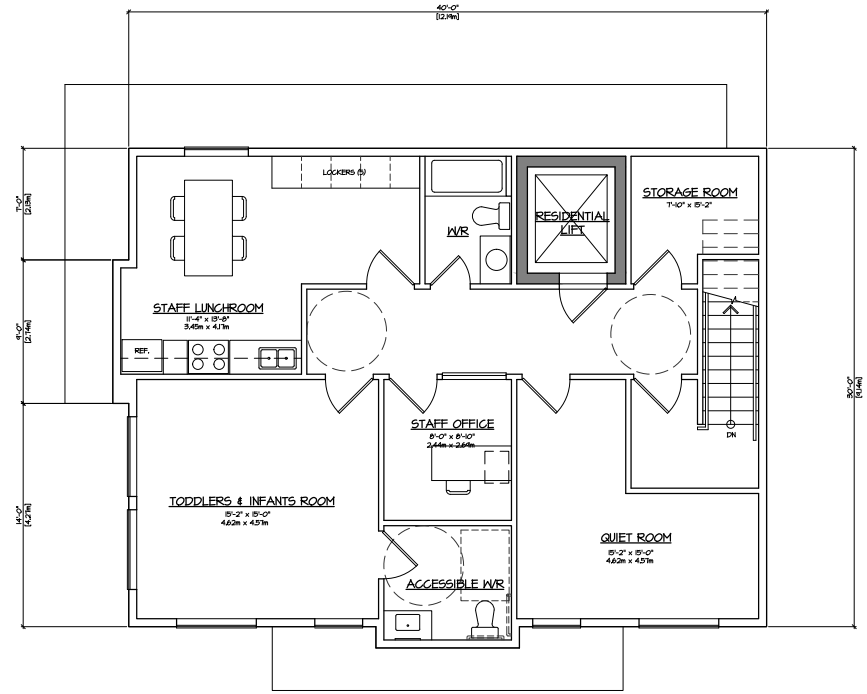
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-2.01

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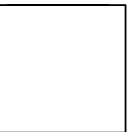


**DAYCARE CONCEPT - 1st FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1211 S.F.  
 (112.5 m<sup>2</sup>)



**DAYCARE CONCEPT - 2nd FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1221 S.F.  
 (113.4 m<sup>2</sup>)

ISSUE #	DATE	BY	ISSUED FOR
1	FEB. 14/22	J.F.S.	DEVELOPMENT PERMIT



00P-EL-DAYCARE.dwg

DESIGN	DATE
J.F.S.	Nov. 22

CLIENT : JOE DHALIWAL  
 PROJECT : COMMERCIAL CONDO DEVELOPMENT  
 LOT L-14833 BARNSTON DRE. SURREY, B.C.  
 SHEET CONTENTS : DAYCARE - CONCEPTUAL FLOOR PLANS  
 (of 1-10)

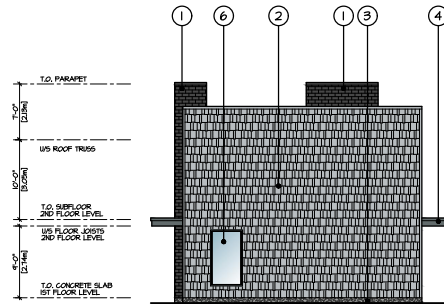


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

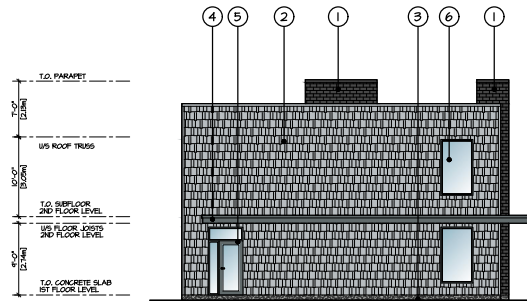
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15065	AC-2.02

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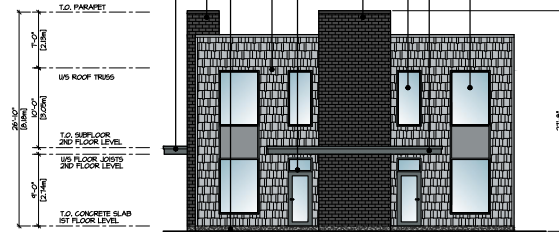


**NORTH ELEVATION**  
SCALE = 1/8" = 1'-0"

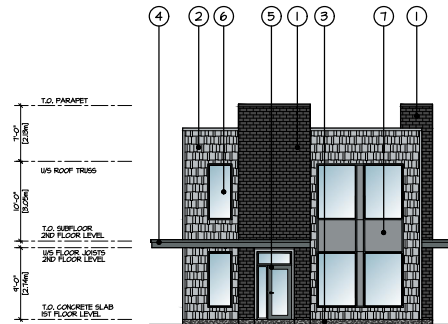


**WEST ELEVATION**  
SCALE = 1/8" = 1'-0"

SCHEDULE OF FINISHES	
①	BRICK VENEER HEBRON BRICKS, COLOUR: "SLATE GREY"
②	FIBRE-CEMENT SHINGLE SIDING C/M 3 1/2" CORNER TRIMS COLOUR: "FROST GREY A1442"
③	ARCHITECTURAL FINISHED CONCRETE C/M CLEAR SPRAY APPLIED SEALER
④	1X4 WOOD TRIM ON 2X10 WOOD FASCIA COLOUR: "GREAT GREY A1945"
⑤	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING - C/M 2X4 TRIMS COLOUR: "GREAT GREY A1945" TRIM COLOUR: "FROST GREY A1442"
⑥	VINYL FRAMED WINDOWS COLOUR: "DARK GRAY"
⑦	VINYL FRAMED WINDOWS C/M PREFINISHED FIBRE-CEMENT PANELS FRAME COLOUR: "DARK GRAY", PANELS COLOUR: "GREY PAINTMAN A2000"



**EAST ELEVATION**  
SCALE = 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE = 1/8" = 1'-0"

MATERIAL COLOURS	
DULUX - GREAT GREY A1945	
DULUX - GREY PENNANT A2000	
DULUX - FROST GREY A1442	
HEBRON BRICK - SLATE GRAY	

ISSUE	DATE	BY	ISSUED FOR
#1	FEB. 2022	J.F.E.	DEVELOPMENT PERMIT



PERSON :	JOE DHALIVAL
DATE :	NOV. 22
SCALE :	1/8" = 1'-0"
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT 14855 BARRINGTON DR. E. SURREY, B.C.
SHEET CONTENTS :	DAYCARE ELEVATIONS

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-203
15065	REV. NO.

**DAYCARE**



# CPTED REQUIREMENTS FOR UNDERGROUND PARKING

THE FOLLOWING IS A SUMMARY OF CPTED REQUIREMENTS FOR THE UNDERGROUND PARKING

- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
- c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
- d) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- e) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
- g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.



**PARKING GARAGE LEVEL 2**  
SCALE : 3/32" = 1'-0"

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ISSUED FOR	DATE	BY
DEVELOPMENT PERMIT	FEB. 14/22	L.F.F.

REV. NO.	DATE	BY	APP. NO.



CLIENT : JOE DHALIVAL

DESIGNER : L.F.F.

DRAWN : [Blank]

DATE : MAY 12

SCALE : 3/32" = 1'-0"

PROJECT : COMMERCIAL CONDO DEVELOPMENT  
LOT 14888 BARNSTON DRIVE, SURREY, B.C.

SHEET CONTENTS : PARKING GARAGE LEVEL 2 PLAN



UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

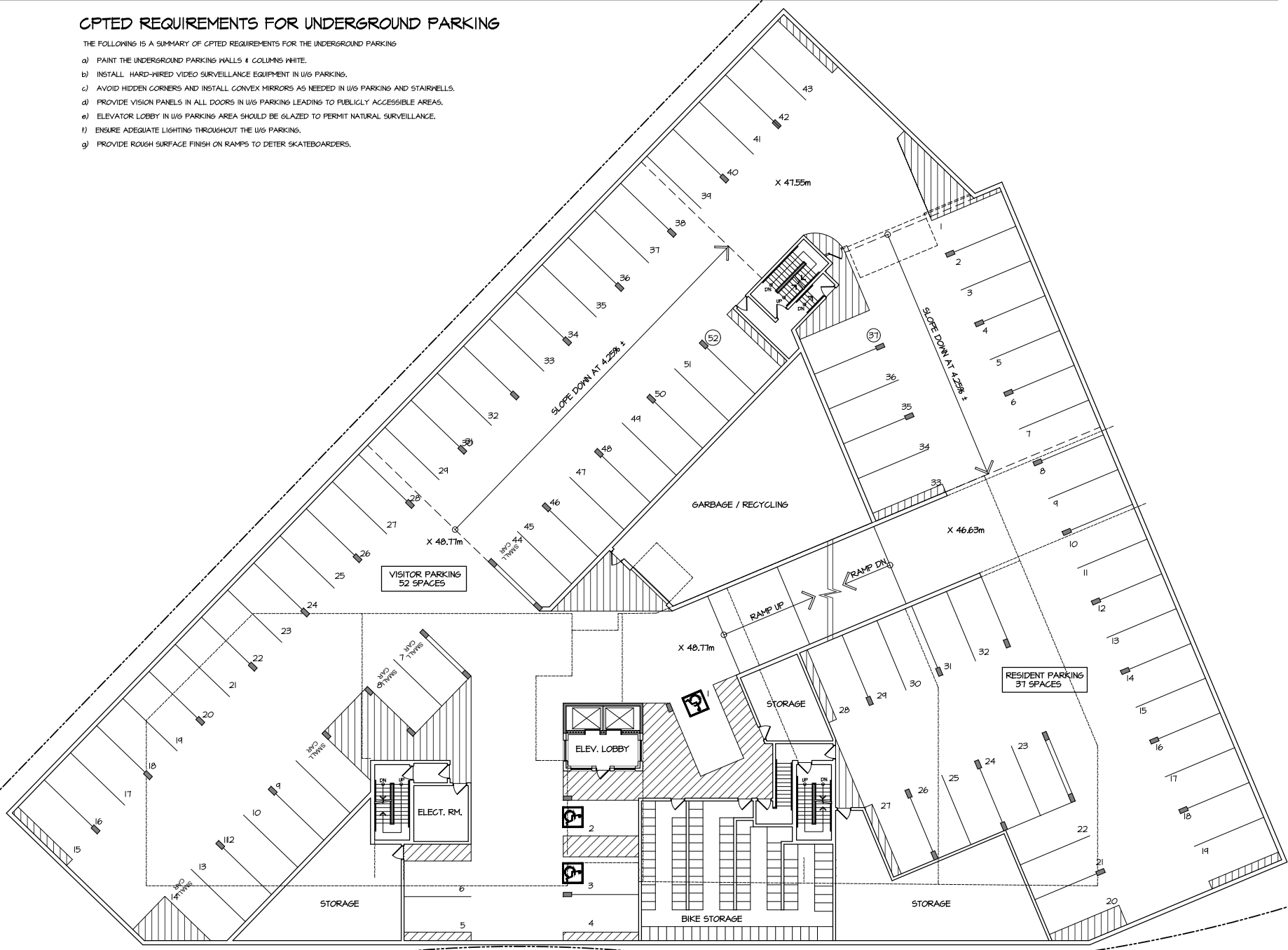
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-3.01

# CPTED REQUIREMENTS FOR UNDERGROUND PARKING

THE FOLLOWING IS A SUMMARY OF CPTED REQUIREMENTS FOR THE UNDERGROUND PARKING

- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
- c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
- d) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- e) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
- g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.



**PARKING GARAGE LEVEL I**  
SCALE = 3/32" = 1'-0"

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ISSUED FOR	DATE	BY
DEVELOPMENT PERMIT <td>1 FEB 2022 <td>LJF/L </td></td>	1 FEB 2022 <td>LJF/L </td>	LJF/L



GAP-6-CORONA.dwg

PERSON :	LJF/L
DATE :	1 FEB 2022
SCALE :	3/32" = 1'-0"

CLIENT : JOE DHALIVAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT 1488 BARRISTON DR E. SURREY, B.C.  
 SHEET CONTENTS : PARKING GARAGE LEVEL I PLAN

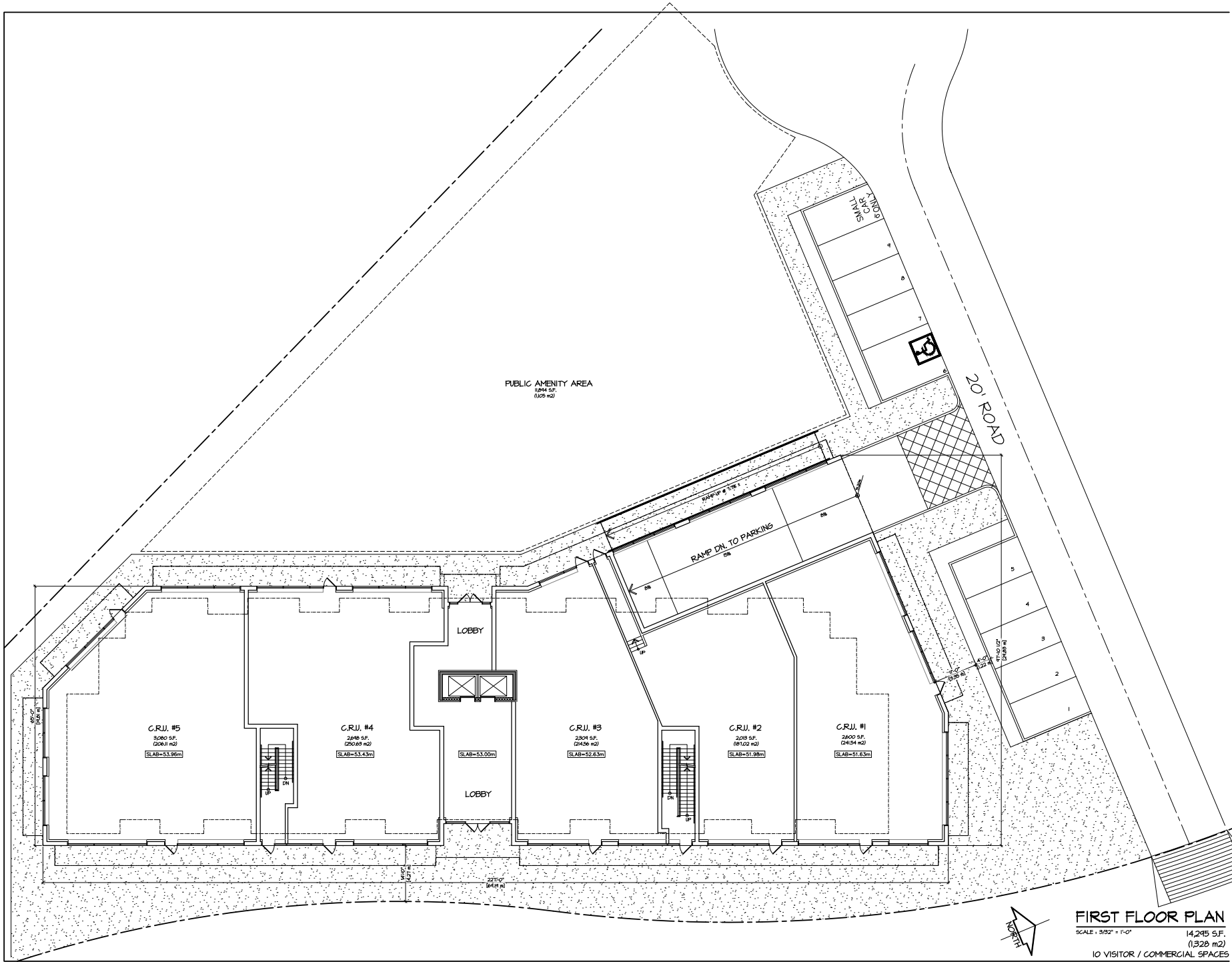


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-3.02
PROJECT NO.	REV. NO.
15065	

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ISSUED FOR	DATE	BY
DEVELOPMENT PERMIT	FEB. 04/22	L.F.F.

C49-6-COR04.dwg

CLIENT :	JOE DHALIVAL
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT 14895 BARRISTON DR. E. SURREY, B.C.
SHEET CONTENTS :	FIRST FLOOR PLAN
PERSON :	L.F.F.
DESIGN :	
DATE :	Mar 2, 22
SCALE :	3/32" = 1'-0"

**barnett dembek**

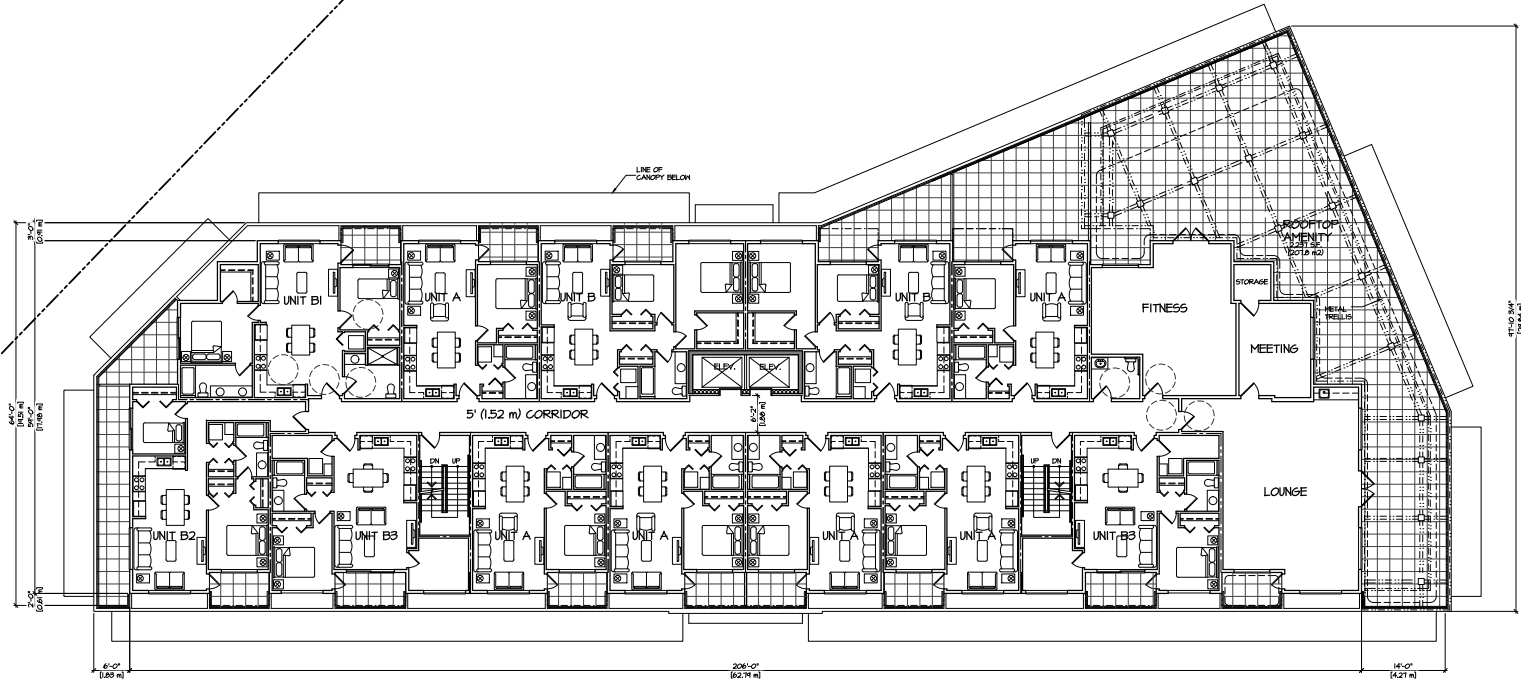
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15065	AC-3.03
	REV. NO.

**FIRST FLOOR PLAN**  
SCALE : 3/32" = 1'-0"  
14,245 S.F.  
(1,328 m<sup>2</sup>)  
10 VISITOR / COMMERCIAL SPACES

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**2nd FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"  
 12 UNITS + INDOOR AMENITY  
 1,630 S.F. INDOOR AMENITY (153.3 m<sup>2</sup>)  
 11,016 S.F. TOTAL (1,024 m<sup>2</sup>)

ISSUE NO.	DATE	BY	ISSUED FOR
# 1	FEB. 14/22	J.F.S.	DEVELOPMENT PERMIT



DESIGN : JOE DHALIVAL  
 DRAWN :  
 DATE : MAR. 2, 22  
 SCALE : 3/32" = 1'-0"

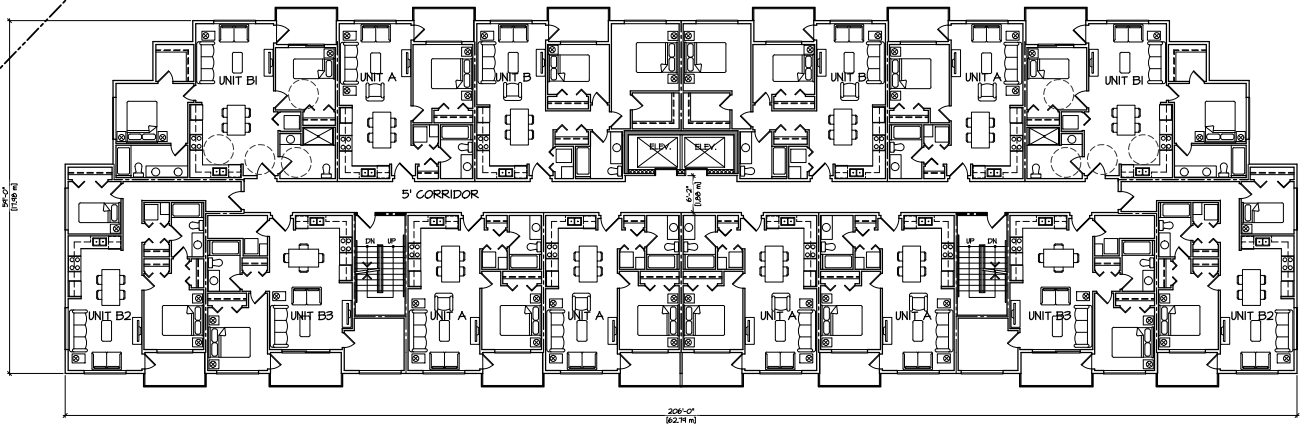
CLIENT : JOE DHALIVAL  
 PROJECT : COMMERCIAL CONDO DEVELOPMENT  
 LOT 1485 BARRISTON DR. E. SURREY, B.C.  
 SHEET CONTENTS :  
 2nd FLOOR PLAN



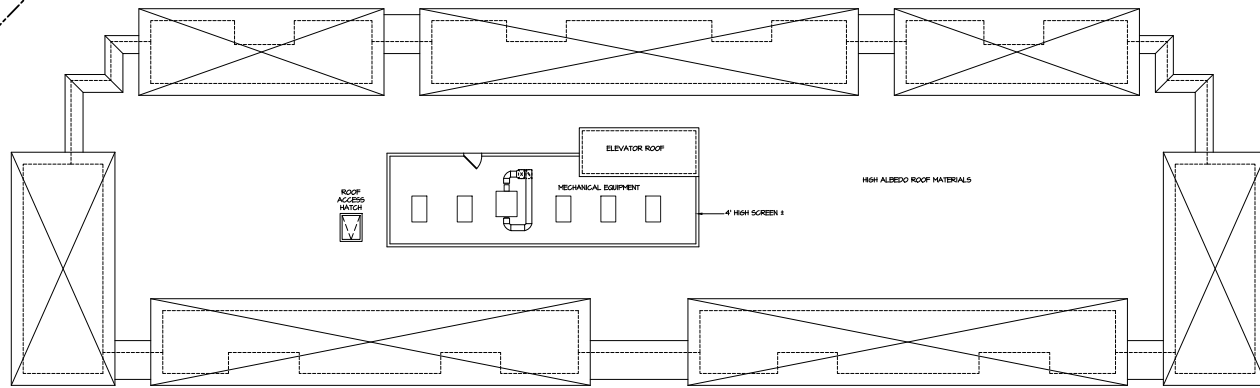
UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-3.04
PROJECT NO.	REV. NO.
15065	




**3rd-5th FLOOR PLANS**  
 SCALE: 3/32" = 1'-0"  
 14 UNITS PER FLOOR  
 11,076 S.F. PER FLOOR (1,024 m<sup>2</sup>)




**ROOF PLAN**  
 SCALE: 3/32" = 1'-0"

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REV#	DATE	BY	ISSUED FOR



**CLIENT :** JOE DHALIVAL  
**PROJECT :** COMMERCIAL CONDO DEVELOPMENT  
 LOT 14888 BARNISTON DRIVE, SURREY, B.C.  
**SHEET CONTENTS :** 3rd, 4th & 5th FLOOR & ROOF PLANS  
**REVISIONS :**  
 REVISION : L.F.A.  
 DRAWN :  
 DATE :  
 MAX 3.22  
 SCALE :  
 3/32" = 1'-0"



UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

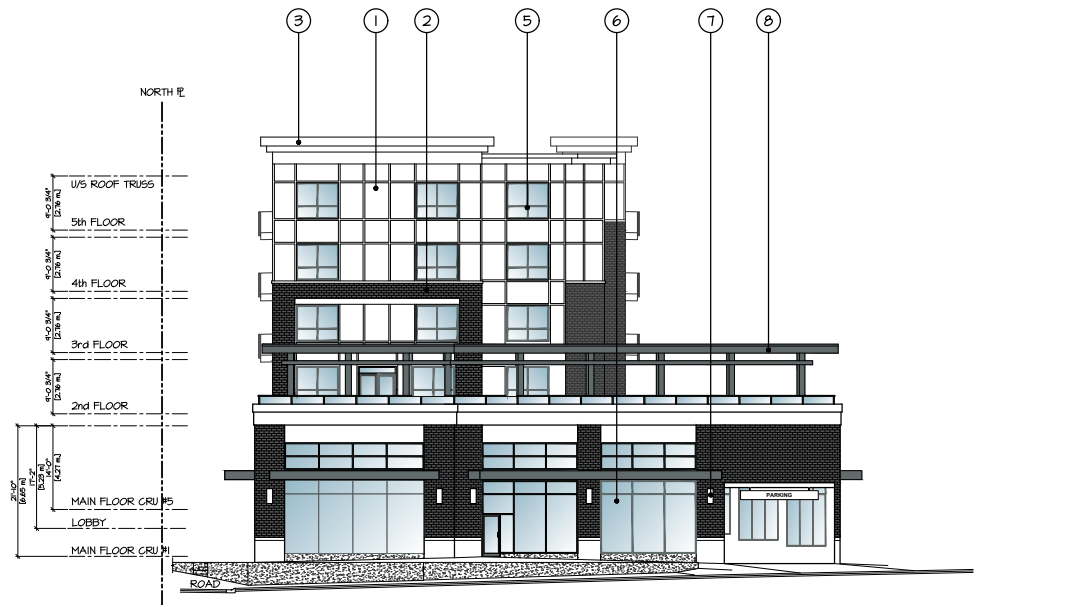
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-3.05
PROJECT NO.	REV. NO.
15065	

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**EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

**SCHEDULE OF FINISHES**

- ① PREFINISHED FIBER CEMENT SIDING WITH 4" WIDE BATTEN -DULUX - ATMOSPHERE
- ② BRICK VENEER -HEBRON BRICKS-SLATE GREY
- ③ PREFINISHED METAL CAP FLASHING
- ④ POWDER COATED ALUMINUM RAILINGS 6061 T3 TEMPERED GLAZING PANELS -DULUX - GREAT GREY AIR45
- ⑤ VINYL FRAMED WINDOWS -DULUX - GREAT GREY AIR45
- ⑥ ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM -DULUX - GREAT GREY AIR45
- ⑦ WALL MOUNTED LIGHT FIXTURE
- ⑧ PREFINISHED STEEL TRELIS -DULUX - GREAT GREY AIR45

ISSUE FOR	BY	DATE	DATE
DEVELOPMENT PERMIT	L.F.A.	FEB. 14/22	

DESIGN :	JOE DHALJAL
L.P.D. :	
DRAWN :	
DATE :	NOV. 3 '22
SCALE :	3/32" = 1'-0"

CLIENT :	JOE DHALJAL
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT 1-1493 BARRISTON DR. E. SURREY, B.C.
SHEET COMMENTS :	BUILDING ELEVATIONS

**barnett dempsey architects inc.**  
UNIT 135, 7536 130 STREET, SURREY, B.C. V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mcl@b-dorkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.01

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**WEST ELEVATION**

SCALE : 3/32" = 1'-0"

ISSUE NO.	DATE	BY	ISSUED FOR
#1	FEB. 02/22	L.P.F.	DEVELOPMENT PERMIT

REV#	DATE	BY	REV.



**SOUTH ELEVATION**

SCALE : 3/32" = 1'-0"

**SCHEDULE OF FINISHES**

- ① PREFINISHED FIBER CEMENT SIDING WITH 4" WIDE BATTEN - DULUX - ATMOSPHERE
- ② BRICK VENEER - HEBRON BRICKS - SLATE GREY
- ③ PREFINISHED METAL CAP FLASHING
- ④ POWDER COATED ALUMINUM RAILINGS  
GM TEMPERED GLAZING PANELS  
- DULUX - GREAT GREY A145
- ⑤ VINYL FRAMED WINDOWS - DULUX - GREAT GREY A145
- ⑥ ANODIZED ALUMINUM STOREFRONT  
GLAZING SYSTEM  
- DULUX - GREAT GREY A145
- ⑦ WALL MOUNTED LIGHT FIXTURE
- ⑧ PREFINISHED STEEL TRELIS - DULUX - GREAT GREY A145



DESIGN L.P.D.	DRAWN	DATE	SCALE
		FEB. 3 22	3/32" = 1'-0"

CLIENT : JOE DHALJAL

PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
LOT 1-4933 BARNSTON DR.E. SURREY, B.C.

SHEET CONTENTS :  
BUILDING ELEVATIONS

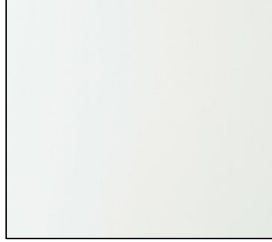
**barnett dembek**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mcd@dbarkitex.com

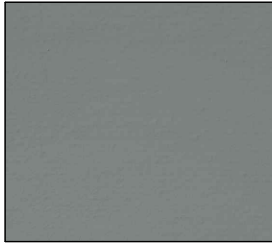
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.02

## MATERIALS BOARD



**PREFINISHED FIBRE-CEMENT PANELS SIDING**

COLOR: "ATMOSPHERE A0151"  
ELEVATIONS FINISH SCHEDULE NO: 1



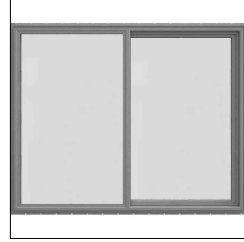
**PREFINISHED FIBRE-CEMENT PANELS SIDING**

COLOR: "GREY FENNANT A2000"  
ELEVATIONS FINISH SCHEDULE NO: 1



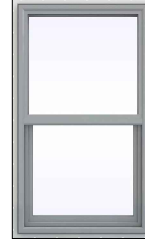
**THIN-SET BRICK VENEER**

COLOUR: "SLATE GREY" BY HEBRON BRICKS  
ELEVATIONS FINISH SCHEDULE NO: 2



**VINYL FRAMED WINDOWS**

DARK GREY FRAME WITH CLEAR GLAZING  
ELEVATIONS FINISH SCHEDULE NO: 5



**PREFINISHED STEEL TRELLIS & METAL CANOPIES**

COLOR: "GREAT GREY A1945"  
ELEVATIONS FINISH SCHEDULE NO: 8



**EXPOSED CONCRETE FOUNDATION WALLS**

CLEAR PENETRATING CONCRETE SEALER  
ELEVATIONS FINISH SCHEDULE NO: 4



**WALL MOUNTED LIGHT FIXTURES**

DARK GRAY FRAMES  
ELEVATIONS FINISH SCHEDULE NO: 7



**POWDER COATED ALUMINUM GUARDRAILS WITH TEMPERED GLAZING PANELS**

DARK GRAY ALUMINUM WITH CLEAR GLAZING  
ELEVATIONS FINISH SCHEDULE NO: 13



**ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM**

DARK GRAY ALUMINUM WITH CLEAR GLAZING  
ELEVATIONS FINISH SCHEDULE NO: 6

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ISSUE	DATE	BY	ISSUED FOR
#1	FEB. 2022	L.P.F.A.	DEVELOPMENT PERMIT



085-L-COND0-COLORED.dwg

DESIGN : L.P.F.A.	DRAWN : L.P.F.A.	DATE : FEB. 22	SCALE : 1/16"
CLIENT : JOE DHALIJAL			
PROJECT : COMMERCIAL CONDO DEVELOPMENT LOT 1-4888 BARRISTON DR. E. SURREY, B.C.			
SHEET CONTENTS : MATERIALS BOARD			



UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

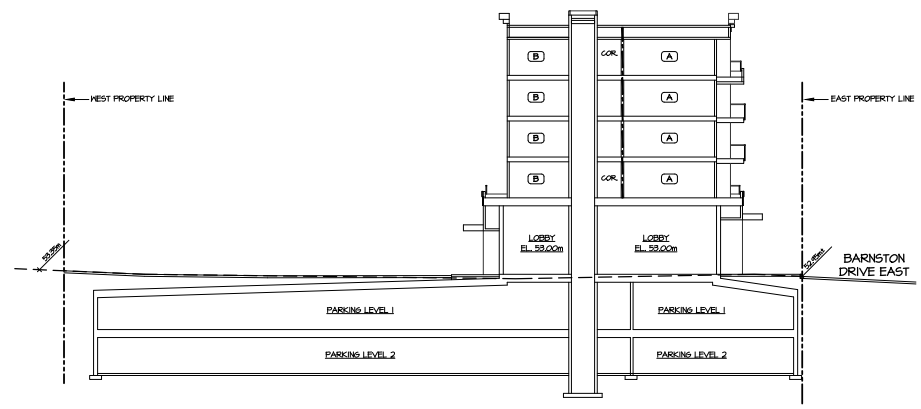
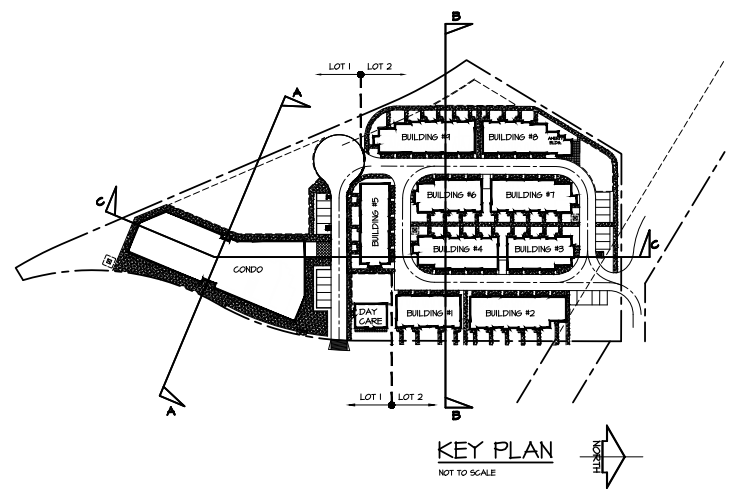
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: info@barnett-dem-bek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.03

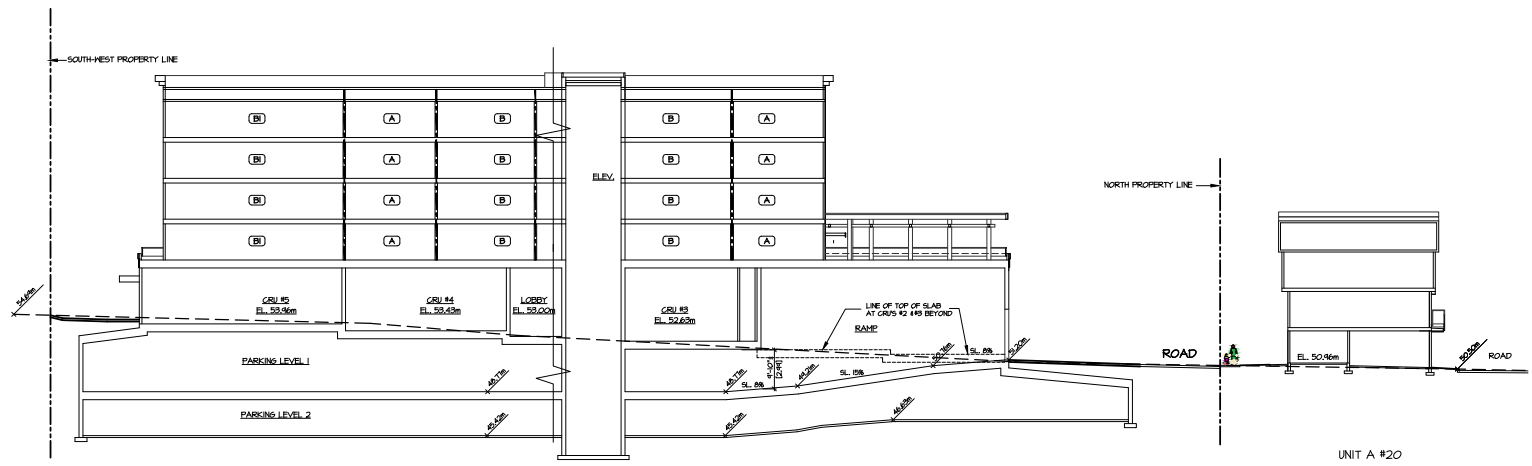


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ISSUE	DATE	BY	ISSUED FOR
#1	FEB. 02/22	L.F.B.	DEVELOPMENT PERMIT



SITE SECTION A-A



SITE SECTION C-C

689-K-CONDO.dwg

DESIGN : L.F.B.	DRAWN : L.F.B.	DATE : Nov. 3/22	SCALE : 1/8" = 1'-0"
CLIENT : JOE DHALJAL		PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT 1-4#23 BARNINGTON DR.E. SURREY/B.C.	
		SHEET CONTENTS : SCHEMATIC SITE SECTIONS	

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mdt@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-5.01

### DEVELOPMENT DATA LOT 2 - TOWNHOUSE

Site Area: Lot 2 Gross	97,158 s.f. +/-	2.230 Ac.	0.903 Ha.	9,026.3 m <sup>2</sup>
Trans-Mountain Pipeline SRW	5,678 s.f. +/-	0.130 Ac.	0.053 Ha.	527.5 m <sup>2</sup>
Site Area: Lot 2 Net (minus TMP)	91,480 s.f. +/-	2.100 Ac.	0.850 Ha.	8,498.8 m <sup>2</sup>
Utilities SRW	6,912 s.f. +/-	0.159 Ac.	0.064 Ha.	642.1 m <sup>2</sup>
F.A.R. Lot 2 Net	Provided =	82,924 s.f.	0.91 FAR	7,703.8 m <sup>2</sup>
Density Lot 2 Net	43 Units =	20.48 UPA	50.6 UPH	
Site Coverage Lot 2 Net	Allowable =	N/A s.f.	N/A %	
	Provided =	37,231 s.f.	40.7%	3,459 m <sup>2</sup>
Parking Required	2 spaces / unit Visitor 0.2 spaces / unit Total Townhouse	86 spaces 9 spaces 95 spaces		
Parking Provided	Garages Visitor spaces (0.3 spaces / unit) Total	86 spaces 14 spaces 100 spaces		
Amenity	<b>Outdoor</b> Required : 3.0 m <sup>2</sup> / Unit X Active Outdoor Amenity #1 Active Outdoor Amenity Total <b>Indoor</b> Required : 3.0 m <sup>2</sup> / Unit X	43 Units = = = = = 43 Units =	129.0 m <sup>2</sup> 154.0 m <sup>2</sup> 191.1 m <sup>2</sup> 345.1 m <sup>2</sup> 129.0 m <sup>2</sup> 156.4 m <sup>2</sup>	1,658 s.f. 2,057 s.f. 3,716 s.f.

### UNIT BREAKDOWN

Name	Type	Bsmt. S.F.	Main S.F.	Upper S.F.	Garage	Total w/o Gar	# of Units	Total S.F. Excluding Garage	
Unit A	3 Bedrooms	310 m <sup>2</sup> 28.8	692 64.3	762 70.8	410	1,764 163.9	11	19,404 s.f. 1,802.7 m <sup>2</sup>	
Unit A1	3 Bedrooms	192 m <sup>2</sup> 17.8	611 56.8	662 61.5	413	1,465 136.1	2	2,930 s.f. 272.2 m <sup>2</sup>	
Unit B	3 Bedrooms	384 m <sup>2</sup> 35.7	749 69.6	819 76.1	410	1,952 181.3	30	58,560 s.f. 5,440.4 m <sup>2</sup>	
<b>Total Units</b>							43	80,894 s.f. 7,515.3 m <sup>2</sup>	
Electrical Closets (#1, #3, #5)								56 s.f. 5.2 m <sup>2</sup>	3 168 s.f. 15.6 m <sup>2</sup>
Electrical Closets (#2, #4, #6)								73 s.f. 6.8 m <sup>2</sup>	3 220 s.f. 20.4 m <sup>2</sup>
<b>Total Electrical Closets</b>								6	404 s.f. 37.5 m <sup>2</sup>
Building Height	3 storeys						35.83 ft.	10.9 m	
Setbacks	West (to sheathing)	15 ft.	4.57 m						
	North (to sheathing)	56 ft.	17.07 m						
	South (to sheathing)	6 ft.	1.83 m						
	East (to sheathing)	8 ft.	2.44 m						
Building Site Coverage	<b>BUILDING NO. TOTALS S.F.</b>	<b>TOTAL BLDG AREA (S.M.)</b>							
	Bldg #1	3,459 s.f.± 321 m <sup>2</sup>							
	Bldg #2	4,976 s.f.± 462 m <sup>2</sup>							
	Bldg #3	3,451 s.f.± 321 m <sup>2</sup>							
	Bldg #4	4,327 s.f.± 402 m <sup>2</sup>							
	Bldg #5	4,064 s.f.± 378 m <sup>2</sup>							
	Bldg #6	3,451 s.f.± 321 m <sup>2</sup>							
	Bldg #7	4,327 s.f.± 402 m <sup>2</sup>							
	Bldg #8	4,183 s.f.± 389 m <sup>2</sup>							
	Bldg #9	4,995 s.f.± 464 m <sup>2</sup>							
	<b>Total</b>	<b>37,231 s.f.± 3459 m<sup>2</sup></b>							

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ISSUE NO.	DATE	BY	ISSUED FOR
# 1	FEB. 04/22	J.F.B.	DEVELOPMENT PERMIT



CLIENT : JOE DHALIVAL	DESIGN : J.F.B.	DRAWN : J.F.B.	DATE : FEB. 04/22	SCALE : 1/8" = 1'-0"	SHEET NO. : 15066
PROJECT : TOWNHOUSE DEVELOPMENT LOT 2 - 9895 BARRINGTON DR. E., SURREY, B.C.		SHEET COMBINS : DEVELOPMENT DATA - Lot 2			

**barnett dembek**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (804) 597-7100  
 FAX: (804) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-100
PROJECT NO.	REV. NO.
15066	

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**CONTEXT PLAN**  
 SCALE: 1" = 40'-0"

ISSUE	DATE	BY	ISSUED FOR
#1	FEB. 022	L.F.B.	DEVELOPMENT PERMIT



C&C-CONTEXT.dwg

DESIGN : L.F.B.	DRAWN : L.F.B.	DATE : FEB. 22	SCALE : 1" = 40'-0"
CLIENT : JOE DHALJAL	PROJECT : TOWNHOUSE DEVELOPMENT LOT 2 - 9839 BARNSTON DR. E., SURREY, B.C.		
SHEET CONTENTS : CONTEXT PLAN			

**barnett dember**  
 ARCHITECTS INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mcl@b-daritek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-1.01

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ISSUE NO.	DATE	BY	ISSUED FOR
#1	FEB 14/22	L.F.L.	DEVELOPMENT PERMIT



CAD-CHECKING

DESIGN : L.F.L.  
 DRAWN :  
 DATE :  
 SCALE :  
 1" = 40'-0"

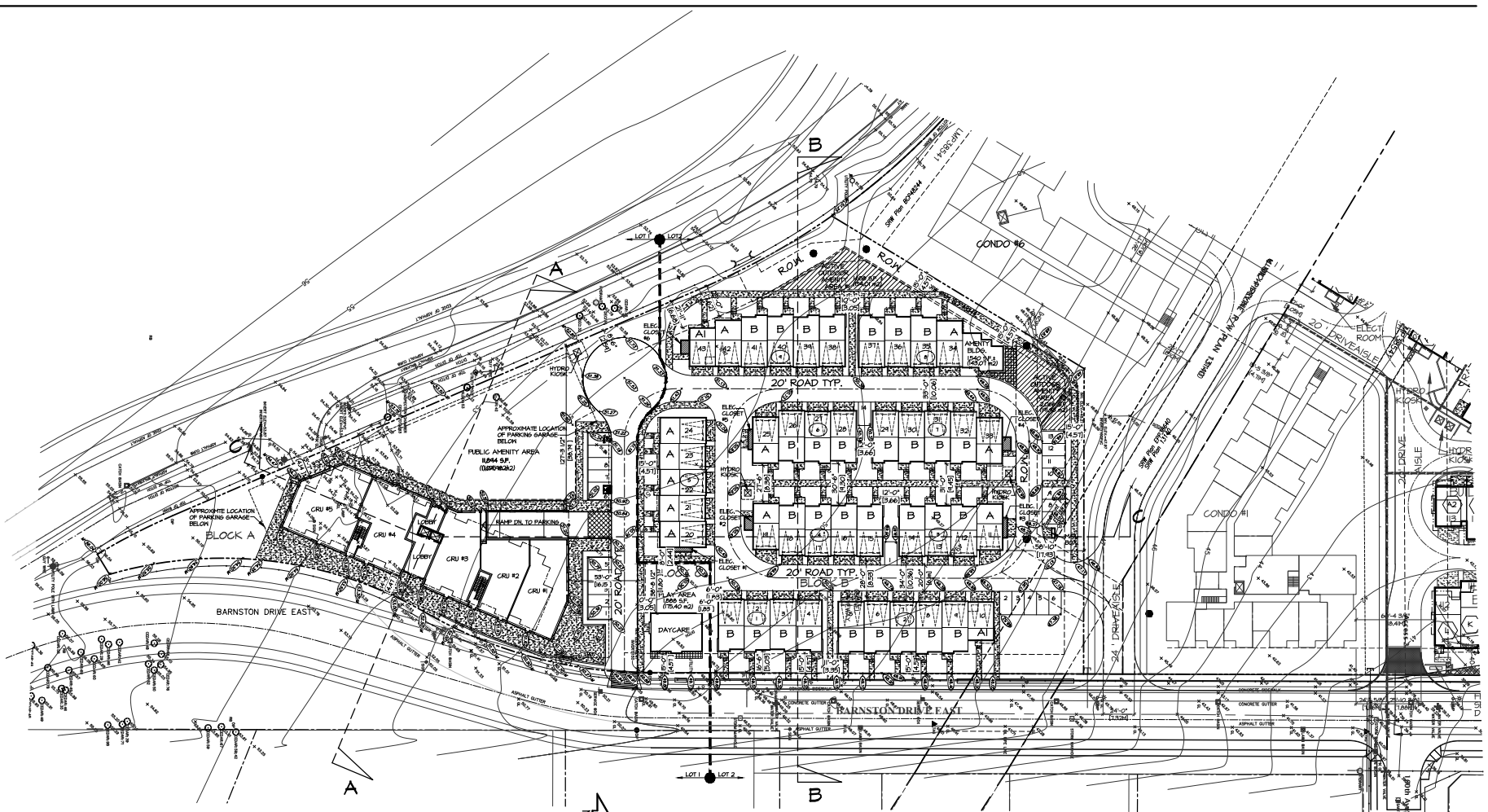
CLIENT : JOE DHALIVAL  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT 2 - 9885 BARNSTON DR. E., SURREY, B.C.  
 SHEET COMMENTS :  
 OVERALL SITE PLAN

**barnett dembek**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

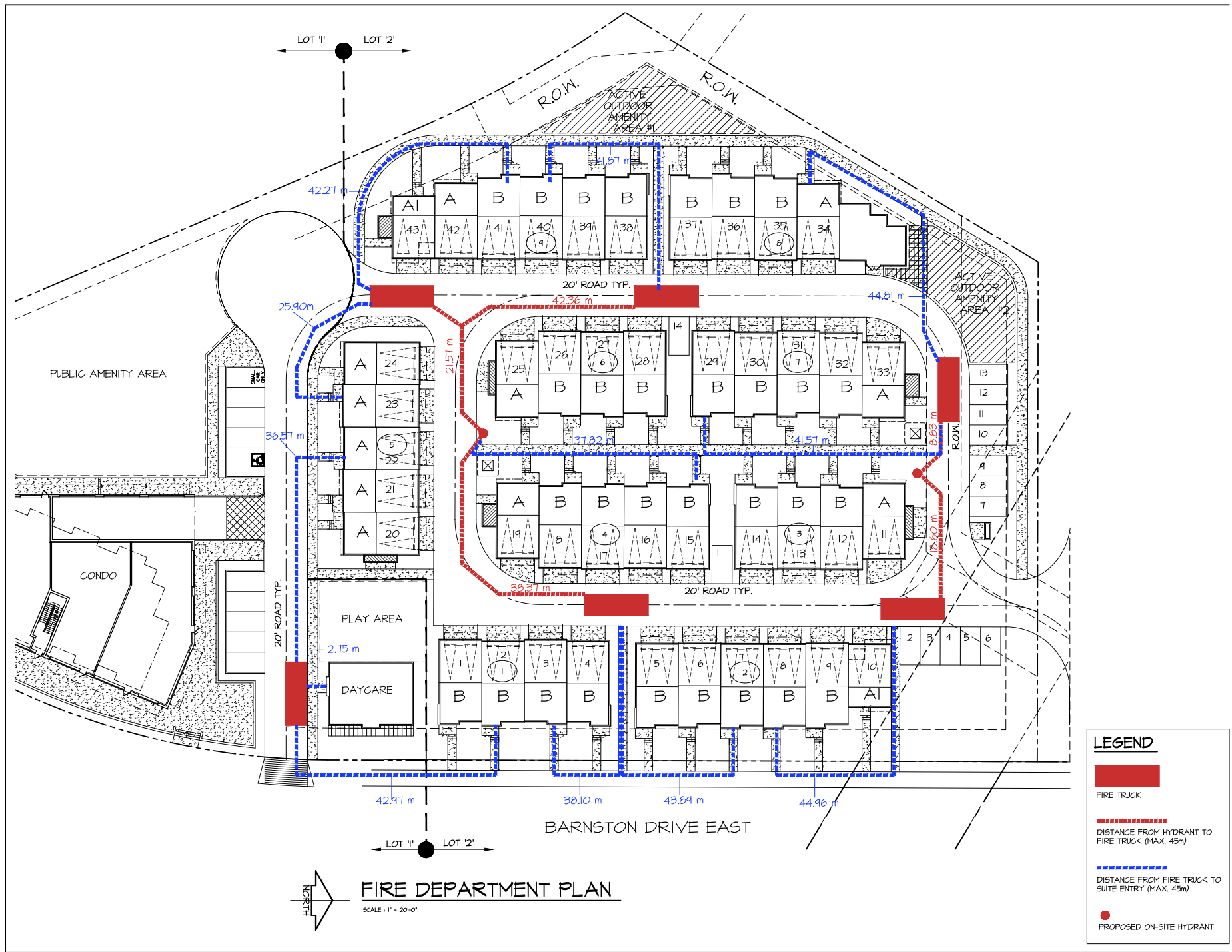
PHONE: (804) 597-7100  
 FAX: (804) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO. SHEET NO.  
 PROJECT NO. AC-102  
 15066 REV. NO.



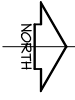
OVERALL SITE PLAN  
 SCALE: 1" = 40'-0"

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### FIRE DEPARTMENT PLAN

SCALE: 1" = 20'-0"



**LEGEND**

- FIRE TRUCK
- DISTANCE FROM HYDRANT TO FIRE TRUCK (MAX. 45m)
- DISTANCE FROM FIRE TRUCK TO SUITE ENTRY (MAX. 45m)
- PROPOSED ON-SITE HYDRANT

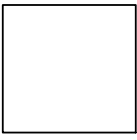
ISSUED FOR	DATE	BY	L.F.E.L.
DEVELOPMENT PERMIT	FEB/2022		

ISSUE #1	DATE	BY	L.F.E.L.

REV#	DATE	BY	QCD



CAD-C-11466

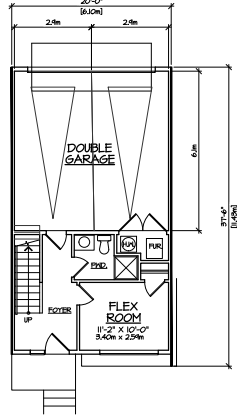
PERSON: L.F.E.L.	DATE: MAY 13 2022
DRAWN: L.F.E.L.	SCALE: 1" = 20'-0"
CLIENT: JOE DHALIWAL	
PROJECT: TOWNHOUSE DEVELOPMENT LOT 2 - 9855 BARNSTON DR. E., SURREY, B.C.	
SHEET CONTENTS: FIRE DEPARTMENT PLAN	

**barnett dembek**

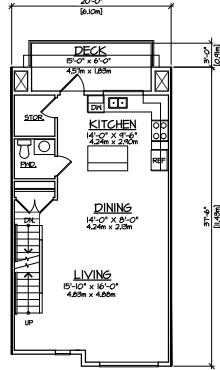
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

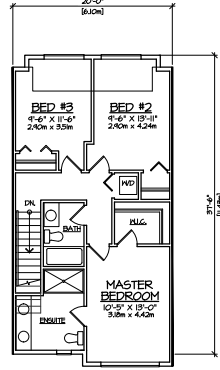
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-103



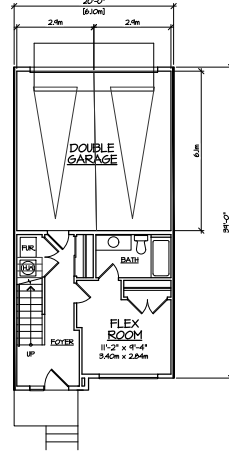
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 310 S.F. (28.8m<sup>2</sup>)  
GARAGE AREA 410 S.F. (38.1m<sup>2</sup>)



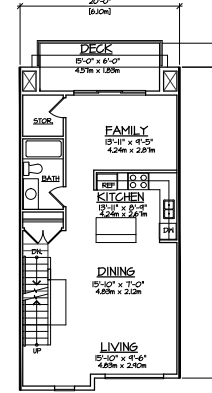
**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
642 S.F. (64.3m<sup>2</sup>)



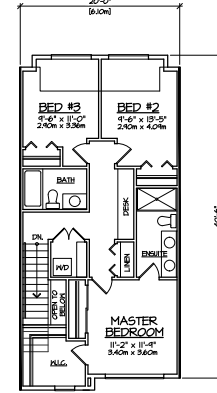
**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
762 S.F. (70.8m<sup>2</sup>)  
**UNIT TYPE 'A'**  
TOTAL FLOOR AREA 1,764 S.F. (163.9m<sup>2</sup>)  
(GARAGE NOT INCLUDED)



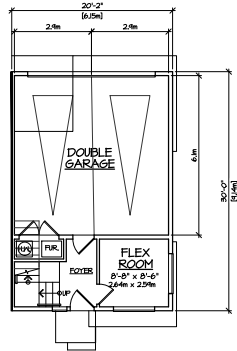
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 384 S.F. (35.7m<sup>2</sup>)  
GARAGE AREA 410 S.F. (38.1m<sup>2</sup>)



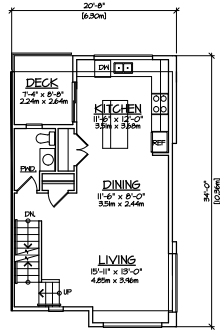
**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
749 S.F. (69.6m<sup>2</sup>)



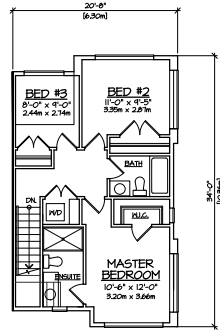
**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
819 S.F. (76.1m<sup>2</sup>)  
**UNIT TYPE 'B'**  
TOTAL FLOOR AREA 1,452 S.F. (134.3m<sup>2</sup>)  
(GARAGE NOT INCLUDED)



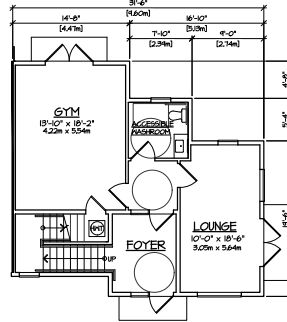
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 142 S.F. (17.8m<sup>2</sup>)  
GARAGE AREA 413 S.F. (38.4m<sup>2</sup>)



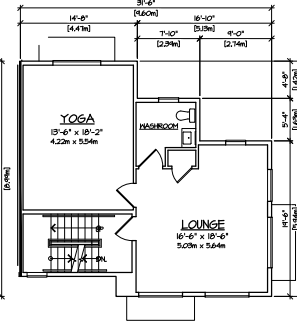
**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
611 S.F. (56.8m<sup>2</sup>)



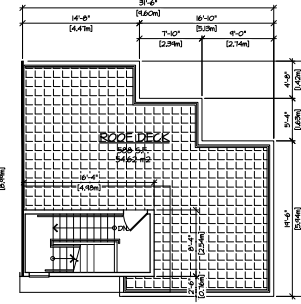
**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
662 S.F. (61.5m<sup>2</sup>)  
**UNIT TYPE 'A'**  
TOTAL FLOOR AREA 1,465 S.F. (136.1m<sup>2</sup>)  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
713 S.F. (71.8 m<sup>2</sup>)



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
713 S.F. (71.8 m<sup>2</sup>)



**ROOF DECK PLAN**  
SCALE: 1/8" = 1'-0"  
139 S.F. (12.8 m<sup>2</sup>)  
**AMENITY**  
TOTAL FLOOR AREA 1,602 S.F. (156.3 m<sup>2</sup>)  
(GARAGE NOT INCLUDED)

REV	DATE	BY	ISSUED FOR

DESIGN :	J.P.S.
DRAWN :	J.P.S.
DATE :	May 22
SCALE :	1/8" = 1'-0"
CHECKED :	J.P.S.
DATE :	
SCALE :	
CHECKED :	
DATE :	
SCALE :	

CLIENT : JOE DHALIWAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.  
SHEET CONTENTS : UNIT PLANS

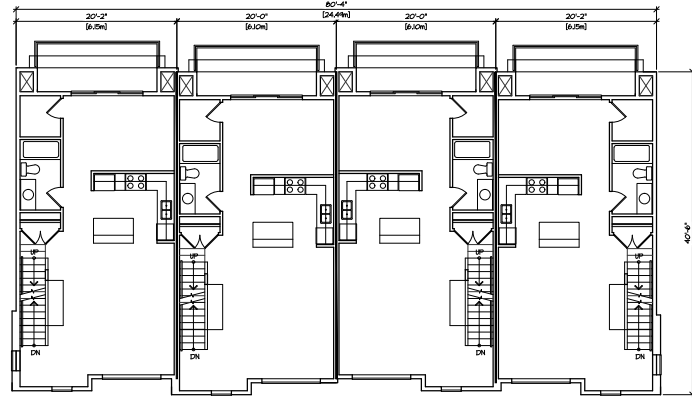
**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO. SHEET NO.  
PROJECT NO. AC-2.01  
15066 REV. NO.

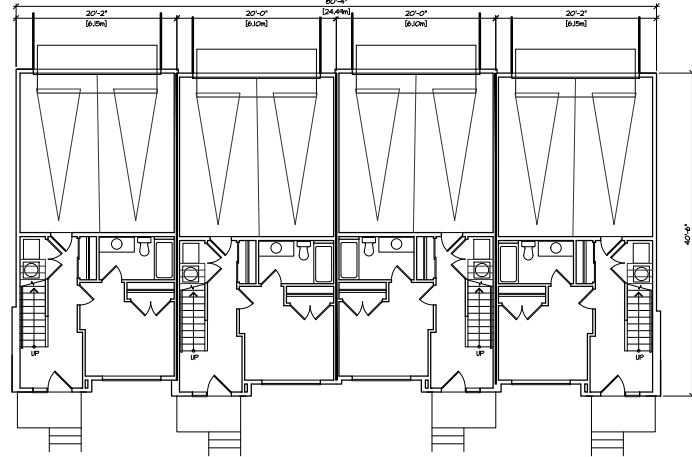
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**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

UNIT TYPE 'B'  
UNIT # 1    UNIT TYPE 'B'  
UNIT # 2    UNIT TYPE 'B'  
UNIT # 3    UNIT TYPE 'B'  
UNIT # 4



**GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

UNIT TYPE 'B'  
UNIT # 1    UNIT TYPE 'B'  
UNIT # 2    UNIT TYPE 'B'  
UNIT # 3    UNIT TYPE 'B'  
UNIT # 4



**ROOF SYMBOL SCHEDULE**

↑	- DIRECTION OF ROOF SLOPE DOWN
□	- 8 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #1**

REV. NO.	DATE	BY	ISSUED FOR

066-0-111-111111

DESIGN : J.P.S.	CLIENT : JOE DHALIWAL
DRAWN : 	PROJECT : TOWNHOUSE DEVELOPMENT LOT 2 - 9483 BARNISTON DR. E., SURREY, B.C.
DATE : MAY 22	SHEET CONTENTS : FLOOR PLANS BUILDING NO. 1
SCALE : 1/8" = 1'-0"	

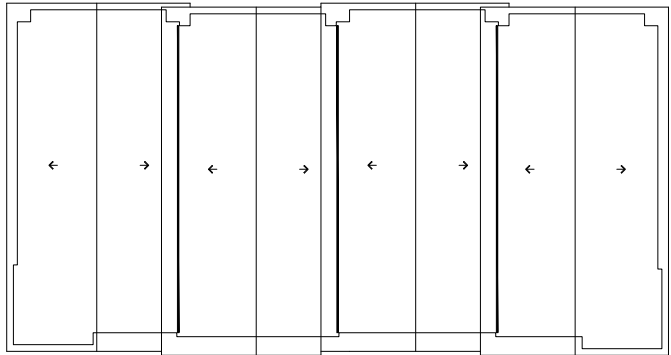


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

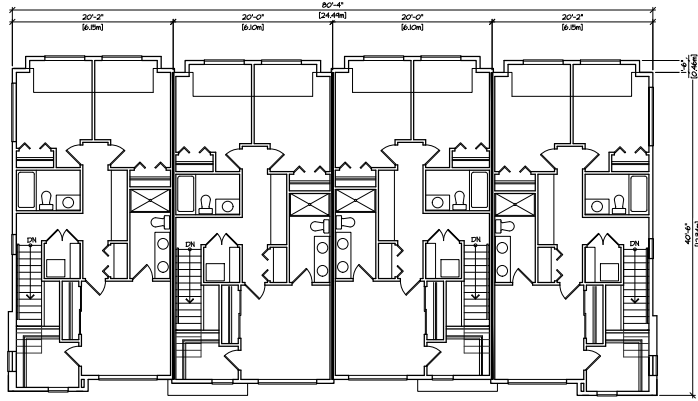
CLIENT NO. 	SHEET NO. AC-3.01
PROJECT NO. 15066	REV. NO. 

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UNIT TYPE 'B' UNIT # 1    UNIT TYPE 'B' UNIT # 2    UNIT TYPE 'B' UNIT # 3    UNIT TYPE 'B' UNIT # 4

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



UNIT TYPE 'B' UNIT # 1    UNIT TYPE 'B' UNIT # 2    UNIT TYPE 'B' UNIT # 3    UNIT TYPE 'B' UNIT # 4

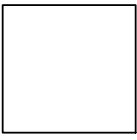
**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #1**

REV#	DATE	DRN	QCD	ISSUE #	DATE	BY	ISSUED FOR
				# 1	FEB. 16/22	L.F.F.	DEVELOPMENT PERMIT



DESIGN :	J.S.
DRAWN :	J.S.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 1



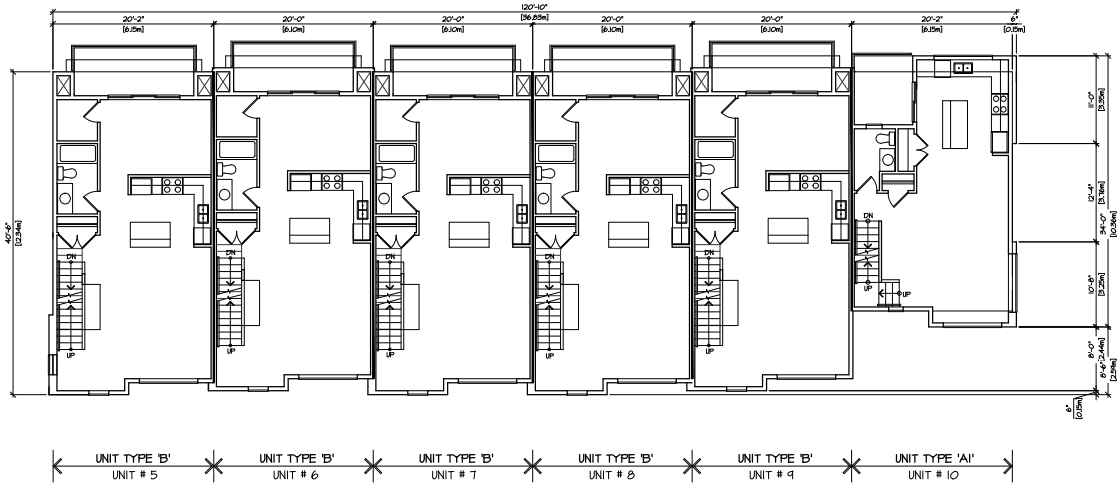
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

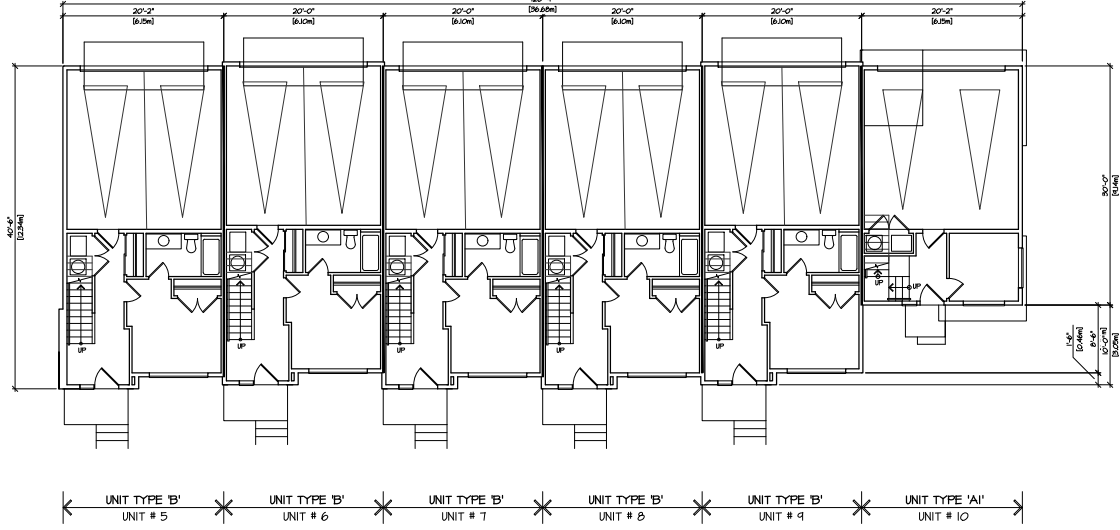
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-3,02



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**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭ (with diagonal lines)	- 6 / 12 ROOF SLOPE UNO.
▭ (with horizontal lines)	- 6 / 12 ROOF SLOPE

**BUILDING #2**

REV.	DATE	BY	ISSUED FOR
	FEB. 16/22	L.F.F.	DEVELOPMENT PERMIT
#1			

DESIGN :	J.S.
DRAWN :	
DATE :	Mar. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 2

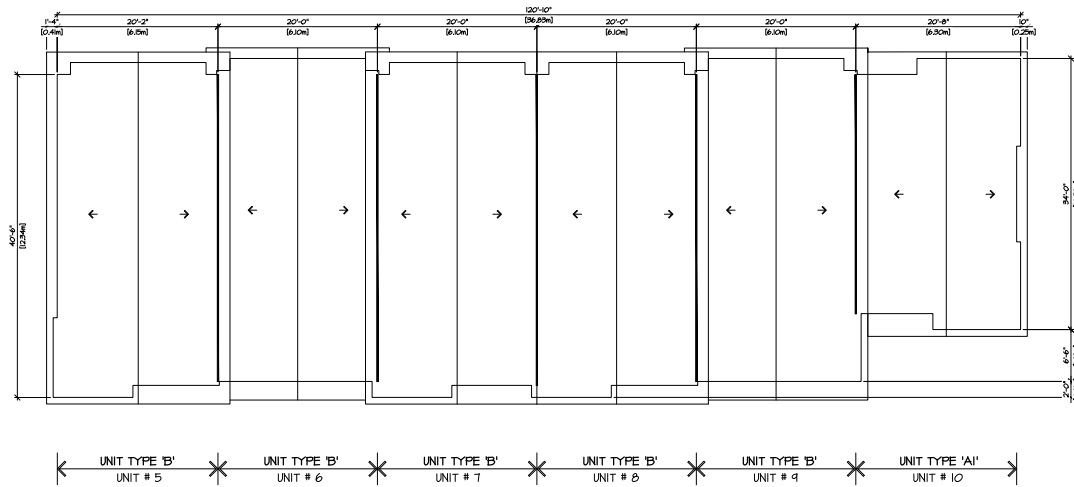


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

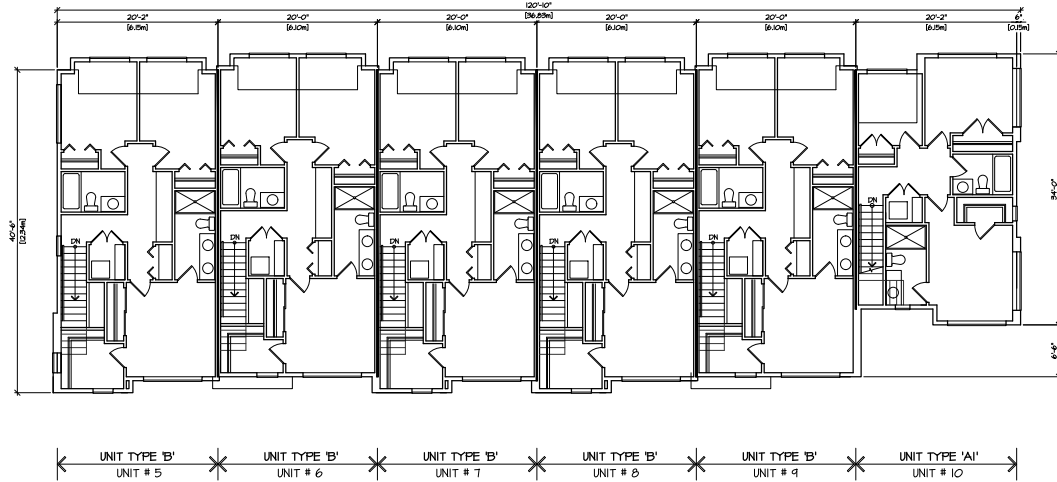
CLIENT NO.	SHEET NO.
15066	AC-3,03
PROJECT NO.	REV. NO.

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**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #2**

REV.	DATE	DRN.	QCD	ISSUE FOR
	FEB. 16/22			DEVELOPMENT PERMIT

DESIGN :	J.P.
DRAWN :	
DATE :	Mar 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 2

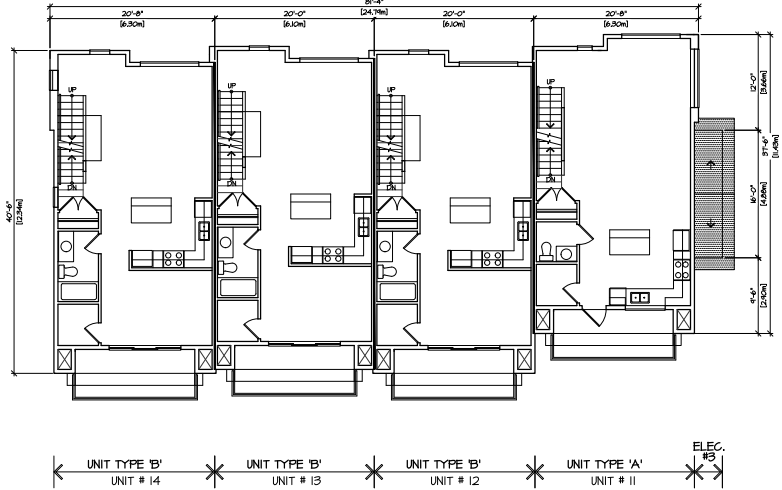


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

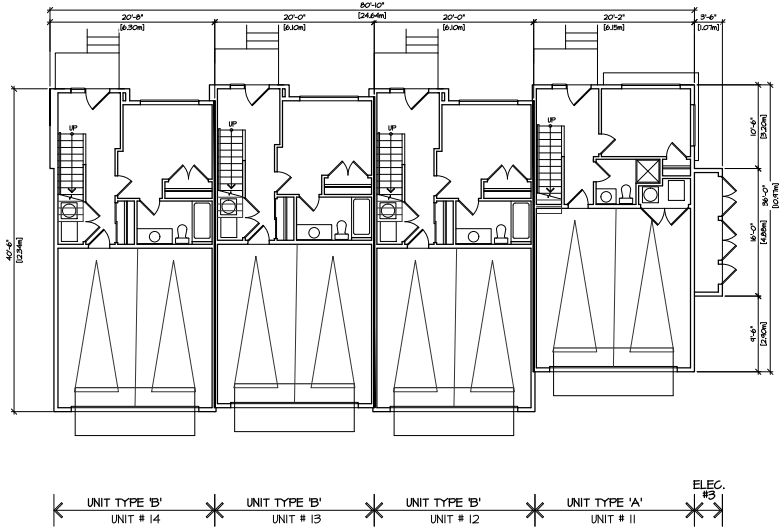
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3,04
15066	REV. NO.

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**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #3**

REV.	DATE	BY	DATE	ISSUE FOR
	FEB. 16/22	L.F.L.		DEVELOPMENT PERMIT

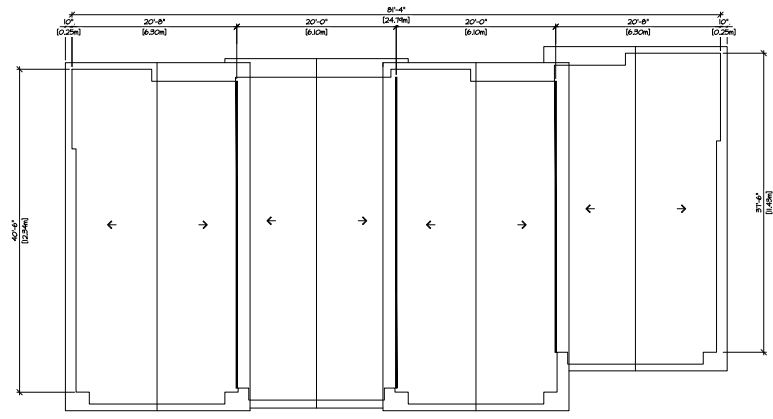
DESIGN :	J.P.S.
DRAWN :	J.P.S.
DATE :	Nov. 22
SHEET :	106
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9483 BARNSTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 3



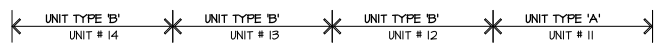
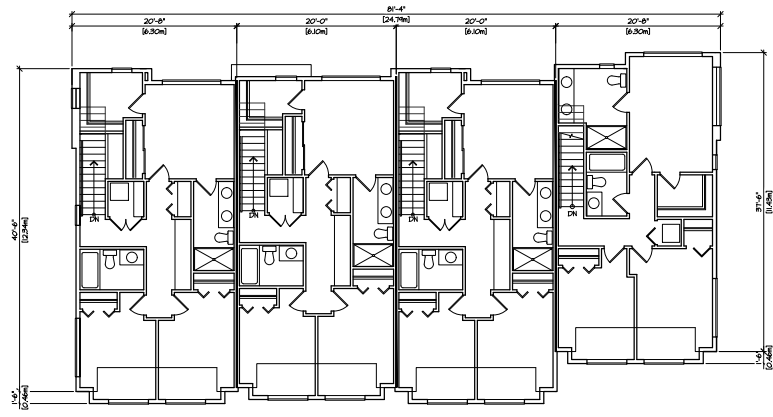
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3,05
REV. NO.	15066

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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 8 / 12 ROOF SLOPE UNQ.
▨	- 8 / 12 ROOF SLOPE

**BUILDING #3**

REV.	DATE	BY	ISSUED FOR
	FEB. 14/22	L.F.E.L.	DEVELOPMENT PERMIT
#1			

DESIGN :	J.P.S.
DRAWN :	
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 3

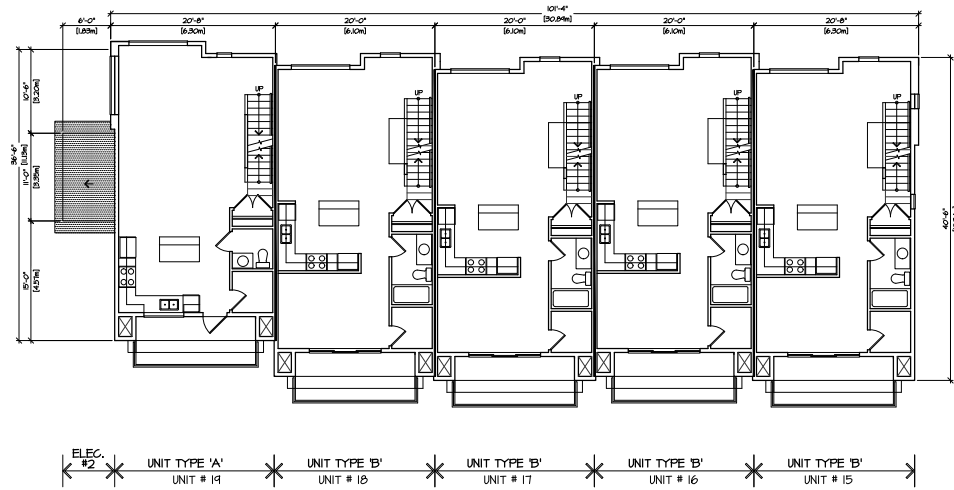


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

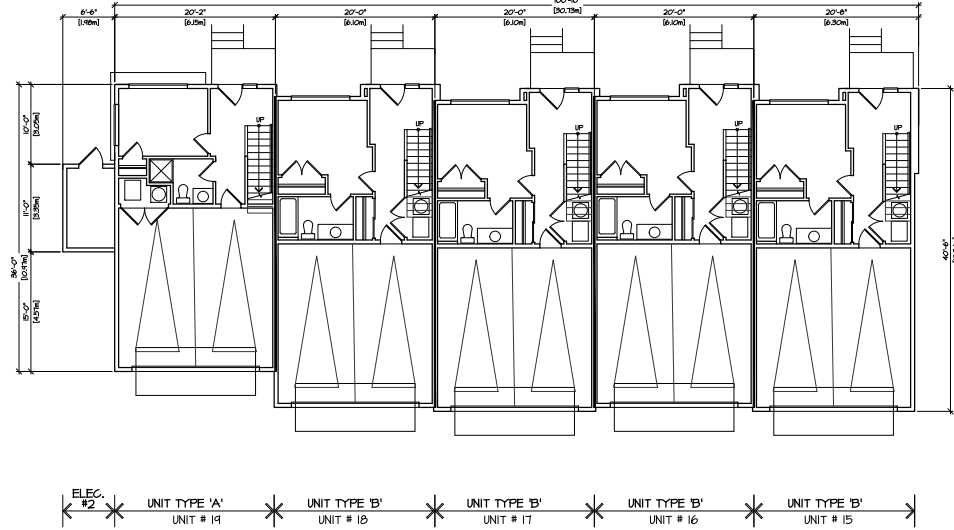
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3,06
REV. NO.	15066

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**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #4**

REV.	DATE	BY	DATE	ISSUED FOR
#1	FEB. 14/22	L.F.F.		DEVELOPMENT PERMIT

DESIGN :  
 J.S.  
 DRAWN :  
 DATE :  
 Rev. 2/22  
 SCALE :  
 1/8" = 1'-0"

CLIENT : JOE DHALIWAL

PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT 2 - 9483 BARNISTON DR. E., SURREY, B.C.

SHEET CONTENTS :  
 FLOOR PLANS  
 BUILDING NO. 4

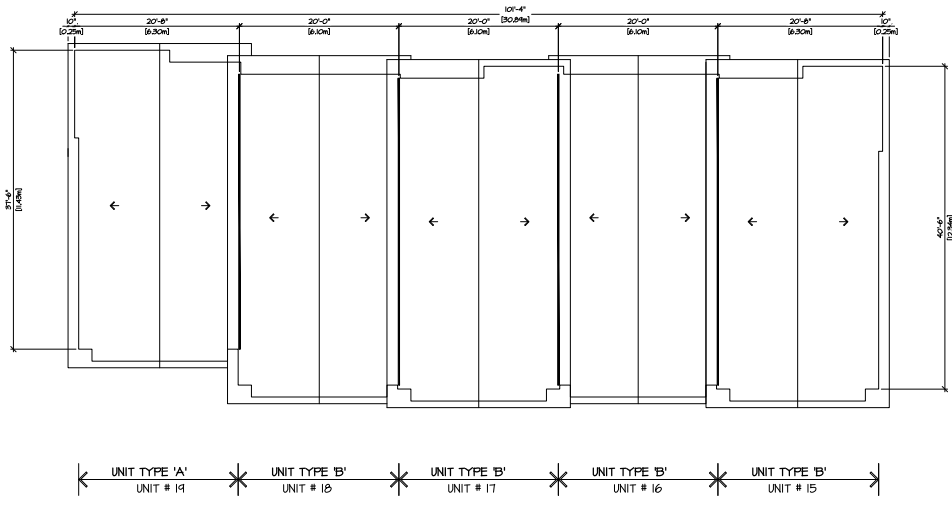


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

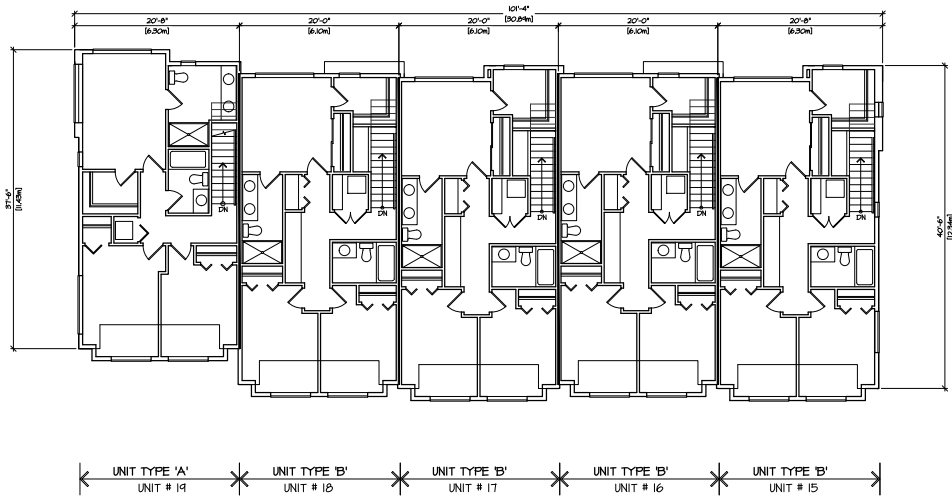
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15066	AC-3.01
PROJECT NO.	REV. NO.
15066	

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**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



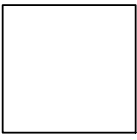
**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
□	- 0 / 12 ROOF SLOPE UNO.
▨	- 0 / 12 ROOF SLOPE

**BUILDING #4**

REV.	DATE	BY	ISSUED FOR
#1	FEB. 16/22	L.F.L.	DEVELOPMENT PERMIT



DESIGN :	J.P.S.
DRAWN :	
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9883 BARNISTON DR. E., SURREY, B.C.
SHEET CONTAINS :	FLOOR PLANS BUILDING NO. 4

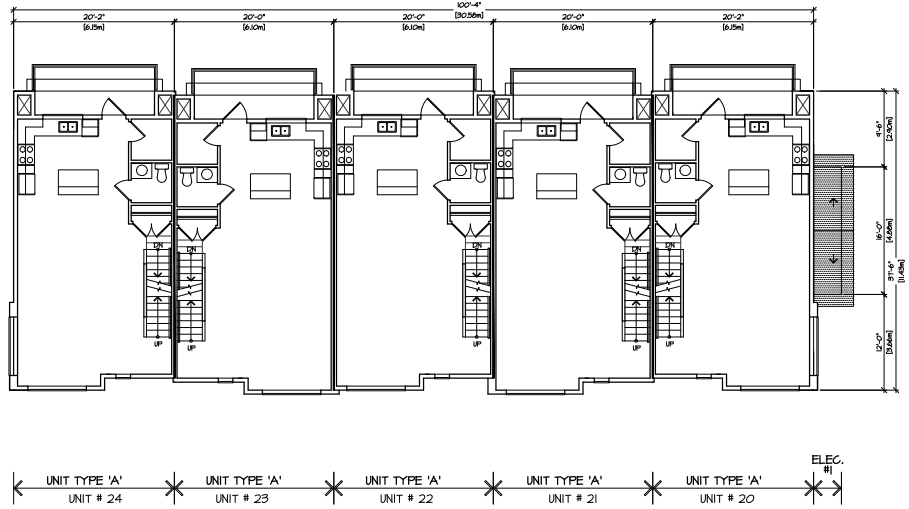


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

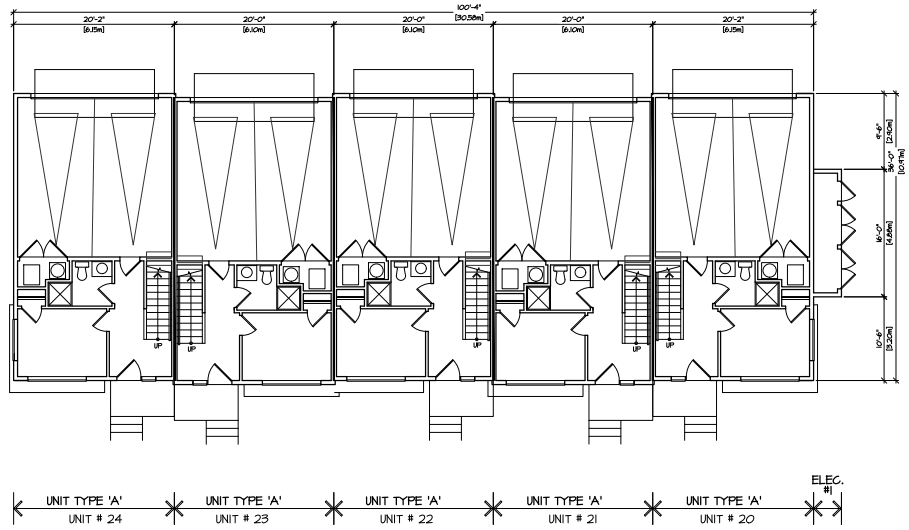
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15066	AC-3.08
PROJECT NO.	REV. NO.
15066	

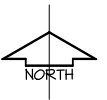
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**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



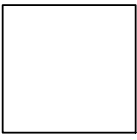
**GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #5**

REV.	DATE	BY	DATE	ISSUE FOR
				DEVELOPMENT PERMIT



DESIGN :	J.Z.
DRAWN :	
DATE :	Nov 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIVAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 5

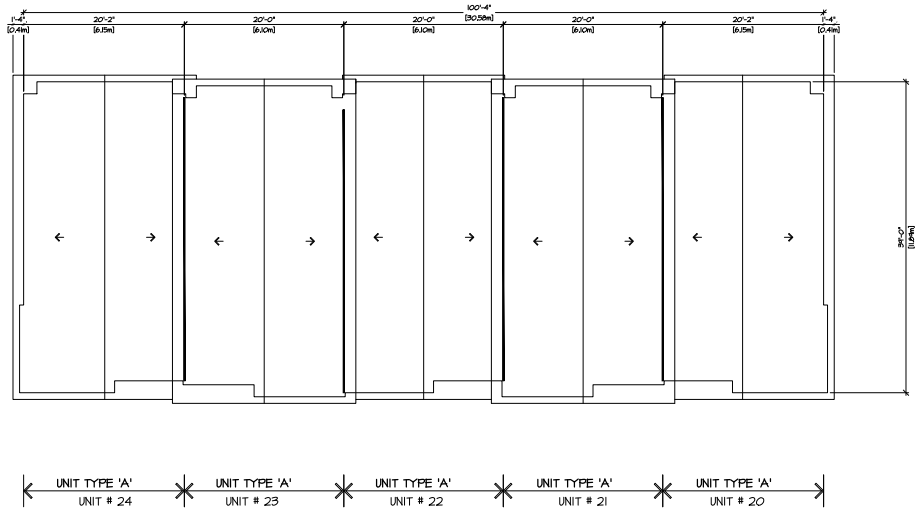
**barnett dembek**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

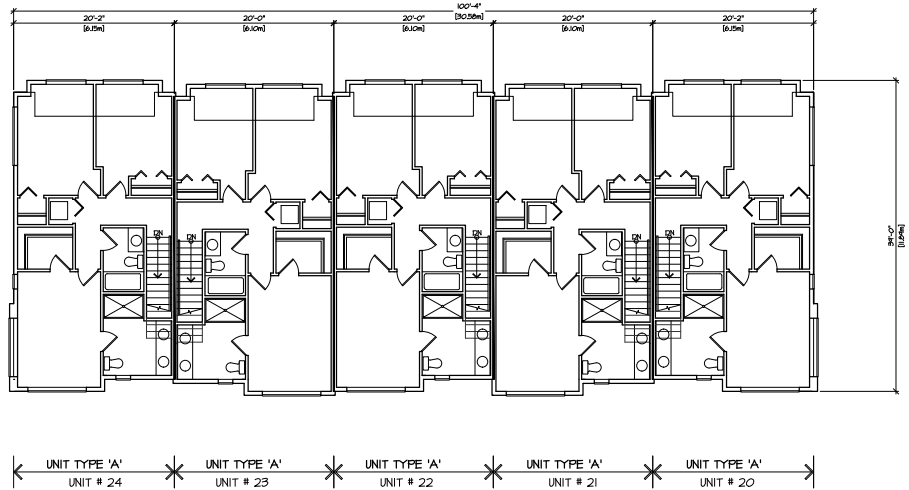
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3,09
REV. NO.	15066

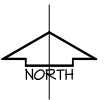
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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #5**

REV.	DATE	BY	ISSUED FOR
	FEB. 16/22	L.F.L.	DEVELOPMENT PERMIT
# 1			

DESIGN :	J.P.
DRAWN :	
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 5

**barnett dembek**

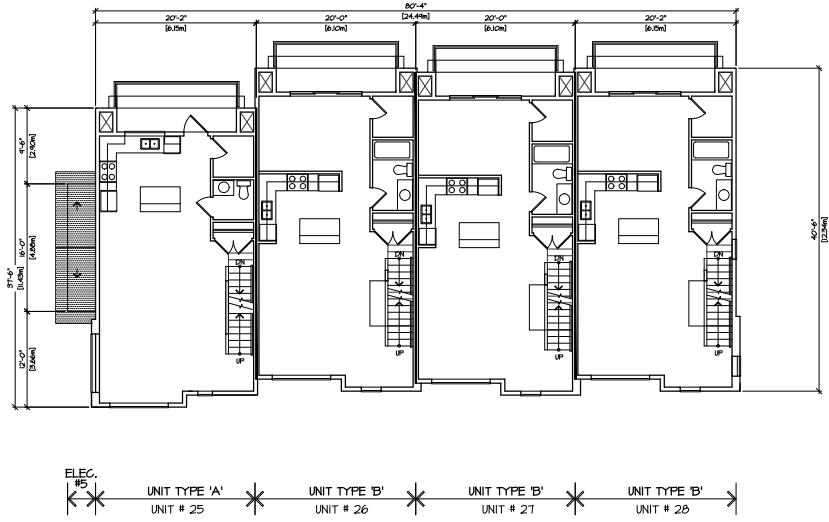
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

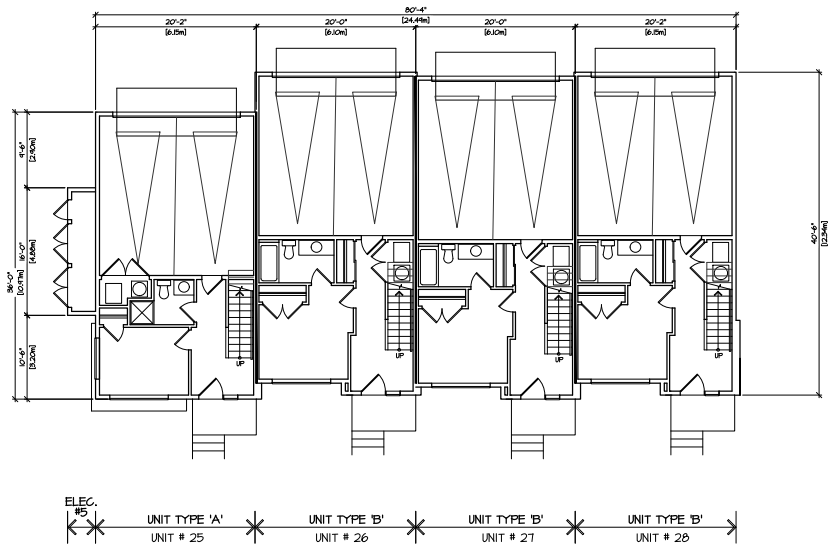
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-310
15066	REV. NO.



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**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #6**

REV.	DATE	BY	ISSUED FOR
#1	FEB. 16/22	L.F.F.	DEVELOPMENT PERMIT

DESIGN :	J.S.
DRAWN :	J.S.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIVAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 6

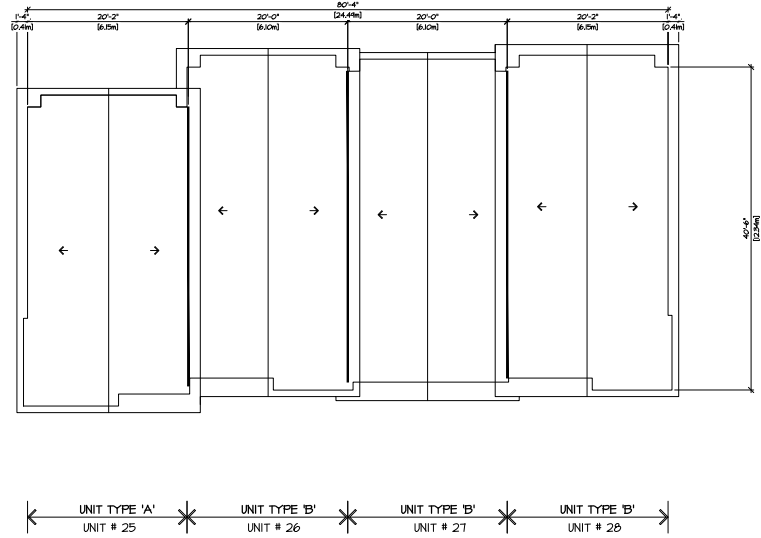


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

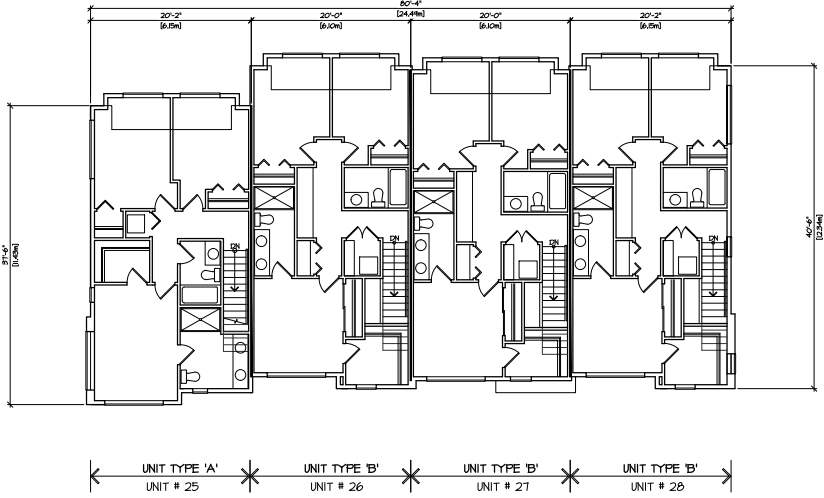
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-311
REV. NO.	15066

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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
□	- 6 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #6**

REV.	DATE	BY	ISSUED FOR
	FEB. 14/22	L.F.F.	DEVELOPMENT PERMIT

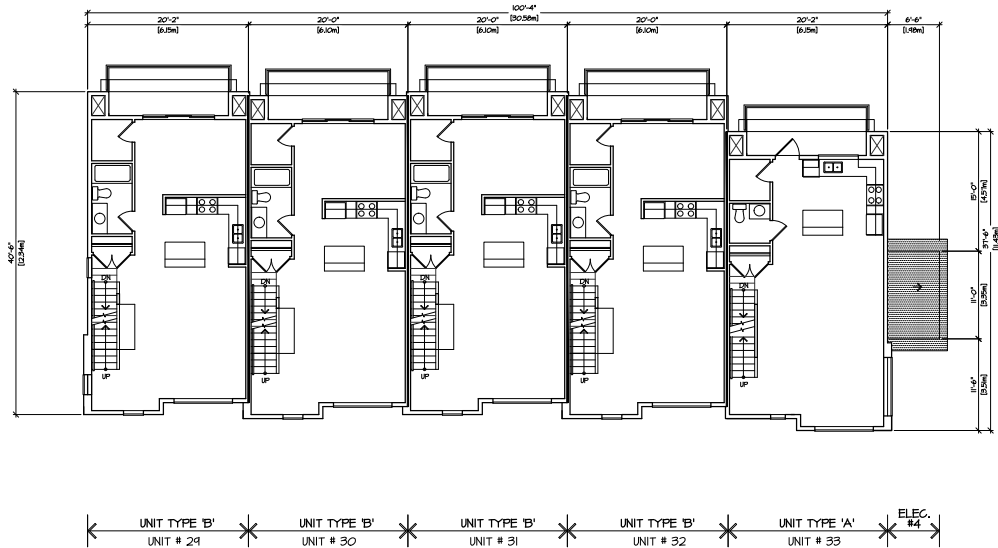
DESIGN :	JOE DHALIWAL
DRAWN :	
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 6

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

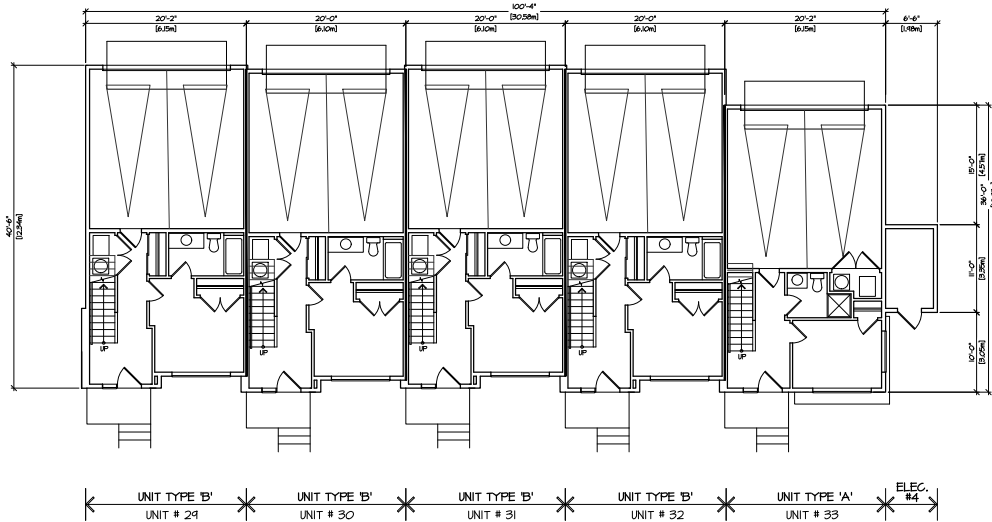
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-312



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	DIRECTION OF ROOF SLOPE DOWN
▭	0 / 12 ROOF SLOPE UNO.
▨	0 / 12 ROOF SLOPE

**BUILDING #7**

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REV.	DATE	BY	ISSUED FOR

DESIGN :  
DATE :  
SCALE :  
1/8" = 1'-0"

CLIENT : JOE DHALIWAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT 2 - 9483 BARNISTON DR. E., SURREY, B.C.  
SHEET CONTENTS : FLOOR PLANS  
BUILDING NO. 7

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

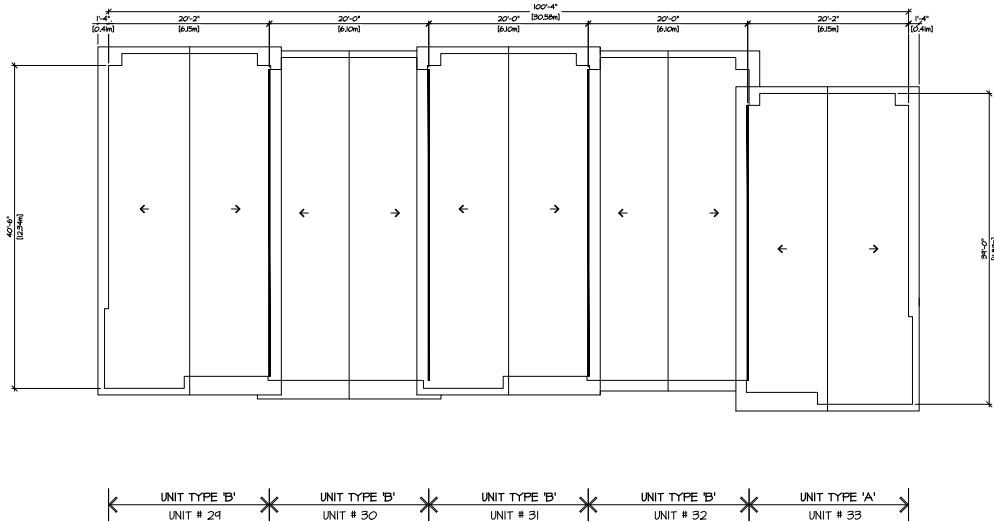
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.  
PROJECT NO.  
REV. NO.

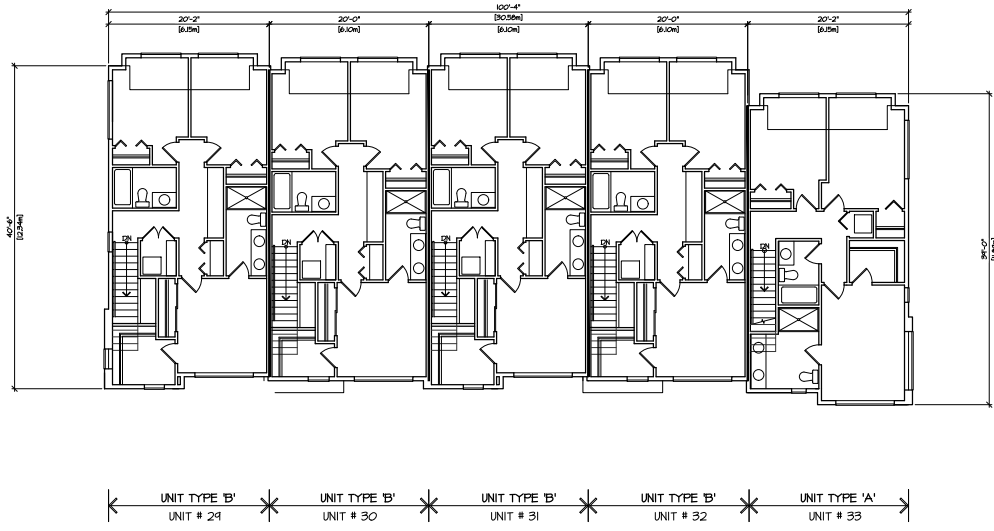
SHEET NO.  
AC-3.13

15066

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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #7**

REV.	DATE	BY	ISSUED FOR
	FEB. 16/22	L.F.L.	DEVELOPMENT PERMIT

DESIGN :	J.P.
DRAWN :	J.P.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 7

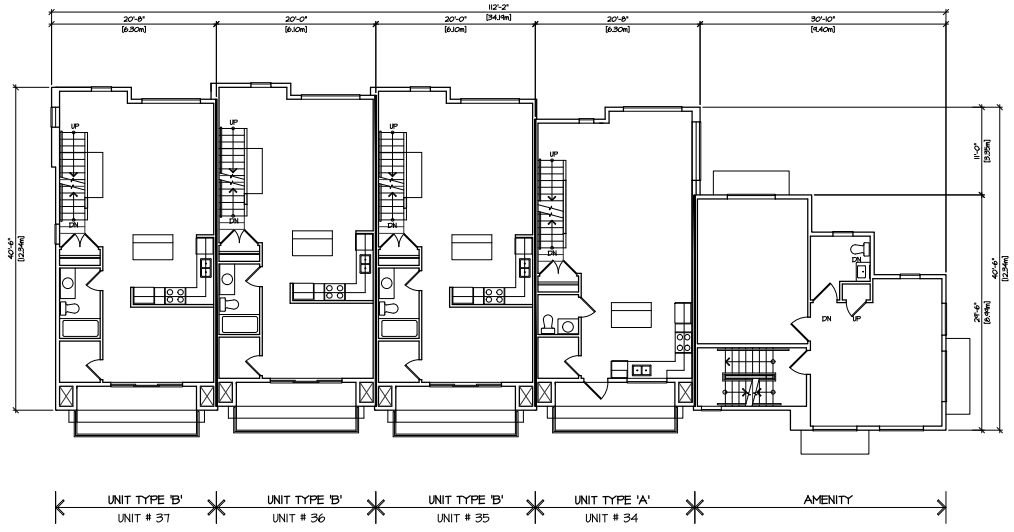


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

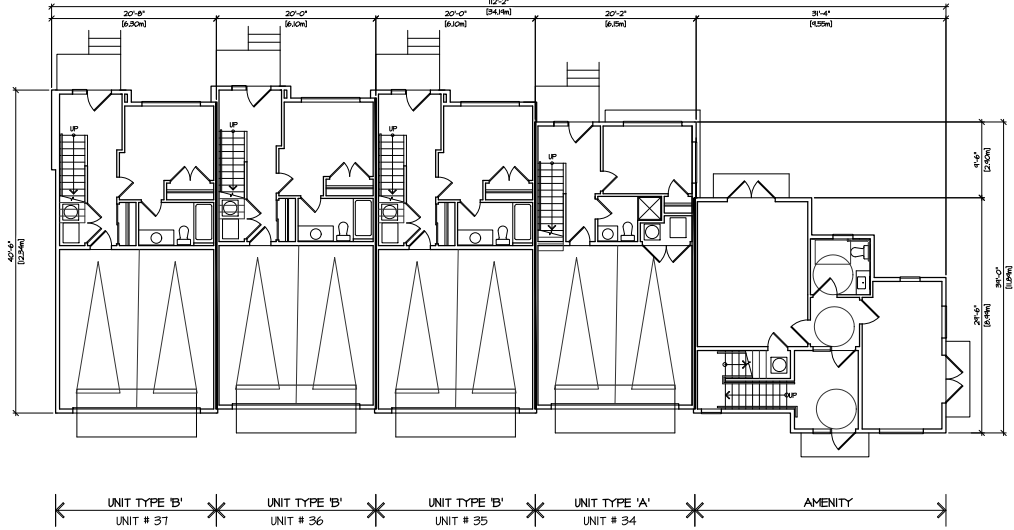
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-314
REV. NO.	15066

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**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #8**

REV.	DATE	BY	ISSUED FOR
#1	FEB. 16/22	L.F.L.	DEVELOPMENT PERMIT

DESIGN :	J.S.
DRAWN :	J.S.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 8

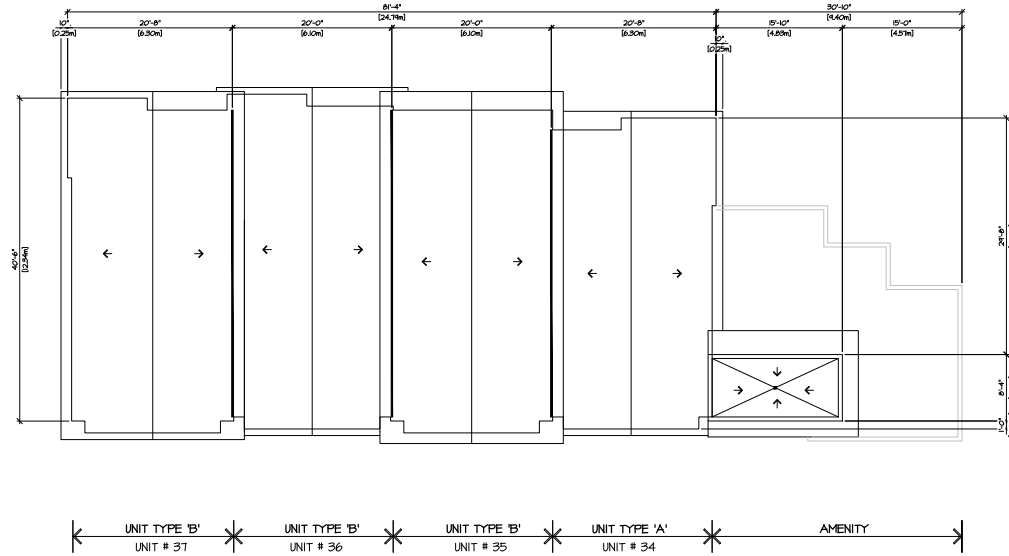
**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

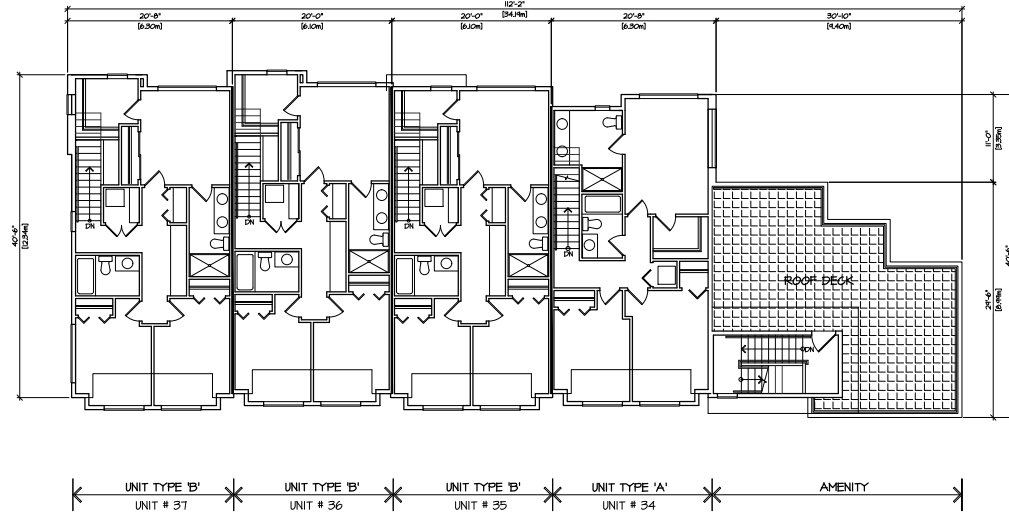
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-315
15066	REV. NO.

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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #8**

REV.	DATE	BY	ISSUED FOR
	FEB. 16/22	L.F.L.	DEVELOPMENT PERMIT

DESIGN :	J.P.S.
DRAWN :	J.P.S.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNSTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 8

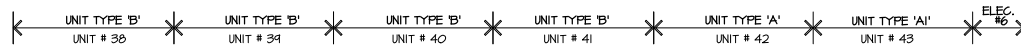
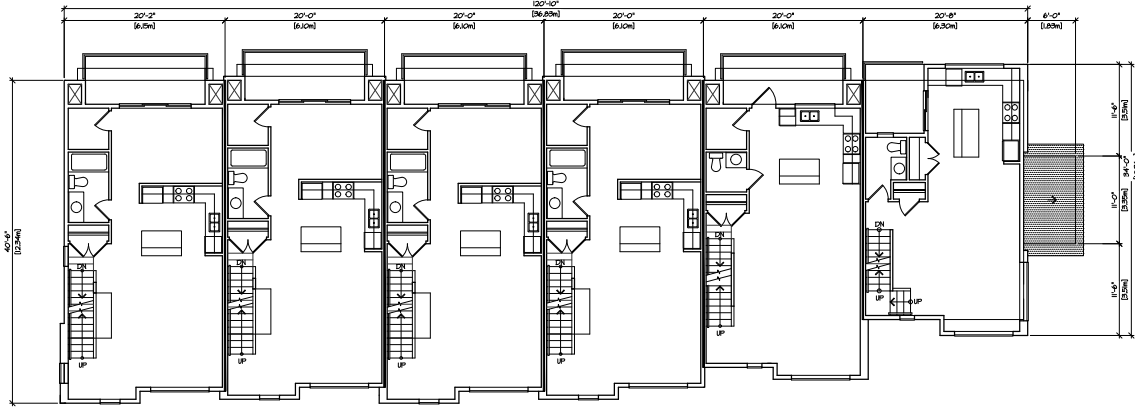
**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

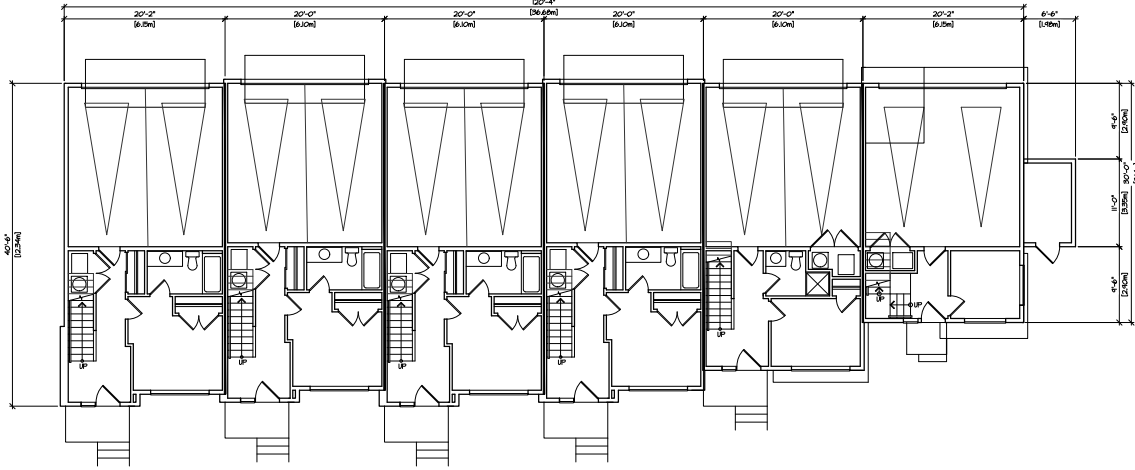
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-316
REV. NO.	15066

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**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNQ.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #9**

REV.	DATE	BY	ISSUED FOR
#1	FEB. 14/22	L.F.L.	DEVELOPMENT PERMIT



DESIGN :	J.P.S.
DRAWN :	J.P.S.
DATE :	Nov. 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 9

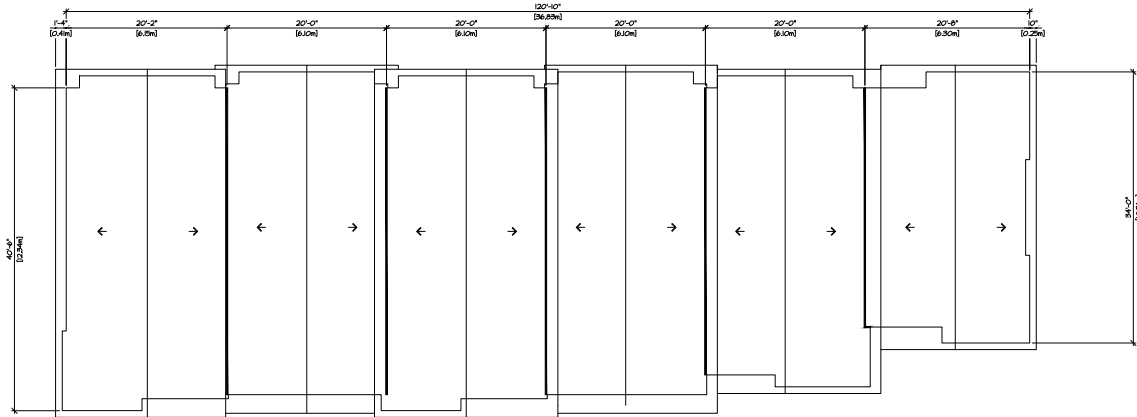


UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-317
REV. NO.	15066

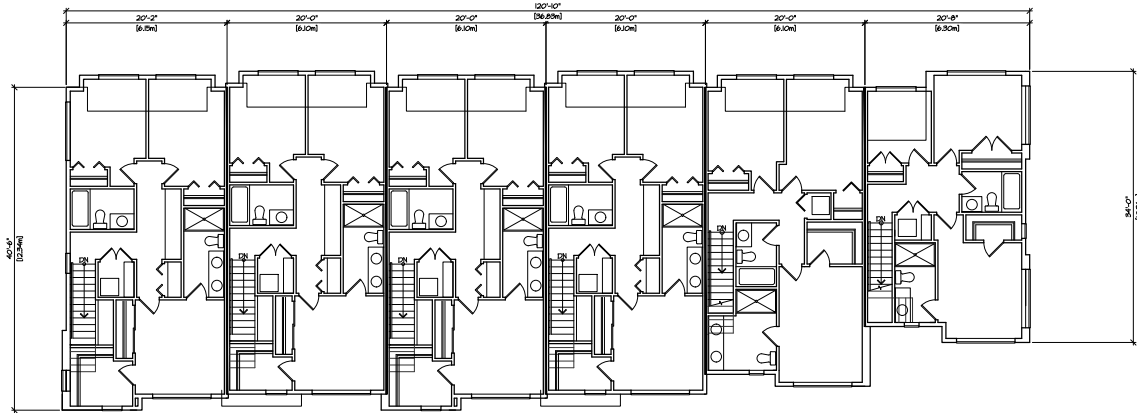
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UNIT TYPE 'B' UNIT # 38 \* UNIT TYPE 'B' UNIT # 39 \* UNIT TYPE 'B' UNIT # 40 \* UNIT TYPE 'B' UNIT # 41 \* UNIT TYPE 'A' UNIT # 42 \* UNIT TYPE 'A' UNIT # 43

**ROOF PLAN**

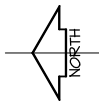
SCALE: 1/8" = 1'-0"



UNIT TYPE 'B' UNIT # 38 \* UNIT TYPE 'B' UNIT # 39 \* UNIT TYPE 'B' UNIT # 40 \* UNIT TYPE 'B' UNIT # 41 \* UNIT TYPE 'A' UNIT # 42 \* UNIT TYPE 'A' UNIT # 43

**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



ROOF SYMBOL SCHEDULE	
↑	- DIRECTION OF ROOF SLOPE DOWN
▭	- 6 / 12 ROOF SLOPE UNO.
▨	- 6 / 12 ROOF SLOPE

**BUILDING #9**

REV.	DATE	BY	ISSUED FOR
#1	FEB. 14/22	L.F.F.	DEVELOPMENT PERMIT



046-0-111-111111

DESIGN :	J.S.
DRAWN :	J.S.
DATE :	Nov. 2, 22
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9833 BARNISTON DR. E., SURREY, B.C.
SHEET CONTENTS :	FLOOR PLANS BUILDING NO. 9



UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

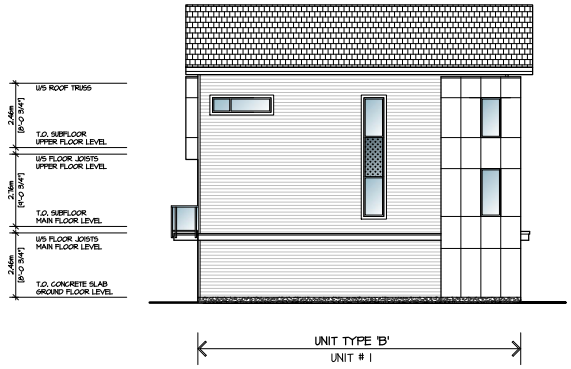
CLIENT NO.	SHEET NO.
15066	AC-310
PROJECT NO.	REV. NO.
15066	



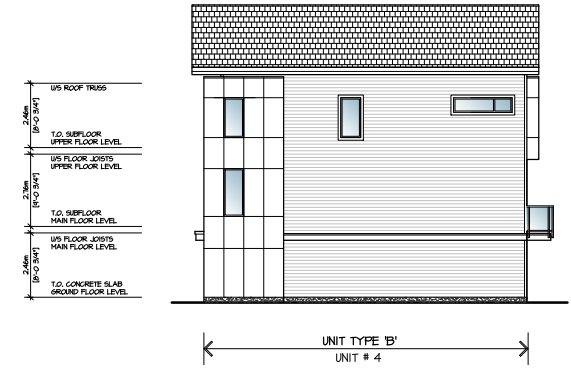
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**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

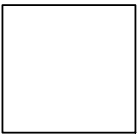


**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

REV#	DATE	DRN	CD	ISSUE #	DATE	BY	ISSUED FOR
				#1	FEB. 04/22	L.F.A.	DEVELOPMENT PERMIT



DESIGN :	JOE DHALIVAL
DRAWN :	L.F.A.
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 4855 BARGISTON DR. E. SURREY, B.C.
DATE :	MAY 3 22
SHEET :	ELEVATIONS
SCALE :	1/8" = 1'-0"
BUILDING NO. :	NO. 1

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

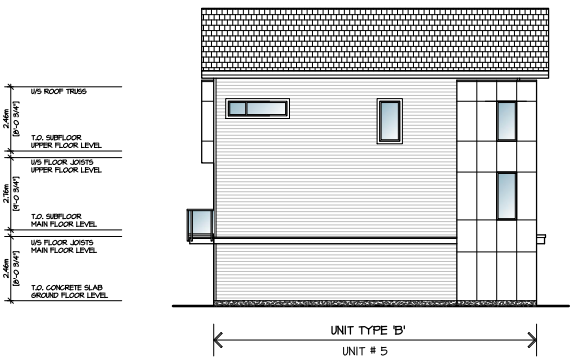
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.01
15066	REV. NO.

**BUILDING #1**

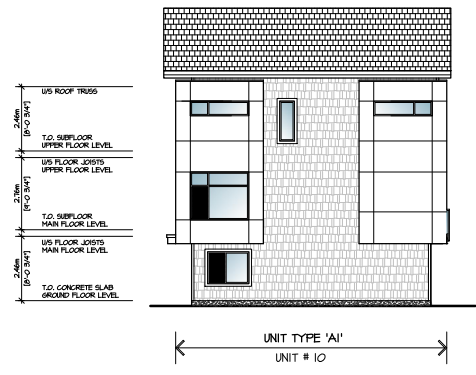
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**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

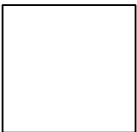


**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

REV.	DATE	BY	ISSUED FOR
	FEB. 2022	L.F.L.	DEVELOPMENT PERMIT
#1			



049-0-H-19-04g

DESIGN :	JOE DHALIVAL
DRAWN :	L.F.L.
DATE :	MAR. 22
SCALE :	1/8"=1'-0"
CLIENT :	TOYHOUSE DEVELOPMENT
PROJECT :	LOT 2 - 4855 BARRINGTON DR. E. SURREY, B.C.
SHEET :	COMBINS ELEVATIONS
BUILDING NO. :	2

**barnett dembek**

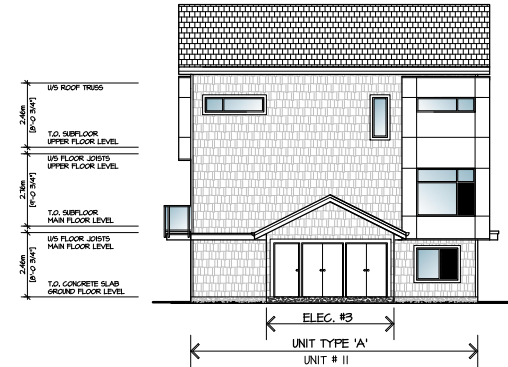
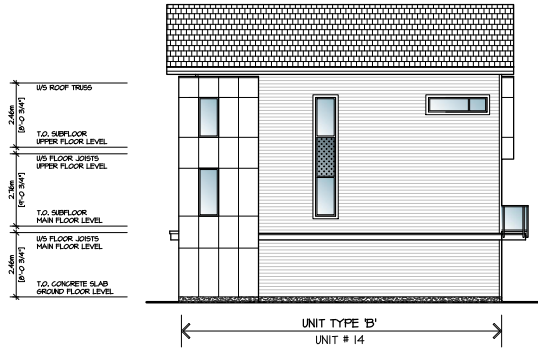
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

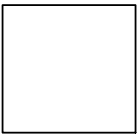
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.02
15066	REV. NO.

**BUILDING #2**

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REV.	DATE	BY	DATE	ISSUE #	ISSUED FOR
				1	DEVELOPMENT PERMIT



DESIGN: L.F.A.	CLIENT: JOE DHALIVAL
DRAWN: L.F.A.	PROJECT: TOWNHOUSE DEVELOPMENT
DATE: MAY 22	LOT 2 - 4855 BARRINGTON DR. E. SURREY, B.C.
SCALE: 1/8"=1'-0"	SHEET CONTENTS: ELEVATIONS
	BUILDING NO. 3

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.03

**BUILDING #3**

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**EAST ELEVATION**  
SCALE : 1/8"=1'-0"

REV.	DATE	BY	ISSUE FOR
1	FEB. 2022	L.F.A.	DEVELOPMENT PERMIT



049-014-114img

DESIGN :	L.F.A.
DRAWN :	L.F.A.
DATE :	MAY 12 2022
SCALE :	1/8" = 1'-0"

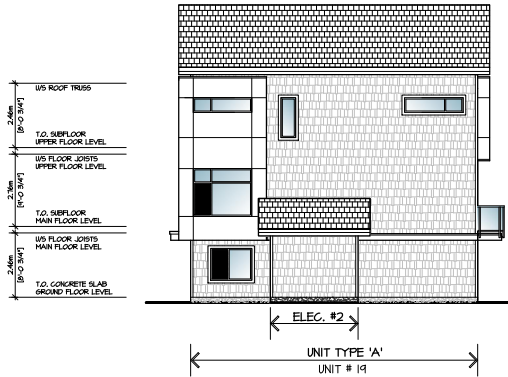
CLIENT :	JOE DHALIVAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9855 BARGISTON DR. E., SURREY, B.C.
SHEET CONTAINS :	ELEVATIONS BUILDING NO. 4



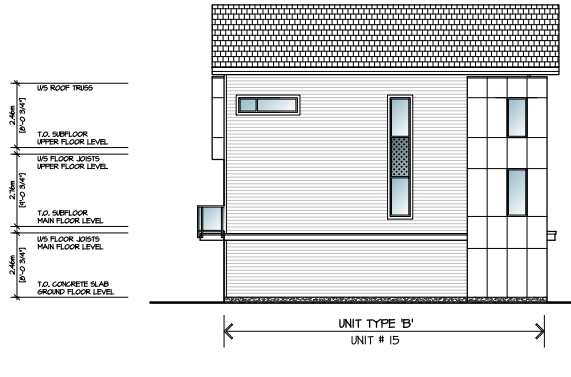
UNIT 135,  
7536 130 STREET  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.04



**SOUTH ELEVATION**  
SCALE : 1/8"=1'-0"



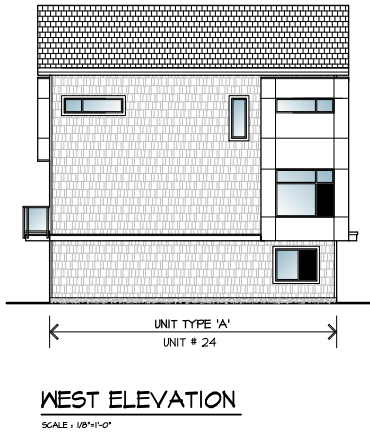
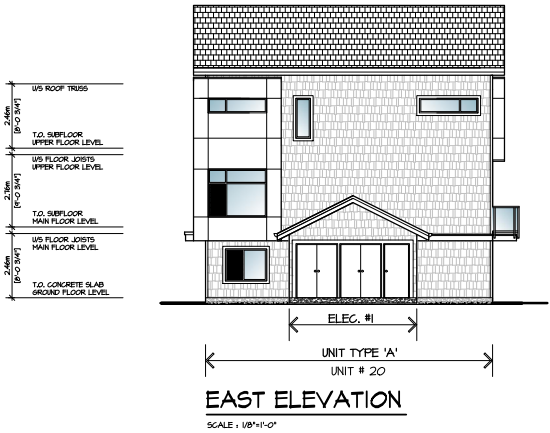
**NORTH ELEVATION**  
SCALE : 1/8"=1'-0"



**WEST ELEVATION**  
SCALE : 1/8"=1'-0"

**BUILDING #4**

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REV.	DATE	DRN.	QTD.	ISSUE #1	DATE	BY	ISSUED FOR
							DEVELOPMENT PERMIT



DESIGN :	JOE DHALIVAL
DATE :	1/21/22
CLIENT :	TONNHOUSE DEVELOPMENT
PROJECT :	LOT 2 - 4855 BARKINGTON DR. E. SURREY, B.C.
DATE :	NOV 12
SCALE :	1/8" = 1'-0"
SHEET CONTAINS :	ELEVATIONS
BUILDING NO. :	5

**barnett dembek**

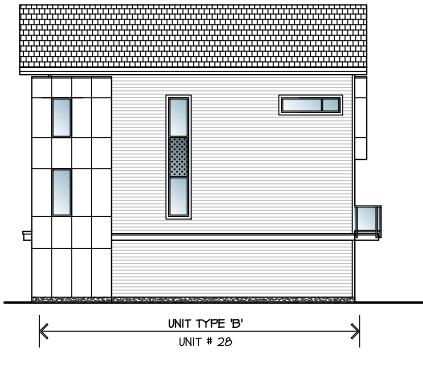
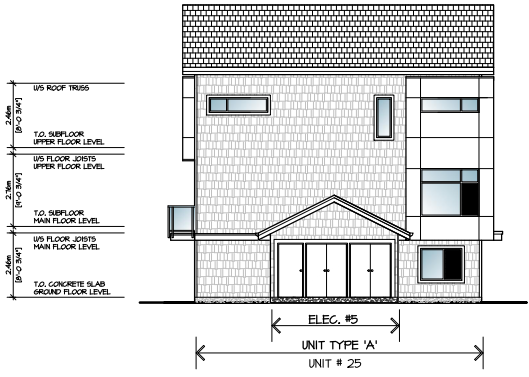
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
	AC-4.05
PROJECT NO.	REV. NO.
15066	

**BUILDING #5**

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REV#	DATE	BY	DATE	ISSUE	FOR
				#1	DEVELOPMENT PERMIT

DESIGNER: JOE DHALIVAL  
 DRAFTER: [blank]  
 DATE: [blank]

CLIENT: TOWNHOUSE DEVELOPMENT  
 LOT 2 - 9855 BARRINGTON DR. E. SURREY, B.C.  
 SHEET CONTAINS: ELEVATIONS  
 BUILDING NO. 6

**barnett dembek**

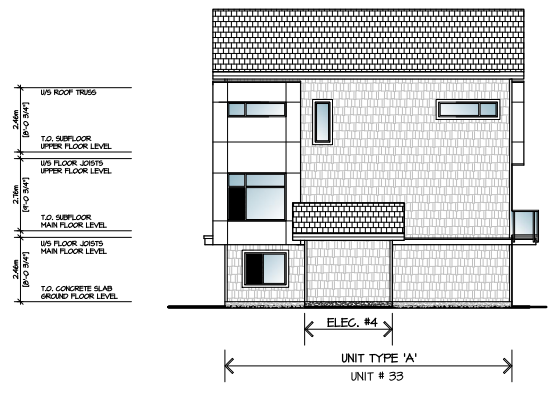
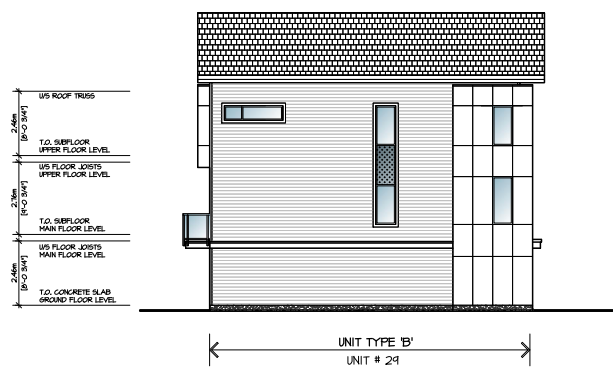
UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO. [blank]  
 SHEET NO. AC-4.06  
 PROJECT NO. 15066  
 REV. NO. [blank]

**BUILDING #6**

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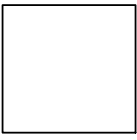


**SOUTH ELEVATION**  
SCALE : 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE : 1/8"=1'-0"



REV.	DATE	BY	DATE	ISSUE
				#1



606-611-7100

DESIGN :	JOE DHALIVAL
DRAWN :	
DATE :	MAR 3 2012
SCALE :	1/8"=1'-0"

**barnett dembek**

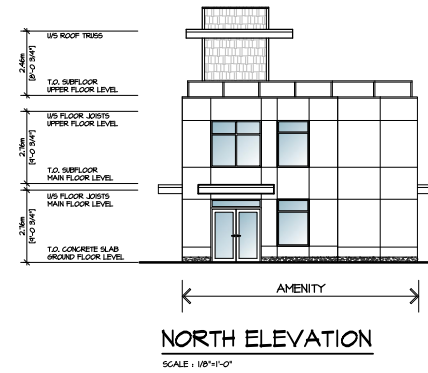
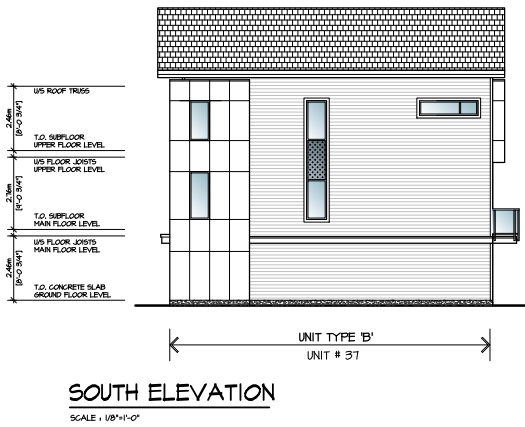
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.01

**BUILDING #7**

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REV#	DATE	BY	ISSUED FOR
#1	FEB. 2022	L.F.F.	DEVELOPMENT PERMIT



000-0-H-L-10-10

DESIGN :	JOE DHALIVAL
L.F.F.	
CRANK :	
DATE :	MAY 22
SCALE :	1/8\"/>

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.08

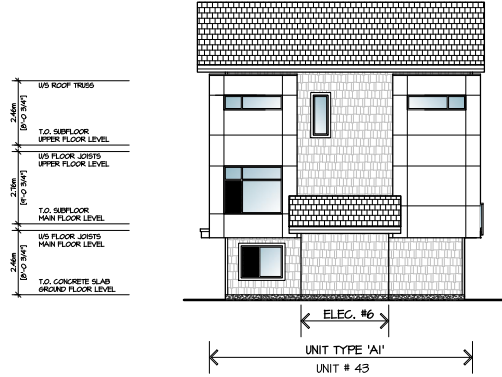
**BUILDING #8**



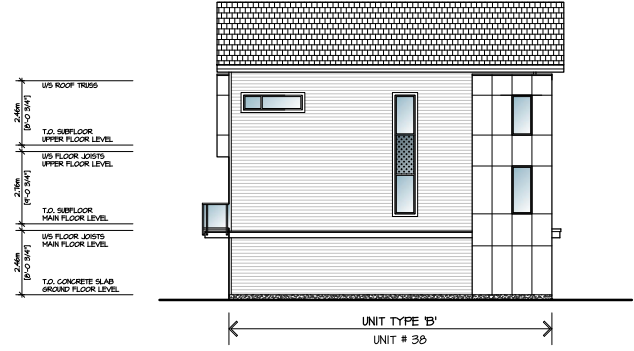
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**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

REV.	DATE	BY	ISSUED FOR
#1	FEB. 04/22	L.F.F.	DEVELOPMENT PERMIT



048-0-H-194img

DESIGN :	JOE DHALIVAL
DRAWN :	L.F.F.
DATE :	MAR. 22
SCALE :	1/8" = 1'-0"

CLIENT : JOE DHALIVAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT 2 - 9855 BARRINGTON DR. E. SURREY, B.C.  
SHEET CONTAINS 1 ELEVATIONS  
BUILDING NO. 4

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.01

**BUILDING #9**



**EAST ELEVATION**

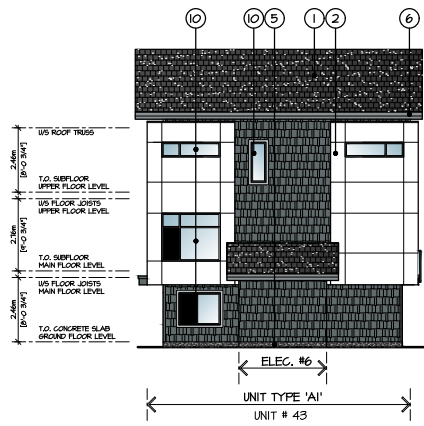
SCALE: 1/8"=1'-0"

SCHEDULE OF FINISHES	
1	ASPHALT SHINGLES IKO CAMBRIDGE - CHARCOAL GREY
2	PRE-FINISHED FIBRE-CEMENT PANEL SIDING COLOR: "ATMOSPHERE AO157"
3	PRE-FINISHED FIBRE-CEMENT PLANK LAP SIDING - 6" PROFILE, C/M 3 1/2" CORNER TRIMS COLOR: "ATMOSPHERE AO157"
4	PRE-FINISHED FIBRE-CEMENT SHINGLE SIDING C/M 3 1/2" CORNER TRIMS COLOR: "GREAT GREY AI145"
5	ARCHITECTURAL FINISHED CONCRETE C/M CLEAR GRAY APPLIED SEALER
6	PRE-FINISHED ALUMINUM GUTTERS ON 2X10 WOOD FASCIA COLOR: "GREY FENNANT A2000"
7	EXTERIOR METAL DOOR - C/M 2X4 TRIMS AS REQ. COLOR VARIES - REFER TO COLOURED ELEVATIONS, TRIM COLOR: "GREAT GREY AI145" OR "FROST GREY AI142"
8	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING - C/M 2X4 TRIMS AS REQ. COLOR VARIES - REFER TO COLOURED ELEVATIONS, TRIM COLOR: "GREAT GREY AI145" OR "FROST GREY AI142"
9	VINYL FRAMED SLIDING DOOR - C/M 2X4 TRIMS AS REQ. COLOR: DARK GRAY, TRIM COLOR: "GREAT GREY AI145" OR "FROST GREY AI142"
10	VINYL FRAMED WINDOWS - C/M 2X4 TRIMS AS REQ.
11	VINYL FRAMED WINDOWS C/M SPANDREL PANEL - TEMPERED GLASS, C/M 2X4 TRIM AS REQ. FRAME COLOR: DARK GRAY, SPANDREL PANEL BACKING COLOR: "GREAT GREY AI145"
12	VINYL FRAMED WINDOWS C/M 2X4 TRIMS AND PANEL SIDING, FRY REGLET TRIMS FRAME COLOR: DARK GRAY, PANELS COLOR: "GREY FENNANT A2000"
13	42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED COLOR: DARK GRAY
14	GARAGE DOOR - C/M 2X4 TRIM COLOR VARIES - "GREAT GREY AI145" OR "FROST GREY AI142"
15	1x4 WOOD TRIM ON 2x12 WOOD TRIM COLOR TO CONTRAST ADJACENT FINISHES COLORS - "GREAT GREY AI145" OR "FROST GREY AI142"
16	DECORATIVE LOUVRE COLOR VARIES - "GREAT GREY AI145" OR "FROST GREY AI142"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**WEST ELEVATION**

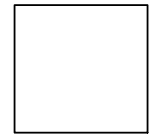
SCALE: 1/8"=1'-0"

MATERIAL COLOURS	
DULUX - GREAT GREY AI145	
DULUX - GREY FENNANT A2000	
DULUX - FROST GREY AI142	
DULUX - ATMOSPHERE AO157	
ASPHALT SHINGLE	
IKO CAMBRIDGE - CHARCOAL GREY	
DULUX - WEATHERED WOOD DLX1017-4	

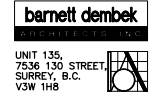
**BUILDING #9**

ISSUED FOR	DATE	BY	LEVEL
DEVELOPMENT PERMIT	FEB 16/22		

REV	DATE	BY	DESCRIPTION



DESIGN :	J.P.S.	DATE :	NOV 22
DRAWN :		SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALIVAL	PROJECT :	TOWNHOUSE DEVELOPMENT LOT # 9 - 9883 BARKINGTON DR. E., SURREY, B.C.
		SHEET CONTENTS :	COLOURED ELEVATIONS TYPICAL COLOUR SCHEME



UNIT 135,  
7536 130 STREET  
SURREY, B.C.  
V3W 1H8

PHONE:	(604) 597-7100
FAX:	(604) 597-2099
EMAIL:	mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.10

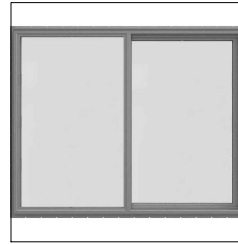
# MATERIALS BOARD



**PREFINISHED FIBRE-CEMENT PANELS SIDING**  
 COLOR: "ATMOSPHERE A0151"  
 ELEVATIONS FINISH SCHEDULE NO: 2



**PREFINISHED FIBRE-CEMENT PANELS C/M FRY REGLET TRIMS**  
 COLOR: "GREY PENNANT A2000"  
 ELEVATIONS FINISH SCHEDULE NO: 2



**VINYL FRAMED WINDOWS**  
 GREY FRAME WITH CLEAR GLAZING  
 ELEVATIONS FINISH SCHEDULE NO: 10, 11, 12



**PREFINISHED FIBRE-CEMENT PANEL LAP SIDING**  
 COLOUR: "FROST GREY A1942"  
 ELEVATIONS FINISH SCHEDULE NO: 3



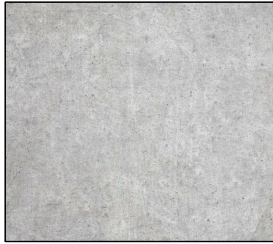
**EXTERIOR METAL ENTRY DOORS**  
 COLOR: "WEATHERED WOOD DLX1011-4"  
 ELEVATIONS FINISH SCHEDULE NO: 8



**POWDER COATED ALUMINUM GUARDRAILS WITH TEMPERED GLAZING PANELS**  
 DARK GRAY ALUMINUM WITH CLEAR GLAZING  
 ELEVATIONS FINISH SCHEDULE NO: 13



**PREFINISHED FIBRE-CEMENT SHINGLE SIDING**  
 COLOUR: "GREAT GREY A1945"  
 ELEVATIONS FINISH SCHEDULE NO: 4, 14



**EXPOSED CONCRETE FOUNDATION WALLS**  
 CLEAR PENETRATING CONCRETE SEALER  
 ELEVATIONS FINISH SCHEDULE NO: 5

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REV#	DATE	BY	ISSUED FOR		
				DPR	OPD



660-L-COLORPLOT.dwg

PERSON :	L.P.F. :	DATE :
CLIENT :	PROJECT :	SCALE :

CLIENT : JOE DHALIVAL  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT 2 - 4850 BARRISTON DR. E. SURREY, B.C.  
 SHEET CONTENTS : MATERIALS BOARD

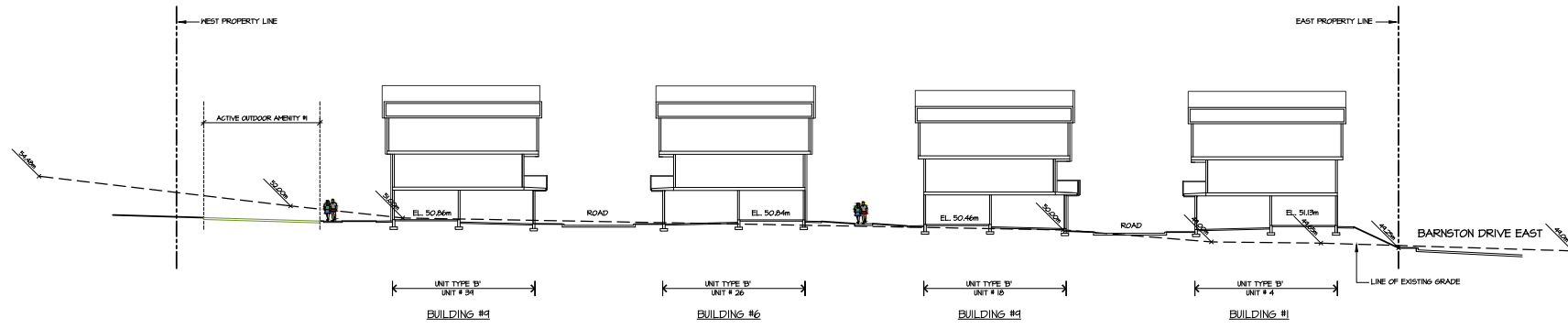
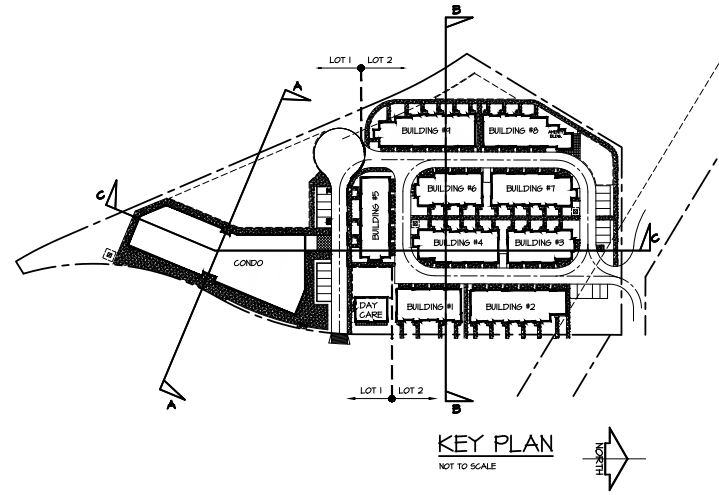


UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

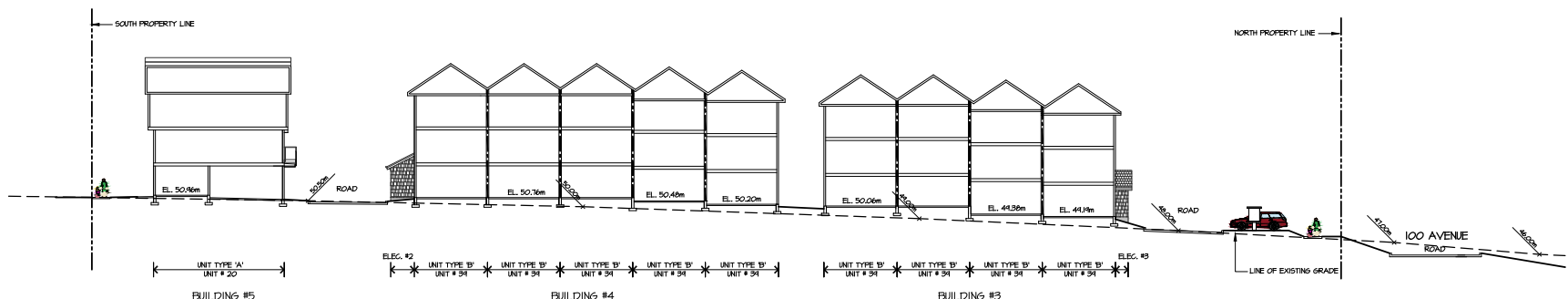
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.11

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**SITE SECTION B-B**



**SITE SECTION C-C**

ISSUE NO.	ISSUED FOR	BY	DATE	REV'D
#1	FOR DEVELOPMENT PERMIT	L.F.B.	FEB. 02/22	

DESIGN :	L.F.Z.	DRAWN :	
CLIENT :	JOE DHALUJAL	DATE :	NOV. 3/22
PROJECT :	TOWNHOUSE DEVELOPMENT LOT 2 - 9889 BARNISTON DR. E., SURREY, B.C.	SCALE :	1/8" = 1'-0"
SHEET COMMENTS :	SCHEMATIC SITE SECTIONS		

**barnett dember**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mcl@b-dartek.com

CLIENT NO.	SHEET NO.
	AC-5.01
PROJECT NO.	REV. NO.
15066	

SEAL:

1	22 FEB. 20	NEW CIVIL/SITE PLAN	RI
2	22 FEB. 21	NEW SITE PLAN	DO
3	22 FEB. 24	NEW SITE PLAN/REVISIONS/CONSERVATION	TR
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**TOWNHOUSE / CONDO / COMMERCIAL DEVELOPMENT**

9933 BARNSTON DRIVE  
SURREY, BC

DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: 22.JAN.13 DRAWING NUMBER:

SCALE: 1:400

DRAWN: DO

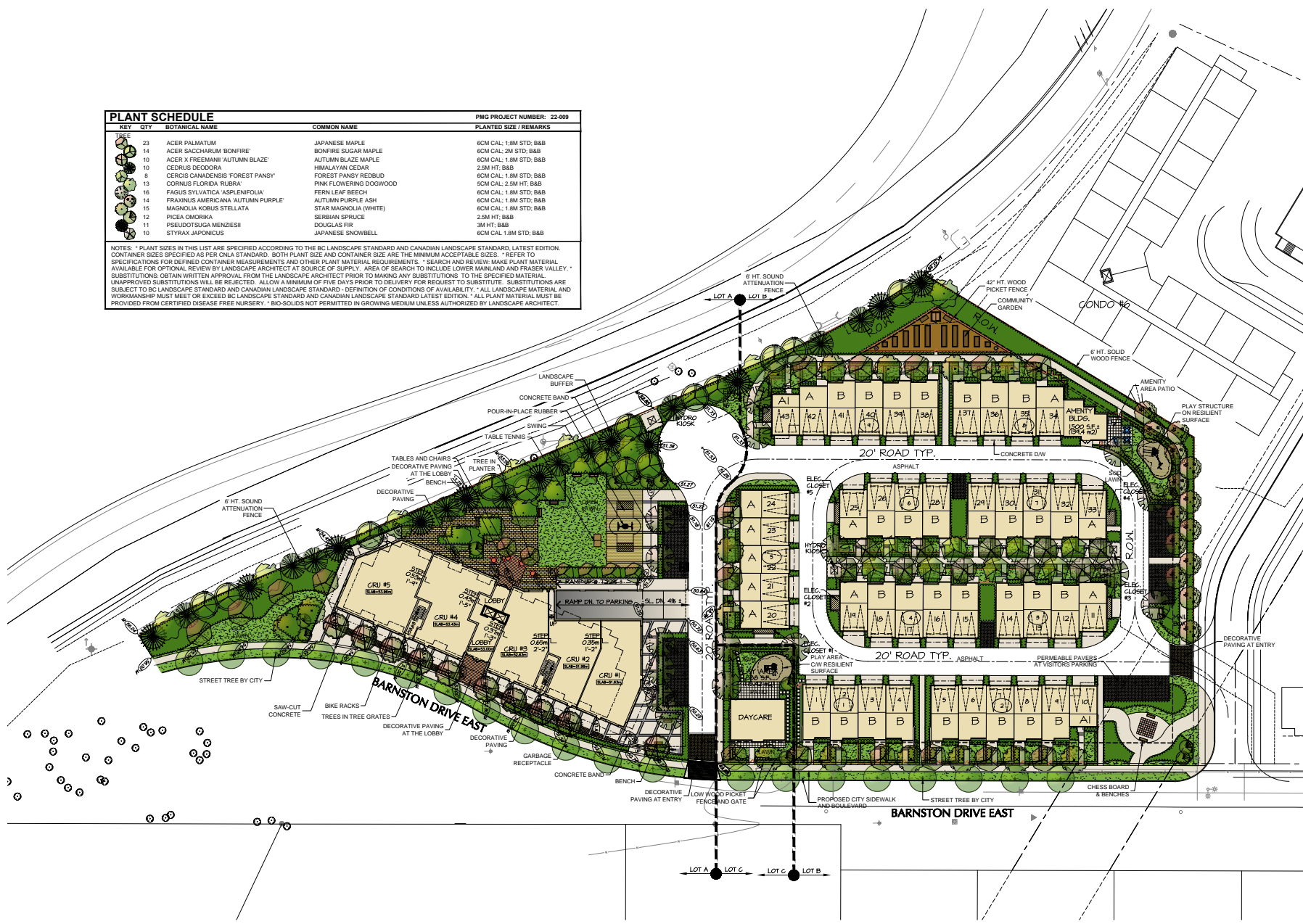
DESIGN: DO

CHKD: MCV

PMG PROJECT NUMBER: 22-009

PLANT SCHEDULE				PMG PROJECT NUMBER: 22-009
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
23		ACER PALMATUM	JAPANESE MAPLE	6CM CAL; 1.8M STD; B&B
14		ACER SACCHARUM 'BONFIRE'	BONFIRE SUGAR MAPLE	6CM CAL; 2M STD; B&B
10		ACER X FREEMANNI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	6CM CAL; 1.8M STD; B&B
10		CEDRUS DEODORA	HIMALAYAN CEDAR	2.5M HT; B&B
8		CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL; 1.8M STD; B&B
13		CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	6CM CAL; 2.5M HT; B&B
16		FAGUS SYLVATICA 'ASPENFOLIA'	FERN LEAF BEECH	6CM CAL; 1.8M STD; B&B
14		FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	6CM CAL; 1.8M STD; B&B
15		MAGNOLIA KOBUS STELLATA	STAR MAGNOLIA (WHITE)	6CM CAL; 1.8M STD; B&B
12		PICEA OMORIKIA	SERBIAN SPRUCE	2.5M HT; B&B
11		PSUEDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B
10		STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL; 1.8M STD; B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



**L1**

OF 4

SEAL:

3	22 FEB 20	NEW CIVIL/SITE PLAN	RI
2	22 FEB 19	NEW SITE PLAN	DO
1	22 JAN 19	NEW SITE PLANNING/CONCRETE PLANS	TR
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**TOWNHOUSE /  
CONDO / COMMERCIAL  
DEVELOPMENT**

**9933 BARNSTON DRIVE  
SURREY, BC**

DRAWING TITLE:

**GRADING  
PLAN**

DATE: 22 JAN 13 DRAWING NUMBER:

SCALE: 1:400

DRAWN: DO

DESIGN: DO

CHKD: MCY

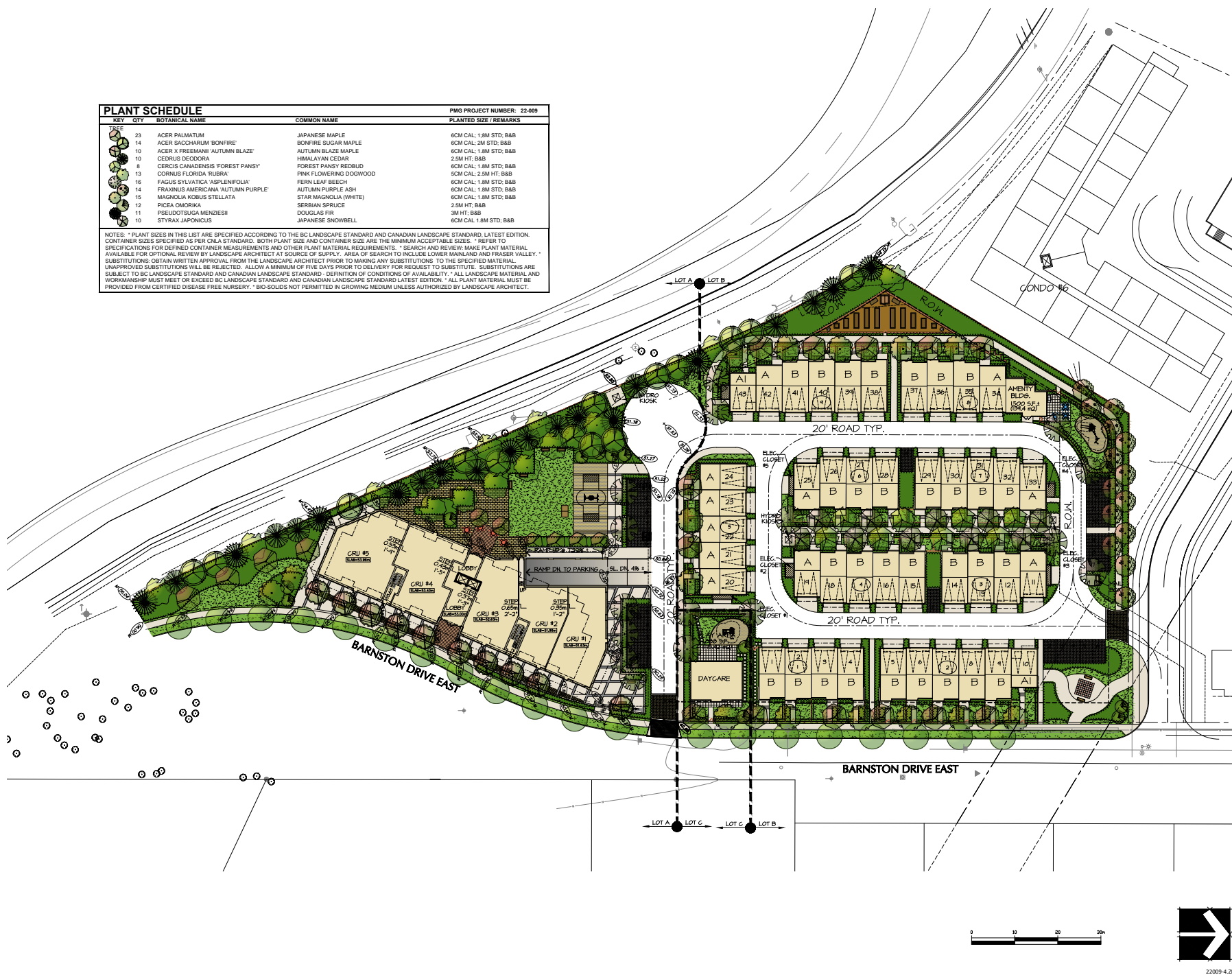
**L2**

OF 4

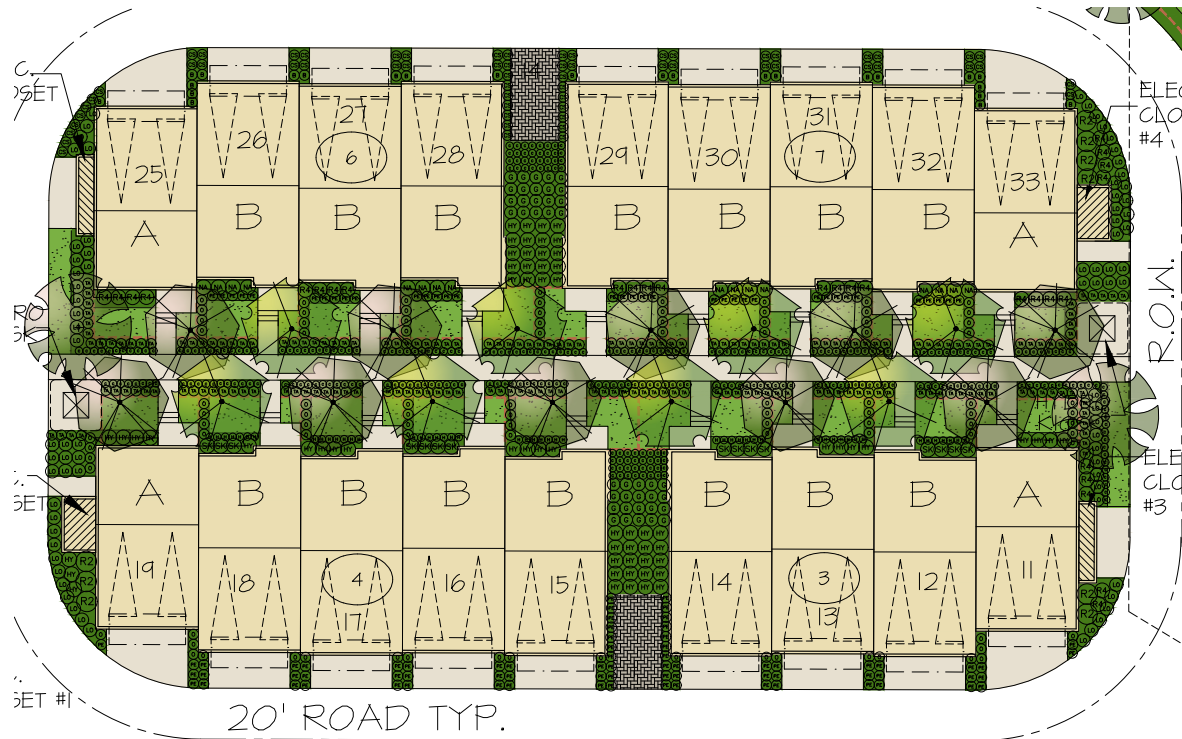
22009-4.2P PMG PROJECT NUMBER: 22-009

PLANT SCHEDULE			PMG PROJECT NUMBER: 22-009	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
23		ACER PALMATUM	JAPANESE MAPLE	6CM CAL; 1.8M STD; B&B
14		ACER SACCHARUM 'BONFIRE'	BONFIRE SUGAR MAPLE	6CM CAL; 2M STD; B&B
10		ACER X FREEMANNI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	6CM CAL; 1.8M STD; B&B
10		CEDRUS DEODORA	HIMALAYAN CEDAR	2.5M HT; B&B
8		CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL; 1.8M STD; B&B
13		CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	6CM CAL; 2.5M HT; B&B
16		FAGUS SYLVATICA 'ASPENFOLIA'	FERN LEAF BEECH	6CM CAL; 1.8M STD; B&B
14		FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	6CM CAL; 1.8M STD; B&B
15		MAGNOLIA KOBUS STELLATA	STAR MAGNOLIA (WHITE)	6CM CAL; 1.8M STD; B&B
12		PICEA OMORIKA	SERBIAN SPRUCE	2.5M HT; B&B
11		PSUEDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B
10		STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL; 1.8M STD; B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
3	22 FEB.20	NEW CIVIL/SITE PLAN	RI
2	22 FEB.13	NEW SITE PLAN	DO
1	22 JAN.14	NEW SITE PLAN/MENTS, CORNER PLAZA	TK

CLIENT:

PLANT SCHEDULE			
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUBS</b>			
⊙	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT: 40CM
⊙	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT: 80CM
⊙	NANDINA DOMESTICA 'MOONBAY'	MOONBAY HEAVENLY BAMBOO	#3 POT: 50CM
⊙	PRUNUS LUSITANICA	PORTUGUESE LAUREL	#3 POT: 60CM, 1M BAB
⊙	RHODODENDRON 'ANAH KRUSCHKE'	RHODODENDRON, BLUE	#3 POT: 50CM
⊙	RHODODENDRON 'BOW BELLS'	RHODODENDRON, PINK	#3 POT: 30CM
⊙	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#3 POT: 50CM
⊙	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	1.2M BAB
<b>GRASSES</b>			
⊙	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
⊙	CAREX 'OSHIMENSIS EVERGOLD'	SILVER VARIEGATED SEDGE	#1 POT
⊙	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
⊙	PENNISETUM ALOPECUROIDES 'HAEMELIN'	DWARF FOUNTAIN GRASS	#1 POT
⊙	GAULTHERIA SHALLOON	SALAL	#1 POT: 20CM
⊙	LONICERA PILEATA	PRIVET HONEYSUCKLE	#2 POT: 25CM
<p>NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.</p>			

PROJECT:

**TOWNHOUSE /  
CONDO / COMMERCIAL  
DEVELOPMENT**

**9933 BARNSTON DRIVE  
SURREY, BC**

DRAWING TITLE:

**SHRUB  
ENLARGEMENT**

DATE: 22.JAN.13 DRAWING NUMBER:

SCALE: 1:150

DRAWN: DO

DESIGN: DO

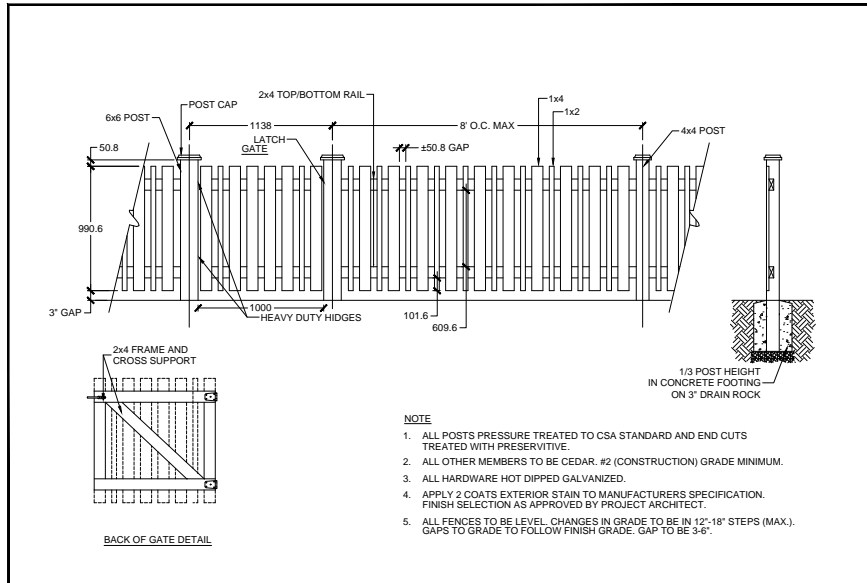
CHKD: MCY

**L3**

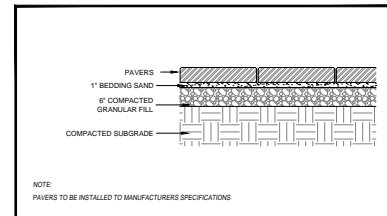
OF 4



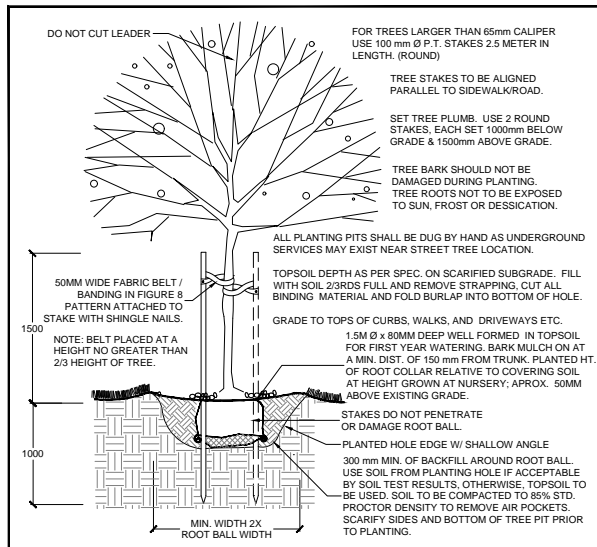
SEAL:



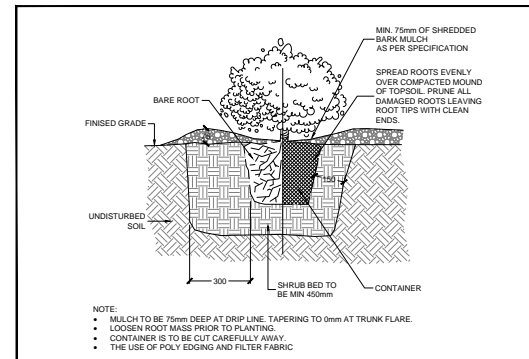
**1 1M PICKET FENCE WITH GATE**  
1:20



**2 PAVERS ON GRADE**  
1:20



**3 TYPICAL DECIDUOUS TREE DETAIL**  
1:25



**4 BARE ROOT/CONTAINER SHRUB PLANTING**  
NTS

NO.	DATE	REVISION DESCRIPTION	DR.
1	22 FEB.20	NEW CIVIL/SITE PLAN	RI
2	22 FEB.13	NEW SITE PLAN	DO
3	22 FEB.14	NEW SITE PLANNING/CONCRETE PLANS	TK

CLIENT:

PROJECT:  
**TOWNHOUSE / CONDO / COMMERCIAL DEVELOPMENT**

**9933 BARNSTON DRIVE SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 22.JAN.13 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: DO **L4**  
DESIGN: DO  
CHKD: MCY **OF 4**



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**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: February 24, 2022**                      **PROJECT FILE: 7821-0160-00**

---

**RE: Engineering Requirements (Commercial/Residential)  
Location: 9933 Barnston Drive East**

### **OCP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment beyond those noted below.

### **REZONE/SUBDIVISION**

#### ***Property and Right-of-Way Requirements***

- Register 0.5 m Statutory Right-of-Way (SRW) along Barnston Drive East frontage.

#### ***Works and Services***

- Construct west side of Barnston Drive East.
- Construct concrete driveways for each lot and secure reciprocal access easement.
- Resolve downstream storm and sanitary constraints as required.
- Register Restrictive Covenants for on-site detention and water quality/sediment control.
- Secure outside agency approvals as applicable.

A Servicing Agreement is required prior to Rezone/Subdivision and can be done concurrently with application 7821-0161-00.

### **DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Jeff Pang, P.Eng.  
Development Services Manager

AY

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 24, 2022** PROJECT FILE: **7821-0161-00**

---

RE: **Engineering Requirements  
Location: 9933 Barnston Drive East**

**OCP AMENDMENT/LAP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment or the proposed Abbey Ridge LAP Amendment beyond those noted below.

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Register 0.5 m Statutory Right-of-Way (SRW) along Barnston Drive East frontage.

***Works and Services***

- Construct west side of Barnston Drive East.
- Construct concrete driveways for each lot and secure reciprocal access easement.
- Resolve downstream sanitary constraints if applicable.
- Register Restrictive Covenants for on-site detention and water quality/sediment control.
- Secure outside agency approvals as applicable.

A Servicing Agreement is required prior to Rezone/Subdivision and can be done concurrently with application 7821-0161-00.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Jeff Pang, P.Eng.  
Development Services Manager

AY



NOTE: SITE PLAN PREPARED BY  
 SURREY DESIGN ARCHITECTS



February 8, 2022

Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 21 0160 00

**SUMMARY**

The proposed 68 lowrise units are estimated to have the following impact on the following schools:

**Projected enrolment at Surrey School District for this development:**

Elementary Students:	11
Secondary Students:	10

**September 2021 Enrolment/School Capacity**

<b>Bothwell Elementary</b>	
Enrolment (K/1-7):	48 K + 236
Operating Capacity (K/1-7)	38 K + 256
<b>Fraser Heights Secondary</b>	
Enrolment (8-12):	1472
Capacity (8-12):	1200

<b>Projected population of school-age children for this development:</b>	27
--	----

**Population:** The projected population of children aged 0-19 Impacted by the development.

**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

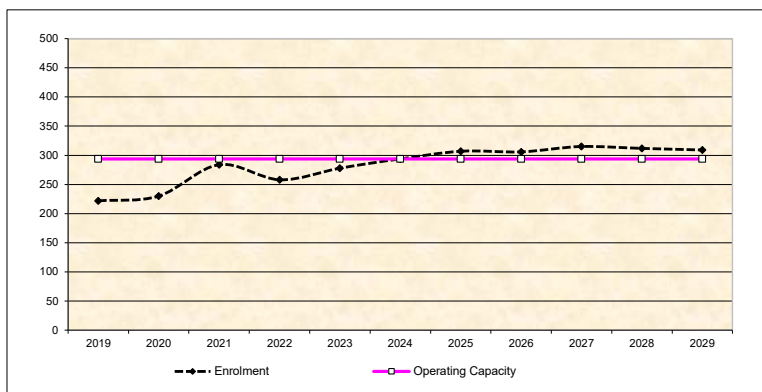
**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

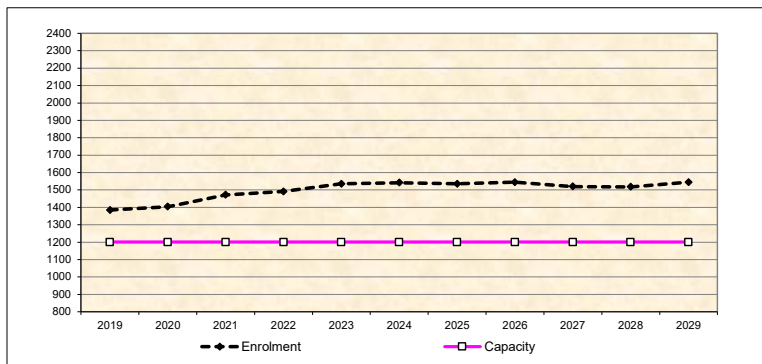
Bothwell Elementary 10 year enrolment projections show a growth trend that can be attributed to the increased density being considered along the bluff to the east of Highway 17 (South Fraser Perimeter Road). With Highway 17 dissecting the Bothwell catchment, as part of the District's 2022/2023 Capital Plan submission to the Ministry, the District is requesting to purchase a new site in the new Abbey Ridge area in the next 5 years: followed by, building a new elementary school after 2030. There has been no Ministry funding approval for these project. Until then, enrolment growth at Bothwell elementary will be accommodated by portables.

Fraser Heights Secondary is currently operating at 111% capacity. The school's 10 year projections show enrolment to continue to grow as the Bothwell and Abbey Ridge communities continue to build out. As a result, the District has requested as part of their 2022/2023 Capital Plan submission to the Ministry a 300 capacity addition for the school, targeted to open in 2025. There has been no Ministry funding approval for this project.

**Bothwell Elementary**



**Fraser Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

**THE IMPACT ON SCHOOLS**

APPLICATION #: 21 0161 00

**SUMMARY**

The proposed 45 townhouse units are estimated to have the following impact on the following schools:

**Projected enrolment at Surrey School District for this development:**

Elementary Students:	11
Secondary Students:	6

**September 2021 Enrolment/School Capacity**

<b>Bothwell Elementary</b>	
Enrolment (K/1-7):	48 K + 236
Operating Capacity (K/1-7)	38 K + 256
<b>Fraser Heights Secondary</b>	
Enrolment (8-12):	1472
Capacity (8-12):	1200

<b>Projected population of school-age children for this development:</b>	18
--	----

**Population:** The projected population of children aged 0-19 Impacted by the development.

**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

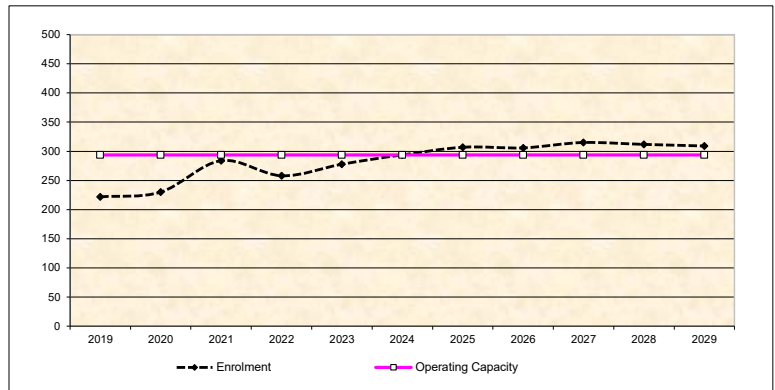
**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

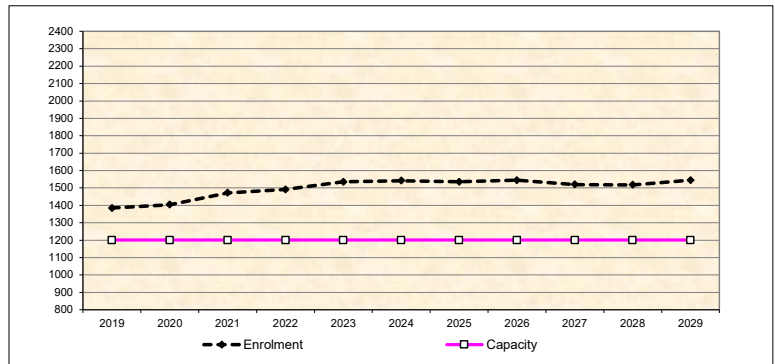
Bothwell Elementary 10 year enrolment projections show a growth trend that can be attributed to the increased density being considered along the bluff to the east of Highway 17 (South Fraser Perimeter Road). With Highway 17 dissecting the Bothwell catchment, as part of the District's 2022/2023 Capital Plan submission to the Ministry, the District is requesting to purchase a new site in the new Abbey Ridge area in the next 5 years: followed by, building a new elementary school after 2030. There has been no Ministry funding approval for these project. Until then, enrolment growth at Bothwell elementary will be accommodated by portables.

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**Bothwell Elementary**

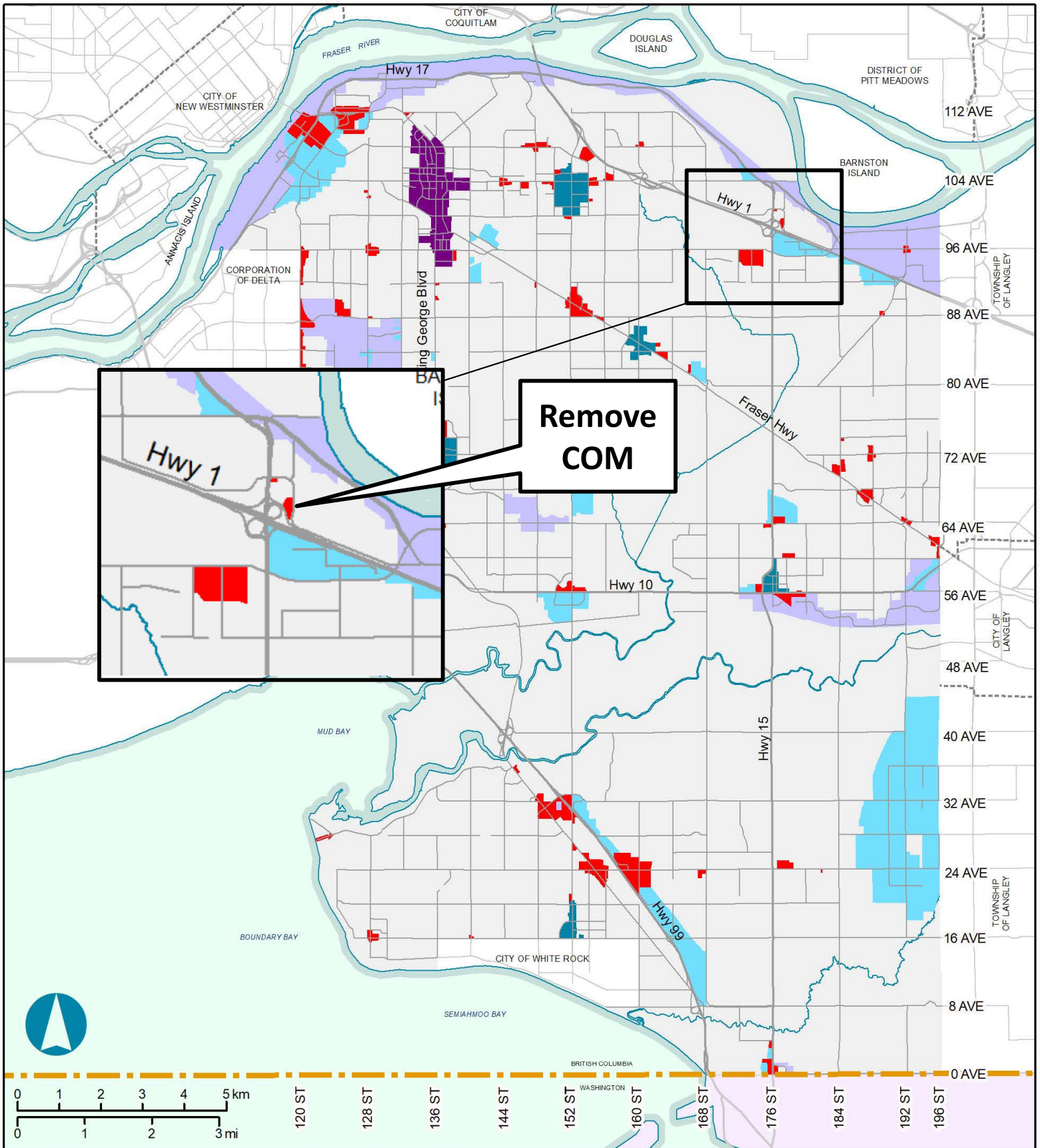


**Fraser Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

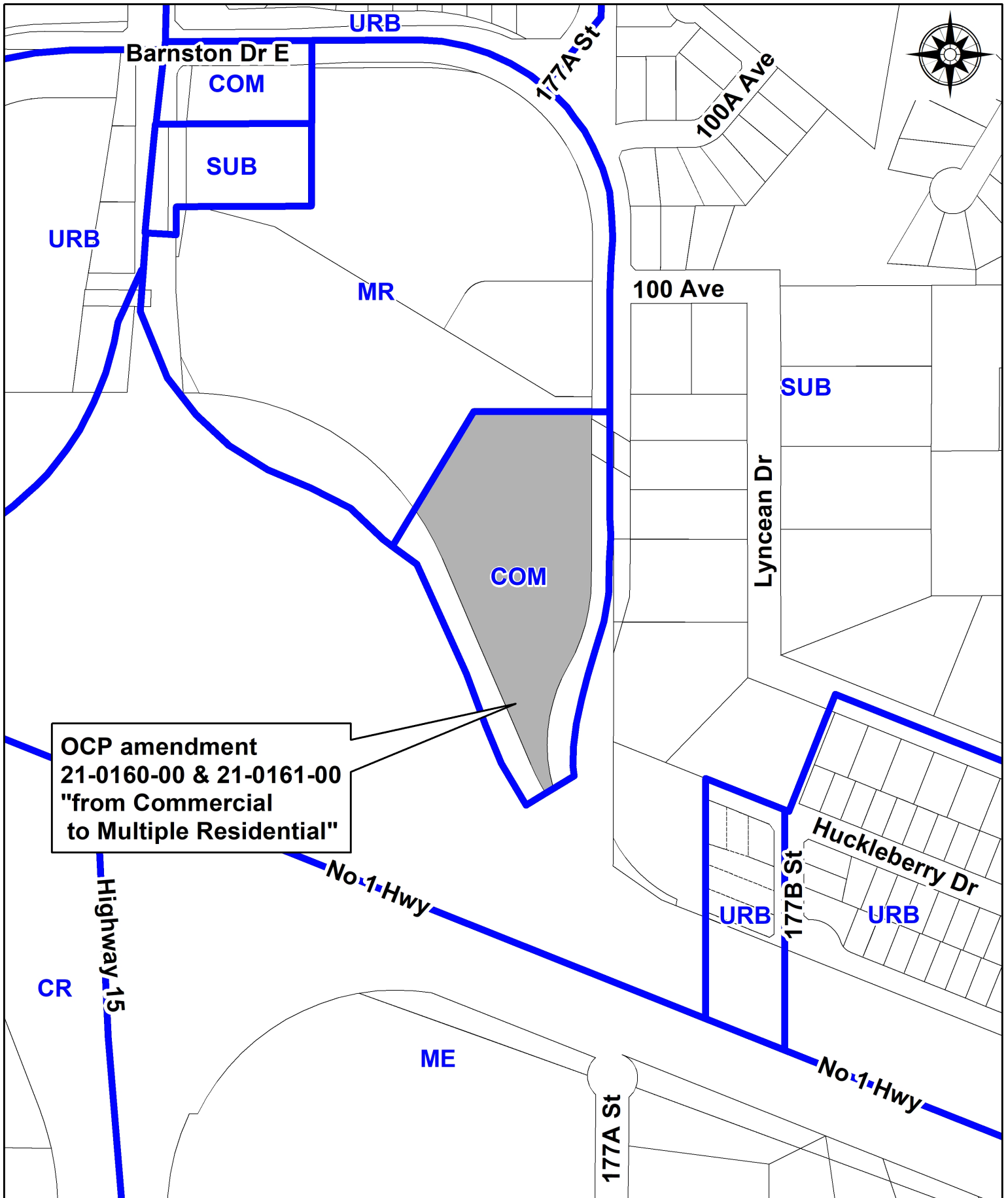
# Figure 42: Major Employment Areas



## LEGEND

- Central Business District
- Mixed Employment
- Town Centre
- Industrial
- Commercial

Note: This map is for general reference only.



OCP amendment  
 21-0160-00 & 21-0161-00  
 "from Commercial  
 to Multiple Residential"



City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0160-00  
 7921-0161-00

Planning Report Date: July 26, 2021

**PROPOSAL:**

- **OCP Amendment** from Commercial to Multiple Residential
- **LAP Amendment** from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) and Medium Density Townhouses (15-30 UPA)
- **Rezoning** from CD to CD (based on RM-70, C-8 and RM-30).
- **Development Permit**

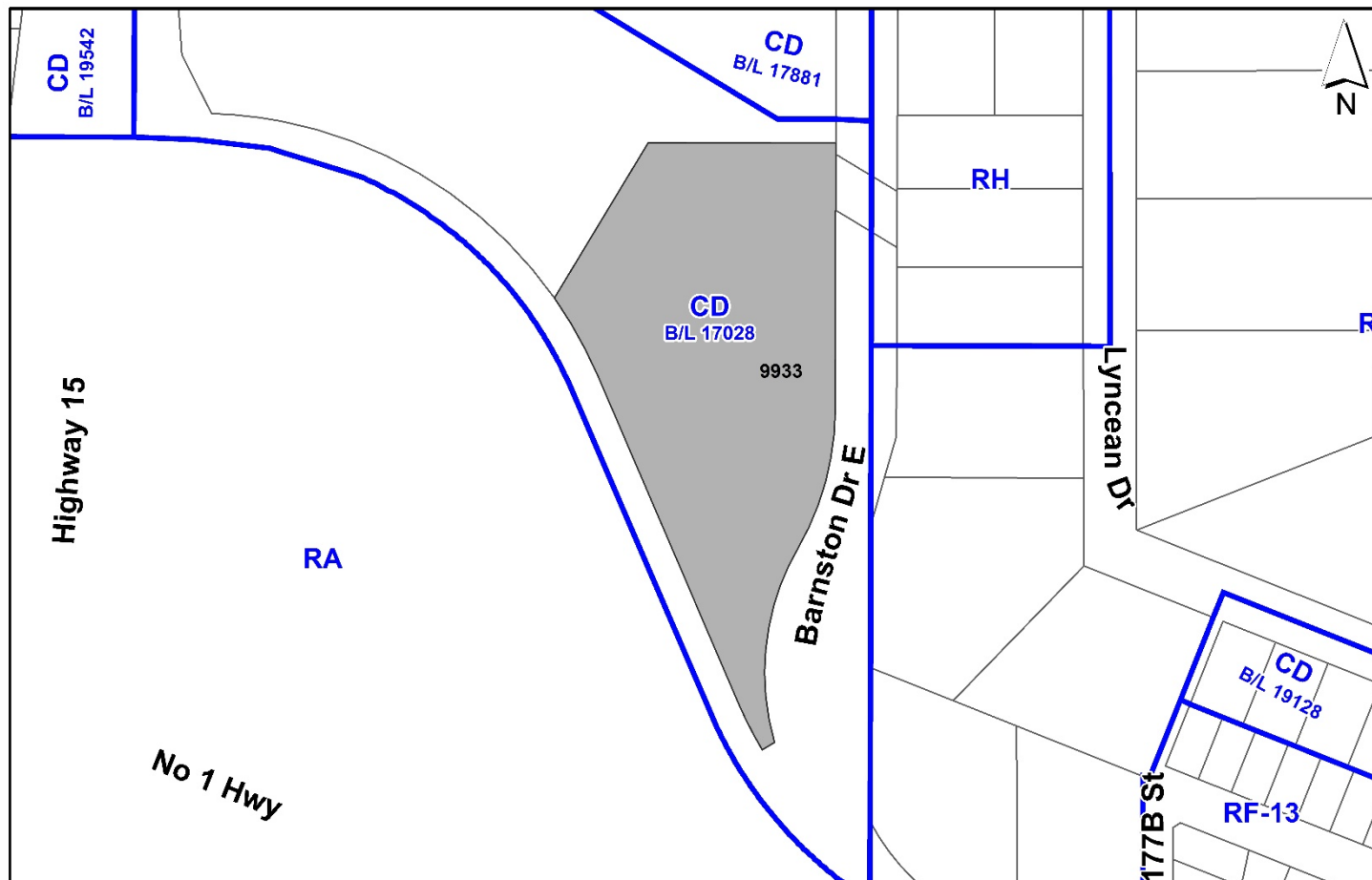
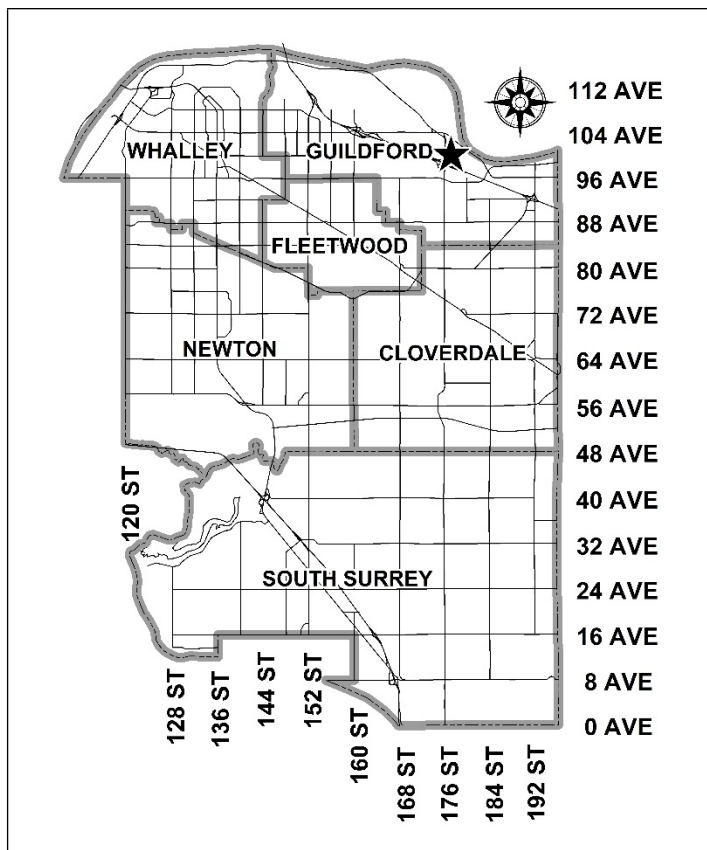
to permit the development of a 51-unit, 5-storey mixed-use building, including 1,224 square metres of ground floor commercial, and a 54-unit townhouse development.

**LOCATION:** 9933 - Barnston Drive East

**ZONING:** CD Bylaw No. 17028

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Neighbourhood Commercial





## RECOMMENDATION SUMMARY

The Planning & Development Department recommends that this application be denied.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an OCP Amendment from Commercial to Multiple Residential.
- Proposing an Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.

## RATIONALE OF RECOMMENDATION

- A previous Planning & Development Report for Development Application No. 7916-0037-00 was considered by Council on June 12, 2017 and the OCP Amendment and Rezoning By-laws were granted First and Second Reading. The applicant proposed an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential and rezoning to allow a 5-storey apartment building with ground-floor commercial and a 54-unit townhouse development.
- A Public Hearing was held on June 26, 2017, for Development Application No. 7916-0037-00. Significant opposition was presented at the Public Hearing, summarized below:
  - 92 respondents submitted letters in opposition to the lack of commercial floor space;
  - several delegations spoke at the meeting with concerns regarding the proposed development and the desire to develop commercial in accordance with the LAP; and
  - respondents raised concern with respect to the lack of sidewalks in the area.
- The OCP Amendment By-law was subsequently denied by Council and the Rezoning By-law was, as a result, "Not in Order". Council noted that the applicant should work with the community to find a viable solution to the issues raised during the Public Hearing.
- Application No. 7916-0037-00 was closed on July 14, 2017, and the Bylaws were filed on December 4, 2017.
- The current Development Application Nos. 7921-0160-00 and 7921-0161-00 are generally consistent with the previous proposal, although the amount of commercial floor space in the mixed-use building has increased in comparison to the previous proposal, from 375 square metres to 1,224 square metres.
- While the additional commercial floor space is notable, the majority of the site (90%) continues to be proposed as residential development. A total of 12,157 square metres of residential floor area is proposed and 1,224 square metres of commercial floor area is proposed, which is approximately 10% commercial use.

- Staff is recommending that this application be denied for the following reasons:
  - the previous decision by Council in 2017 was to direct the applicant to work with the community to find viable solutions to the concerns raised at the Public Hearing. While some initial conversations have been undertaken since that time, and the amount of commercial floor space has increased as a result, the proposal is fundamentally the same in its nature as that presented to Council in 2017;
  - the opposition from area residents in 2017 was significant;
  - preliminary conversations with the Fraser Heights Community Association has confirmed that the additional commercial floor space since the previous application is not likely to satisfy neighbourhood resident's request for a more significant commercial node at this location;
  - the proposal does not comply with the existing Commercial designations in the OCP and Abbey Ridge LAP nor does it deliver the community commercial shopping centre that was envisioned as part of the original master plan for the larger site (General Development Permit No. 7908-0052-00); and
  - there are currently no other commercial designated lands in the Abbey Ridge neighbourhood and residents must travel outside the immediate neighbourhood to shop and to access other commercial services.
- The applicant contends that the application has merits as proposed because additional commercial floor space would not be viable given the site's location, with limited exposure and access, and recognizing future larger commercial nodes identified in nearby Anniedale-Tynehead.

## RECOMMENDATION

The Planning & Development Department recommends that this application be denied.

If Council is of the view that there are merits to a mixed-use development on the subject site, Council could refer the application back to staff to work with the applicant and the community to redesign the development to significantly increase the commercial component consistent with a neighbourhood commercial node. This would require changes to the proposed residential density and built form, to increase and maximize commercial floor space while still allowing for some residential development.

This report is being forwarded to Council in advance of a full application review as the application involves a significant policy-related decision, and it was not considered practical to undertake all of the work associated with refining and detailing the proposal until it is determined if Council is prepared to consider the required OCP and Abbey Ridge Local Area Plan Amendments

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	Local Area Plan Designation	Existing Zone
Subject Site	Vacant parcel	Neighbourhood Commercial	CD (Bylaw No. 170728)
North (Across Kinder Morgan Trans Mountain oil pipeline):	4-storey apartment.	High Density Multiple Residential 25-30 upa	CD (By-law No. 17881)
East (Across Barnston Drive East):	Single family dwellings on large lots.	Suburban Residential 2-4 upa, Low Density Townhouse 12-15 upa, and Tree Retention Area	RA and RH
South (Across Highway No. 1):	Anniedale Traditional School	Light Industrial in the Anniedale-Tynehead NCP	RA
West:	Vacant lot.	High Density Multiple Residential 25-30 upa	CD (By-law No. 17028)

### Context & Background

#### Precinct Area Background

- On June 27, 2011, Council approved a partial Official Community Plan (OCP) amendment from Suburban and Commercial to Multiple Residential for a 6.04-hectare (14.9-acre) site at 176 Street and Barnston Drive East (File No. 7908-0052-00) in the Abbey Ridge area.

- At the same time, Council approved a rezoning from the "Combined Service Gasoline Station Zone (CG-2)" and "Comprehensive Development Zone (CD)" (By-law No. 14876) to "Comprehensive Development Zone (CD)" (By-law No. 17028) (based on CG-2, C-8 and RM-70) to permit a mixed-use development to be constructed in multiple phases.
- Council also approved a General Development Permit No. 7908-0052-00 for a Master Plan that would guide the future development of the overall site (Appendix II showing overall master plan).
- On October 3, 2011, Council approved Development Permit No. 7910-0316-00 for a 71-unit, 4-storey apartment building and an 80-unit townhouse development on Blocks C and D as shown on the original master plan. The 80-unit townhouse development and 4-storey apartment building have been constructed (9983 and 9987 Barnston Drive East).
- Block B (9955 - Barnston Drive East), as shown on the original master plan and intended for 4-to 6-storey apartment buildings, is vacant.
- The proposal under the current development applications (Application Nos. 7921-0160-00 and 7921-0161-00) is for the lands shown as Block A on the original master plan, and currently addressed as 9933 - Barnston Drive East. Under the original master plan (General Development Permit No. 7908-0052-00), Block A was intended for a community commercial shopping centre.

#### Previous Development Application No. 7916-0037-00

- A previous Planning & Development Report for Development Application No. 7916-0037-00 (now closed), for the subject site, was considered by Council on June 12, 2017, and the OCP Amendment and rezoning By-laws were granted First and Second Reading. The applicant proposed an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential (in Figure 3: General Land Use Designations of the OCP) and to remove the Commercial designation in Figure 42: Major Employment Areas of the OCP, and a corresponding rezoning to allow a 5-storey apartment building with ground-floor commercial and a 54-unit townhouse development.
- A Public Hearing was subsequently held on June 26, 2017.
- Significant opposition was presented at the Public Hearing, as summarized below:
  - 92 respondents submitted letters in opposition to the lack of commercial floor space;
  - several delegations spoke at the meeting with concerns regarding the proposed development and the desire to develop commercial in accordance with the LAP; and
  - respondents raised concern with respect to the lack of sidewalks in the area.
- The OCP Amendment By-law was denied by Council and the Rezoning By-law was, as a result, "Not in Order". Council noted that the applicant should work with the community to find a viable solution to the issues raised during the Public Hearing.

- Application No. 7916-0037-00 was closed on July 14, 2017, and the Bylaws were filed on December 4, 2017.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The owner of the subject site at 9933 Barnston Drive East (Block A of the original master plan) has submitted the following (Appendix I):
  - the subject Development Application No. 7921-0160-00 to permit the development of a 5-storey mixed-use building, containing approximately 3,974 square metres of residential space (51 dwellings units) and 1,224 square metres of ground floor commercial retail space on the southern portion of the site (proposed Lot A), and
  - the subject Development Application No 7921-0161-00 to permit the development of a 54-unit townhouse development on the northern portion of the site (proposed Lot B).
- The proposal requires the following:
  - Official Community Plan (OCP) Amendment to redesignate the subject site from Commercial to Multiple Residential and to remove the site from the Major Employment Area map;
  - Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) on proposed Lot A and to Medium Density Townhouses (15-30 UPA) on proposed Lot B;
  - Rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17028) to CD (based on RM-70, C-8 and RM-30);
  - Subdivision into two lots (proposed Lot A and Lot B); and
  - Development Permits for Form and Character.
- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation, and therefore an amendment to the RGS is not required.
- On February 6, 2017, Council approved the Abbey Ridge Local Area Plan (LAP) (Corporate Report No. R32; 2017) to guide development in the area. The subject site is designated Neighbourhood Commercial, which correlates to the Commercial designation in the OCP. Therefore, the proposed OCP Amendment from Commercial to Multiple Residential also requires a corresponding LAP Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.

- The proposed rezoning from Comprehensive Development (CD By-law No. 17028) to CD (based on RM-70, C-8 and RM-30) will facilitate the proposed 5-storey mixed-use building on the southern portion of the site (proposed Lot A) and the 54-unit townhouse development on the northern portion of the site (proposed Lot B).
- The site is intended to be subdivided into two (2) lots. Proposed Lot A (south lot) is 3,980 square metres and proposed Lot B (north lot) is 1.1 hectares in size.

#### Mixed-use commercial (Lot A, 7921-0160-00)

- The mixed-use building is proposed to have 51 residential dwelling units and 1,224 square metres of ground-floor commercial floor area.

#### Mixed-use commercial (Lot B, 7921-0161-00)

- The townhouse site is proposed to have 54 residential dwelling units.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the General Urban designation in the Metro Vancouver's Regional Growth Strategy.

### **Official Community Plan**

#### Land Use Designation

- The application is proposing to amend the OCP from Commercial to Multiple Residential.

### **Secondary Plans**

#### Land Use Designation

- The application is proposing to amend the Abbey Ridge Local Area Plan.

## **PROJECT EVALUATION AND DISCUSSION**

- The current Development Application Nos. 7921-0160-00 and 7921-0161-00 are generally consistent with the previous proposal considered, and not supported, by Council in June 2017.
- The significant difference between the previous application and the subject application is that the amount of commercial floor space in the mixed-use building (Lot A) has increased from the previous proposal, from 375 square metres to 1,224 square metres.
- While the addition of 849 square metres of floor space is notable, the majority of the site continues to be proposed as residential development.

- A total of 12,157 square metres of residential floor area is proposed and 1,224 square metres of commercial floor area is proposed, which equates to approximately 10% of the total floor area of the project being provided for commercial use.
- Staff have not proceeded with the detailed application review process and are seeking early direction from Council on this proposal for the following reasons:
  - the previous decision by Council in 2017 was to direct the applicant to work with the community to find viable solutions to the concerns raised at the Public Hearing. While some initial conversations have been undertaken since that time, and the amount of commercial floor space has increased as a result, the proposal is fundamentally the same in its nature as that presented to Council in 2017.
  - the opposition from area residents in 2017 was significant; and
  - preliminary conversations with the Fraser Heights Community Association (FHCA) has confirmed that the additional commercial floor space since the previous application is not likely to satisfy neighbourhood resident's request for a more significant commercial node at this location.

#### Applicant's Rationale:

- The applicant has indicated that it has been a considerable challenge obtaining interest for commercial tenants in this area, since the site is difficult to access from the adjacent highways.
- The proposed commercial space has been reduced from the original master plan, but the current project still includes a mixed-use building that incorporates approximately 1,224 square metres of ground floor commercial/retail space.
- As part of the Anniedale Tynehead Neighbourhood Concept Plan, additional commercial-designated land is contemplated south of the subject site near 96 Avenue and Highway No. 15. These commercial-designated lands will develop over time as services become available and in anticipation of the growth and development in the Abbey Ridge and Anniedale Tynehead areas.
- The subject site only has exposure from one (1) major road, Barnston Drive East. Due to this limited exposure, it is a challenge to create a viable large-scale commercial development. Therefore, the applicant has requested an OCP Amendment to allow a more residential-focused development with a smaller-scale, local commercial component to serve the residents in the area.

#### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide

additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.

- The proposed development would be subject to Tier 1 and 2 Capital Plan Project CACs for proposed density greater than the OCP and Secondary Plan designation.

## PUBLIC ENGAGEMENT

- Pre-notification letters were not sent, and Development Notification signs were not erected in advance of this Planning Report seeking direction from Council.
- Pre-notification letters will be mailed, and Development Notification signs will be erected following Council direction, should Council's decision be to refer the application back to staff.

## CONCLUSION

- The Planning & Development Department recommends that this application be denied for the following reasons:
  - the previous decision by Council in 2017 was to direct the applicant to work with the community to find viable solutions to the concerns raised at the Public Hearing. While some initial conversations have been undertaken since that time, and the amount of commercial floor space has increased as a result, the proposal is fundamentally the same in its nature as that presented to Council in 2017;
  - the opposition from area residents in 2017 was significant;
  - preliminary conversations with the Fraser Heights Community Association has confirmed that the additional commercial floor space since the previous application is not likely to satisfy neighbourhood resident's request for a more significant commercial node at this location;
  - the proposal does not comply with the existing Commercial designations in the OCP and Abbey Ridge LAP nor does it deliver the community commercial shopping centre that was envisioned as part of the original master plan for the larger site (General Development Permit No. 7908-0052-00); and
  - there are currently no other commercial designated lands in the Abbey Ridge neighbourhood and residents must travel outside the immediate neighbourhood to shop and to access other commercial services.
- If Council is of the view that there are merits to a mixed-use development on the subject site, Council could refer the application back to staff to work with the applicant and the community (including the Fraser Heights Community Association) to redesign the development to significantly increase the commercial component consistent with a neighbourhood commercial node. This would require changes to the proposed residential density and built form, to increase and maximize commercial floor space while still allowing for some residential development.



**INFORMATION ATTACHED TO THIS REPORT**

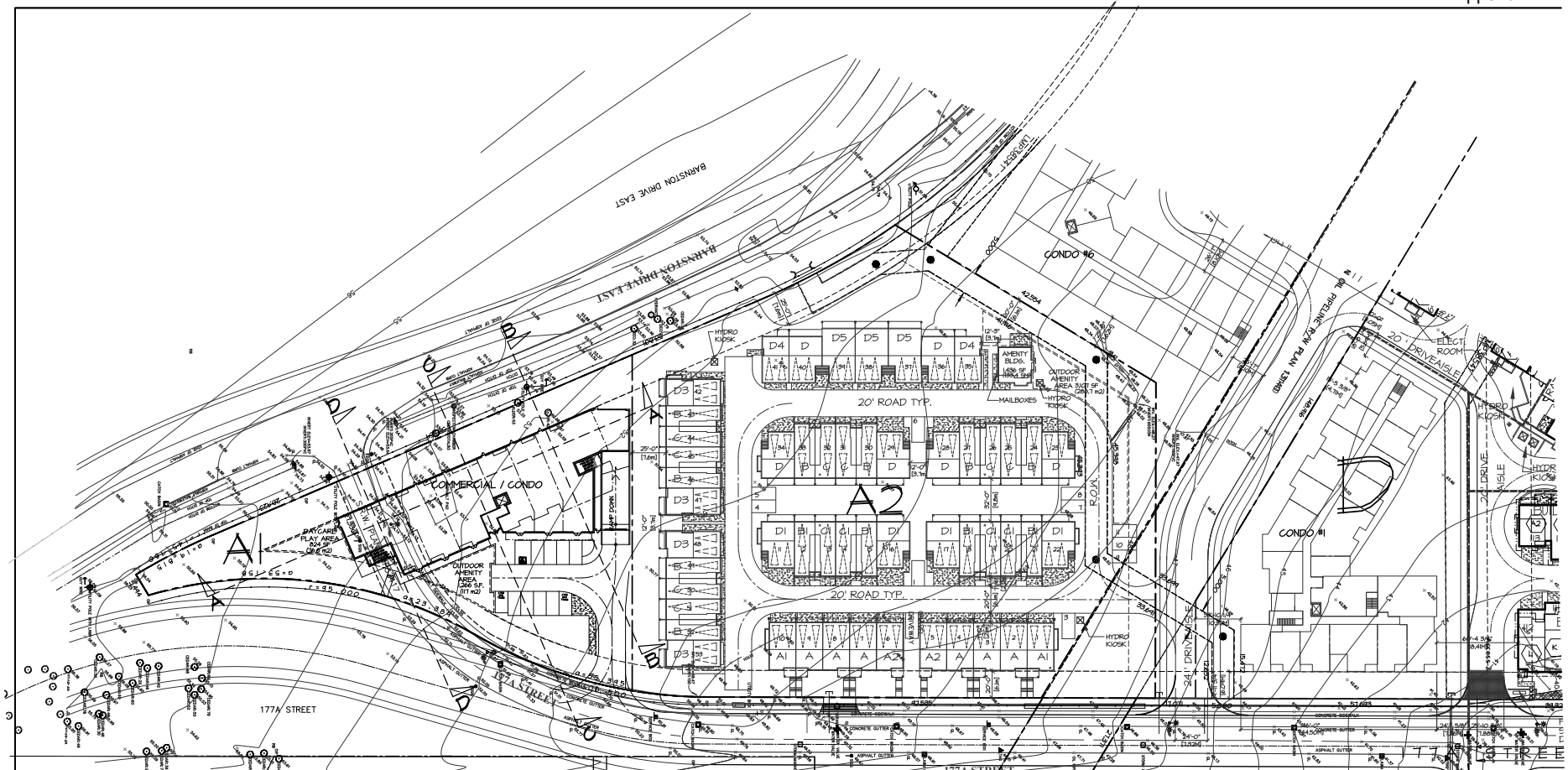
The following information is attached to this Report:

- Appendix I. Currently Proposed Drawings
- Appendix II. Original Master Plan
- Appendix III. Planning Report No. 7916-0037-00, dated June 12, 2017

*approved by Ron Gill*

Rémi Dubé  
Acting General Manager  
Planning and Development

IM/cm



**DEVELOPMENT DATA SITE A1**

Site Area:	42,814 s.f. ±	0.976 Ac.	0.395 Ha.
F.A.R.	54,578 s.f.	1.28 FAR	
Density:	51 Units	52.25 UPA	126.12 UPH
Site Coverage:	14,744 s.f.	34.7%	
Gross Floor Area Commercial	1st Floor	13,173 s.f.	1,223.8 m <sup>2</sup>
	2nd Floor	11,095 s.f.	1,030.8 m <sup>2</sup>
	3rd Floor	10,554 s.f.	980.8 m <sup>2</sup>
	4th Floor	10,554 s.f.	980.8 m <sup>2</sup>
	5th Floor	10,554 s.f.	980.8 m <sup>2</sup>
Total	55,930 s.f.	5,196 m <sup>2</sup>	53 Units
Building Height	3 Storey (1 Storey Commercial + 4 Storey Residential)		
	Commercial 3/100 m <sup>2</sup> 33.9 spaces		
Parking Required	Comdo - 1 Bed x 1.3 spaces	42 spaces	
	Comdo - 2 Bed x 1.5 spaces	29 spaces	
	Comdo - Visitor x 0.2/unit	10 spaces	
	Total Comdo	80 spaces	
Parking Provided	Total	114 spaces	
	Surface	11 spaces	
	U/G Visitor and Commercial	41 spaces	
Amenity	Outdoor Required	3.2 m <sup>2</sup> /unit x 51 Units	= 163.2 m <sup>2</sup>
	Indoor Provided		= 275.5 m <sup>2</sup> 2,065 s.f.
	Total		

**OVERALL SITE PLAN**

SCALE : 1" = 40'-0"

**UNIT BREAKDOWN**

Name	Type	Area Gross	# of Units	Total Gross Area
Unit A	1 Bed	576 s.f.	32	18,432 s.f.
Unit B	2 Bed	819 s.f.	7	5,733 s.f.
Unit B1	2 Bed	1,036 s.f.	4	4,144 s.f.
Unit B2	2 Bed	899 s.f.	4	3,596 s.f.
Unit B3	2 Bed	871 s.f.	1	871 s.f.
Unit B4	2 Bed	972 s.f.	3	2,916 s.f.
Total			51	35,718 s.f.
CRU #1		2,150 s.f.		
CRU #2		1,534 s.f.		
CRU #3		1,983 s.f.		
CRU #4		1,442 s.f.		
CRU #5		1,670 s.f.		
CRU #6		3,380 s.f.		
Total		12,168 s.f.		1,130 m <sup>2</sup>

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ISSUE NO.	DATE	BY	ISSUED FOR

DESIGN : JOE DHALJAL  
 DRAWN :  
 DATE : May 29, 2019  
 SCALE : 1" = 40'-0"

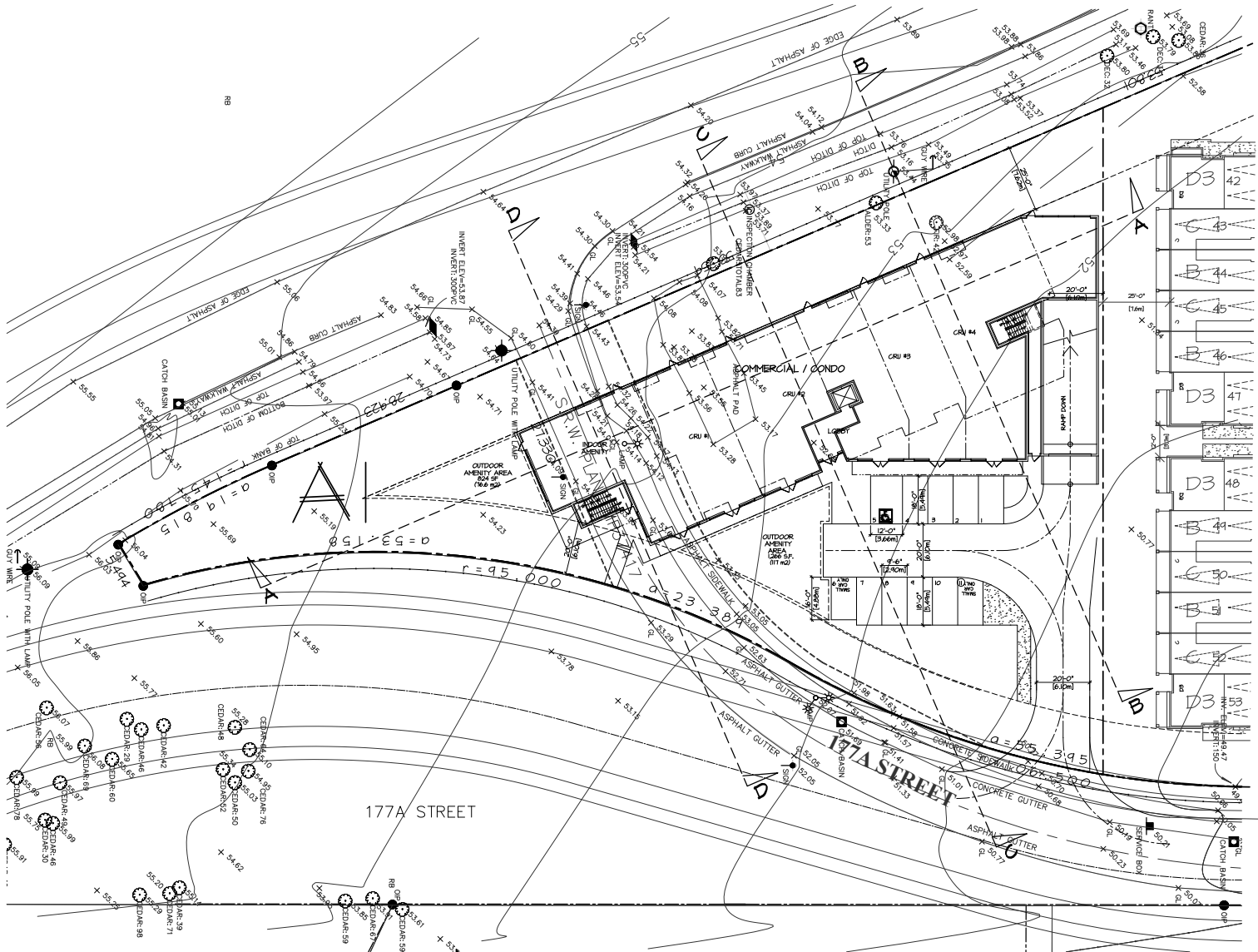
CLIENT : JOE DHALJAL  
 PROJECT : SITE A1 - COMMERCIAL/CONDO DEVELOPMENT  
 BARNASTON DRIVE E & 177A ST., SURREY, B.C.  
 SHEET CONTENTS :  
 OVERALL SITE PLAN  
 SITE A1

**barnett dembok**

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-1.01
15065	REV. NO.



**SITE PLAN - SITE AI**  
SCALE: 1" = 20'-0"

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REV	DATE	BY	ISSUE



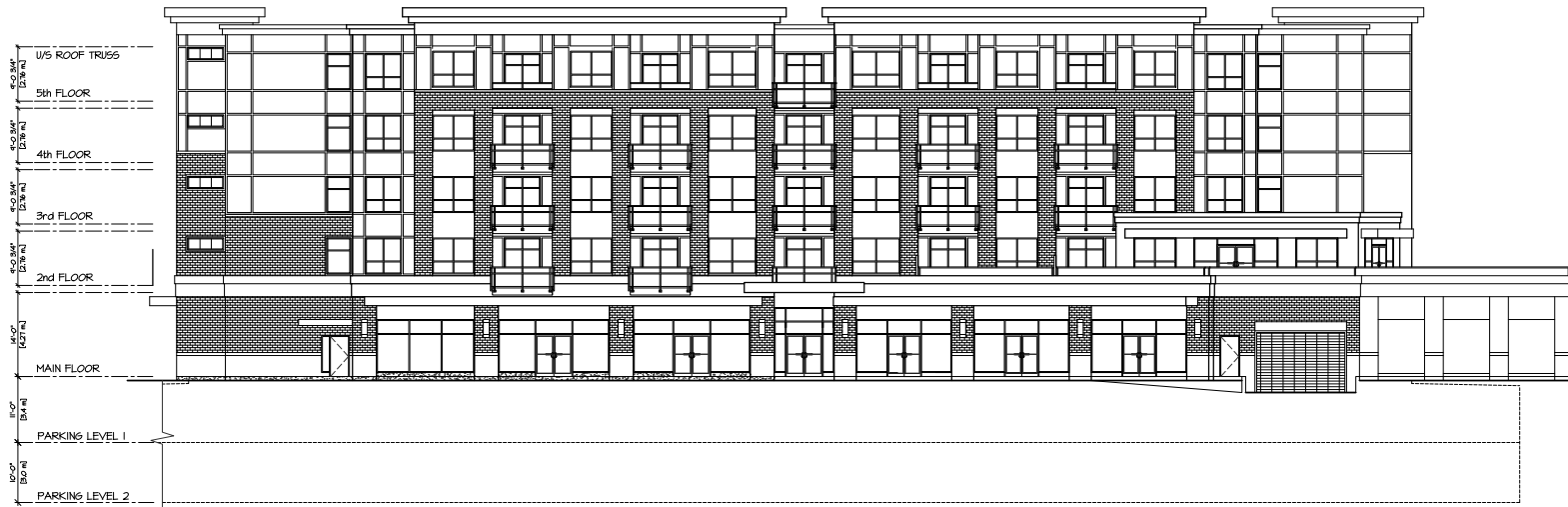
DESIGN: L.P.A.	DRAWN: M.J.M.	DATE: 14th JAN 21	SCALE: 1" = 20'-0"
CLIENT: JOE DHALIHAL	PROJECT: SITE AI - COMMERCIAL/CONDO DEVELOPMENT	BARNSTON DRIVE E & 177A ST., SURREY, B.C.	
SHEET CONTAINS: SITE PLAN		SITE AI	

**barnett dembok**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

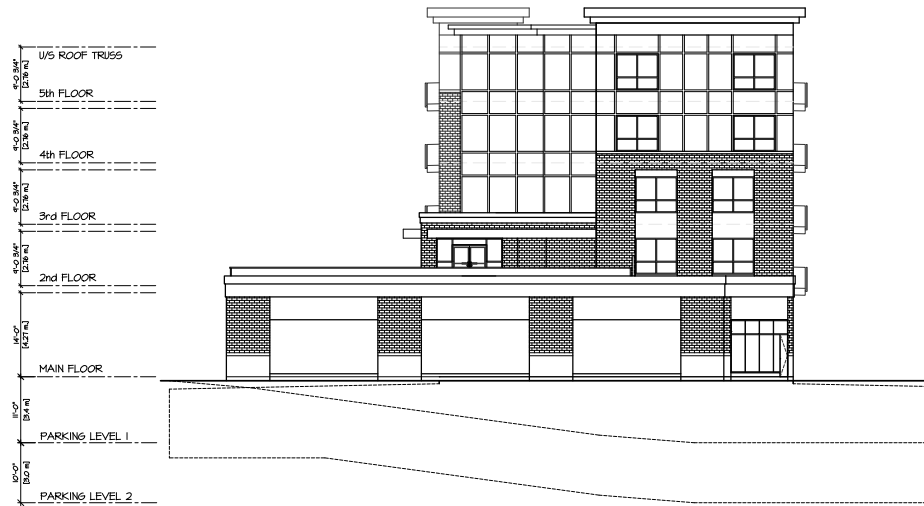
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AG-1.02



### EAST ELEVATION

SCALE : 3/32" = 1'-0"



### NORTH ELEVATION

SCALE : 3/32" = 1'-0"

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REV#	DATE	BY	DATE	ISSUE

6-0-1-COND001.dwg

DESIGN :	DRAWN :	DATE :	SCALE :
JOE DHALIPAL		May 24 21	3/32" = 1'-0"

CLIENT : JOE DHALIPAL

PROJECT : SITE A1 - COMMERCIAL/CONDO DEVELOPMENT  
BARNSTON DRIVE E & 1716 ST., SURREY, B.C.

SHEET CONTENTS : BUILDING ELEVATIONS

**barnett dembek**

UNIT 135,  
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SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.01

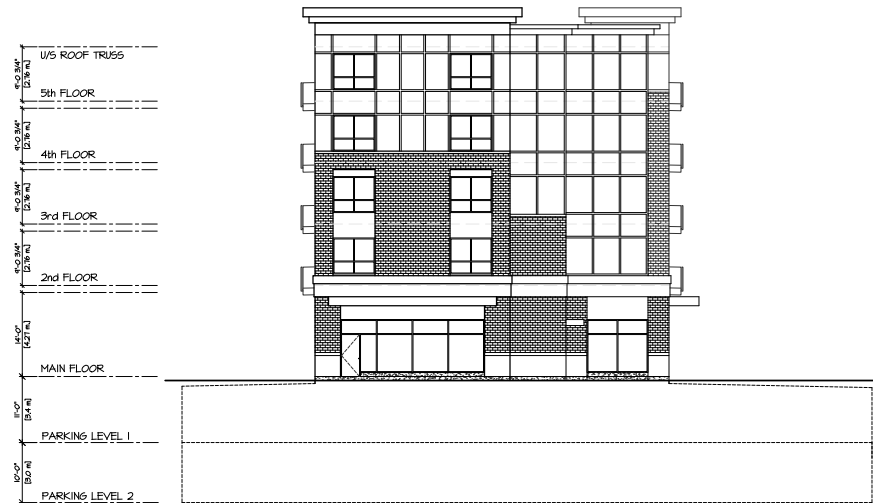
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**WEST ELEVATION**

SCALE : 3/32" = 1'-0"

REV	DATE	BY	ISSUE



**SOUTH ELEVATION**

SCALE : 3/32" = 1'-0"

C-0-4-CONDOP.dwg

DESIGN : L.F.D.	DRAWN : L.F.D.	DATE : May 24 21	SCALE : 3/32" = 1'-0"
CLIENT : JOE DHALJAL		PROJECT : SITE A1 - COMMERCIAL/CONDO DEVELOPMENT BARNSTON DRIVE E & 1716 ST., SURREY, B.C.	
SHEET CONTENTS : BUILDING ELEVATIONS			

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.02

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DATE	
ISSUE	
REV. NO.	
DATE	
REV. NO.	
DATE	
REV. NO.	

DESIGN :  
L.P.I.  
DRAWN :  
DATE :  
SCALE :  
1" = 40'-0"

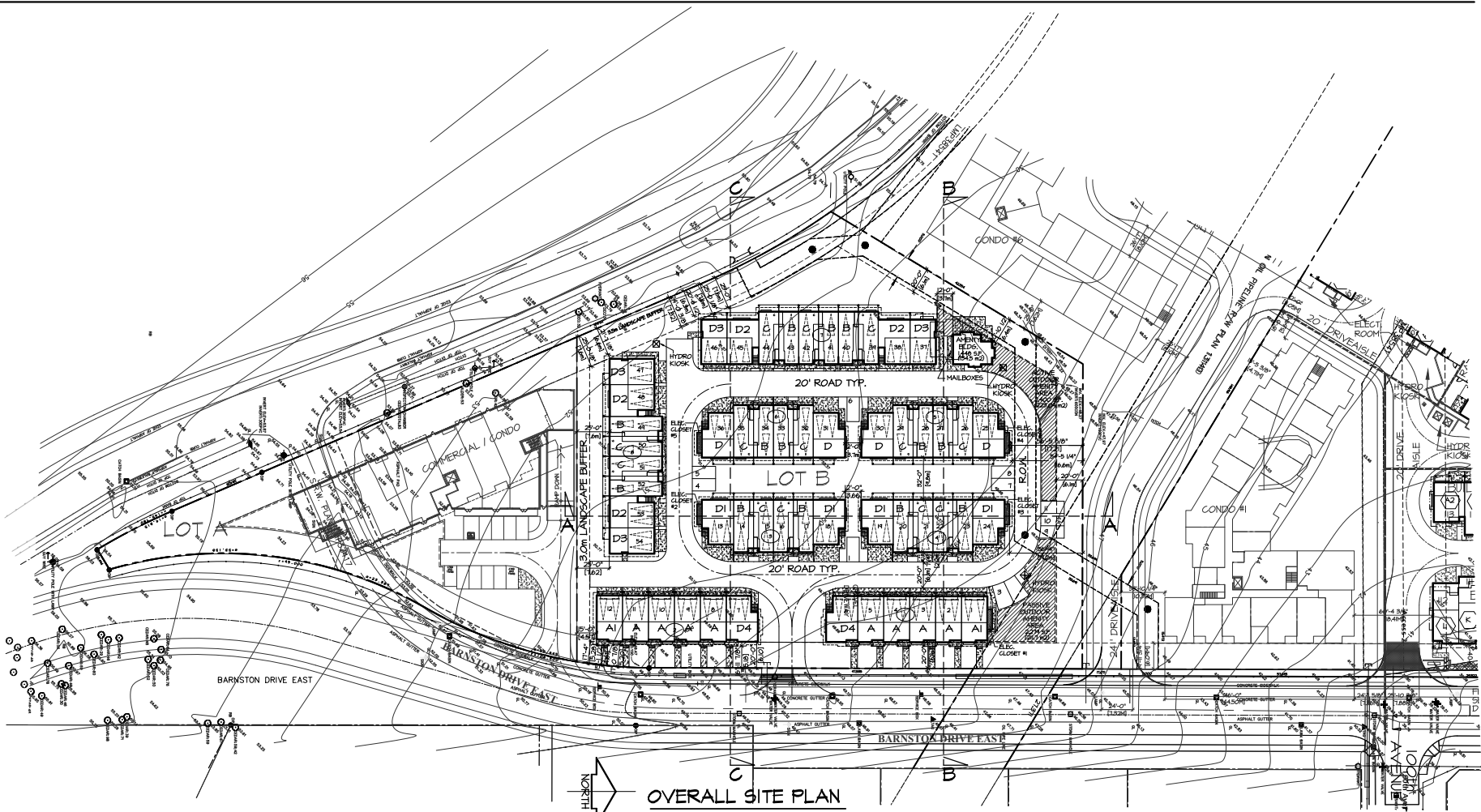
CLIENT : JOE DHALIPAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT B - 9433 BARNSTON DRIVE, SURREY, B.C.  
SHEET CONTAINS : OVERALL SITE PLAN

**barnett dembok**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mol@darkitex.com

CLIENT NO. SHEET NO.  
PROJECT NO. AC-101  
REV. NO. 15066



**OVERALL SITE PLAN**  
SCALE: 1" = 40'-0"

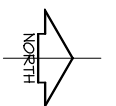
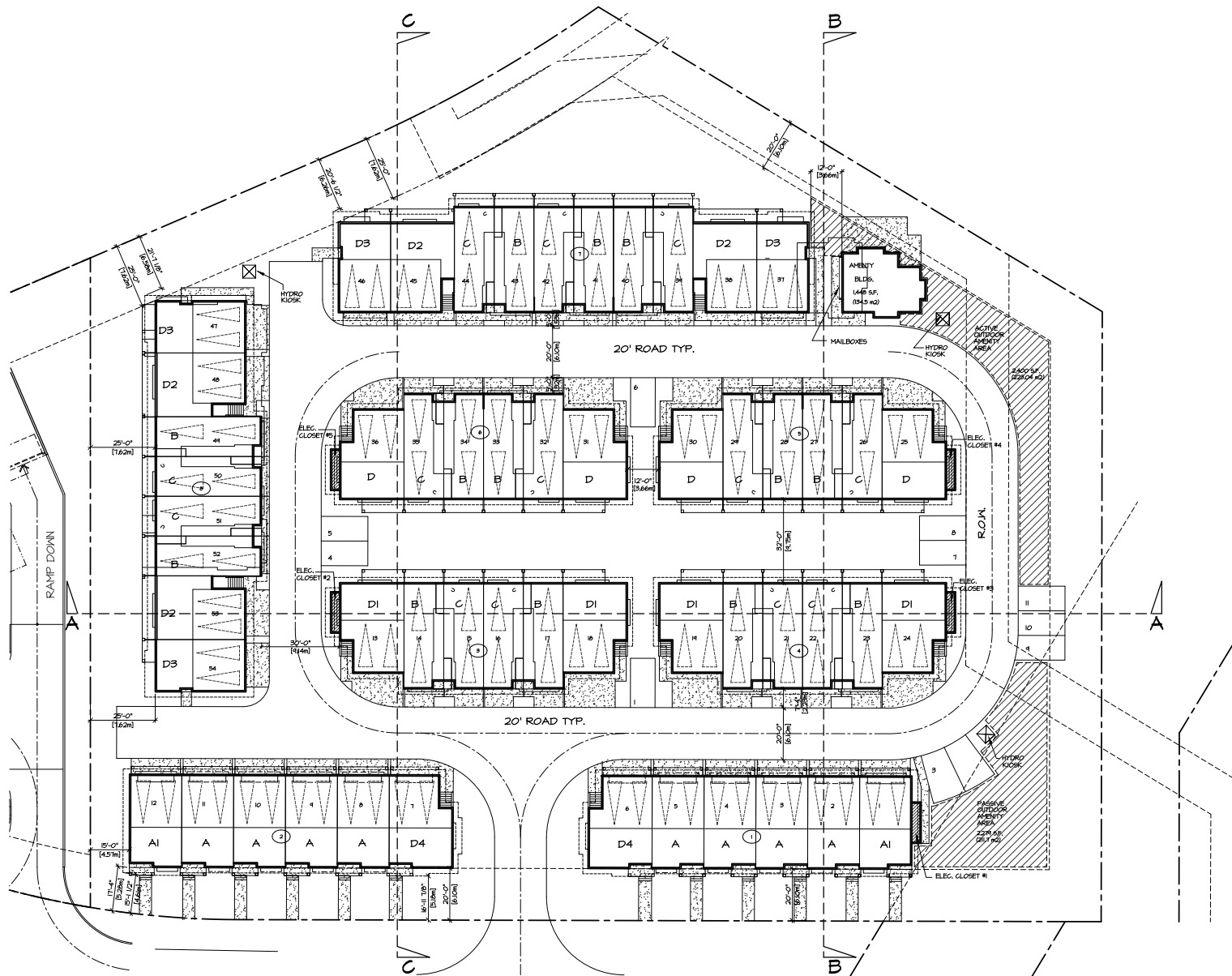
**DEVELOPMENT DATA - LOT B**

Site Area:	115,542 s.f. +/-	2.652 Ac.	1.073 Ha.	10,734 m <sup>2</sup>
F.A.R.	90,205 s.f.	0.78 FAR		
Density:	54 Units = 20 UPA		50.3 UPH	
Site Coverage:	44,093 s.f.	38.2%		
Parking Required:	2 spaces / unit Visitor 0.2 spaces / unit Total Townhouse	108 spaces 11 spaces 119 spaces		
Parking Provided:	Garages Visitor spaces Total	108 spaces 11 spaces 119 spaces		
Amenity:	Outdoor Required: 3.0 m <sup>2</sup> / unit Provided: Active Outdoor Amenity Passive Outdoor Amenity Total	54 Units = 162.0 m <sup>2</sup> = 223.0 m <sup>2</sup> = 211.7 m <sup>2</sup> = 434.7 m <sup>2</sup>		2,400 s.f. 2,279 s.f. 4,679 s.f.
	Indoor Required: 3.0 m <sup>2</sup> / unit Provided:	54 Units = 162.0 m <sup>2</sup> = 134.5 m <sup>2</sup>		1,448 s.f.

**UNIT BREAKDOWN - LOT B**

Name	Type	Bmnt. S.F.	Main S.F.	Upper Garage	Total w/o Gar	# of Units	Total s.f. Excluding Garage
Unit A	3 Bedrooms	297	660	748	410	1,735	6 13,960 s.f.
Unit A1	3 Bedrooms	299	666	754	413	1,749	2 3,498 s.f.
Unit B	3 Bedrooms	114	629	637	504	1,380	13 17,940 s.f.
Unit C	3 Bedrooms	114	629	644	503	1,387	13 18,031 s.f.
Unit D	3 Bedrooms	360	793	820	447	1,973	4 7,892 s.f.
Unit D1	3 Bedrooms	360	792	816	447	1,968	4 7,872 s.f.
Unit D2	3 Bedrooms	356	800	812	443	1,968	4 7,872 s.f.
Unit D3	3 Bedrooms	288	726	758	414	1,772	4 7,088 s.f.
Unit D4	3 Bedrooms	374	779	850	448	2,003	2 4,006 s.f.
<b>Total</b>						<b>54</b>	<b>88,079 s.f.</b>

Building Height	3 storeys	35.83 ft.	10.9 m
Setbacks	South West (to sheathing)	25.01 ft.	7.6 m
	North West (to sheathing)	20.88 ft.	6.4 m
	North (to sheathing)	56.33 ft.	17.2 m
	South (to sheathing)	15 ft.	4.57 m
	East (to sheathing)	20 ft.	6.1 m



**LOT B - CONCEPTUAL SITE PLAN**  
SCALE: 1" = 20'-0"

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ISSUE NO.	BY	DATE	ISSUE

DATE	BY	NO.

666-CA-1143g

DESIGN: JOE DHALLAL	DATE: 1998.11.17	SCALE: 1" = 20'-0"
L.P.I.	DRAWN:	
PROJECT: TOWNHOUSE DEVELOPMENT LOT B - 9433 BARNSTON DRIVE, SURREY, B.C.		
SHEET CONTAINS: CONCEPTUAL SITE PLAN		



UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
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CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-1.02

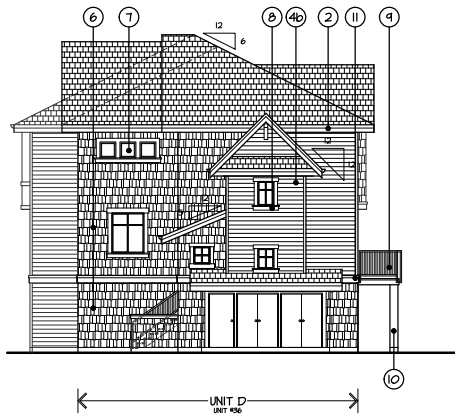
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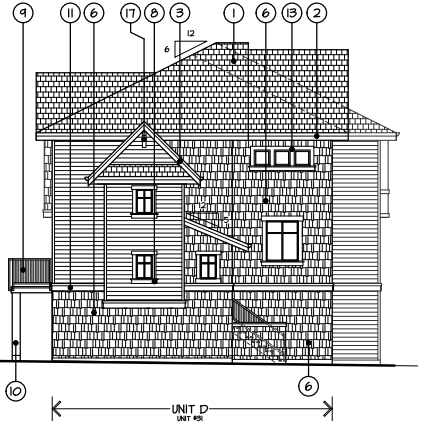


**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

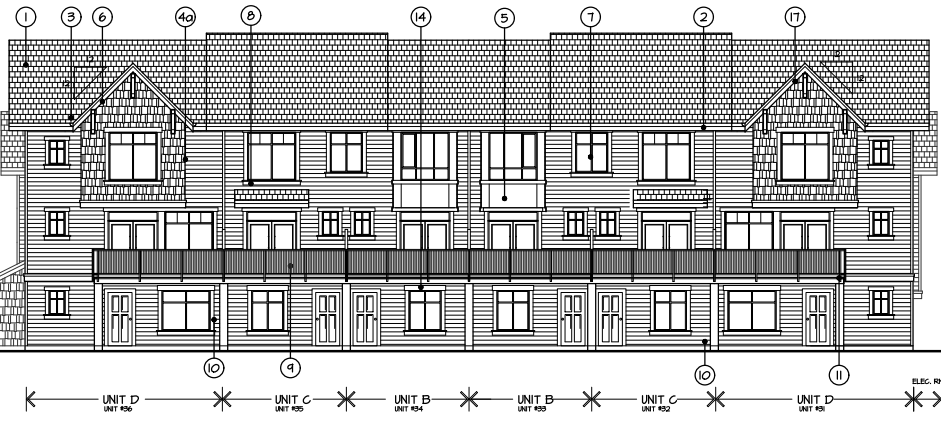
- SCHEDULE OF FINISHES**
- ASPHALT SHINGLES  
80 CAMBRIDGE - GRAY/GAL GREY
  - ALUMINUM GUTTER ON 2x10 WOOD FASCIA  
WHITE GUTTER ON WOOD TRIM - DULUX PAINT - ATMOSPHERE AOS17
  - 1x4 WOOD TRIM ON 2x10 WOOD FASCIA  
DULUX PAINT - ATMOSPHERE AOS17
  - FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY GREY A142
  - FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY PENANT A1000
  - FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY GREY A142
  - FIBER CEMENT - PANEL SIDING  
DULUX PAINT - ATMOSPHERE AOS17
  - FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY GREY A142
  - VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE WINDOW WITH WOOD TRIM - DULUX PAINT - ATMOSPHERE AOS17
  - 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AOS17
  - 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
  - BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULUX PAINT - GREY GREY A142
  - 1x4 WOOD TRIM ON 2x12 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AOS17
  - 5'-6" HIGH PRIVACY SCREEN  
DULUX PAINT - GREY PENANT A1000
  - 2X6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AOS17
  - 2X8 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AOS17
  - THRU-WALL FLASHING  
COLOR TO MATCH ADJACENT SIDING
  - ALUMINUM DOWNPIPE  
WHITE
  - KNEE BRACE  
DULUX PAINT - ATMOSPHERE AOS17



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

DESIGN : JOE DHALIWAJ  
DRAWN :  
DATE :  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT B - 9825 BARNSTON DRIVE, SURREY, B.C.  
SHEET CONTENTS : BUILDING ELEVATIONS

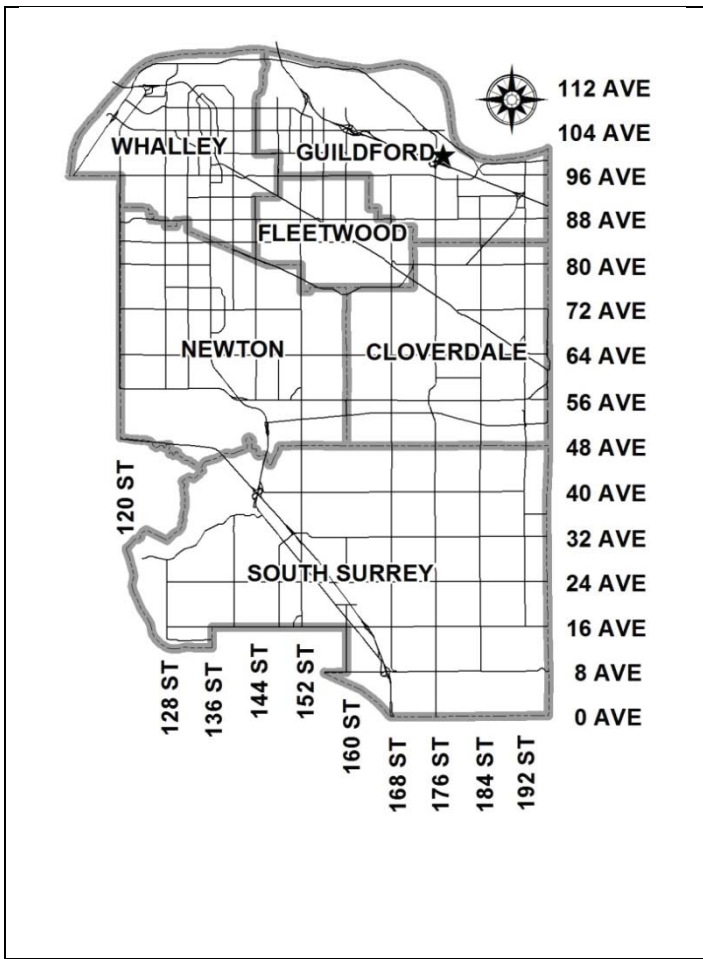
**barnett dembok**  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
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CLIENT NO.	SHEET NO.
	AC-4.06
PROJECT NO.	REV. NO.
15066	

**BUILDING #6**







**PROPOSAL:**

- **OCP Amendment** from Commercial to Multiple Residential
- **LAP Amendment** from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) and Medium Density Townhouses (15-30 UPA)
- **Rezoning** from CD (By-law No. 17028, amended by 17882) to CD (based on RM-70, C-8 and RM-30)
- **Development Permit**

to permit the development of a 51-unit, 5-storey mixed-use building and a 54-unit townhouse development.

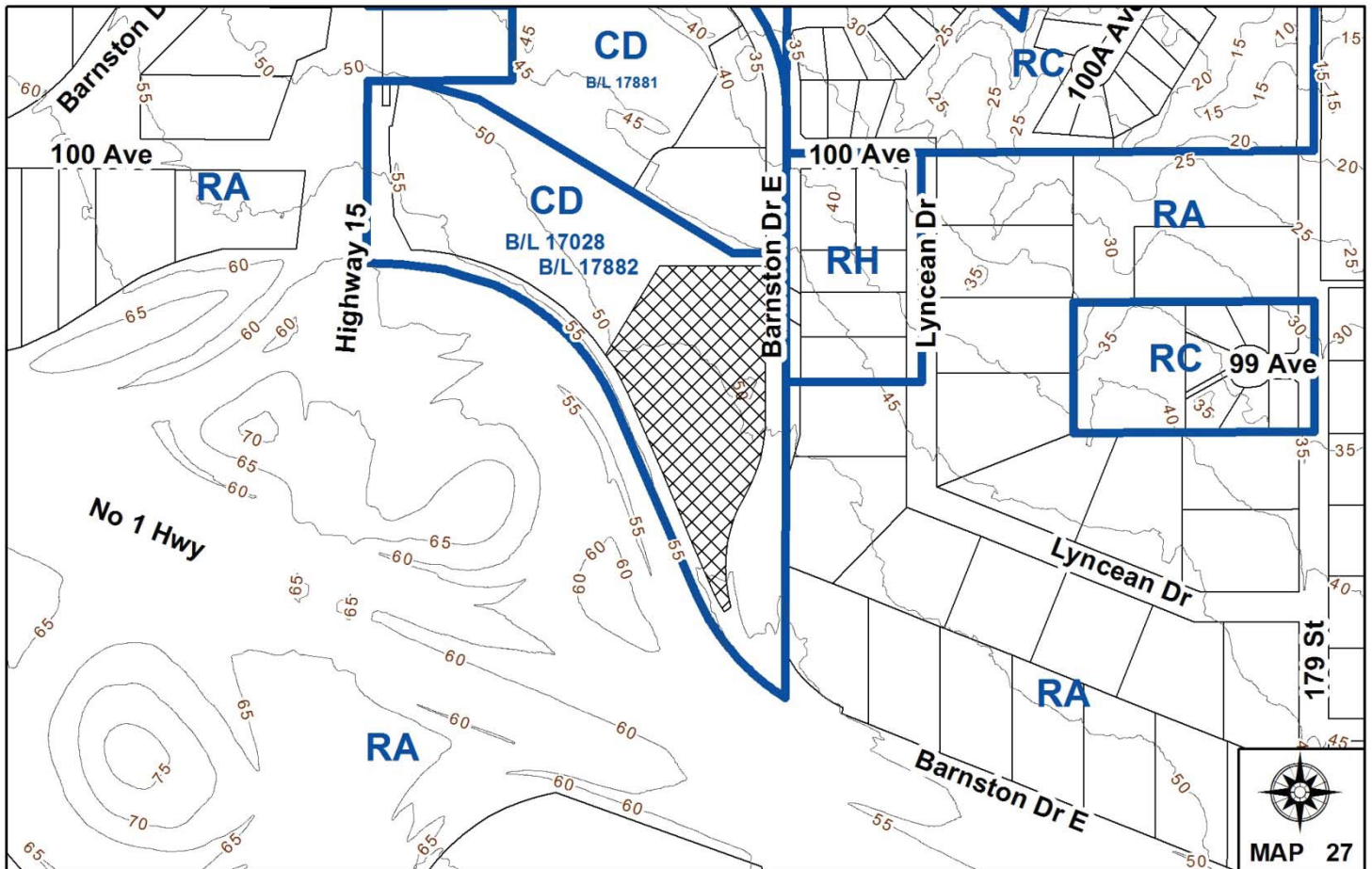
**LOCATION:** 9933 - Barnston Drive East

**OWNER:** 0794043 BC Ltd.

**ZONING:** CD Bylaw No. 17028, amended by Bylaw No. 17882

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Neighbourhood Commercial



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to reduce indoor amenity space on both the proposed mixed-use and townhouse sites.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing OCP Amendment from Commercial to Multiple Residential.
- Proposing Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.

### RATIONALE OF RECOMMENDATION

- The applicant proposes an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential (in Figure 3: General Land Use Designations of the OCP) and to remove the Commercial designation (in Figure 42: Major Employment Areas of the OCP) to allow a 5-storey apartment building with ground-floor commercial and a 54-unit townhouse development.
- The subject site only has exposure from one (1) major road, Barnston Drive East, and therefore, the applicant has advised that it is a challenge to create a viable large-scale commercial development on the subject site, consistent with the Commercial designation in the OCP and LAP.
- The proposed 5-storey mixed use building, with ground floor commercial retail space, will provide some local commercial services to the Abbey Ridge neighbourhood.
- The proposal complies with the General Urban designation in the Metro Vancouver's Regional Growth Strategy.
- The proposed land use, density and building forms are appropriate for this part of Abbey Ridge, and are consistent with the adjacent sites to the north, which allows for a mix of townhouses and apartments.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. an OCP Amendment By-law be introduced to:
  - (a) amend "Figure 3: General Land Use Designations" by redesignating the subject site, from Commercial to Multiple Residential; and
  - (b) amend "Figure 42: Major Employment Areas" by removing the Commercial designation from the subject site;and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (Bylaw No. 17028, amended by Bylaw No. 17882) to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space on proposed Lot A, the mixed-use site, from 153 square metres (1,650 square feet) to 74.4 square metres (800 square feet).
5. Council approve the applicant's request to reduce the amount of required indoor amenity space on proposed Lot B, the townhouse site, from 162 square metres (1,745 square feet) to 134.5 square metres (1,450 square feet).
6. Council authorize staff to draft Development Permit No. 7916-0037-00 generally in accordance with the attached drawings (Appendix II).
7. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) submission of an acoustical report due to proximity of Highway No. 1 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures on proposed Lots A and B;
  - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space on proposed Lot B;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture on proposed Lots A and B; and
  - (j) the applicant adequately address the impact of reduced indoor amenity spaces on proposed Lots A and B.
8. Council pass a resolution to amend the Abbey Ridge Local Area Plan to redesignate the subject site, from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B, when the project is considered for final adoption.

### REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p><b>Projected number of students from this development:</b></p> <p>13 Elementary students at Bothwell Elementary School 7 Secondary students at Fraser Heights Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Winter 2018 / Spring 2019.</p>
Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	MOTI has granted Preliminary Approval for one year.
Surrey Fire Department:	No concerns.
Kinder Morgan:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot with Kinder Morgan pipeline encumbering north-east corner.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across Kinder Morgan Trans Mountain oil pipeline):	Vacant lot.	Multiple Residential	CD (By-law No. 17881)
East (Across Barnston Drive East):	Single family dwellings on large lots.	Suburban	RA and RH
South (Across Highway No. 1):	Anniedale Traditional School	Mixed Employment	RA
West:	Vacant lot.	Multiple Residential	CD (By-law Nos. 17028 and 17882)

DEVELOPMENT CONSIDERATIONSBackground

- On June 27, 2011, Council approved an Official Community Plan (OCP) amendment from Suburban and Commercial to Multiple Residential and a rezoning from the "Combined Service Gasoline Station Zone (CG-2)" and "Comprehensive Development Zone (CD)" (By-law No. 14876) to "Comprehensive Development Zone (CD)" (By-law No. 17028) (based on CG-2, C-8 and RM-70) for a 6.04-hectare (14.9-acre) site at 176 Street and Barnston Drive East (File No. 7908-0052-00). Council also approved a General Development Permit No. 7908-0052-00 for a Master Plan that would guide the future development of the overall site (Appendix IX showing overall master plan).
- On October 3, 2011, Council approved Development Permit No. 7910-0316-00 for a 71-unit, 4-storey apartment building and an 80-unit townhouse development on Blocks C and D as shown on the original master plan. The 80-unit townhouse development (9987 and 9989 - Barnston Drive East) has been constructed, while the 4-storey apartment building (9983 - Barnston Drive East) has yet to be constructed.
- Block B (9955 - Barnston Drive East), as shown on the original master plan and intended for 4- to 6-storey apartment buildings, is also vacant.
- The proposal under the current development application (File No. 7916-0037-00) is for the lands shown as Block A on the original master plan, and currently addressed as 9933 - Barnston Drive East. Under the original master plan (General Development Permit No. 7908-0052-00), Block A was intended for a community commercial shopping centre.

### Current Application

- The owner of the subject site (Block A of the original master plan) has submitted a development application to permit the development of a 5-storey mixed-use building, containing approximately 3,948 square metres (42,490 sq.ft.) of residential space (51 dwellings units) and 376 square metres (4,050 sq.ft.) of ground floor commercial retail space on the southern portion of the site (proposed Lot A), and a 54-unit townhouse development on the northern portion of the site (proposed Lot B). The proposal requires the following:
  - Official Community Plan (OCP) Amendment to redesignate the subject site from Commercial to Multiple Residential and to remove the site from the Major Employment Area map;
  - Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) on proposed Lot A and to Medium Density Townhouses (15-30 UPA) on proposed Lot B (Appendix VI);
  - Rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17028, as amended by By-law No. 17882) to CD (based on RM-70, C-8 and RM-30);
  - Subdivision into two lots; and
  - Development Permit.
- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation, and therefore an amendment to the RGS is not required.
- On February 6, 2017, Council approved the Abbey Ridge Local Area Plan (LAP) (Corporate Report No. R32; 2017) to guide development in the area. The subject site is designated Neighbourhood Commercial, which correlates to the Commercial designation in the OCP. Therefore, the proposed OCP Amendment from Commercial to Multiple Residential also requires a corresponding LAP Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.
- The proposed rezoning from Comprehensive Development (CD By-law No. 17028, as amended by By-law No. 17882) to CD (based on RM-70, C-8 and RM-30) will facilitate the proposed 5-storey mixed-use building on the southern portion of the site (proposed Lot A) and the 54-unit townhouse development on the northern portion of the site (proposed Lot B), as shown on the Survey Plan in Appendix VIII.
- The site is intended to be subdivided into two (2) lots. Proposed Lot A (south lot) is 3,950 square metres (0.98 acre) and proposed Lot B (north lot) is 1.1 hectares (2.7 acres) in size.
- The following table provides a breakdown of the floor area and unit types for each development:

	UNIT TYPE AND NUMBER				RESIDENTIAL FLOOR AREA (INCLUDING INDOOR AMENITY)	COMMERCIAL FLOOR AREA
	1-BEDROOM UNITS	2-BEDROOM UNITS	3-BEDROOM UNITS	TOTAL		
LOT A (MIXED-USE BUILDING)	33	18	N/A	51	3,948m <sup>2</sup> (42,490 ft <sup>2</sup> )	376 m <sup>2</sup> (4,051 ft <sup>2</sup> )
LOT B (TOWNHOUSES)	N/A	N/A	54	54	8,380 m <sup>2</sup> (90,205 ft <sup>2</sup> )	None proposed

- The proposed dwelling units within the 5-storey mixed-use building on proposed Lot A will range in size from 51 square metres (548 sq.ft.) to 94 square metres (1,012 sq.ft.) and are 1 or 2-bedroom units.
- A total of four (4) ground floor commercial / retail units are proposed in the 5-storey mixed-use building, and range in size from 69 square metres (745 sq.ft.) to 108 square metres (1,163 sq.ft.).
- The proposed 3-storey, 3-bedroom townhouse units on proposed Lot B range in size from 128 square metres (1,380 sq.ft.) to 186 square metres (2,003 sq.ft.), excluding the garages.

#### Public Art

- The proposed development application is subject to the public art on private property policy, which will be secured by a Section 219 No-Build Restrictive Covenant.
- The applicant has agreed to provide a monetary contribution at the Building Permit stage, based on the estimated value of the project, to the Public Art Reserve Fund, to satisfy the requirements of the policy.

#### PROPOSED CD BY-LAW (APPENDIX VIII)

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use building on the southern portion of the site, as shown as Block A on the Survey Plan in Appendix VIII, and a townhouse development on the northern portion of the site, as shown as Block B. The CD By-law is based upon the "Multiple Residential 70 Zone (RM-70)" and the "Community Commercial Zone (C-8)" for the proposed mixed-use building (Block A) and the "Multiple Residential 30 Zone (RM-30)" for the proposed townhouse development (Block B).

#### Block A (Mixed-Use Building)

- A comparison of the permitted uses in the RM-70 and C-8 Zones, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law (for the proposed mixed-use building in Block A) is illustrated in the following table:



<b>Mixed-Use Building (Block A)</b>			
<b>Permitted Uses</b>	<b>Residential Uses (RM-70 Zone)</b>	<b>Existing CD (By-law No. 17028, amended by 17882)</b>	<b>Proposed CD By-law</b>
Multiple unit residential buildings and ground-oriented multiple unit residential buildings	Permitted	Not permitted	Permitted
<b>Permitted Uses</b>	<b>Commercial Uses (C-8 Zone)</b>		<b>Proposed CD By-law</b>
Retail Uses, excluding adult entertainment stores, auction houses, secondhand stores and pawnshops	Permitted	Permitted	Permitted
Office Uses, excluding social escort services and methadone clinics	Permitted	Permitted	Permitted
Personal Service Uses limited to barber shops, beauty parlours, cleaning and repair of clothing and shoe repairs	Permitted	Permitted, excluding body rub parlours only	Permitted, excluding body rub parlours only
General Service Uses, excluding funeral parlours, drive-through banks and vehicle rentals	Permitted	Permitted	Permitted
Beverage container return centres	Permitted	Permitted	Permitted
Eating establishments, excluding drive-through restaurants	Permitted	Permitted, including drive-through restaurants	Permitted, excluding drive-through restaurants
Neighbourhood pubs	Permitted	Permitted	Permitted
Liquor store	Permitted	Permitted, in conjunction with a "liquor-primary licensed establishment	Permitted
Parking facilities	Permitted	Permitted	Not permitted
Gasoline station	Permitted	Permitted	Not permitted
Automotive service uses	Permitted	Not permitted	Not permitted
Indoor recreational facilities	Permitted	Permitted	Permitted
Entertainment uses	Permitted	Permitted	Permitted, excluding arcades and adult entertainment stores
Assembly halls	Permitted	Not permitted	Not permitted
Community services	Permitted	Permitted	Permitted
Child care centres	Permitted	Permitted	Permitted
Caretaker's suite	Permitted	Not permitted	Not permitted
Cultural uses	Permitted	Not permitted	Not permitted

- The proposed CD By-law for the proposed mixed-use building in Block A includes multiple unit residential buildings and ground-oriented multiple unit residential buildings, along with a variety of commercial uses appropriate for a mixed-use building at this location.
- A comparison of the floor area ratio (FAR), lot coverage, setbacks, and building height in the RM-70 Zone, C-8 Zone, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law is illustrated in the following table:

Lot A (mixed-use building)	RM-70	C-8	Existing CD (By-law No. 17028, amended by 17882)	Proposed CD By-law
<b>Net FAR</b>	1.50	0.80	0.4	1.17
<b>Lot Coverage</b>	33%	50%		40% (100% for air space parcels)
<b>Setbacks</b>	7.5 metres (25 ft.) to all lot lines		Front yard (east): 3.0 metres (10 ft.) Rear yard (west): 3.0 metres (10 ft.) Side yard (north): 3.0 metres (10 ft.) Side yard (south): 3.0 metres (10 ft.)	Front yard (east): 4.0 metres (13 ft.) Rear yard (west): 7.5 metres (25 ft.) Side yard (north): 5.0 metres (16.5 ft.) Side yard (south): 7.5 metres (25 ft.)  0.0 metre (0 ft.) for air space parcels
<b>Principal Building Height</b>	50 metres (164 ft.)	12 metres (40 ft.)	12 metres (40 ft.)	19 metres (62.5ft.)

- The proposed density is consistent with the adjacent two (2) sites (9955 and 9983 - Barnston Drive East) that also permit townhouse or apartment developments.
- The proposed CD By-law reduces the building setbacks along all lot lines. The reduced setbacks will still allow for appropriate landscaping to provide screening and separation from the adjacent highways.
- The proposed CD By-law will also allow minor encroachments of decks, building architectural features, roof overhangs, and ground floor risers into the setbacks. These elements are essential to the overall function and design of the proposed development on this awkward-shaped site.
- The proposed building height of 19 metres (62.5 ft.) is less than the maximum building height of 50 metres (164 ft.) in the RM-70 Zone, and will reflect the proposed 5-storey building form.

#### Block B (Townhouses)

- The proposed CD By-law permits ground-oriented multiple unit residential buildings within Block B.
- A comparison of the floor area ratio (FAR), lot coverage, setbacks, and building height in the RM-30 Zone, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law is illustrated in the following table:

Lot B (townhouses)	RM-30	Existing CD (By-law No. 17028, amended by 17882)	Proposed CD By-law
Net FAR	0.90	Multiple unit residential buildings and ground-oriented multiple unit residential buildings were not permitted on the subject site as per the existing CD By-law.	0.80
Lot Coverage	45%		47%
Setbacks	7.5 metres (25 ft.) to all lot lines		Front yard (east): 5.0 metres (13 ft.) Rear yard (west): 7.5 metres (25 ft.) Side yard (north): 7.5 metres (25 ft.) Side yard (south): 4.5 metres (15 ft.)
Principal Building Height	13 metres (43 ft.)		12 metres (39.5 ft.)

- The proposed density is based on the RM-30 Zone and is consistent with the property to the north (9989 - Barnston Drive East), where townhouses have been constructed.
- The proposed CD By-law reduces the building setbacks along all lot lines. The reduced setbacks will promote an active building interface with Barnston Drive East and will still allow for appropriate landscaping to provide screening and separation between the public and private spaces.
- The proposed CD By-law will also allow minor encroachments of decks, building architectural features, roof overhangs, and ground floor risers into the setbacks. These elements are essential to the overall function and design of the proposed development.
- The proposed building height of 10.6 metres (35 ft.) is less than the maximum building height of 12 metres (39 ft.) in the RM-30 Zone.

## DESIGN PROPOSAL AND REVIEW

### Mixed-Use Site (Lot A)

- The development consists of a 5-storey mixed-use building on proposed Lot A with ground-floor commercial retail units facing east towards Barnston Drive East.
- The building consists of a brown brick veneer base. The building materials include fiber cement panel siding in light grey and beige with reveals and dark grey corrugated galvalume siding.
- The proposed building incorporates a modern, contemporary design with flat roofs and roof overhangs and significant glazing.
- The building includes grey aluminum rails with tempered glass panels for all of the proposed decks.
- Significant glazing and a metal canopy are proposed over the commercial units to accentuate the storefronts and to provide weather protection.

- Raised channel letter fascia signs on the fiber cement panel backing are proposed for each commercial unit. The proposed signage complies with the Sign By-law.
- Due to the slope of the site, all main floor dwelling units facing west include patios, while all main floor dwelling units facing east include decks located above the commercial units. The remaining non-ground-oriented dwelling units each include a deck.

#### *Parking and Vehicle Access (Mixed-Use Site)*

- The applicant proposes a two-level parking garage on proposed Lot A for the mixed use building, with the top level (P1) located mostly underground and the bottom level (P2) located completely underground. A surface parking lot is also proposed to accommodate parking for the commercial units.
- The entrance to the parking garage is at the north end of the subject site with a driveway to Barnston Drive East. No direct vehicle access is permitted or proposed to the Highway No. 1 off-ramp, which connects to Highway No. 17 (South Fraser Perimeter Road).
- The applicant proposes 91 parking spaces for the proposed mixed-use building (Lot A), which includes 70 resident parking spaces and 11 visitor parking spaces for the 51 dwelling units, and 10 surface parking spaces for the ground floor commercial units. The proposed number of parking spaces complies with the parking requirements in the Zoning By-law.
- The proposal includes a total of 63 bicycle parking spaces located within the underground parking garage, which exceeds the minimum 61 bicycle parking space requirement under the Zoning By-law. Additional bicycle parking spaces (bicycle rack) will be provided outside of the main lobby to the dwellings units, near the commercial units.

#### *Amenity Spaces (Mixed-Use Site)*

- Based on the 51 proposed dwelling units in the mixed-use building (proposed Lot A) and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 153 square metres (1,650 square feet) of indoor amenity space is required. The development proposes 74.4 square metres (801 sq.ft.) of indoor amenity space, which does not meet the minimum indoor amenity space requirement. The applicant will provide a monetary contribution of \$31,200 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The indoor amenity space consists of a large multi-purpose room on the second floor, and due to the slope of the site, has direct access to the outdoor amenity space located south of the proposed building.
- The applicant has indicated that the proposed 74.4 square metres (801 sq.ft.) of indoor amenity space will provide an adequate space for small gatherings and meetings for the future residents of the building.
- Based on the 51 proposed dwelling units in the mixed-use building and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 153 square metres (1,650 square feet) of outdoor amenity space is required. The development

proposes 452 square metres (4,865 sq.ft.) of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.

- The outdoor amenity space consists of a triangular-shaped space located at the south end of the proposed building. The outdoor amenity space consists of a patio area located directly off of the indoor amenity space, while a play structure is directly south of the patio. A sod lawn area is adjacent to the patio and play area.

#### Townhouse Site (Lot B)

- The proposed 54-unit townhouse project consists of eight (8), three-storey buildings with garages accessed internally at grade.
- A total of 28 of the proposed townhouses consist of double car, side-by-side garages, while 26 of the proposed units (or 48%) consist of internal tandem garages, which complies with the 50% permitted in the RM-30 Zone.
- The proposed building materials include fiber cement plank siding painted three shades of grey and fiber cement panel siding painted white. Fiber cement shingle siding as well as wood trims are also painted white.
- Dark grey asphalt shingle roofs are proposed on all of the buildings.
- Each proposed townhouse unit includes a second-floor deck with white metal railings.
- The proposal will include five (5) electrical rooms attached to Units 1, 13, 24, 25 and 36. Three (3) pad-mounted transformer (PMT) boxes are proposed near Units 1 and 47, as well as the proposed amenity building. The PMTs will be screened by landscaping.
- A community mail kiosk is proposed adjacent to the amenity building, directly north of Building 7.

#### *Parking and Vehicle Access (Townhouse Site)*

- Vehicle access to the townhouse site (proposed Lot B) is via Barnston Drive East. No direct vehicle access is proposed to the Highway No. 1 off-ramp.
- The proposed townhouse development includes a total of 119 parking spaces, consisting of 108 resident parking spaces in 28 double car, side-by-side garages and 26 tandem garage units, as well as 11 visitor parking spaces, which comply with the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by decorative permeable pavers.
- Proposed Lots A and B (mixed-use and townhouse sites) are separate and independent, with no sharing of driveways or parking.
- No road dedications are required as part of the current development application. All road dedications were provided as part of the original development application (File No. 7908-0052-00).

*Amenity Spaces (Townhouse Site)*

- Based on the 54 proposed dwelling units for the townhouse development (proposed Lot B) and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 162 square metres (1,750 square feet) of indoor amenity space is required. The development proposes 134.5 square metres (1,447 sq.ft.) of indoor amenity space, which does not meet the minimum indoor amenity space requirement. The applicant will provide a monetary contribution of \$10,800 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The applicant proposes a two-storey, detached amenity building approximately 134.5 square metres (1,447 sq.ft.) in size. The proposed amenity building is directly north of Unit #37 in Building 7, and is located adjacent to the outdoor amenity area.
- The applicant has indicated that the proposed 134.5-square metre (1,447 sq.ft.) amenity building is slightly smaller than the minimum requirement and will provide a functional gathering space for the future residents of the townhouse development.
- Based on the 54 proposed dwelling units for the townhouse development and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 162 square metres (1,745 square feet) of outdoor amenity space is required. The development proposes 223 square metres (2,400 sq.ft.) of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.
- The outdoor amenity space consists of children's play area, garden plots and a lawn area located at the north end of the site. A portion of the outdoor amenity space is located within the required setbacks and does not count towards the outdoor amenity space requirement.
- The applicant proposes to install sod and some landscaping over the Kinder Morgan Trans Mountain oil pipeline right-of-way to create a 212-square metre (2,280 sq.ft.) passive outdoor space in the northeast corner of the site. This outdoor space does not count towards the outdoor amenity space requirement in the Zoning By-law. Kinder Morgan has no objection to the installation of the openspace over the right-of-way, provided the applicant complies with Kinder Morgan's design and landscaping guidelines.

ADVISORY DESIGN PANEL

ADP Date: March 23, 2017

The applicant has resolved most of the outstanding items from the ADP review for the proposed mixed-use building on proposed Lot A. Some minor revisions will be completed prior to Council's consideration of final adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department (see Appendix V).

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	1	0	1
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bitter Cherry	1	0	1
<b>Coniferous Trees</b>			
Douglas Fir	1	0	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>2</b>	<b>0</b>	<b>2</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>268</b>	
<b>Total Retained and Replacement Trees</b>		<b>270</b>	
<b>Contribution to the Green City Fund</b>		<b>No contribution required.</b>	

- The Arborist Assessment states that there are no existing trees on the subject site, however, three (3) trees are located off-site along the Highway No 1 off-ramp (west of Unit 41 in Building 8 of the proposed townhouse development). All three (3) off-site trees will be retained.
- The applicant is proposing to install 93 and 175 trees on the mixed-use and townhouse sites, respectively.

Landscaping (Mixed-Use Site)

- The landscape plan shows a total of 93 trees to be planted throughout the mixed-use site including maple, dogwood, cypress, beech, spruce and red cedar.
- A significant number of shrubs and ground cover species are proposed throughout the site, including laurel, honeysuckle, sedge, yew, roses, ferns and decorative grasses.
- The applicant proposes a landscape buffer along the west property line adjacent to the Highway No 1 off-ramp, which includes a 1.0-metre (3-ft.) high post rail fence along the property line, a 3.0-metre (10-ft.) wide landscape buffer, and a 1.8-metre (6-ft.) high concrete sound attenuation fence.

- A 3.0-metre (10-ft.) wide landscape buffer and 1.8-metre (6-ft.) high wood fence is proposed along the north property line adjacent to the townhouse site. The proposed wood fence transitions to a height of approximately 1.1 metres (3.5 ft.) near the driveway access to Barnston Drive East.
- A rain garden is proposed at the northwest corner of the mixed-use site, just north of the entrance to the parking garage.

#### Landscaping (Townhouse Site)

- The landscape plan shows a total of 175 trees to be planted throughout the townhouse site including maple, dogwood, cedar, beech, spruce apple and douglas fir.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including laurel, honeysuckle, yew, roses, lilac, ferns and decorative grasses.
- The applicant proposes a landscape buffer along the west property line adjacent to the Highway No 1 off-ramp consistent with the mixed-use site, and includes a 1.0-metre (3-ft.) high post rail fence along the property line, a 3.5-metre (11.5-ft.) wide landscape buffer, and a 1.8-metre (6-ft.) high concrete sound attenuation fence.
- A 1.1-metre (3.5-ft.) high wood rail fence will be installed along the east lot line fronting Barnston Drive East in order to separate the public and private spaces, but maintain an urban, pedestrian-friendly, streetscape.

#### PRE-NOTIFICATION

Pre-notification letters were sent on January 4, 2017. Staff received nine (9) e-mails from nearby property owners in response to the pre-notification letters. The property owners expressed the following comments / concerns (staff comments in italics):

- The proposed development further reduces the commercial space that was originally intended for this neighbourhood. Commercial retail space is needed to serve the Abbey Ridge area, particularly as the neighbourhood continues to grow.
- Shops and services in the Abbey Ridge area are lacking. Many local residents must drive great distances to buy basic grocery items and to conduct daily business, and in some cases, residents must travel to Langley.

*(The applicant has indicated that it has been a considerable challenge obtaining interest for commercial tenants in this area, since the site is difficult to access from the adjacent highways.*

*The proposed commercial space has been reduced from the original master plan, but the current project still includes a mixed-use building that incorporates approximately 375 square metres (4,050 sq.ft.) of ground floor commercial/retail space.*

*As part of the Anniedale Tynehead Neighbourhood Concept Plan, additional commercial-designated land is contemplated south of the subject site near 96 Avenue and Highway No.*



15. *These commercial-designated lands will develop over time as services become available and in anticipation of the growth and development in the Abbey Ridge and Anniedale Tynehead areas.)*

- The subject site should be utilized as a park. Noise barriers and the planting of trees would help to buffer the existing residential units and single family homes from the highway.

*(The subject site is not designated as parkland in the Abbey Ridge Land Use Plan. A future park is planned approximately 150 metres / 490 feet east of the subject site, located on Lynceon Drive, as shown in the Abbey Ridge Land Use Plan.)*

- The increase in density should not be supported since it is inconsistent with the neighbourhood, and will bring traffic and parking problems to the neighbourhood.

*(The proposed density is consistent with the developments to the north, which are part of the original master plan. The existing 115-unit townhouse development at 9989 - Barnston Drive East is shown as Block B under CD By-law No. 17881 and allows a maximum permitted floor area ratio (FAR) of 0.90. The proposed 54-unit townhouse development on the subject site (Block B) proposes an FAR of 0.78, and will be capped at 0.80 in the proposed CD By-law.*

*The two other vacant sites (9955 and 9983 Barnston Drive East), directly to the north, allow for apartments with an FAR of 1.48 and 1.5 respectively. The proposed mixed-use building on the subject site (Block A) proposes an FAR of 1.17, which is captured in the proposed CD By-law.*

*The proposed number of parking spaces on the subject site, for the proposed mixed-use and townhouse developments, meet the minimum parking requirements as per the Zoning By-law. No parking relaxations are proposed. The proposed developments are not expected to generate a significant impact on traffic flows in the area.)*

## JUSTIFICATION FOR PLAN AMENDMENT

- The applicant proposes an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential in Figure 3: General Land Use Designations of the OCP and to remove the Commercial designation for the subject site in Figure 42: Major Employment Areas of the OCP (Appendix VII).
- The proposed land use and densities are consistent with the adjacent properties to the north, which allow a mix of townhouses and apartments.
- The subject site only has exposure from one (1) major road, Barnston Drive East. Due to this limited exposure, the applicant has advised that it is a challenge to create a viable large-scale commercial development. Therefore, the applicant has requested an OCP Amendment to allow a more residential-focused development with a smaller-scale local commercial component to serve the residents in the area.
- The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation in Metro Vancouver's Regional Growth Strategy (RGS), and therefore an amendment to the RGS is not required.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on March 6, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The site is located within the Abbey Ridge Local Area Plan.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape.</li> <li>The project will diversify the housing stock and provide additional options for future home buyers in this area.</li> <li>Increased densities in the area may advance the expansion of transit options and create a more pedestrian and transit-friendly neighbourhood.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The proposed development includes absorbent soils and permeable pavers.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>A multi-use path runs along the east side of Barnston Drive East and provides access for pedestrians and cyclists.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, open sightlines, and good on-site pedestrian linkages and lighting.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>No green rating or certification is proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. ADP Comments and Applicant's Responses
- Appendix VI. LAP Redesignation Plan
- Appendix VII. OCP Redesignation Maps
- Appendix VIII. Proposed CD By-law
- Appendix IX. Original Master Plan

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (RM-70, C-8 and RM-30)

Required Development Data (Lot A: mixed-use site)	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		
Road Widening area		N/A
Undevelopable area		N/A
Net Total		3,950 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	40%	30%
Paved & Hard Surfaced Areas		25%
Total Site Coverage		55%
<b>SETBACKS</b>		
Front (east)	4.0 metres	4.4 metres
Rear (west)	7.5 metres	7.5 metres
Side #1 (north)	5.0 metres	5.0 metres
Side #2 (south)	7.5 metres	46.0 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	19 metres	19.0 metres
Accessory	4.5 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One Bed		33
Two Bedroom		18
Three Bedroom +		N/A
Total		51
<b>FLOOR AREA: Residential</b>		
		3,948 sq.m.
<b>FLOOR AREA: Commercial</b>		
		376 sq.m.
<b>FLOOR AREA: Industrial</b>		
		N/A
<b>FLOOR AREA: Institutional</b>		
		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	4,620 sq.m.	4,324 sq.m.

**Development Data Sheet cont'd**

<b>Required Development Data (Lot A: mixed-use site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
FAR (net)	1.17	1.17
AMENITY SPACE		
Indoor	153 sq.m.	74.4 sq.m.
Outdoor	153 sq.m.	452 sq.m.
PARKING (number of stalls)		
Commercial	11	11
Industrial		N/A
Residential Bachelor + 1 Bedroom	43	43
2-Bed	27	27
Residential Visitors	10	10
Institutional		N/A
Total Number of Parking Spaces	91	91
Number of disabled stalls	1	1
Number of small cars	27	6
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

## Development Data Sheet cont'd

<b>Required Development Data (Lot B: townhouse site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>LOT AREA</b>		
Gross Total		
Road Widening area		N/A
Undevelopable area		N/A
Net Total		10,734 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	48%	48%
Paved & Hard Surfaced Areas		25%
Total Site Coverage		73%
<b>SETBACKS</b>		
Front (east)	5.0 metres	5.2 metres
Rear (west)	7.5 metres	7.5 metres
Side #1 (north)	7.5 metres	17.0 metres
Side #2 (south)	4.5 metres	4.5 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	12 metres	10.6 metres
Amenity building	11 metres	7.5 metres
Accessory	4.5 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One-Bed		N/A
Two-Bedroom		N/A
Three-Bedroom		54
Total		
<b>FLOOR AREA: Residential</b>		8,380 sq.m.
<b>FLOOR AREA: Commercial</b>		sq.m.
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	8,587 sq.m.	8,380 sq.m.

## Development Data Sheet cont'd

<b>Required Development Data (Lot B: townhouse site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (net)	75 UPH / 30 UPA	50.3 UPH / 20 UPA
FAR (net)	0.80	0.78
AMENITY SPACE (area in square metres)		
Indoor	162 sq.m.	134.5 sq.m.
Outdoor	162 sq.m.	223 sq.m.
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		N/A
3-Bed	108	108
Residential Visitors	11	11
Institutional		N/A
Total Number of Parking Spaces	119	119
Number of disabled stalls		N/A
Number of small cars		N/A
Tandem Parking Spaces: Number / % of Total Number of Units	27 / 50%	26 / 48%
Size of Tandem Parking Spaces width/length	3.2 metres by 12.2 metres	3.2 metres by 12.2 metres

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



EAST ELEVATION

DEVELOPMENT DATA - LOT A

<b>Site Area:</b>	42,514 s.f. +- 0.976 Ac.	0.395 Ha.	3,950 m <sup>2</sup>
<b>F.A.R.</b>	49,446 s.f. 1.16 FAR		
<b>Density</b>	51 Units =	52.25 UPA	129.12 UPH
<b>Site Coverage</b>	12,708 s.f. 30%		
<b>Gross Floor Area</b>	Parking Garage 22,684 s.f. 2,107.4 m <sup>2</sup>		
<b>Commercial</b>	1st Floor 4,046 s.f. 375.9 m <sup>2</sup>		
<b>Condo</b>	1st Floor 857 s.f. 79.6 m <sup>2</sup>		
<b>Parking Garage</b>	1st Floor 11,985 s.f. 1,113.4 m <sup>2</sup>		
	<b>Total</b> 16,888 s.f. 1,568.9 m <sup>2</sup>		
<b>Condo (Including Amenity)</b>	2nd Floor 10,473 s.f. 973.0 m <sup>2</sup>	12 Units	
	3rd Floor 10,414 s.f. 967.5 m <sup>2</sup>	13 Units	
	4th Floor 10,414 s.f. 967.5 m <sup>2</sup>	13 Units	
	5th Floor 10,333 s.f. 960.0 m <sup>2</sup>	13 Units	
	<b>Total</b> 41,634 s.f. 7,006 m <sup>2</sup>	51 Units	
<b>Total (Excluding P. Garage)</b>	46,537 s.f. 4,323.4 m <sup>2</sup>		
<b>Building Height</b>	5 storey ( 1 Storey Commercial + 4 Storey Residential)	62.13 ft.	18.94 m
<b>Setbacks</b>	<b>North</b> (to sheathing) 16.42 ft. (to brick) 15.83 ft.	5.00 m 4.82 m	
	<b>West</b> (to sheathing) 25.00 ft. (to brick) 24.58 ft.	7.62 m 7.49 m	
	<b>South</b> (to sheathing) 31.04 ft. (to brick) 30.63 ft.	9.46 m 9.34 m	
	<b>East</b> (to sheathing) 17.23 ft. (to brick) 24.58 ft.	5.25 m 7.49 m	

<b>Parking Required</b>	Commercial 3/100 m <sup>2</sup>	11 spaces
	Condo - 1 Bed x 1.3 spaces	33 spaces
	Condo - 2 Bed x 1.5 spaces	24 spaces
	Condo - Visitor x 0.2/unit	10 spaces
	<b>Total Condo</b>	<b>67 spaces</b>
	<b>Total</b>	<b>78 spaces</b>
<b>Parking Provided</b>	Surface U/G Visitor	10 spaces 11 spaces
	<b>Total</b>	<b>21 spaces</b>
	U/G Residential	70 spaces
	<b>Total</b>	<b>91 spaces</b>
<b>Bicycle Spaces Required</b>	51 Units x 1.2 =	61 Secured
	Visitor =	6 At grade
		<b>67 Total</b>
<b>Bicycle Spaces Provided</b>		63 Secured
		6 At grade
		<b>69 Total</b>
<b>Amenity</b>	<b>Outdoor</b> Required : 3.0 m <sup>2</sup> / Unit X Provided : Hard Surface Grass Area	51 Units = 153 m <sup>2</sup> = 124.9 m <sup>2</sup> = 327.2 m <sup>2</sup>
	<b>Indoor</b> Required : 3.0 m <sup>2</sup> / Unit X Provided :	51 Units = 153 m <sup>2</sup> = 74.4 m <sup>2</sup>
	<b>Total</b>	<b>4,866 s.f.</b>

UNIT BREAKDOWN - LOT A

Name	Type	Area Gross	# of Units	Total Gross Area
Unit A	1 Bed	578 s.f.	24	13,872 s.f.
Unit A1	1 Bed	569 s.f.	6	3,414 s.f.
Unit A2	1 Bed	548 s.f.	2	1,096 s.f.
Unit B	2 Bed	826 s.f.	3	2,478 s.f.
Unit Ba	2 Bed	806 s.f.	1	806 s.f.
Unit B2	2 Bed	900 s.f.	4	3,600 s.f.
Unit B3	2 Bed	1,000 s.f.	1	1,000 s.f.
Unit B3a	2 Bed	1,007 s.f.	2	2,014 s.f.
Unit B3b	2 Bed	1,012 s.f.	4	4,048 s.f.
Unit B4	1 Bed	596 s.f.	1	596 s.f.
Unit B5	2 Bed	751 s.f.	2	1,502 s.f.
Unit B5a	2 Bed	731 s.f.	1	731 s.f.
<b>Total</b>			<b>51</b>	<b>35,157 s.f.</b>
<b>CRU #1</b>		983 s.f.		
<b>CRU #2</b>		1163 s.f.		
<b>CRU #3</b>		1155 s.f.		
<b>CRU #4</b>		745 s.f.		
<b>Total</b>		<b>4,046 s.f.</b>		

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ISSUED FOR	
BY	
DATE	
ISSUE	
REV#	
DATE	
BY	
DATE	
BY	



CAB-C-CAN000.dwg

DESIGN :	DATE :	SCALE :
LEVEL :	MONTH / YEAR :	1/8" = 1'-0"
DRAWN :		
CLIENT :	PROJECT :	SHEET CONTENTS :
JOE DHALIMAL	COMMERCIAL/CONDO DEVELOPMENT LOT A - 4925 BARRISTON DRIVE, SURREY, B.C.	DEVELOPMENT DATA

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H3

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-1.01
15065	REV. NO.



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REV. NO.	DATE	BY	ISSUE FOR



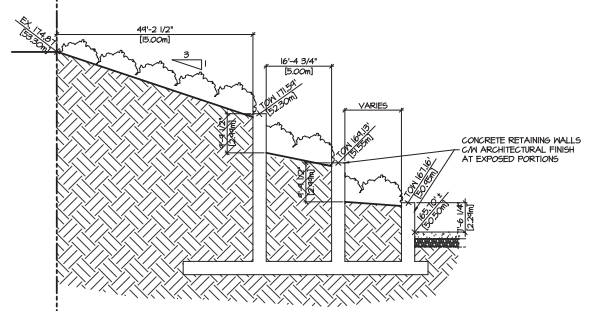
DESIGN :	JOE DHALIVAL
DATE :	10/11/20
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9833 BARNSTON DRIVE, SURREY, BC
SHEET CONTENTS :	SITE PLAN

**barrett denkem**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

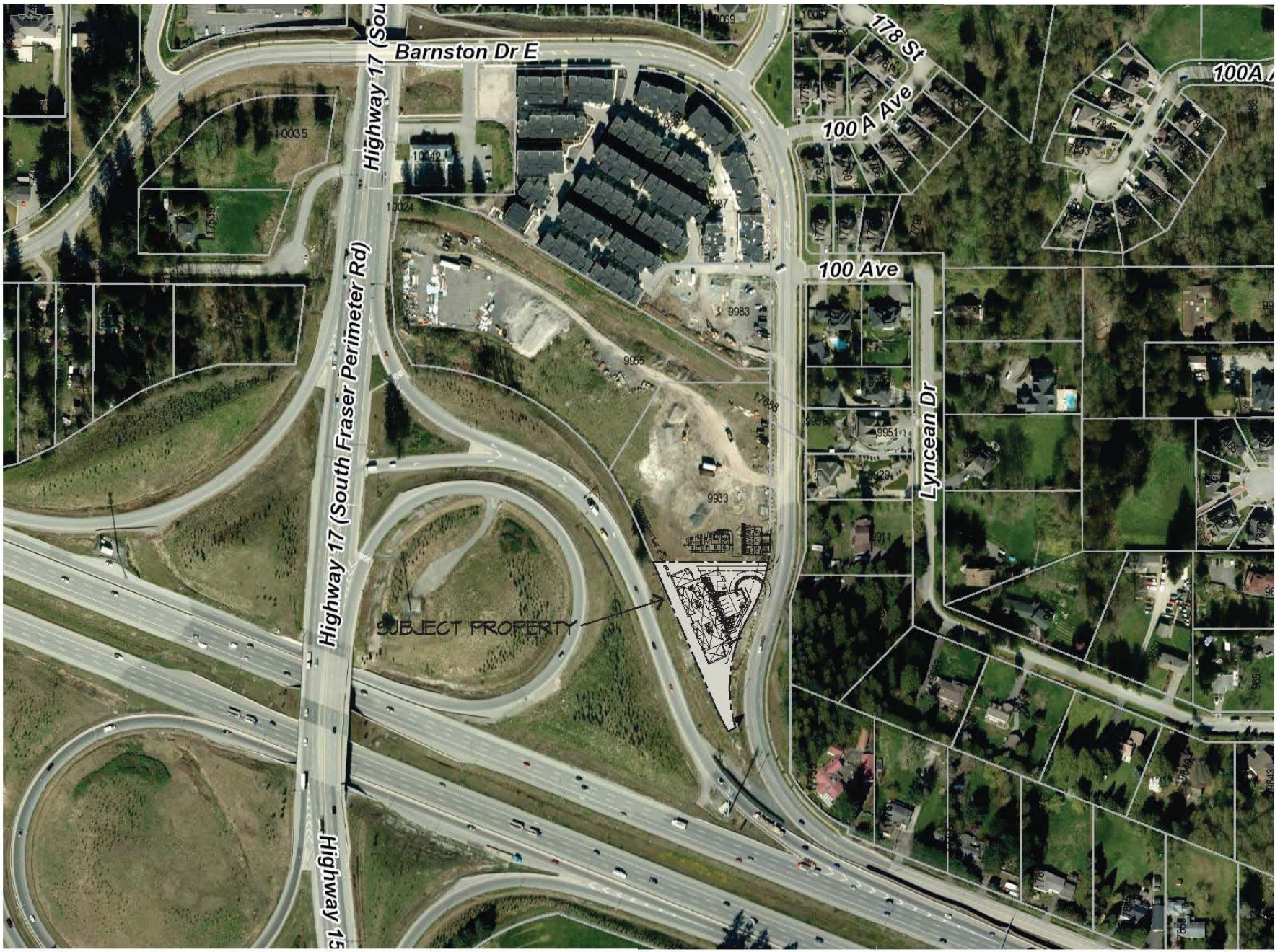
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-102



**LOT A - SITE PLAN**  
SCALE: 1/16"=1'-0"

**SECTION F**  
SCALE: 1/4"=1'-0"



**CONTEXT PLAN**  
SCALE 1" = 100'-0"

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REV#	DATE	BY	ISSUED FOR

DESIGN : D.J.A.	PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 9935 BARNSTON DRIVE, SURREY, B.C.
DRAWN : D.J.A.	DATE : Aug 2/10
CHECKED : D.J.A.	SHEET : 1 of 100-0
CLIENT : JOE DHALIVAL	PROJECT : NEIGHBOURHOOD CONTEXT PLAN ROOF PLAN

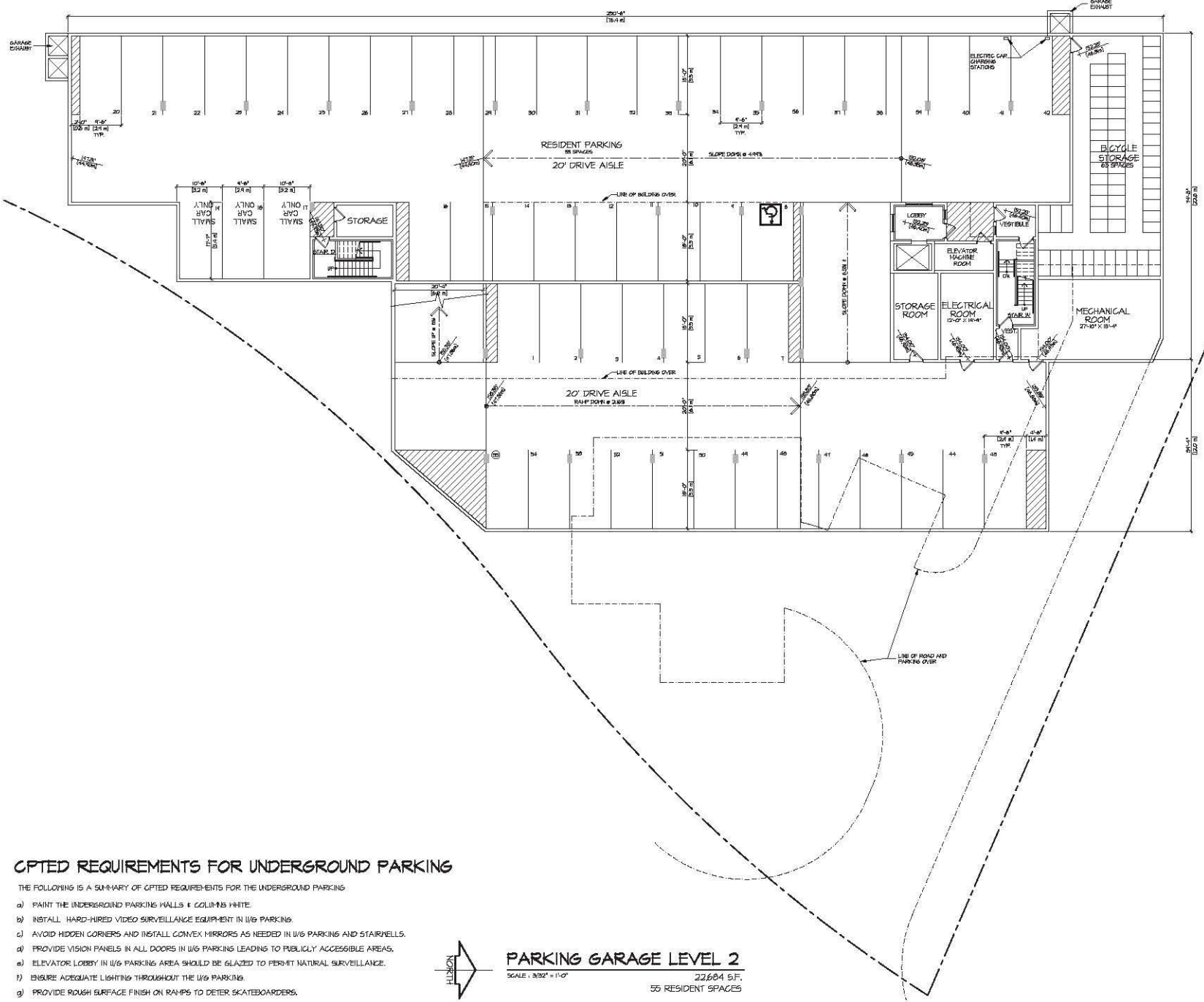
**barnett denbek**

UNIT 135,  
7638 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 587-7100  
FAX: (604) 587-2099  
EMAIL: mail@darkiter.com

CLIENT NO. 15065	SHEET NO. AC-10B
PROJECT NO.	REV. NO.

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 NUMBER: 001-100-100-100-100



ISSUED FOR	BY	DATE	REVISION



0-00-000000

DESIGN	DATE	DRAWN	DATE

**barnett dembek**

UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

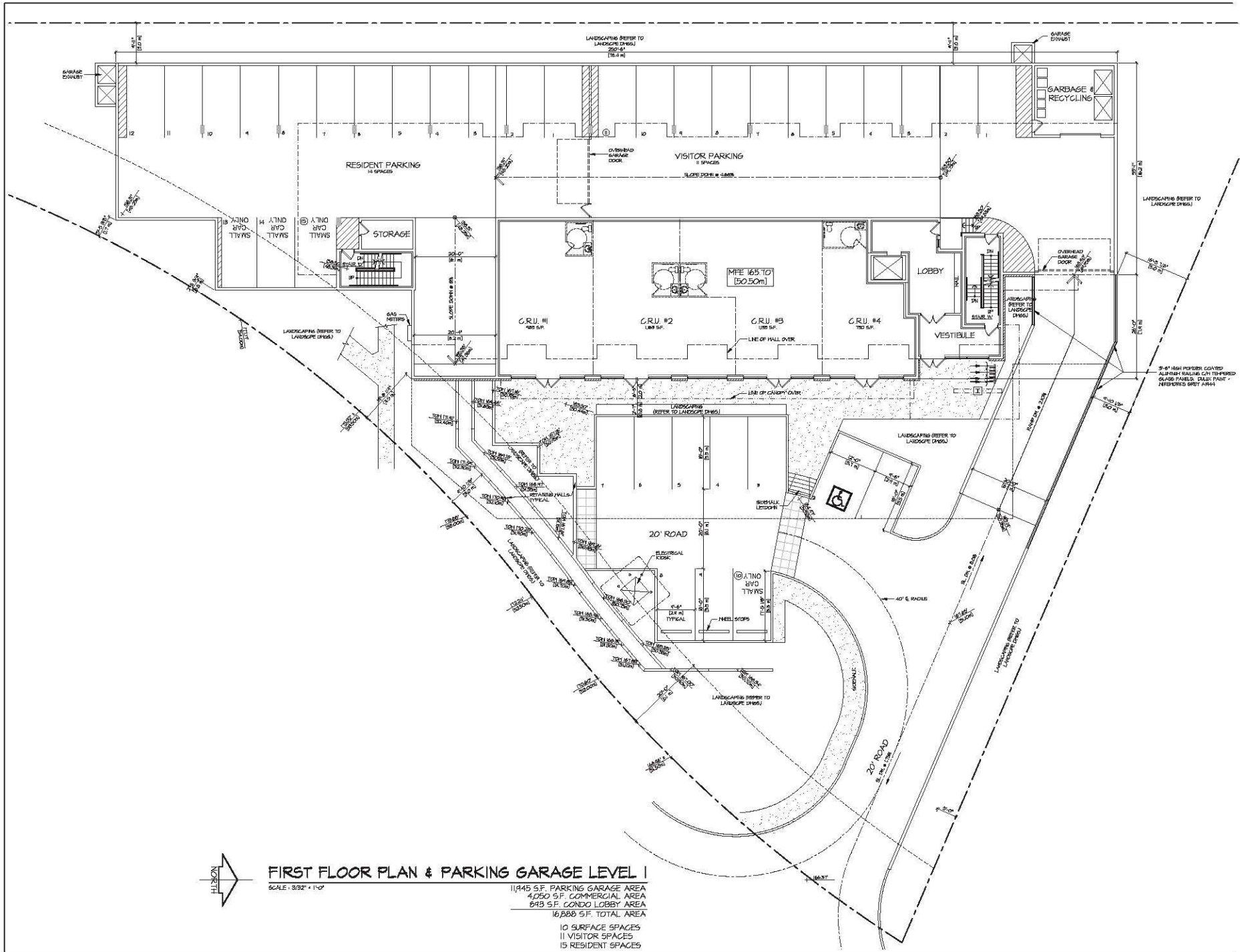
CLIENT NO.	SHEET NO.

**OPTED REQUIREMENTS FOR UNDERGROUND PARKING**

- THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING:
- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
  - b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN W/G PARKING.
  - c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN W/G PARKING AND STAIRWELLS.
  - d) PROVIDE VISION PANELS IN ALL DOORS IN W/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
  - e) ELEVATOR LOBBY IN W/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
  - f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE W/G PARKING.
  - g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.



**PARKING GARAGE LEVEL 2**  
 SCALE: 3/32" = 1'-0"  
 22,684 SF.  
 55 RESIDENT SPACES



**FIRST FLOOR PLAN & PARKING GARAGE LEVEL |**

SCALE: 3/32" = 1'-0"

11945 S.F. PARKING GARAGE AREA  
 4050 S.F. COMMERCIAL AREA  
 843 S.F. CONDO LOBBY AREA  
 16888 S.F. TOTAL AREA

10 SURFACE SPACES  
 11 VISITOR SPACES  
 15 RESIDENT SPACES

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ISSUED FOR	BY	DATE	REVISION



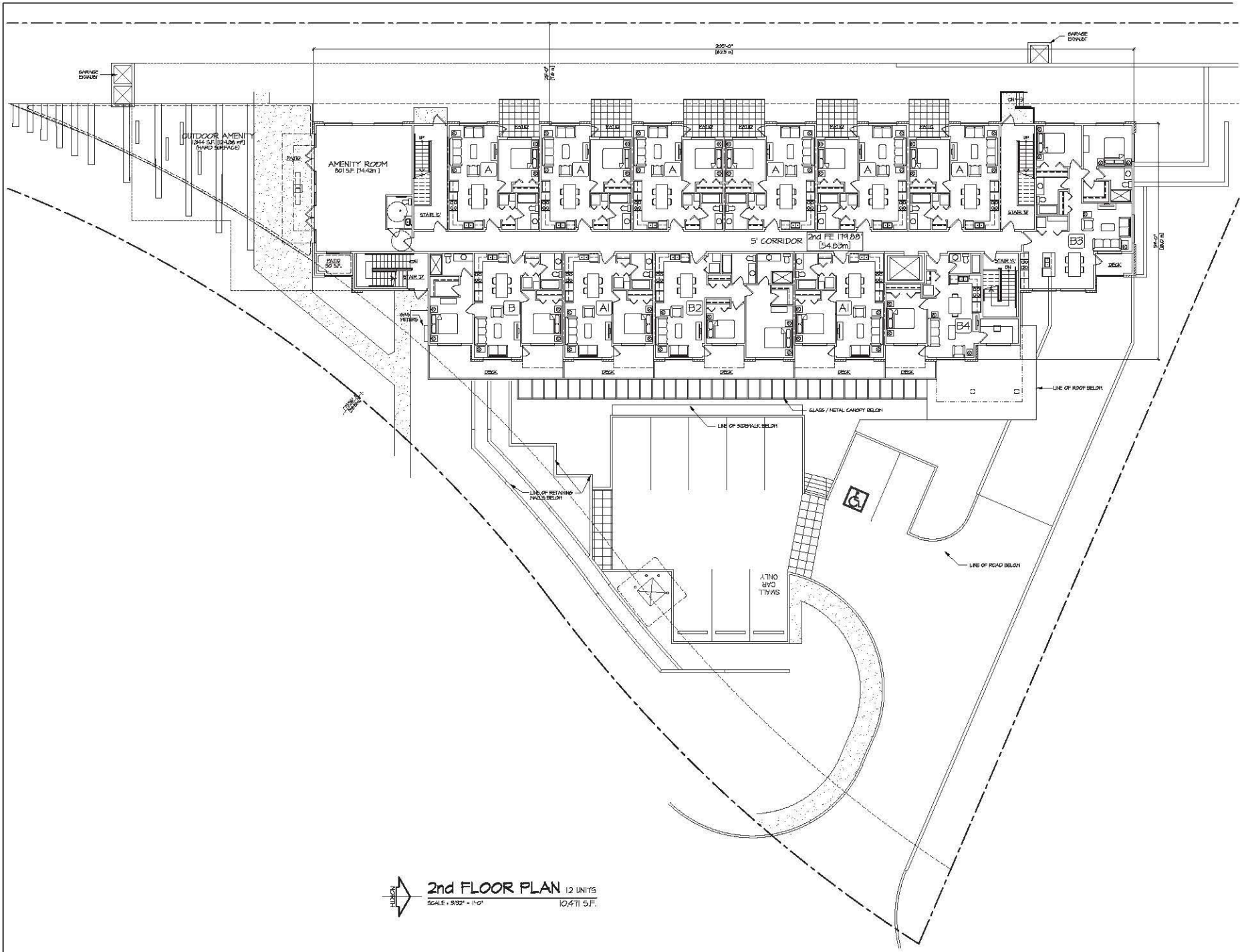
DESIGNER	DATE
JOE DHALANAL	
PROJECT	COMMERCIAL/CONDO DEVELOPMENT
LOT	LOT A - 9883 BARNSTON DRIVE, SURREY, B.C.
DATE	
SCALE	1/8" = 1'-0"
SHEET	10 OF 11
PROJECT CONTENTS	FIRST FLOOR PLAN & PARKING GARAGE LEVEL

**barnett dembek**

UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mel@barnett.com

CLIENT NO.	SHEET NO.
	AC-3.02
PROJECT NO.	REV. NO.
15065	



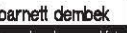

**2nd FLOOR PLAN** 12 UNITS  
 SCALE: 3/32" = 1'-0" 10,411 S.F.

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ISSUED FOR	BY	DATE	REVISION



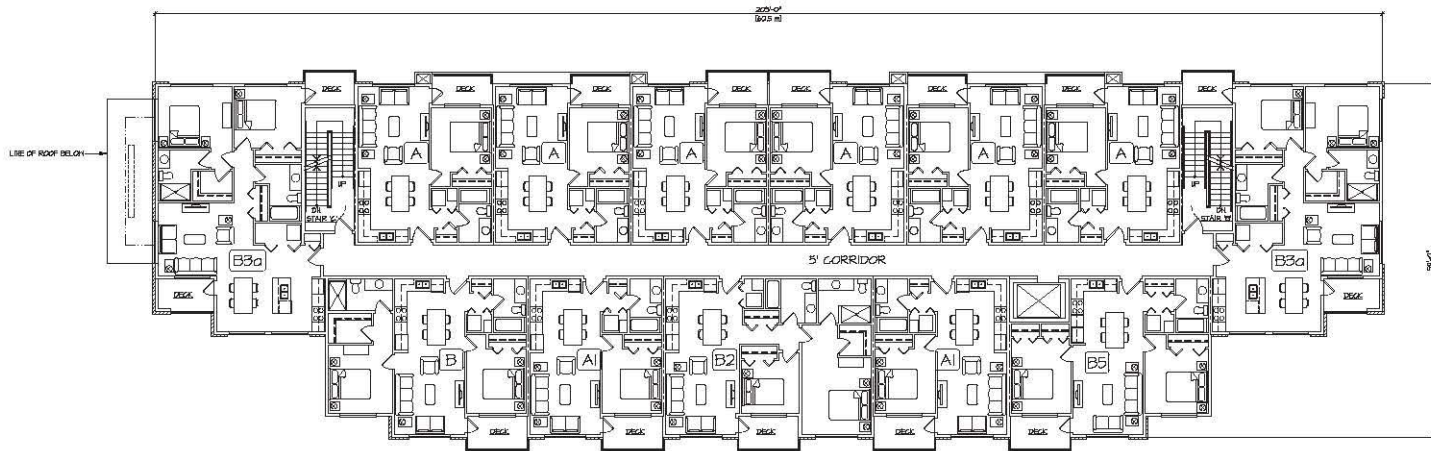
CLIENT : JOE DHALANAL PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 9883 BARNSTON DRIVE, SURREY, B.C. SHEET CONTENTS : 2nd FLOOR PLAN	DESIGN : L.P.A. DRAWN : DATE : 10/6/11 SCALE : 3/32" = 1'-0"
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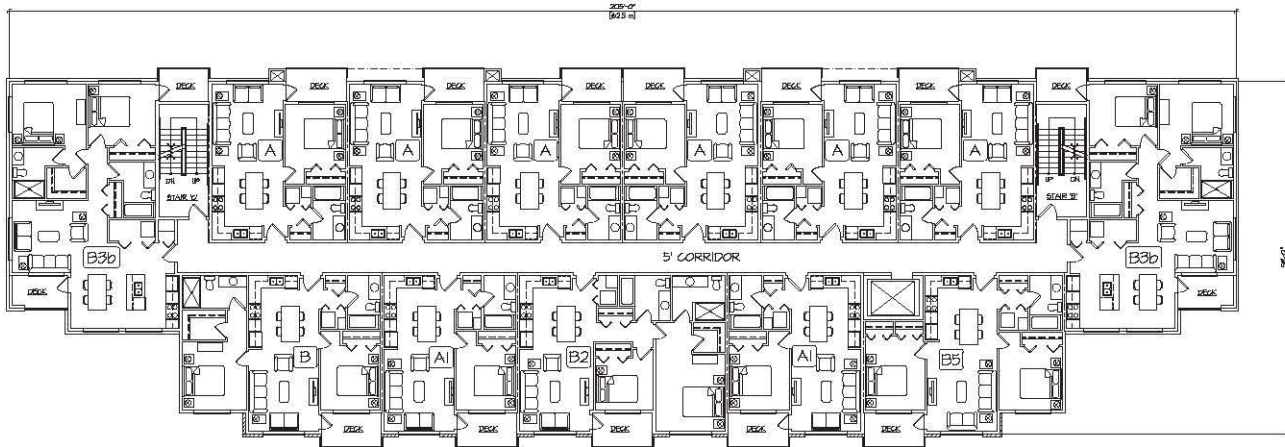
UNIT 135,  
 2538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@dorkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-3.03



**3rd FLOOR PLAN** 13 UNITS  
 SCALE: 3/32" = 1'-0" 10,418 S.F.



**4th FLOOR PLANS** 13 UNITS  
 SCALE: 3/32" = 1'-0" 10,418 S.F.

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REV#	DATE	BY	ISSUED FOR



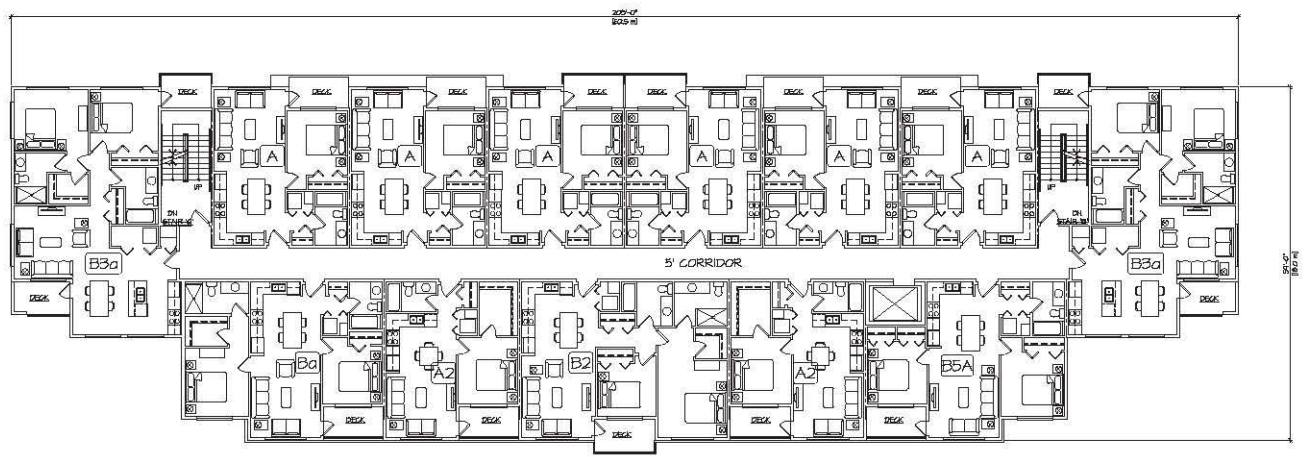
DESIGN :	L.P.F. :
CLIENT : JOE DHALANAL	DRAWN :
PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 9883 BARNSTON DRIVE, SURREY, B.C.	DATE : 10/16/11
SHEET CONTENTS :	SCALE : 1'-0" 3/32" = 1'-0"
3rd & 4th FLOOR PLANS	



UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

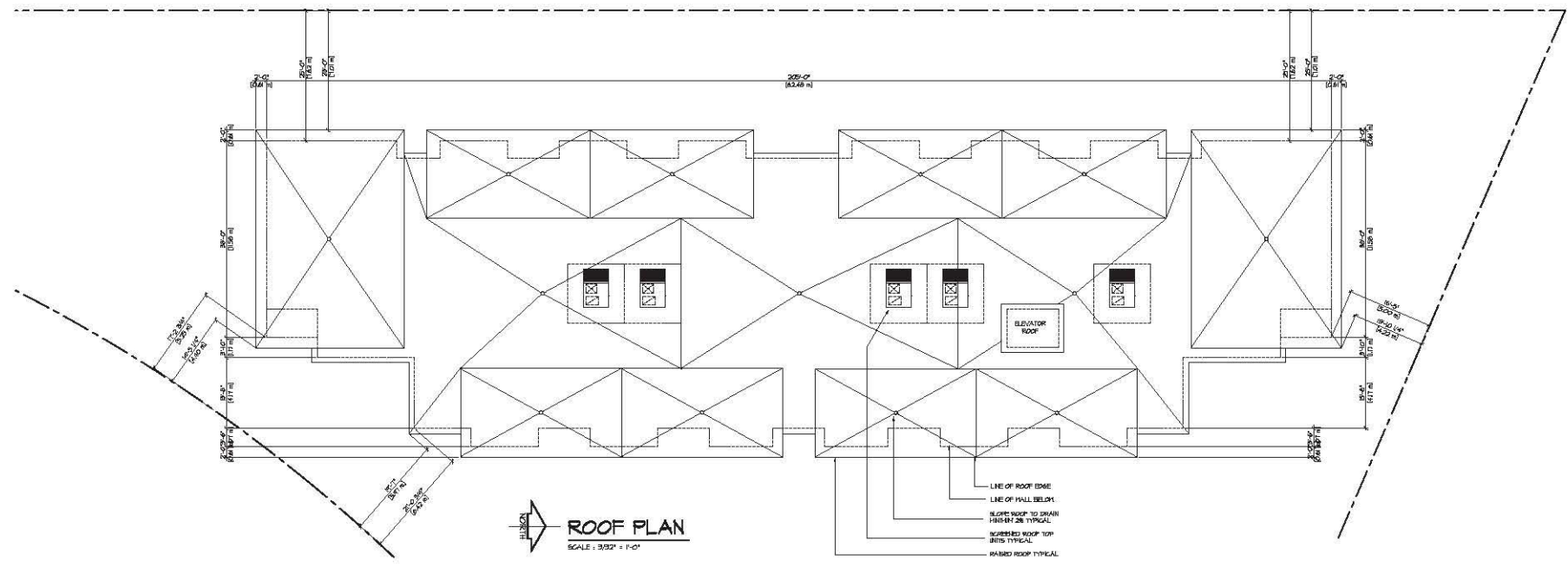
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.04
15065	REV. NO.

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**5th FLOOR PLAN** 13 UNITS  
 SCALE: 3/32" = 1'-0"  
 10,333 S.F.

NO.	DATE	BY	ISSUED FOR



**ROOF PLAN**  
 SCALE: 3/32" = 1'-0"

- LINE OF ROOF EDGE
- LINE OF HALL BELM
- SLOPE ROOF TO DRAIN FROM 26 TYPICAL
- SLOPED ROOF TOP 2/12S TYPICAL
- RAISED ROOF TYPICAL

0-40-9-001010g

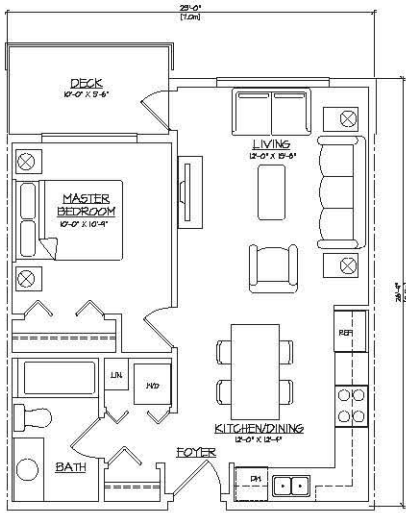
DESIGN :	JOE DHALANAL
DATE :	
DRAWN :	
DATE :	
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9893 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	5th FLOOR & ROOF PLAN
SCALE :	3/32" = 1'-0"

**barnett dembek**  
 ARCHITECTS INC.

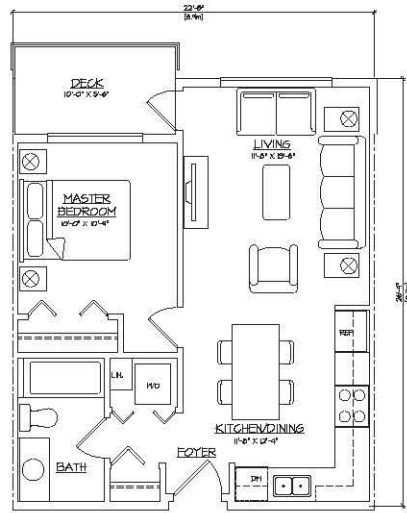
UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@dorkitex.com

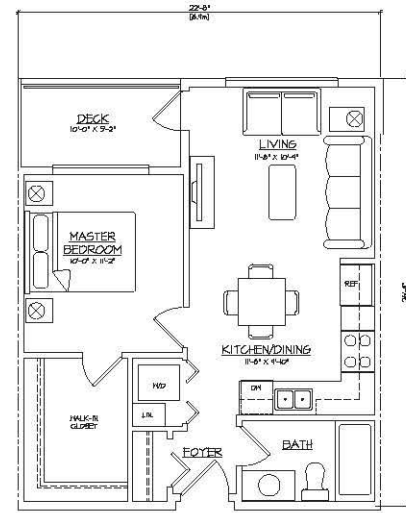
CLIENT NO.	SHEET NO.
	AC-3.05
PROJECT NO.	REV. NO.
15065	



**UNIT TYPE A** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
578 S.F.



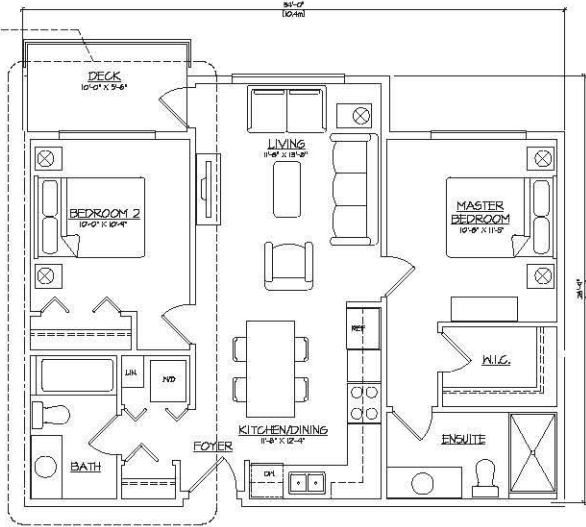
**UNIT TYPE A1** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
569 S.F.



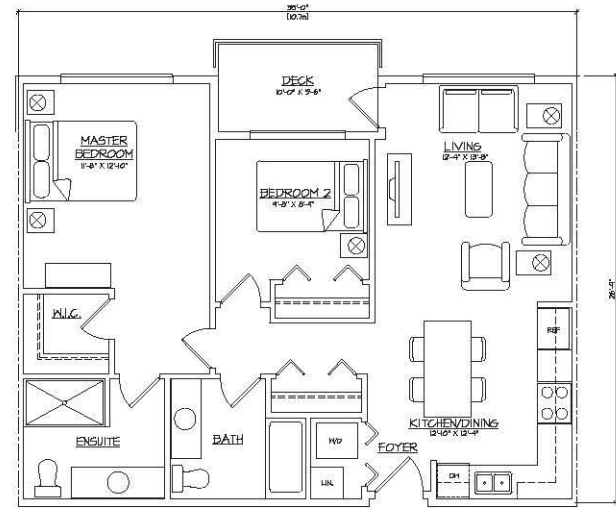
**UNIT TYPE A2** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
548 S.F.



**UNIT TYPE Ba** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
806 S.F.



**UNIT TYPE B** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
826 S.F.



**UNIT TYPE B2** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
900 S.F.

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ISSUED FOR	BY	DATE	REVISION

600-11-CHECKING

DESIGN :	JOE DHALIWAL
L.F.B. :	
DRAWN :	
DATE :	2024.07.11
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT
LOT :	LOT A - 4633 BARNSTON DRIVE, SURREY, B.C.
SHEET :	UNIT PLANS
SCALE :	1/4" = 1'-0"

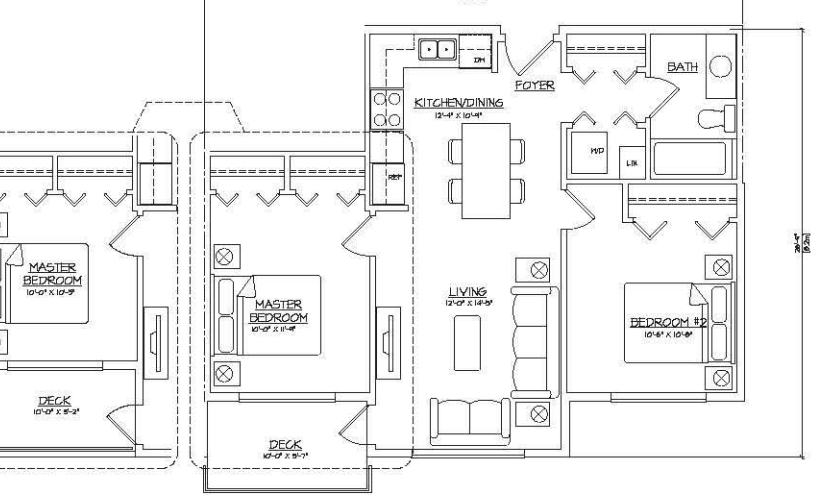
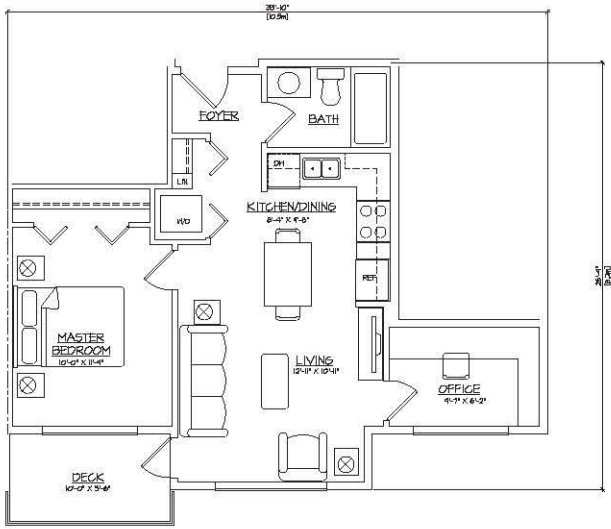
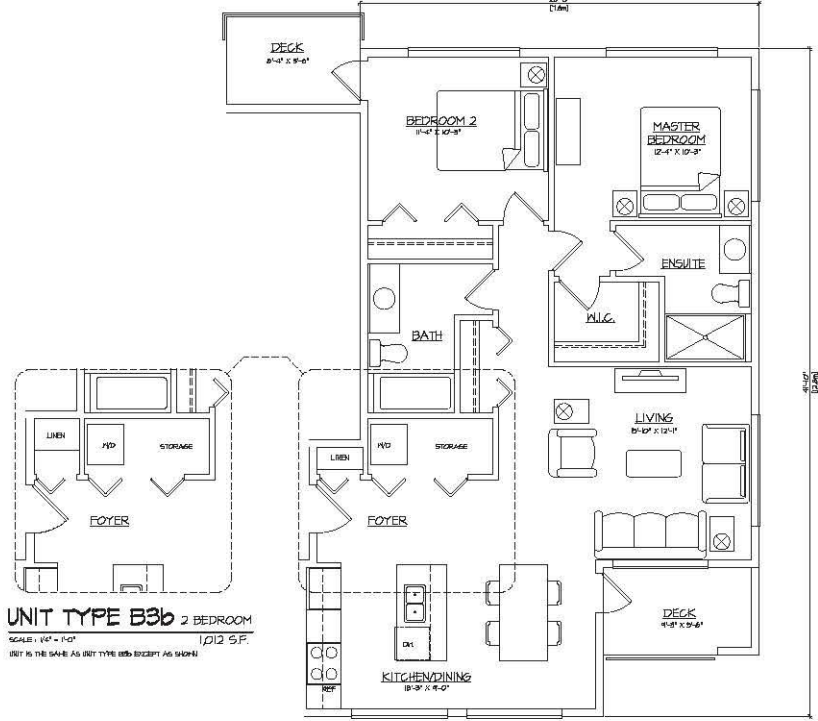
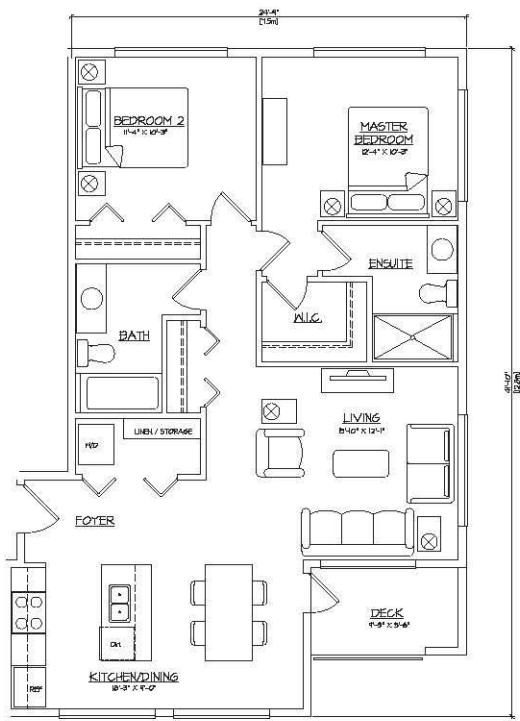


UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mcl@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.06
REV. NO.	15065





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REVISION	NO.	DATE	BY	ISSUED FOR

DESIGN: JOE DHALIWAL  
 CLIENT: COMMERCIAL CONDO DEVELOPMENT  
 LOT A - 4953 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS: UNIT PLANS  
 SCALE: 1/4" = 1'-0"



UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2098  
 EMAIL: mail@denbektex.com

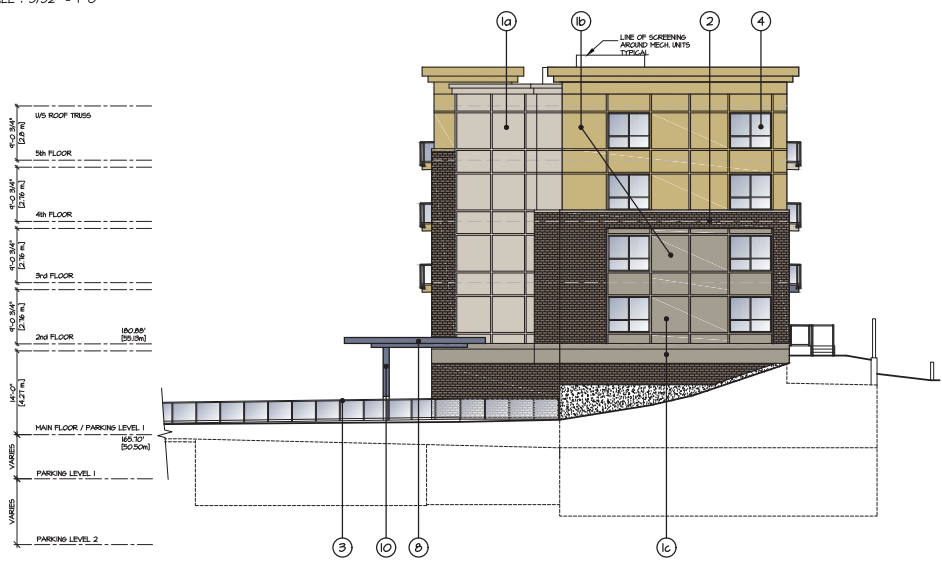
CLIENT NO.	SHEET NO.
15065	AC-3.01

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### EAST ELEVATION

SCALE : 3/32" = 1'-0"



### NORTH ELEVATION

SCALE : 3/32" = 1'-0"

### SCHEDULE OF FINISHES

- 1a FIBER CEMENT PANEL SIDING - DULUX PAINT - FOSSIL GREY A1836  
C/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - FOSSIL GREY A1836
- 1b FIBER CEMENT PANEL SIDING - DULUX PAINT - CAMELGOT A1817  
C/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - CAMELGOT A1817
- 1c FIBER CEMENT PANEL SIDING - BENJAMIN MOORE - ROCKPORT GRAY HC-125  
C/M EASY TRIM REVEALS OR EQUIVALENT - BENJAMIN MOORE - ROCKPORT GRAY HC-125
- 2 1XL BRICK VENEER - SMOOTH FINISH - SILVERADO
- 3 POWDER COATED ALUMINUM RAILING - DULUX PAINT - HIREWORKS GREY A1M4  
C/M TEMPERED GLASS PANELS
- 4 VINYL FRAMED WINDOWS - DULUX PAINT - HIREWORKS GREY A1M4
- 5 PREFINISHED STOREFRONT ALUMINUM - DULUX PAINT - HIREWORKS GREY A1M4  
GLAZING SYSTEM
- 6 PREFINISHED METAL CANOPY C/M TEMPERED GLASS PANELS - DULUX PAINT - COSMIC CRESCENT A1M5
- 7 RAISED CHANNEL LETTERS ON FIBER CEMENT PANEL BACKING - DULUX PAINT - FOSSIL GREY A1836
- 8 PREFINISHED METAL ENTRY CANOPY - DULUX PAINT - COSMIC CRESCENT A1M5  
C/M CEDAR SOFFIT - CLEAR STAINED
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 WELDED 1" BEAM 4 METAL PLATE - DULUX PAINT - COSMIC CRESCENT A1M5  
C/M CONCRETE BASE
- 11 CORRUGATED GALVALUME SIDING
- 12 MECHANICAL LOUVER - COLOUR TO MATCH ADJACENT MATERIAL

REV#	DATE	BY	ISSUE FOR

C-654-COORD-COLOURED.dwg

DESIGN :	JOE DHALIVAL
DRAWN :	
DATE :	
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9833 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	COLOURED BUILDING ELEVATIONS
SCALE :	1/32" = 1'-0"

**barnett denbek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.03
15065	REV. NO.

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**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

**SCHEDULE OF FINISHES**

- ①a FIBER CEMENT PANEL SIDING - DULUX PAINT - FOSSIL GREY A1006  
G/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - FOSSIL GREY A1006
- ①b FIBER CEMENT PANEL SIDING - DULUX PAINT - CARVELCOAT A917  
G/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - CARVELCOAT A917
- ①c FIBER CEMENT PANEL SIDING - BELLAWH MOORE - ROCKPORT GRAY HC-103  
G/M EASY TRIM REVEALS OR EQUIVALENT - BELLAWH MOORE - ROCKPORT GRAY HC-103
- ② IXL BRICK VENEER - SMOOTH FINISH - SILVERADO
- ③ POWDER COATED ALUMINUM RAILING - DULUX PAINT - NEEDWORKS GREY A1144  
G/M TEMPERED GLASS PANELS
- ④ VINYL FRAMED WINDOWS - DULUX PAINT - NEEDWORKS GREY A1144
- ⑤ PREFINISHED STOREFRONT ALUMINUM - DULUX PAINT - NEEDWORKS GREY A1144  
GLAZING SYSTEM
- ⑥ PREFINISHED METAL CANOPY G/M TEMPERED GLASS PANELS - DULUX PAINT - COSMIC GREENSHT A1175
- ⑦ RAISED CHANNEL LETTERS ON FIBER CEMENT PANEL BACKING - DULUX PAINT - FOSSIL GREY A1006
- ⑧ PREFINISHED METAL ENTRY CANOPY - DULUX PAINT - COSMIC GREENSHT A1175  
G/M CEDAR SOFFIT - CLEAR STAINED
- ⑨ WALL MOUNTED LIGHT FIXTURE
- ⑩ WELDED 1" BEAM & METAL PLATE - DULUX PAINT - COSMIC GREENSHT A1175  
G/M CONCRETE BASE
- ⑪ CORRUGATED GALVALUME SIDING
- ⑫ MECHANICAL LOUVER - GOLDOR TO MATCH ADJACENT MATERIAL

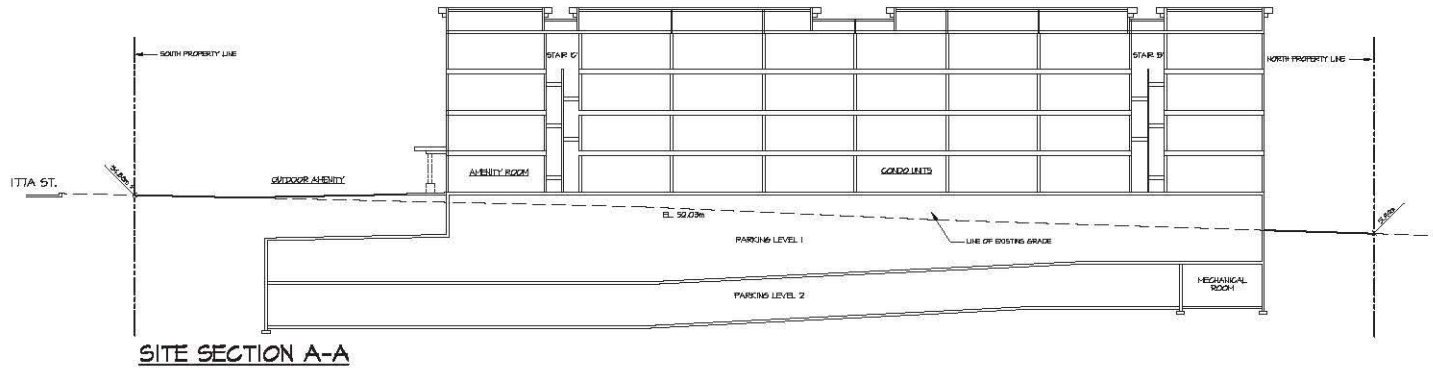
REV#	DATE	DRN	CRD

DESIGN: J.D. DHALUJAL	DATE: 10/11/20
CLIENT: JOE DHALUJAL	SCALE: 3/32" = 1'-0"
PROJECT: COMMERCIAL CONDO DEVELOPMENT	
LOT A - 9888 BARNSTON DRIVE, SURREY, B.C.	
SHEET CONTENTS: COLOURED BUILDING ELEVATIONS	

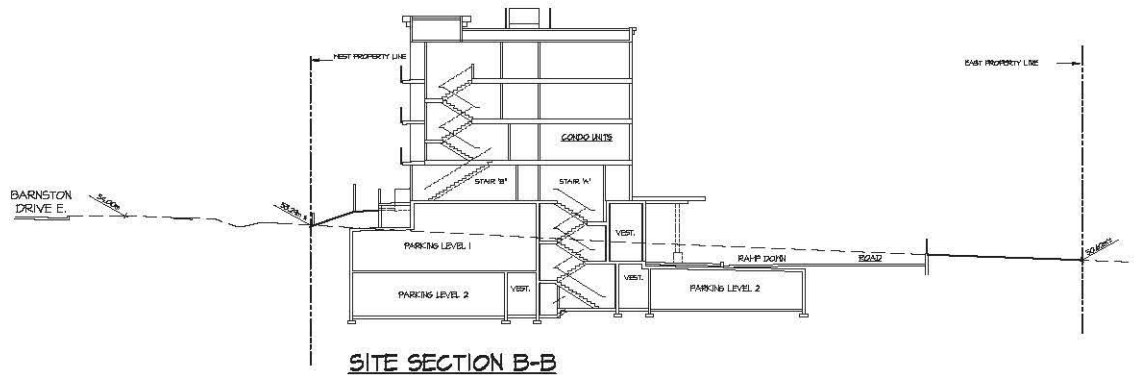
**barnett dembek**  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2098  
EMAIL: md@barnettdembek.com

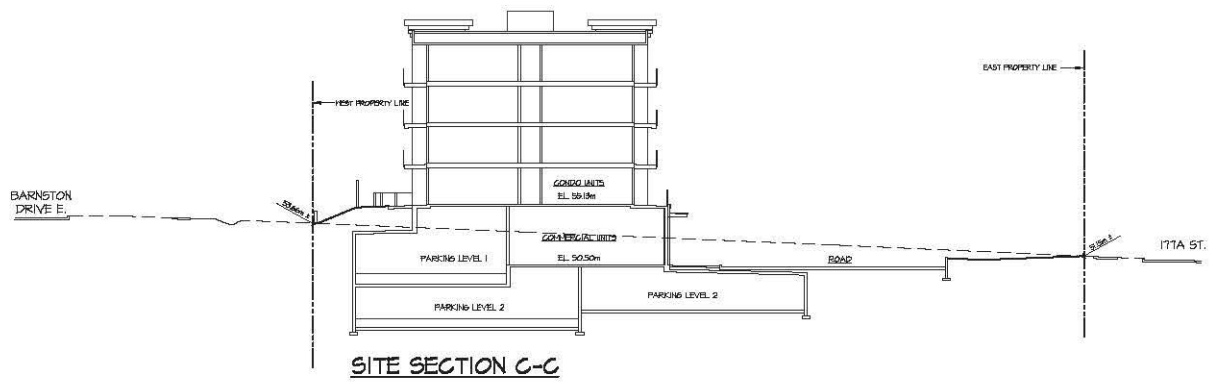
CLIENT NO. 15065	SHEET NO. AC-4.04
PROJECT NO.	REV. NO.



**SITE SECTION A-A**



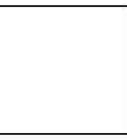
**SITE SECTION B-B**



**SITE SECTION C-C**

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REV/NO	DATE	DRN	CRD	ISSUE	DATE	BY	SUBJECT DR



DATE: 08/08/16

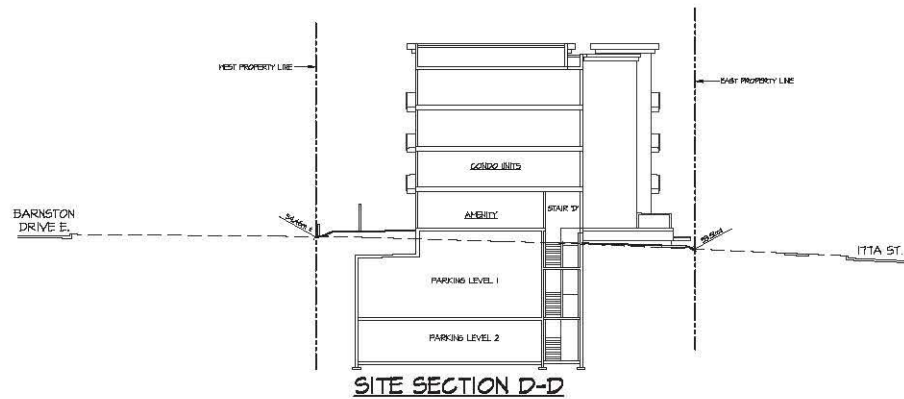
DESIGN :	LPB	DRAWN :	DATE :	19/08/16	SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALJAL	PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9189 BARNSTON DRIVE, SURREY, B.C.	SHEET CONTENTS :	SCHEMATIC SITE SECTIONS	

**barnett denbek**

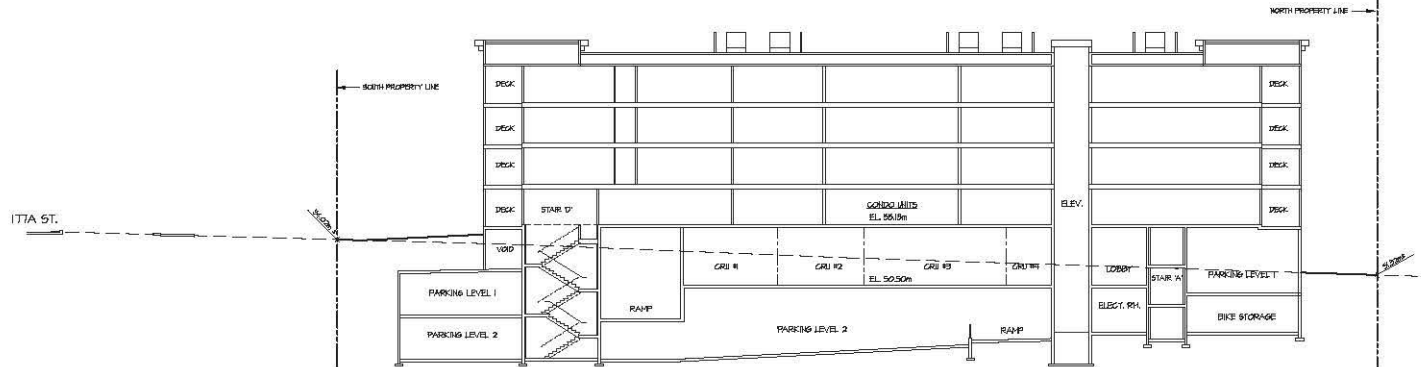
UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2088  
EMAIL: mtd@denbekt.com

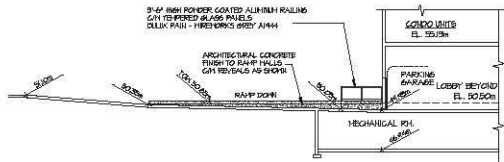
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-5.01



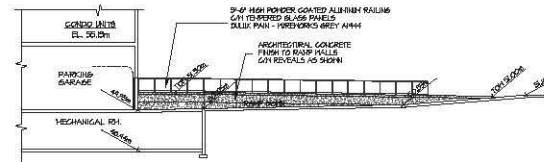
**SITE SECTION D-D**



**SITE SECTION E-E**



**SOUTH RAMP WALL ELEVATION**



**NORTH RAMP WALL ELEVATION**

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DESIGN	DATE	BY	REVISION



GARCONDO.ORG

DESIGN :	DATE :	BY :	REVISION :

CLIENT : JOE DHALJAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT A - 9189 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : SCHEMATIC SITE SECTIONS

**barnett dembek**

UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2088  
 EMAIL: md1@barnettalex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-502



**3D VIEWS**

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REVISED FOR	BY	DATE	SCALE	DATE	BY



DESIGN :	DATE :	SCALE :
DRAWN :	REV. :	
PROJECT :	DATE :	
CLIENT :		

**barnett danker**  
 ARCHITECTS INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@bdkarkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-6.01



**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. ALL BUILDINGS & ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
3. THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.

**LOT GRADING NOTES:**

1. ALL DIMENSIONS AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS ARE TO GEODETIC DATUM.
3. ALL CURB RADI TO BE AS SHOWN.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH B.C. BUILDING AND PLUMBING CODES AND IS TO BE ACCEPTABLE TO THE CITY OF SURREY BUILDING AND PERMITS DEPARTMENT.
5. ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANT'S REPORT.
6. DEVELOPER TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE. CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
7. ALL SUBGRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED AT 95% MODIFIED PROCTOR, AT OPTIMUM MOISTURE CONTENT.
8. ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY.
9. CONSULT ELECTRICAL DRAWING FOR AREA LIGHTING AND POWER DISTRIBUTION SYSTEM WITHIN SITE.
10. THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR DAILY STREET CLEANING DURING TIMES OF CONSTRUCTION OR MORE OFTEN IF REQUIRED.
11. THE CONTRACTOR SHALL INFORM THE ENGINEER AND CITY OF SURREY A MINIMUM OF 24 HOURS PRIOR TO REQUIRED INSPECTIONS.
- 12.

**LOT GRADING PLAN LEGEND**

- ORIGINAL CONTOUR 75.0
- EXISTING ELEVATION XX.XX
- PROPOSED ELEVATION XX.XX
- MIN. BUILDING ELEVATION M&E=XX.XX
- CATCH BASIN [Symbol]
- 450mm LAWN BASIN [Symbol]
- SWALE [Symbol]
- OVERLAND FLOW [Symbol]

**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

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THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND THE PROVINCE OF BRITISH COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND THE PROVINCE OF BRITISH COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND THE PROVINCE OF BRITISH COLUMBIA.

Rev	Date	Description
4	17.05.30	GRADING REV FOR FINAL DP
3	17.04.27	OPENING REV FOR RAIN GARDENS
2	17.03.14	CONDO GRADING REV
1	17.03.01	ISSUED FOR DP
0	17.01.17	COORDINATION

**APLIN & MARTIN**

Applin & Martin Consultants Ltd.  
201 - 12448 82 Avenue, Surrey, B.C. V3W 5E9  
Tel: (604) 897-9058, Fax: (604) 897-9061  
Email: general@aplinmartin.com

**MAINLAND DEVELOPMENT (BARNSTON LTD.)**

306-8288-120 STREET  
SURREY B.C.  
V3W 4B2  
PH. 604-883-0505

**5 STORY MIXED USE BUILDING**

9933 BARNSTON DRIVE EAST  
SURREY, BC

**GRADING PLAN COMMERCIAL/CONDO DEVELOPMENT**

PROJECT#	16-184
Drawn	TJP
Design	SD
Check	SD
Date	May 26, 2017
Scale	1:250
Sheet No.	4
Drawn/Checked	

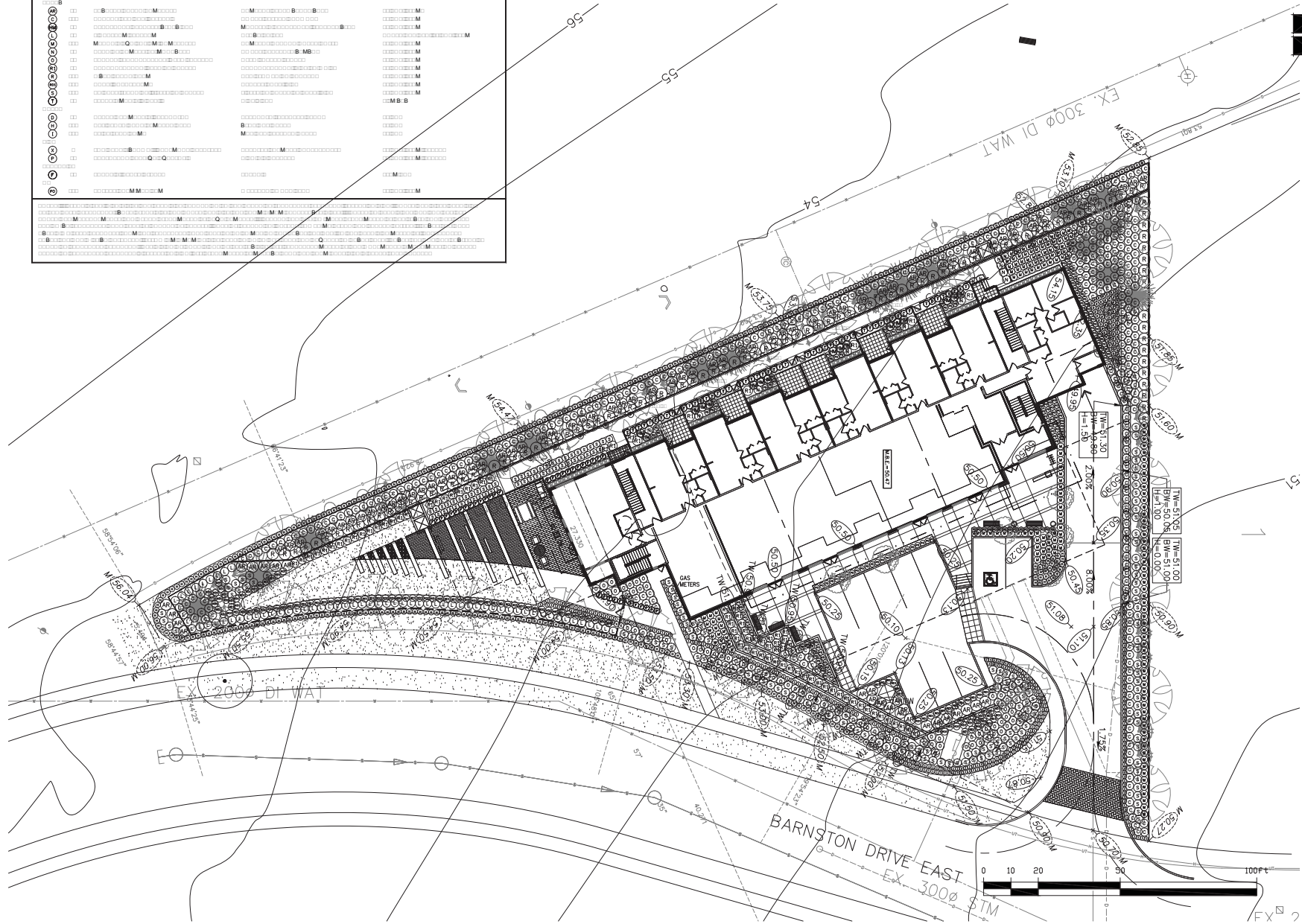
#







PLANT SCHEDULE			CONDO		PMG PROJECT NUMBER: 16-228
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
①		M	M	B	M
②		M	M	B	M
③		M	M	B	M
④		M	M	B	M
⑤		M	M	B	M
⑥		M	M	B	M
⑦		M	M	B	M
⑧		M	M	B	M
⑨		M	M	B	M
⑩		M	M	B	M
⑪		M	M	B	M
⑫		M	M	B	M
⑬		M	M	B	M
⑭		M	M	B	M
⑮		M	M	B	M
⑯		M	M	B	M
⑰		M	M	B	M
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㊼		M	M	B	M
㊽		M	M	B	M
㊾		M	M	B	M
㊿		M	M	B	M



**pmg**  
LANDSCAPE ARCHITECTS

2 17 MAY 25 NEW SITE PLAN / CITY COMMENTS DO  
3 17 MAY 25 CITY RESUBMISSION

**COMMERCIAL/  
CONDOMINIUM DEV.**

BARNSTON DRIVE & 177A STREET  
SURREY, BC

**SHRUB PLAN**

16.DEC.01 MB  
1/16"=1'-0"  
DO  
DO  
MCY

**L2**

OF 4



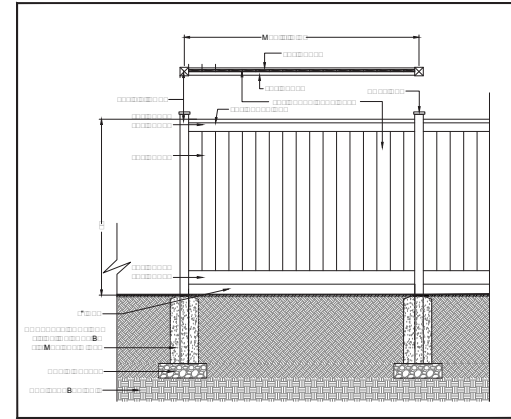
**SOLUS DECOR - 48" HEMI**  
COLOUR: TRUFFLE



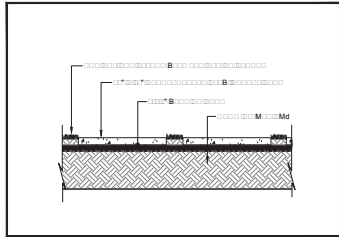
**WISHBONE INDUSTRIES : TENJA PARK BENCH**  
TJB-S TEXTURED BLACK GREY SLATS  
SUPPLY AND INSTALL AS PER MANUFACTURER'S INSTRUCTIONS WITH VANDAL RESISTANT HARDWARE



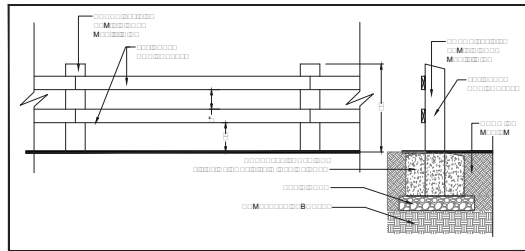
**WISHBONE INDUSTRIES : TENJA 2SPACE BIKE RACK**  
TJB-R-04 TEXTURED BLACK  
SUPPLY AND INSTALL AS PER MANUFACTURER'S INSTRUCTIONS WITH VANDAL RESISTANT HARDWARE



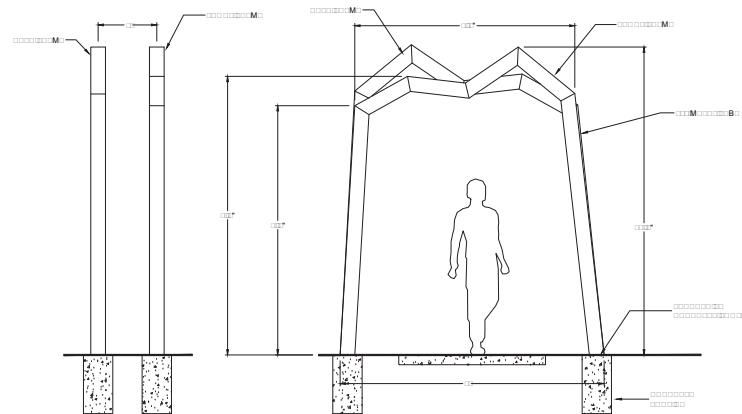
**6' HT. WOOD PERIMETER FENCE**



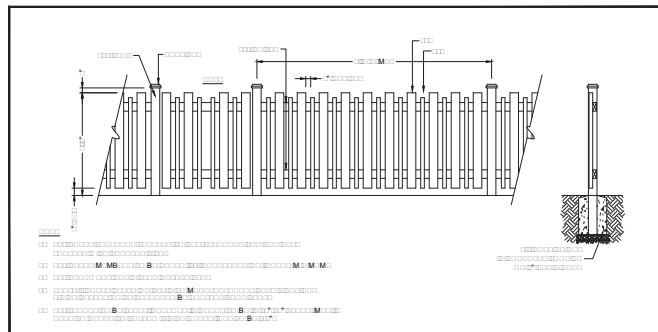
**HYDRAPRESSED PAVERS IN LAWN**



**36" HT. WOOD RAIL FENCE**

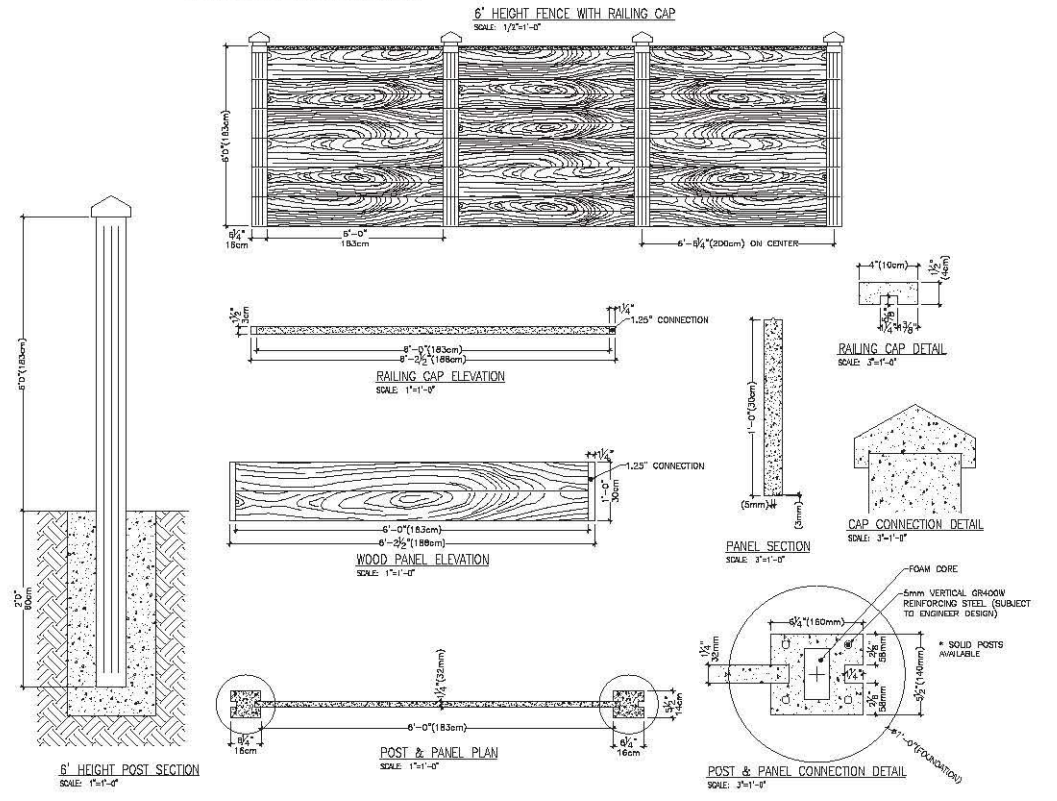


**METAL TRELLIS**



**42" HT. PICKET FENCE AND GATE**

*NATURAL ART CONCRETE FENCE*



FENCE DETAIL BY  
*NATURAL ART CONCRETE FENCE*  
7923 WEBSTER ROAD, DELTA  
CONTACT: (604)952-5272


2	17 MAY 25	NEW SITE PLAN / CITY COMMENTS	CO
1	17 MAY 02	CITY RESUBMISSION	

.....

**COMMERCIAL/  
CONDOMINIUM DEV.**

BARNSTON DRIVE & 177A STREET  
SURREY, BC

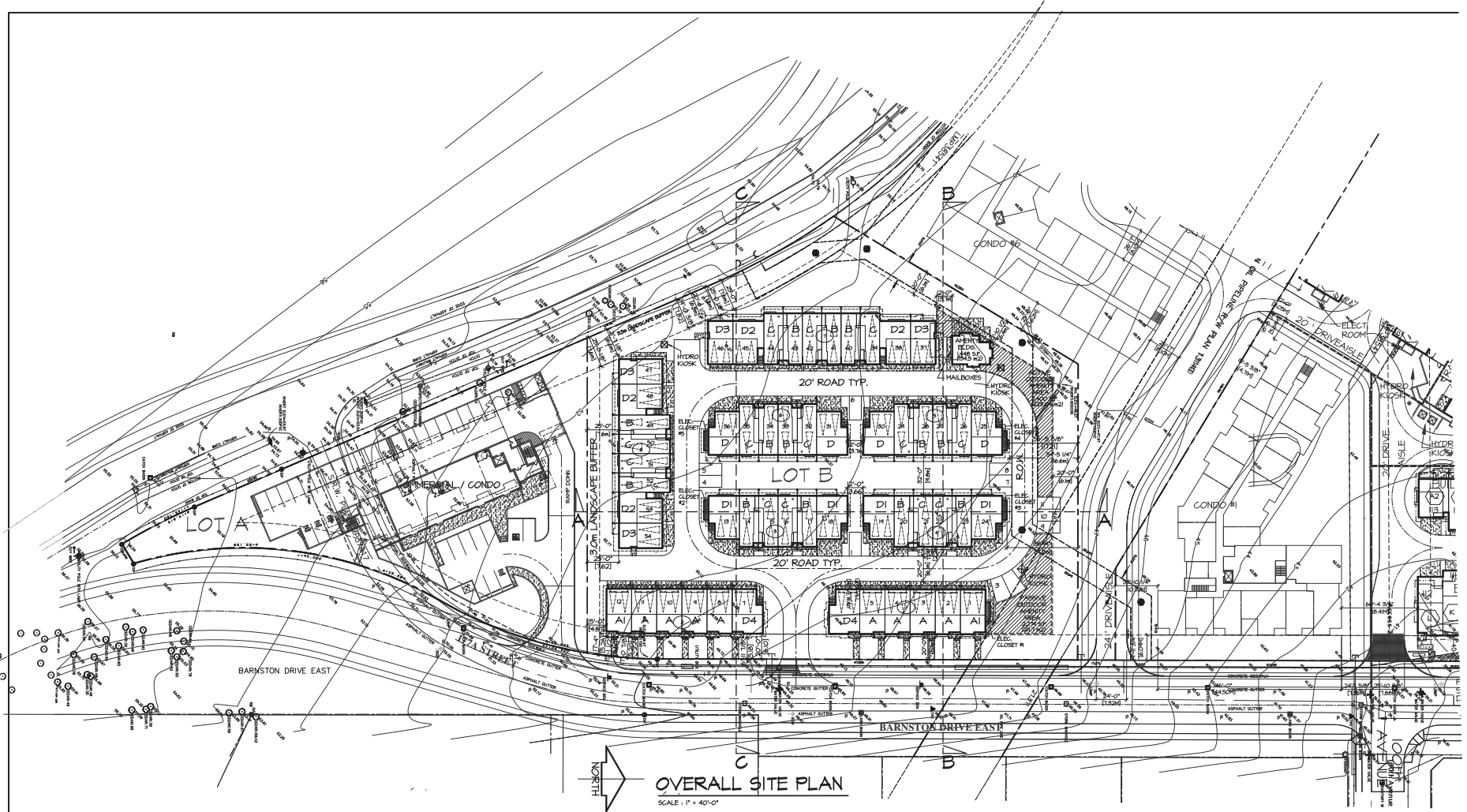
.....

**CONCRETE SOUND  
ATTENUATION FENCE**

.....

	15 JAN 07		MB
	AS SHOWN		
	DO		
	MCY		
	MCY		

OF 4



**OVERALL SITE PLAN**  
SCALE: 1" = 40'-0"

**DEVELOPMENT DATA - LOT B**

Site Area:	115,542 s.f. +/-	2.652 Ac.	1.073 Ha.	10,734 m <sup>2</sup>
F.A.R.	90,205 s.f.	0.78 FAR		
Density:	54 Units =	20 UPA	50.3 UPH	
Site Coverage:	44,093 s.f.	38.2%		
Parking Required:	2 spaces / unit	108 spaces		
	Visitor 0.2 spaces / unit	11 spaces		
	Total Townhouse	119 spaces		
Parking Provided:	Garages	108 spaces		
	Visitor spaces	11 spaces		
	Total	119 spaces		
Amenity:				
Outdoor				
Required:	3.0 m <sup>2</sup> / Unit	54 Units	=	162.0 m <sup>2</sup>
Provided:	Active Outdoor Amenity		=	223.0 m <sup>2</sup>
	Passive Outdoor Amenity		=	211.7 m <sup>2</sup>
	Total		=	434.7 m <sup>2</sup>
				4,679 s.f.
Indoor				
Required:	3.0 m <sup>2</sup> / Unit	54 Units	=	162.0 m <sup>2</sup>
Provided:			=	134.5 m <sup>2</sup>
				1,448 s.f.

**UNIT BREAKDOWN - LOT B**

Name	Type	Bent. S.F.	Main S.F.	Upper S.F.	Garage S.F.	Total w/o Gar	Total Units Excluding Garage	# of Total S.F.
Unit A	3 Bedrooms	297	690	748	410	1,745	2	13,800 s.f.
Unit A1	3 Bedrooms	299	696	754	413	1,749	2	3,498 s.f.
Unit B	3 Bedrooms	114	629	637	504	1,380	13	17,940 s.f.
Unit C	3 Bedrooms	114	629	644	503	1,387	13	18,031 s.f.
Unit D	3 Bedrooms	360	793	820	447	1,973	4	7,862 s.f.
Unit D1	3 Bedrooms	360	792	816	447	1,968	4	7,872 s.f.
Unit D2	3 Bedrooms	356	800	812	443	1,968	4	7,872 s.f.
Unit D3	3 Bedrooms	288	726	758	414	1,772	4	7,688 s.f.
Unit D4	3 Bedrooms	374	779	850	448	2,003	2	4,006 s.f.
<b>Total</b>							<b>54</b>	<b>88,079 s.f.</b>

Building Height	3 storeys	35.83 ft.	10.9 m
Setbacks	South West (to sheathing)	25.01 ft.	7.6 m
	North West (to sheathing)	20.88 ft.	6.4 m
	North (to sheathing)	56.33 ft.	17.2 m
	South (to sheathing)	15 ft.	4.57 m
	East (to sheathing)	20 ft.	6.1 m

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ISSUED FOR	BY	DATE	REVISION	DATE	BY	DATE

DESIGN: L.P.D.  
DRAWN: J.D.  
DATE: June 8/11  
SCALE: 1" = 40'-0"

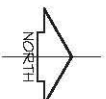
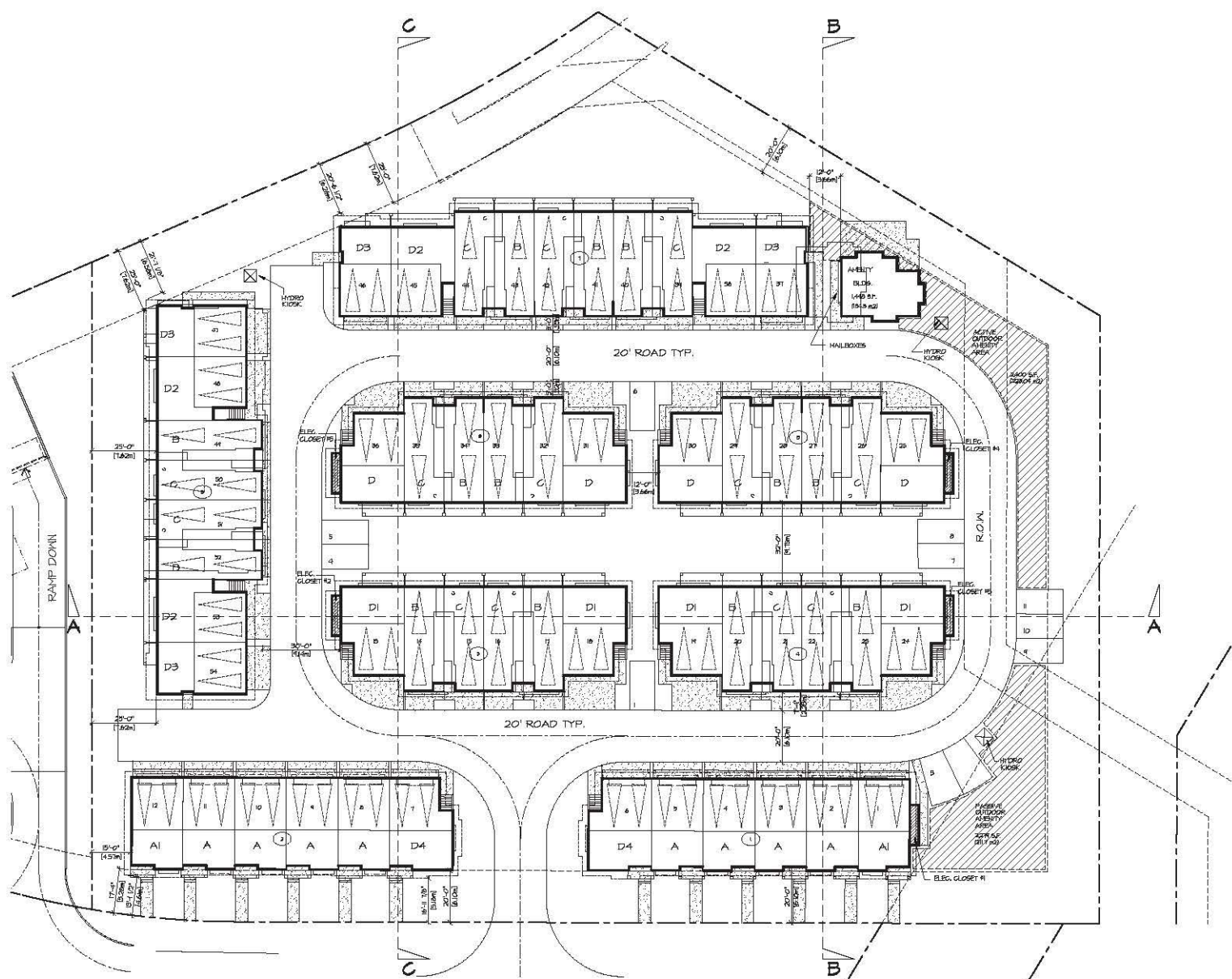
CLIENT: JOE DHALJAL  
PROJECT: TOWNHOUSE DEVELOPMENT LOT B - 9833 BARNSTON DRIVE, SURREY, BC  
SHEET CONTAINS: OVERALL SITE PLAN

**barnett dembok**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (804) 597-7100  
FAX: (804) 597-2099  
EMAIL: mcd@b-dorl.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-1.01



**LOT B - CONCEPTUAL SITE PLAN**

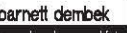
SCALE: 1" = 20'-0"

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ISSUED FOR	BY	DATE	SCALE



DESIGNER : JOE D'ALVALA	DATE : Aug 8/11
DRAWN : [Name]	SHEET TITLE : CONCEPTUAL SITE PLAN
PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 4695 BARNSTON DRIVE, SURREY, B.C.	SCALE : 1" = 20'-0"

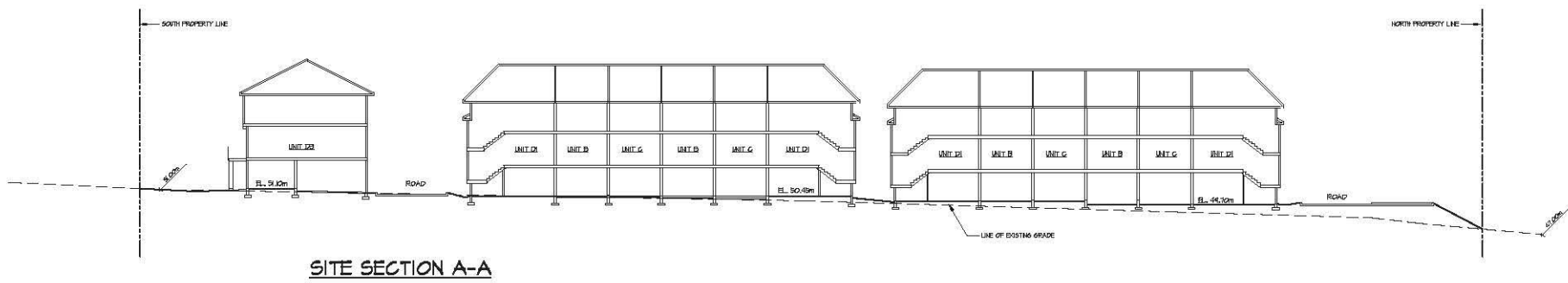


UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

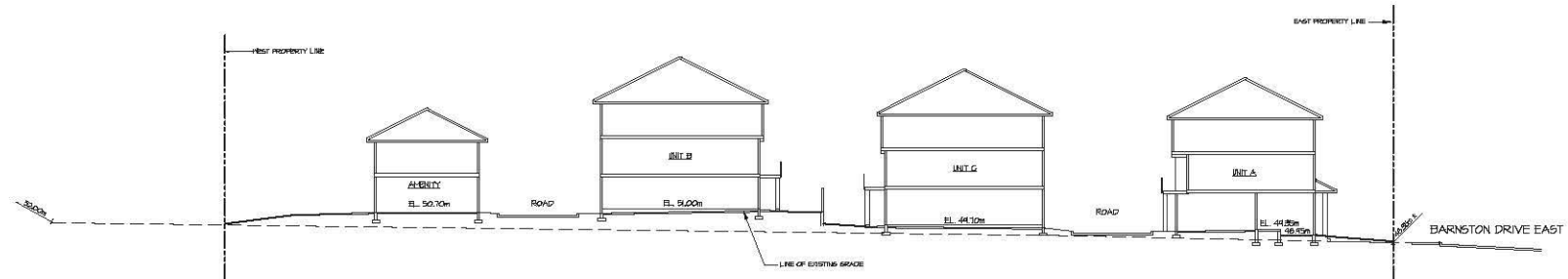
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-102

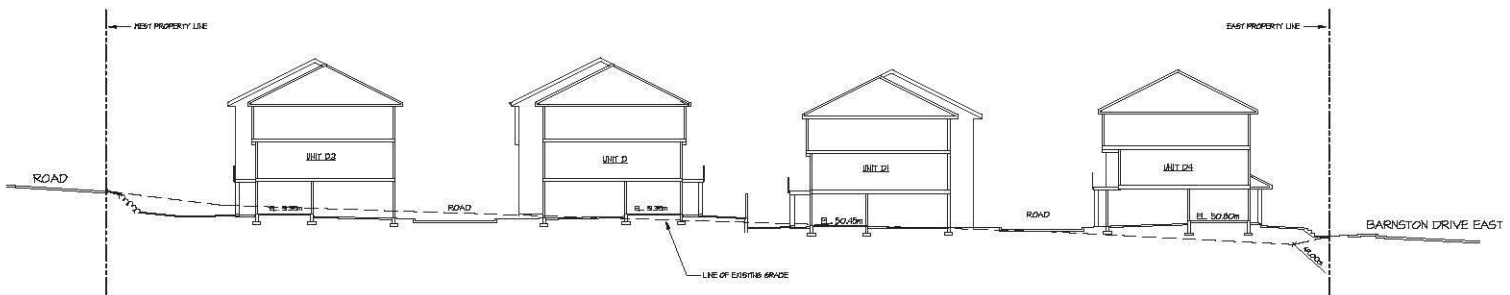
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**SITE SECTION A-A**



**SITE SECTION B-B**



**SITE SECTION C-C**

REV. NO.	DATE	BY	ISSUE

DESIGN : L.P.S.  
 DRAWN :  
 DATE :  
 SCALE :  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT B - 9888 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : SCHEMATIC SITE SECTIONS

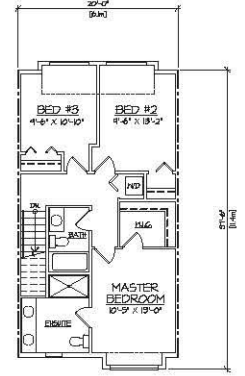
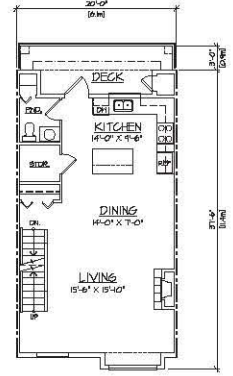
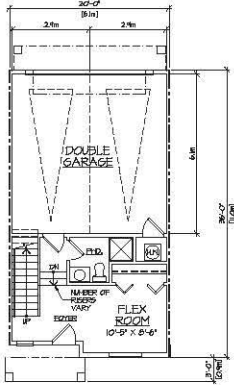


UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2088  
 EMAIL: mtd@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-103

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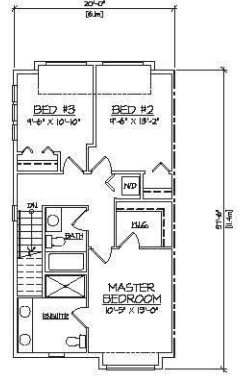
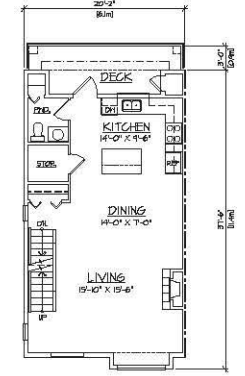
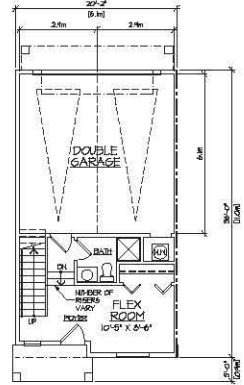


**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA: 241 S.F.  
GARAGE AREA: 410 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
640 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
740 S.F.

**UNIT TYPE 'A'**  
TOTAL FLOOR AREA: 1,735 S.F.  
(GARAGE NOT INCLUDED)



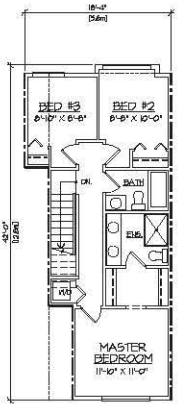
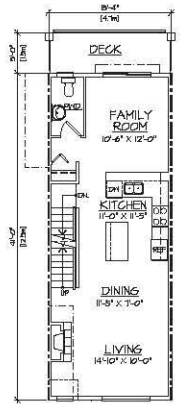
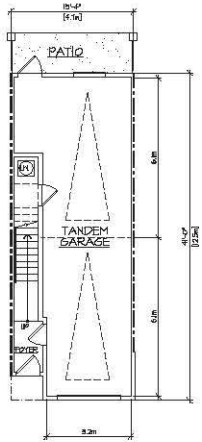
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA: 241 S.F.  
GARAGE AREA: 413 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
646 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
754 S.F.

**UNIT TYPE 'A'**  
TOTAL FLOOR AREA: 1,749 S.F.  
(GARAGE NOT INCLUDED)

ISSUED FOR:	DATE:	BY:

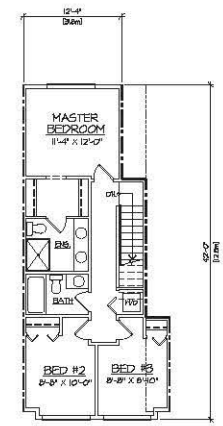
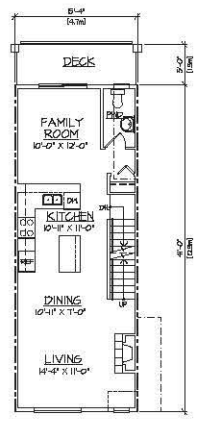
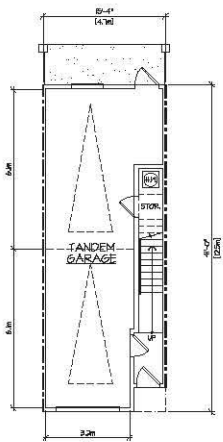


**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA: 114 S.F.  
GARAGE AREA: 504 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
629 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
637 S.F.

**UNIT TYPE 'B'**  
TOTAL FLOOR AREA: 1,380 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA: 114 S.F.  
GARAGE AREA: 503 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
629 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
644 S.F.

**UNIT TYPE 'C'**  
TOTAL FLOOR AREA: 1,381 S.F.  
(GARAGE NOT INCLUDED)

06-011-030g

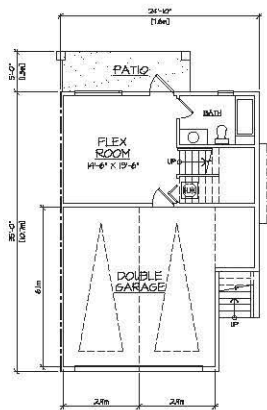
DESIGNER:	JOE DHALIVAL
L.P.F.B. DRAWN:	
DATE:	NOV 2018
PROJECT:	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY B.C.
SHEET CONTENTS:	UNIT PLANS

**barnett dembek**

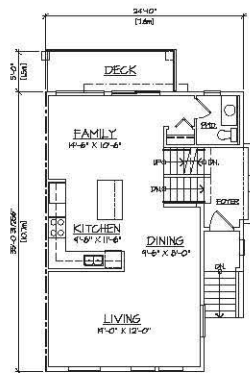
UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

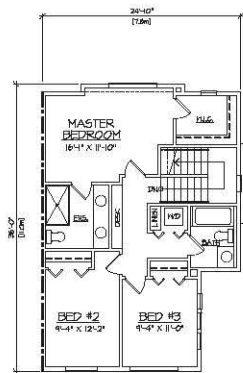
CLIENT NO.	SHEET NO.
15066	AC-201
	REV. NO.



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 360 S.F.  
GARAGE AREA 441 S.F.

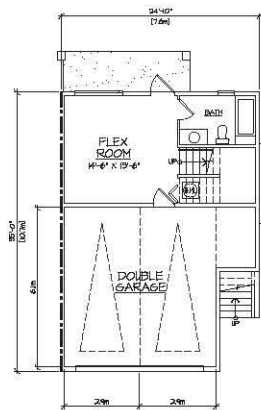


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
793 S.F.



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
820 S.F.

**UNIT TYPE 'D'**  
TOTAL FLOOR AREA 1473 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 360 S.F.  
GARAGE AREA 441 S.F.

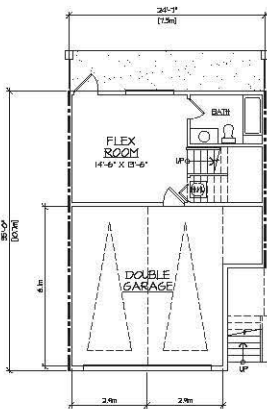


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
742 S.F.

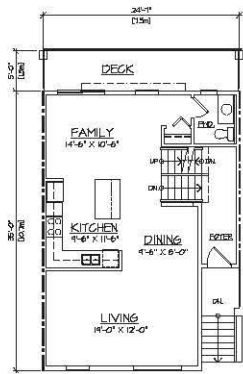


**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
816 S.F.

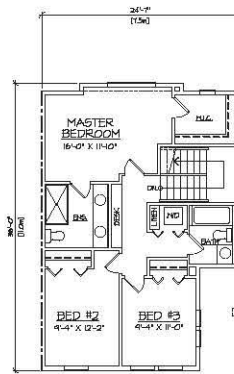
**UNIT TYPE 'D3'**  
TOTAL FLOOR AREA 1466 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 356 S.F.  
GARAGE AREA 443 S.F.

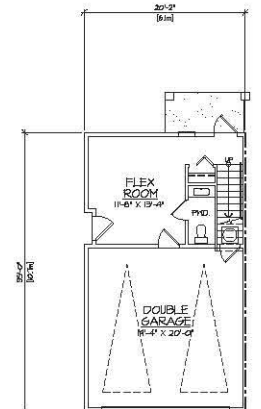


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
800 S.F.

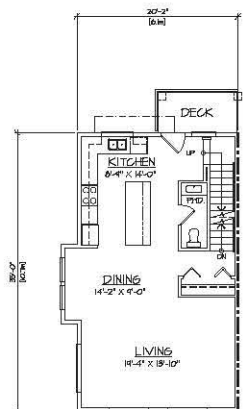


**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
812 S.F.

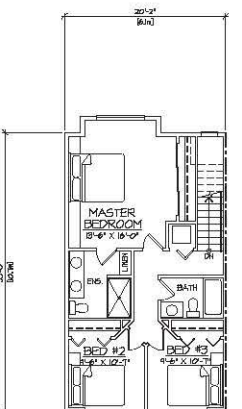
**UNIT TYPE 'D2'**  
TOTAL FLOOR AREA 1468 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 286 S.F.  
GARAGE AREA 414 S.F.



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
726 S.F.



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
758 S.F.

**UNIT TYPE 'D3'**  
TOTAL FLOOR AREA 1712 S.F.  
(GARAGE NOT INCLUDED)

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ISSUED FOR	BY	DATE	REVISION

CS-011-2019

DESIGN :	JOE DHALWAL
L.F.B. :	
DRAWN :	
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 98B3 BARNSTON DRIVE, SURREY, B.C.
DATE :	May 21, 2019
SHEET # :	
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	UNIT PLANS

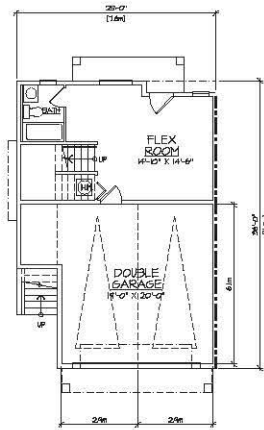
**barnett denbok**

UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8

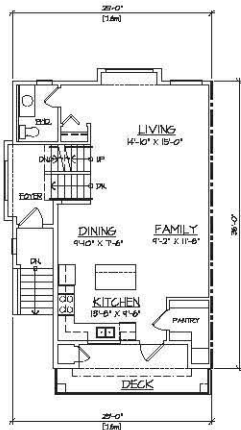
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett-denbok.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.02
15066	REV. NO.

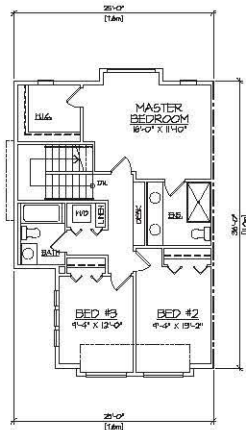




**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BASEMENT AREA: 874 S.F.  
 GARAGE AREA: 448 S.F.



**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 771 S.F.



**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 850 S.F.

**UNIT TYPE 'D4'**  
 TOTAL FLOOR AREA 2,003 S.F.  
 (GARAGE NOT INCLUDED)

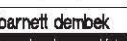
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ISSUED FOR	BY	DATE	REVISION	DATE	BY



CS-014-2009

DESIGN :	JOE DHALIWAL
L.P.B. :	
DRAWN :	
DATE :	May 2011
SCALE :	1/8" = 1'-0"
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 48B3 BARNSTON DRIVE, SHIRREY, B.C.
SHEET CONTENTS :	UNIT PLANS

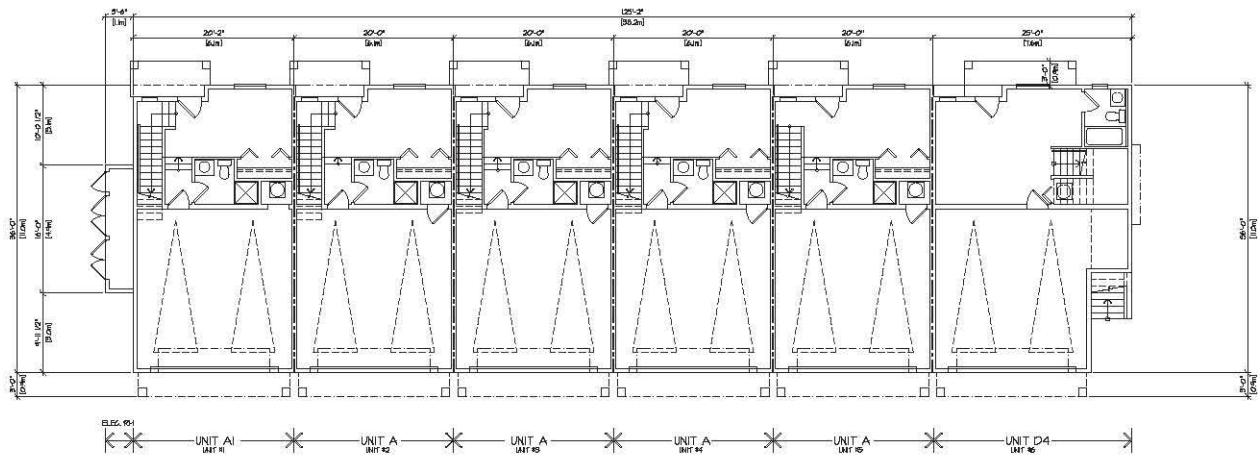


UNIT 135,  
 2528 130 STREET,  
 SHIRREY, B.C.  
 V3W 1H8

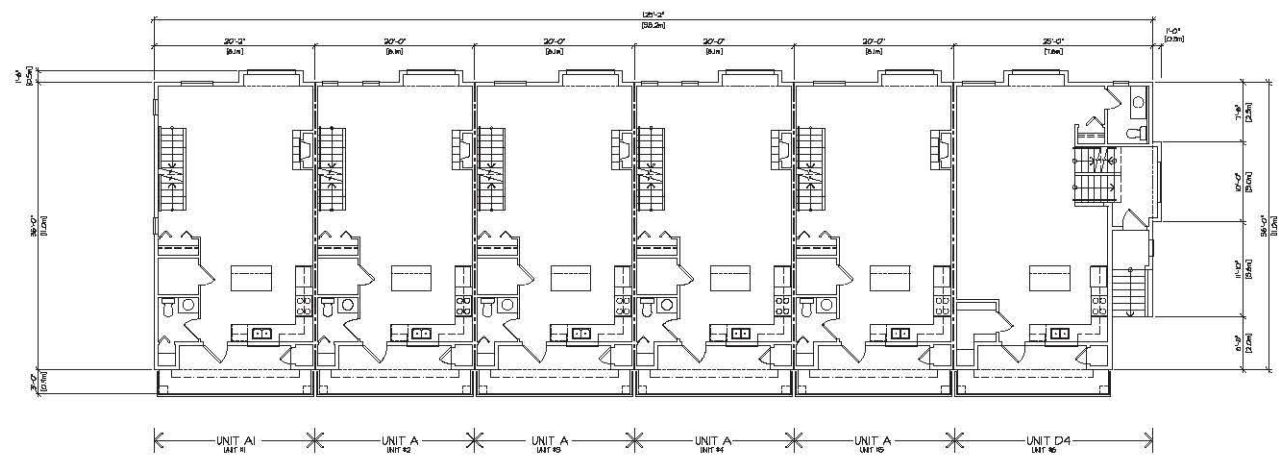
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: [mel@barnettdenbek.com](mailto:mel@barnettdenbek.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-2.03

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**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

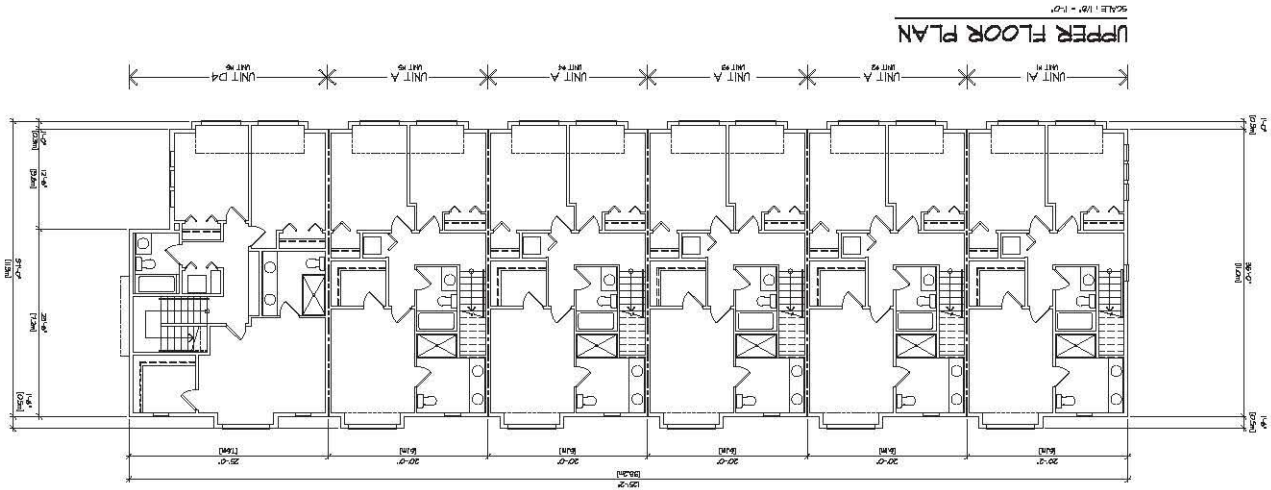
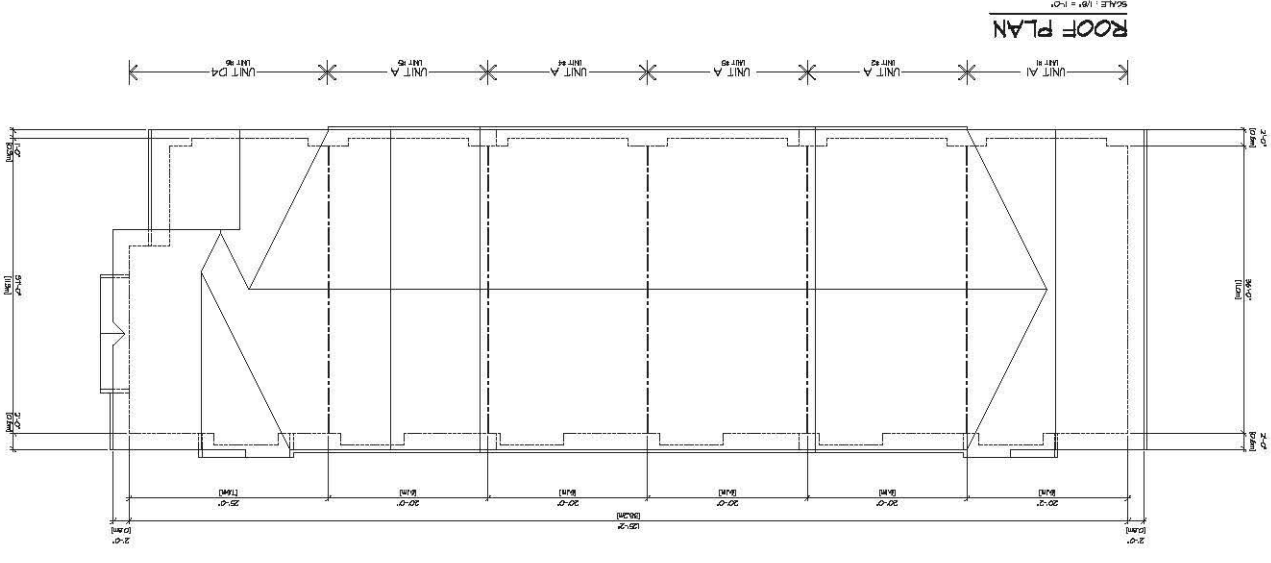
REV#	DATE	BY	ISSUED FOR

DESIGN : JOE DHALWAL	DATE : May 21 11
L.F.B. DRAWN :	SCALE : 1/8" = 1'-0"
PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 4953 BARNSTON DRIVE, SURREY, B.C.	
SHEET CONTENTS : BUILDING PLANS BUILDING #1	

**barnett dembek**  
UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.01a
REV. NO.	15066

**BUILDING #1**

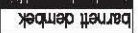


**BUILDING #**

CLIENT NO.	15066
PROJECT NO.	AC-3-01b
SHEET NO.	

PHONE: (604) 597-2988  
 FAX: (604) 597-2098  
 EMAIL: info@barnettderby.com

UNIT 135,  
 1208 130 STREET,  
 SURREY, B.C.  
 V3W 1H8



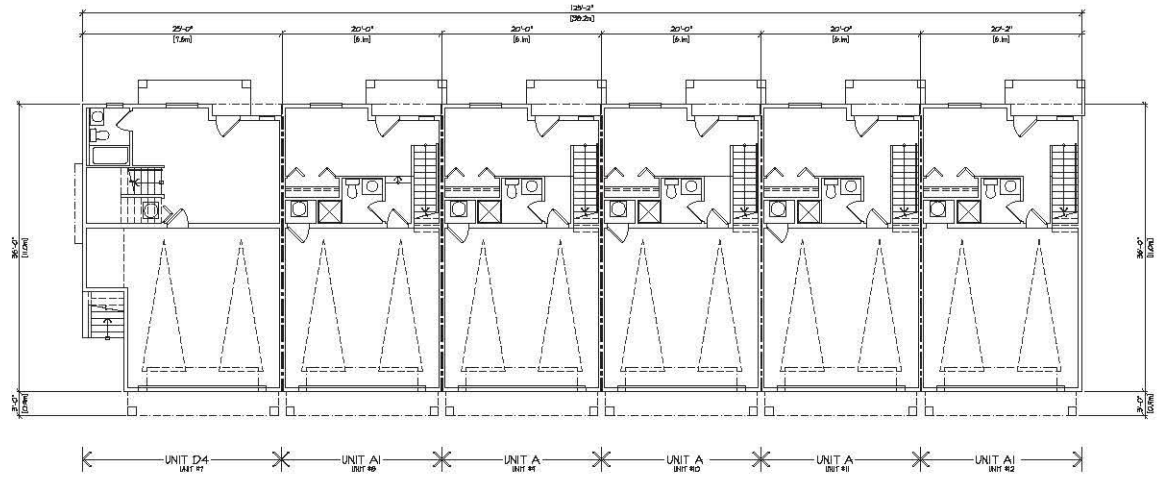
CLIENT:	JOE BHALLIVAL
DESIGN:	LFB
DRAWN:	
PROJECT:	TOWNHOUSE DEVELOPMENT
LOT B - 4833 BARNSTON DRIVE, SURREY, B.C.	
SHEET CONTENTS:	BUILDING PLANS
BUILDING #	
DATE:	May 8/11
SCALE:	1/8" = 1'-0"

048-811-1349

REV	DATE	BY	CHK	DESC	DATE	BY	CHK	DESC

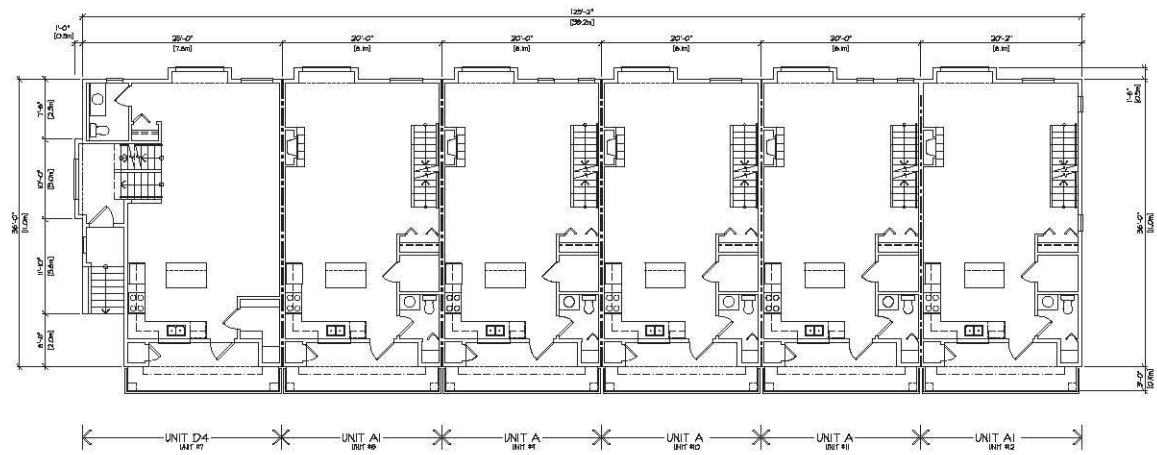
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 ARCHITECT HARMLESS FROM ALL  
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 ATTORNEY'S FEES INCURRED BY THE  
 ARCHITECT IN CONNECTION WITH THE  
 DESIGN AND CONSTRUCTION THEREOF.  
 SIGNED: BARNETT DERBY ARCHITECTS INC. OCT. 2, 1978

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**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

CS-014-2019

DESIGN : JOE DHALWAL	DATE : May 21 '17
CLIENT : TOWNHOUSE DEVELOPMENT	SCALE : 1/8" = 1'-0"
PROJECT : LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.	
SHEET CONTENTS : BUILDING PLANS	
	BUILDING #2

**barnett dembek**

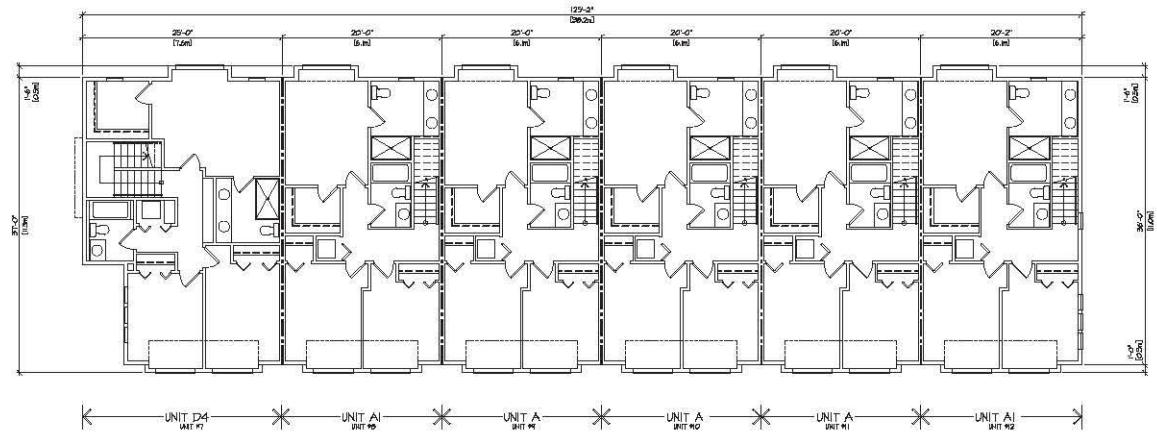
UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mel@barnett-dembek.com](mailto:mel@barnett-dembek.com)

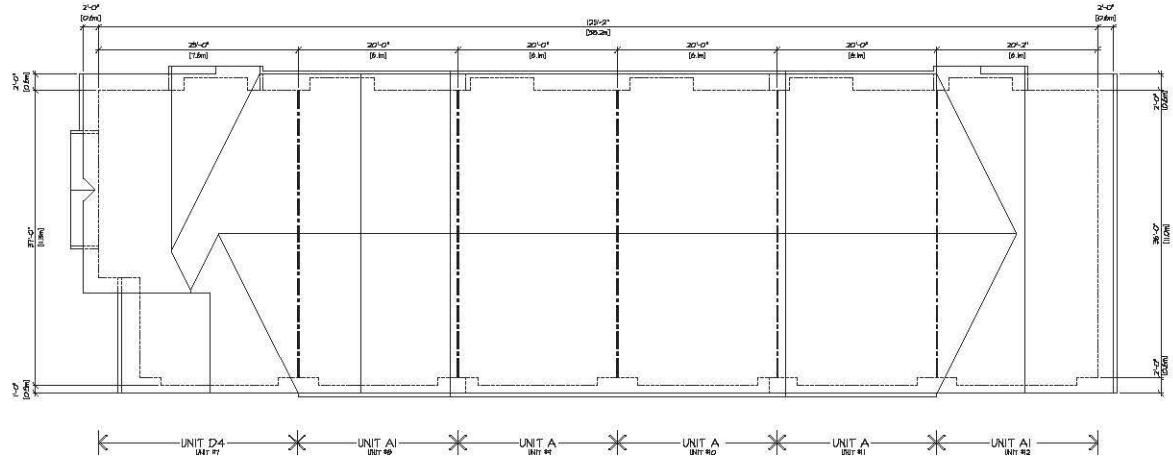
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.02a

**BUILDING #2**

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**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE	ISSUED FOR



CLIENT :	JOE DHALIWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21, 2018
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #2
SCALE :	1/8" = 1'-0"

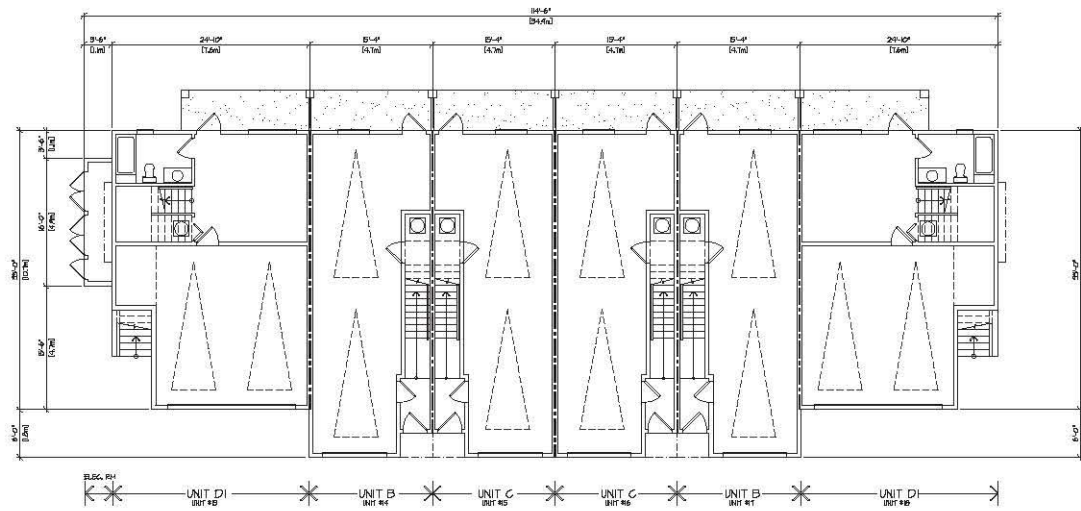
**barnett dembek**

UNIT 135,  
7528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mail@darkitek.com](mailto:mail@darkitek.com)

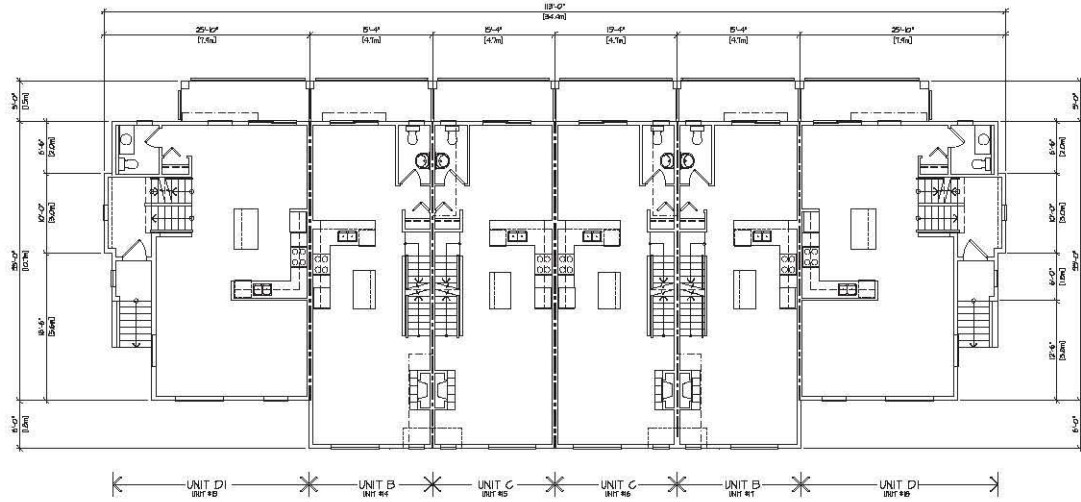
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.02b

**BUILDING #2**



**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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REV#	DATE	BY	ISSUED FOR

CG-014-2009

CLIENT :	JOE DHALWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #3 & 4
SHEET # :	10
SCALE :	1/8" = 1'-0"

**barnett denbok**

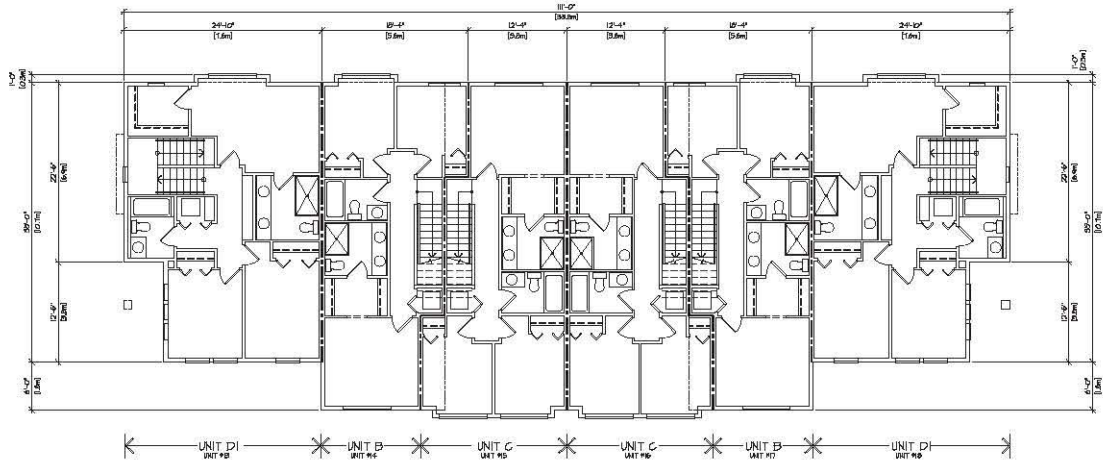
UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@denbokitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3.03a
15066	REV. NO.

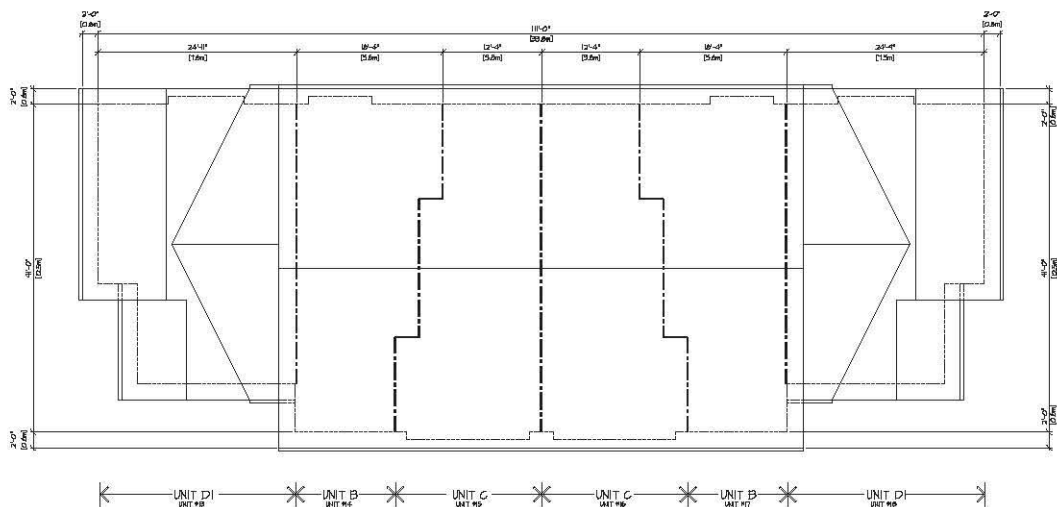
**BUILDING #3**

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**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

048-014-1048g

CLIENT :	JOE DHALIWAL
DESIGN :	
L.F.B. :	
DRAWN :	
DATE :	May 21 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDINGS PLANS BUILDING #3 & 4
SCALE :	1/8" = 1'-0"

**barnett dembek**

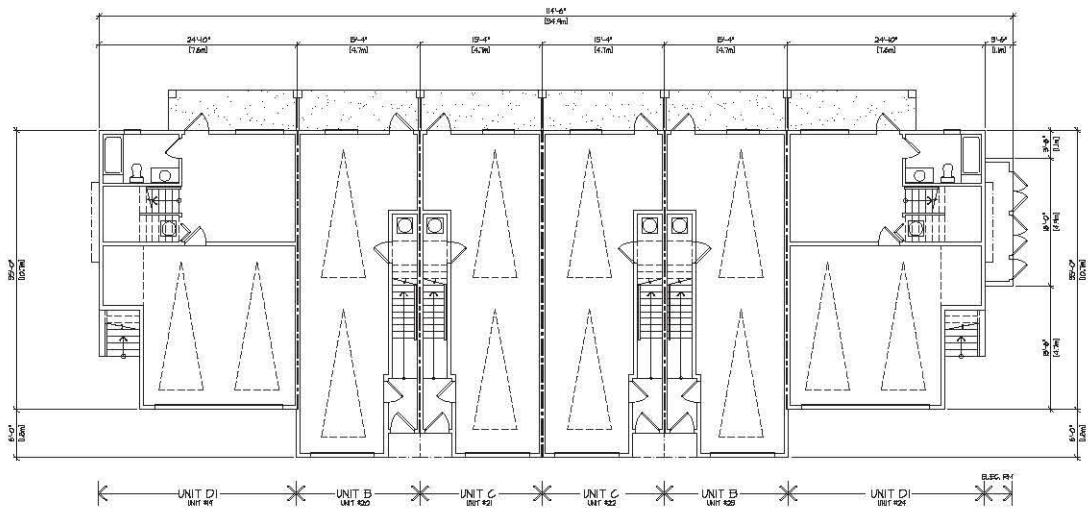
UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@dembek.com

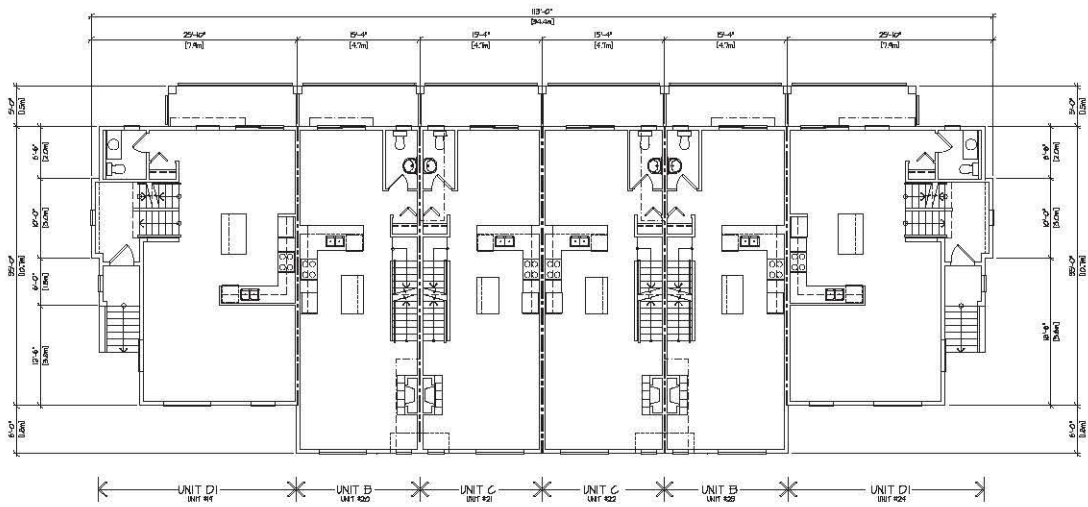
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.03b

**BUILDING #3**

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 BARNETT DEMBEK ARCHITECTS INC. 2018



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

CS-014-2018

DESIGNER :	JOE DHALIWAL
L.F.B. :	
DRAWN :	
DATE :	May 21, 2018
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 48B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #3 & 4
SCALE :	1/8" = 1'-0"

**barnett dembek**

UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

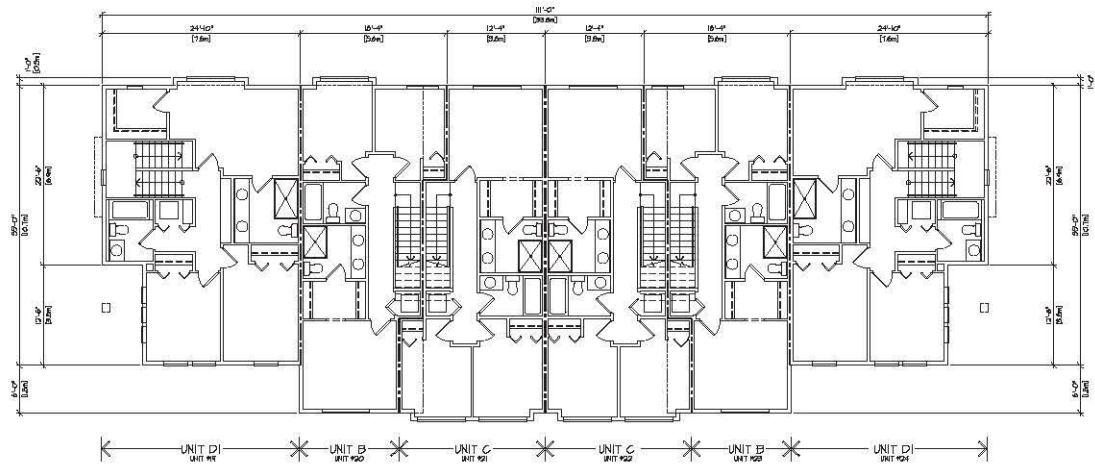
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3,04d
15066	REV. NO.

**BUILDING #4**

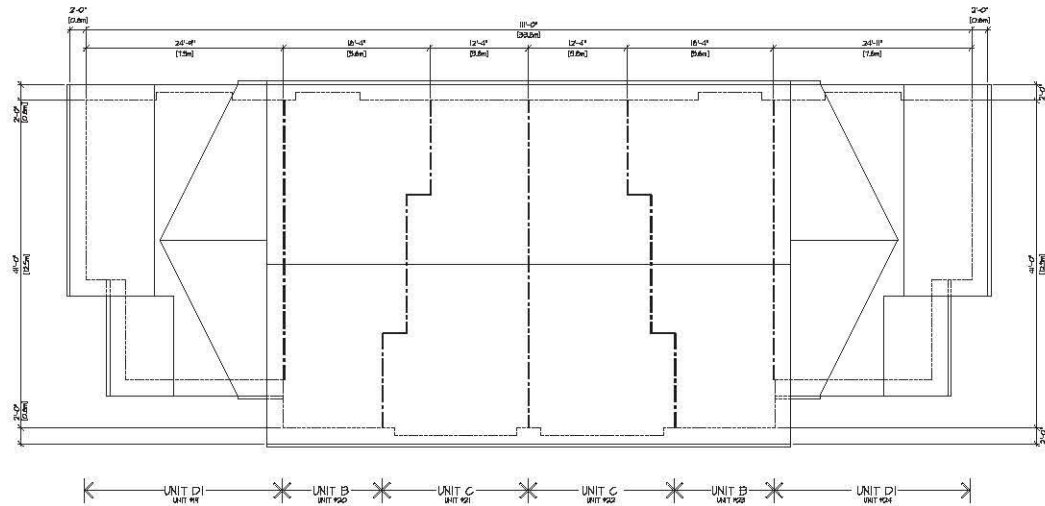


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**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE	FOR

CS-011-108g

CLIENT :	JOE DHALIWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #3 & 4
SCALE :	1/8" = 1'-0"

**barnett dembek**

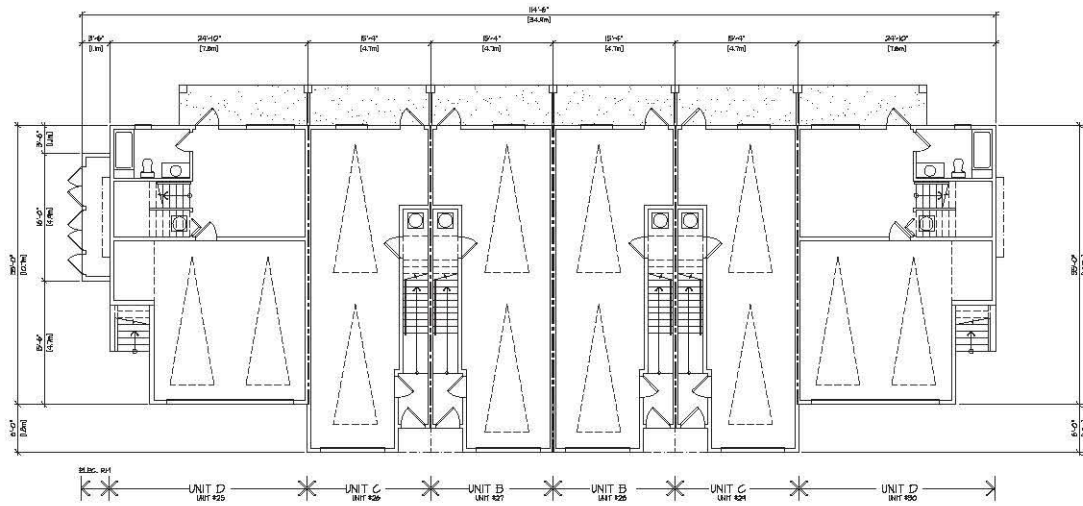
UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mbd@barnett-dembek.com](mailto:mbd@barnett-dembek.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.04b

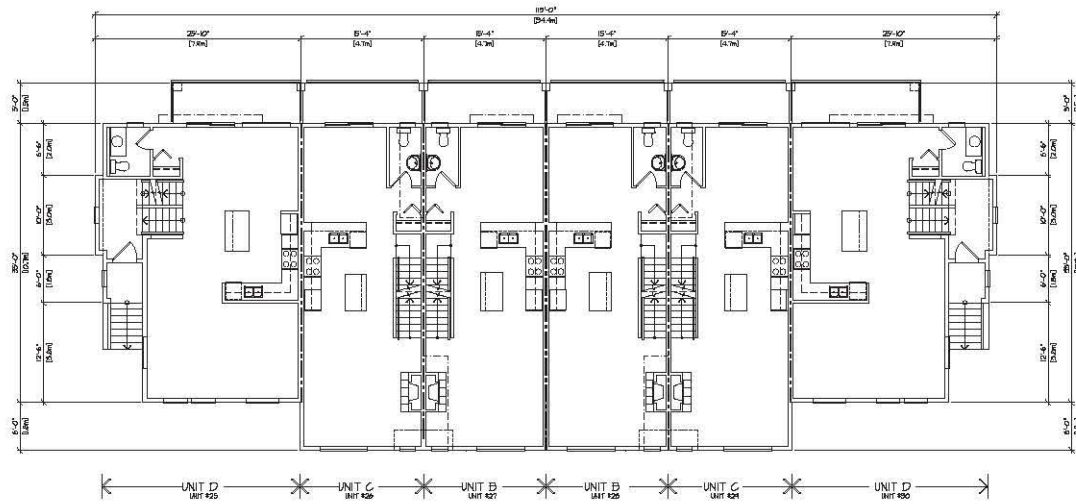
**BUILDING #4**

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**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	ISSUED FOR

CS-014-2019

CLIENT :	JOE DHALWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21, 2019
PROJECT :	TOWNHOUSE DEVELOPMENT
SHEET CONTENTS :	LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
	BUILDING PLANS
	BUILDING #5 & 6
	SCALE: 1/8" = 1'-0"

**barnett dembek**

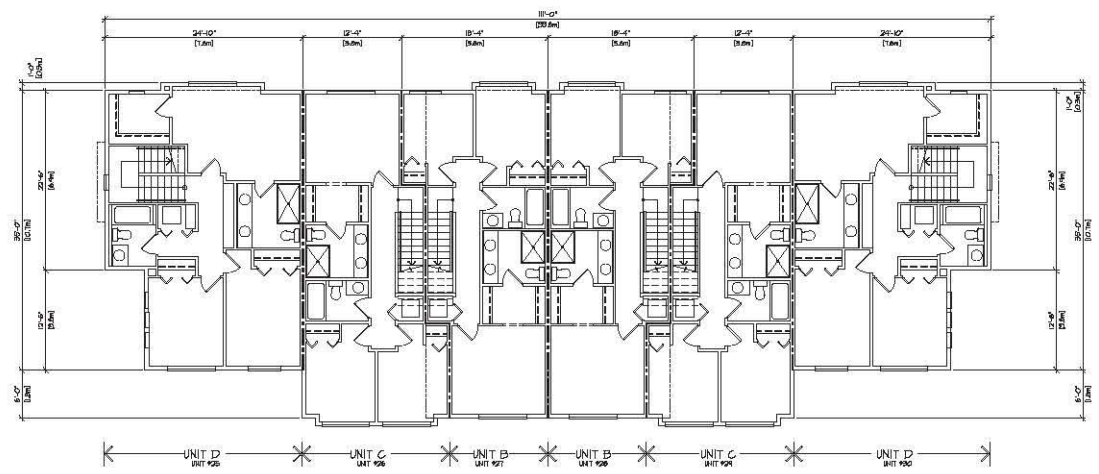
UNIT 135,  
7528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mel@darkitex.com](mailto:mel@darkitex.com)

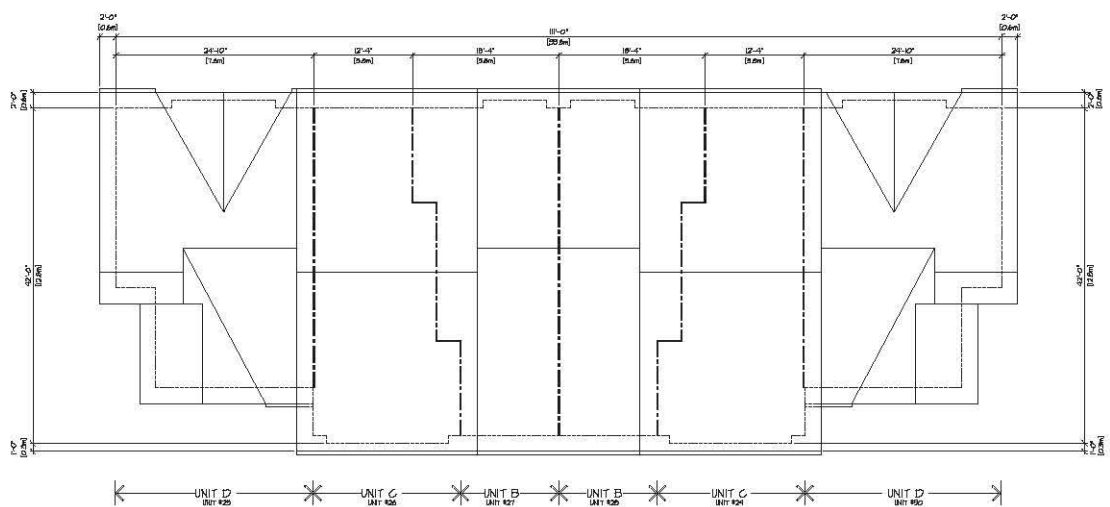
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.05g

**BUILDING #5**

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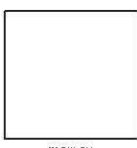


**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



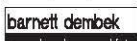
**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE FOR



CM-014-200g

CLIENT :	JOE DHALIWAL
DESIGN :	
L.F.B. :	
DRAWN :	
DATE :	May 08 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #5 # 6
SCALE :	1/8" = 1'-0"



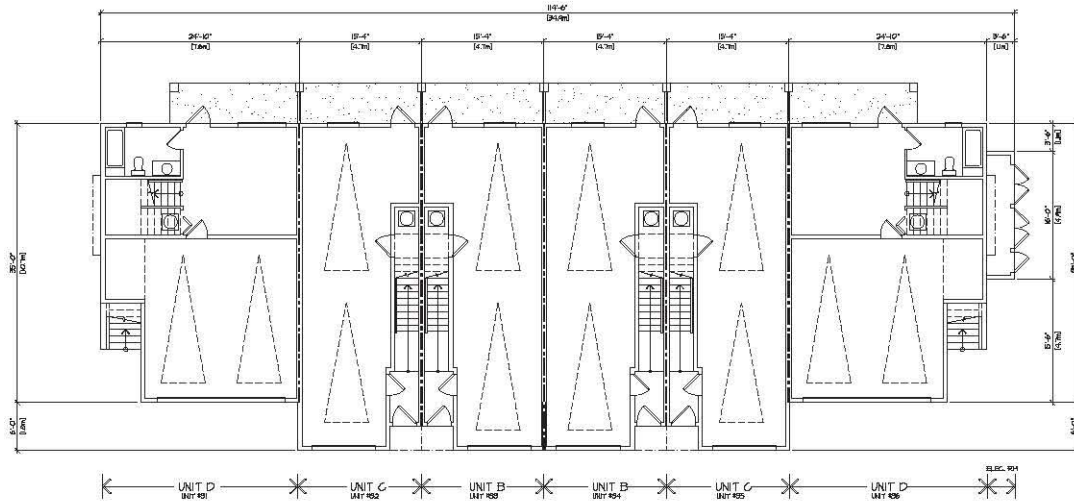
UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@denbokitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.05b

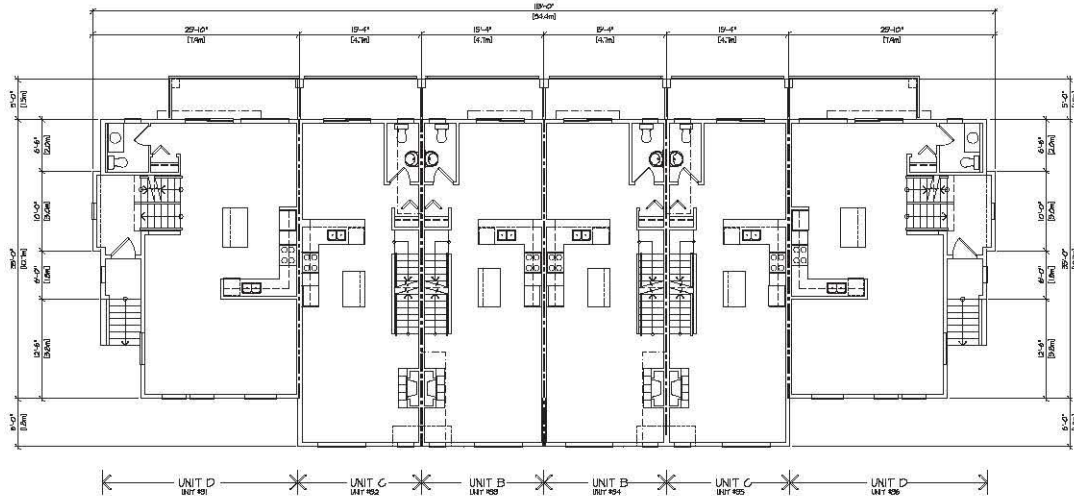
**BUILDING #5**

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**BASEMENT FLOOR PLAN**

SCALE = 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE = 1/8" = 1'-0"

REV#	DATE	BY	ISSUE

DESIGNER : L.F.B.	DATE : May 21 11
DRAWN : J.P.C.	SCALE : 1/8" = 1'-0"
CLIENT : ACE PHARMAL	PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SARREY, B.C
SHEET CONTENTS: BUILDINGS PLANS BUILDING #5 & 6	

**barnett dembek**

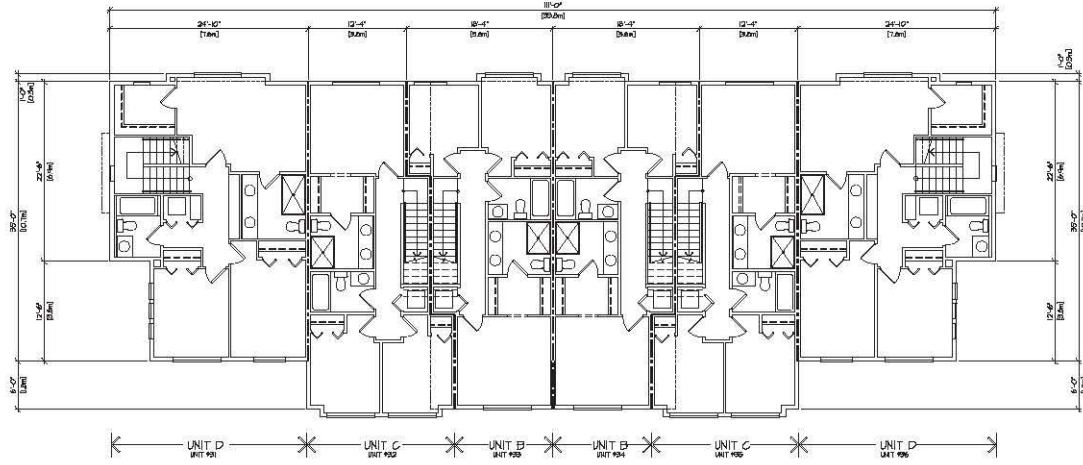
UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mtd@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-3.06a

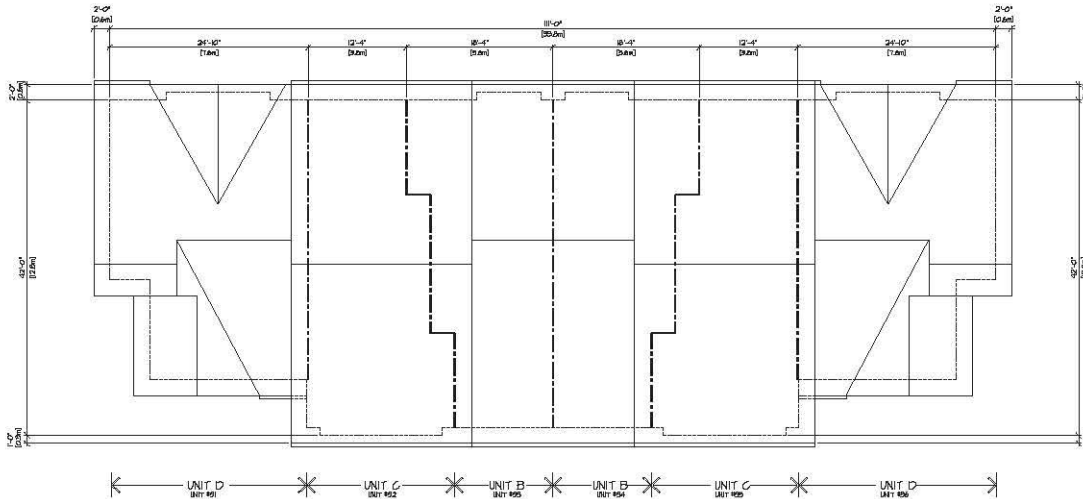
**BUILDING #6**

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**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	ISSUED FOR

CM-B-14-100g

CLIENT :	JOE DHALIWAL
DESIGN :	J.P.B.
DRAWN :	
DATE :	May 08 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4953 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDINGS PLANS BUILDING #5 & 6
SCALE :	1/8" = 1'-0"

**barnett dank**

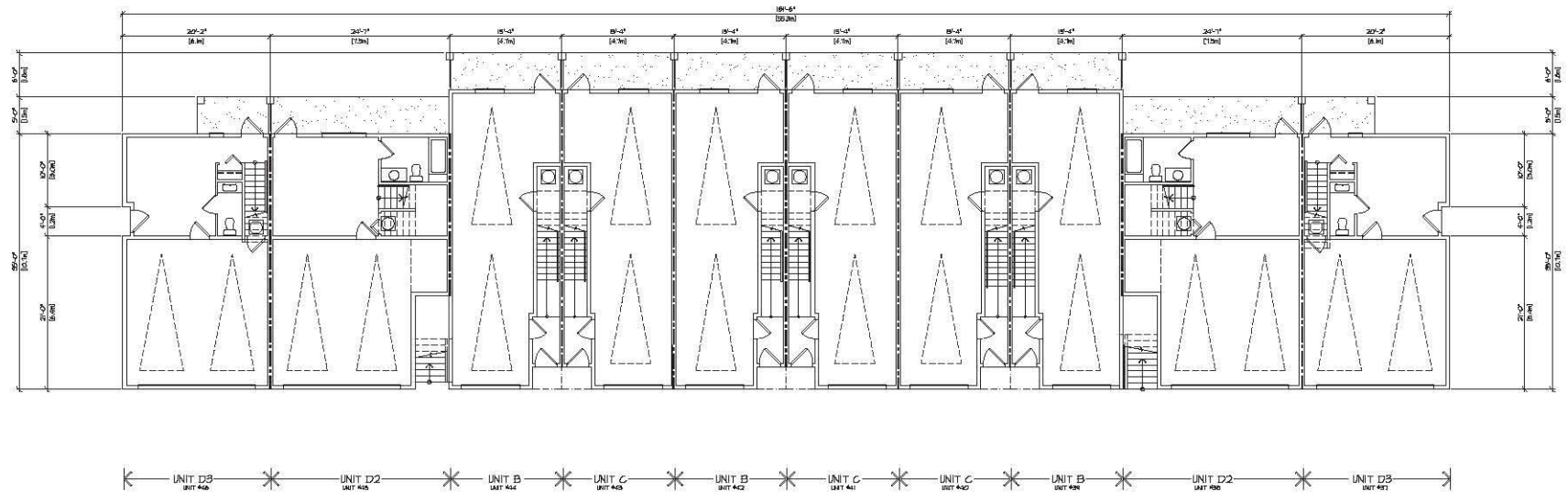
UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@dorkitex.com

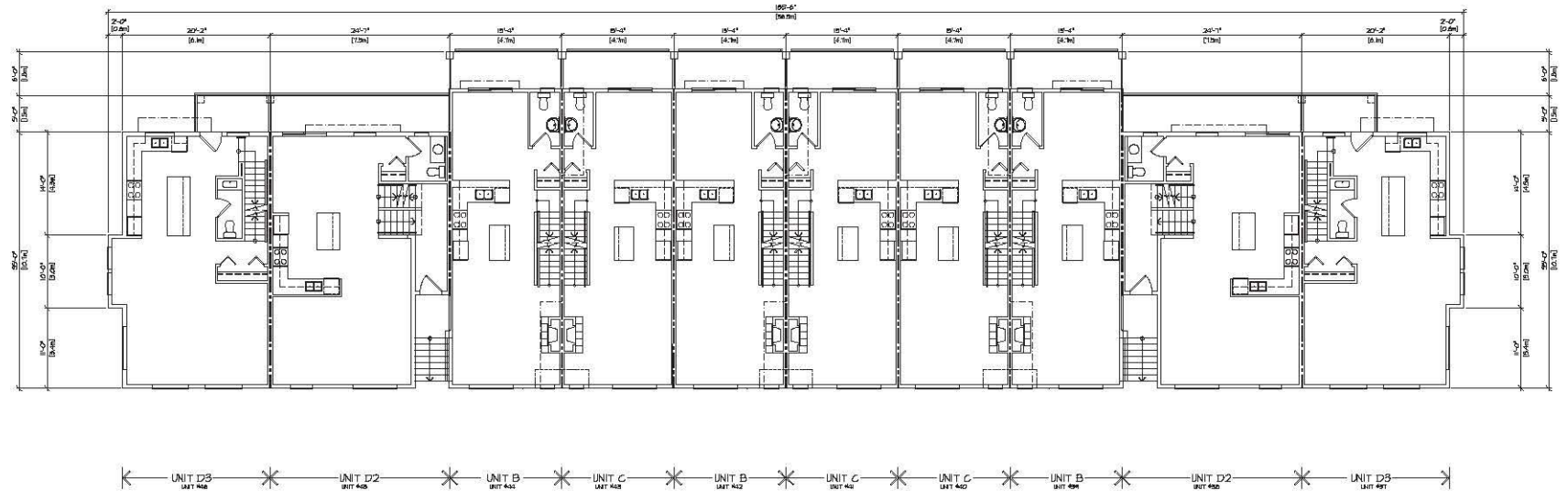
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.06b

**BUILDING #6**

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**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

REV#	DATE	BY	ISSUE FOR

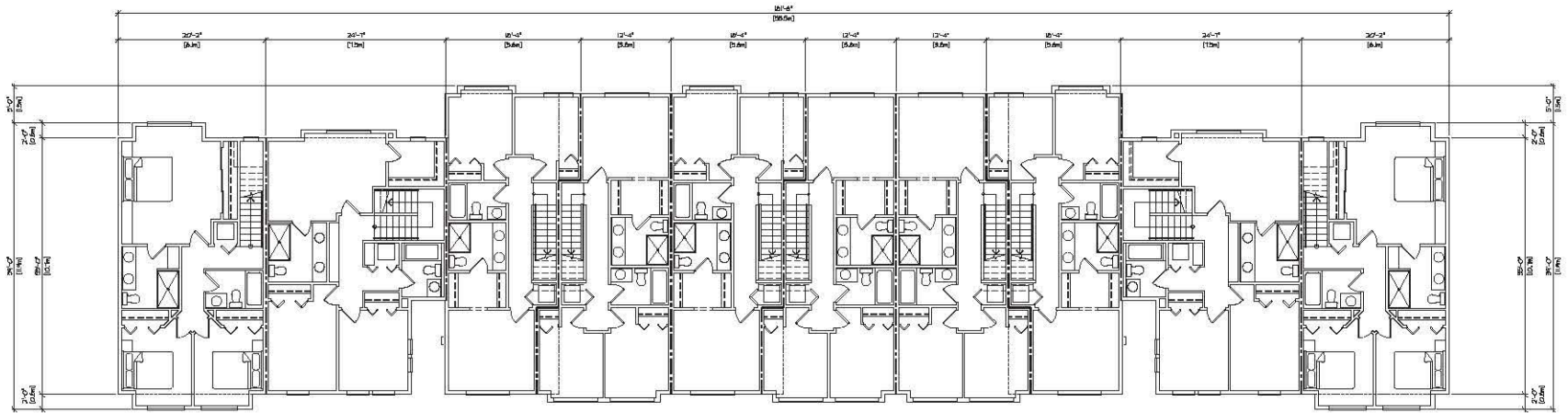
DESIGN :	JOE DHALWAL
L.F.P. :	
DRAWN :	
DATE :	Aug 01/11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 6933 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTAINS :	BUILDING PLANS BUILDING #7
SCALE :	1/8" = 1'-0"

**barnett dembek**  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mtd@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-307a

**BUILDING #7**

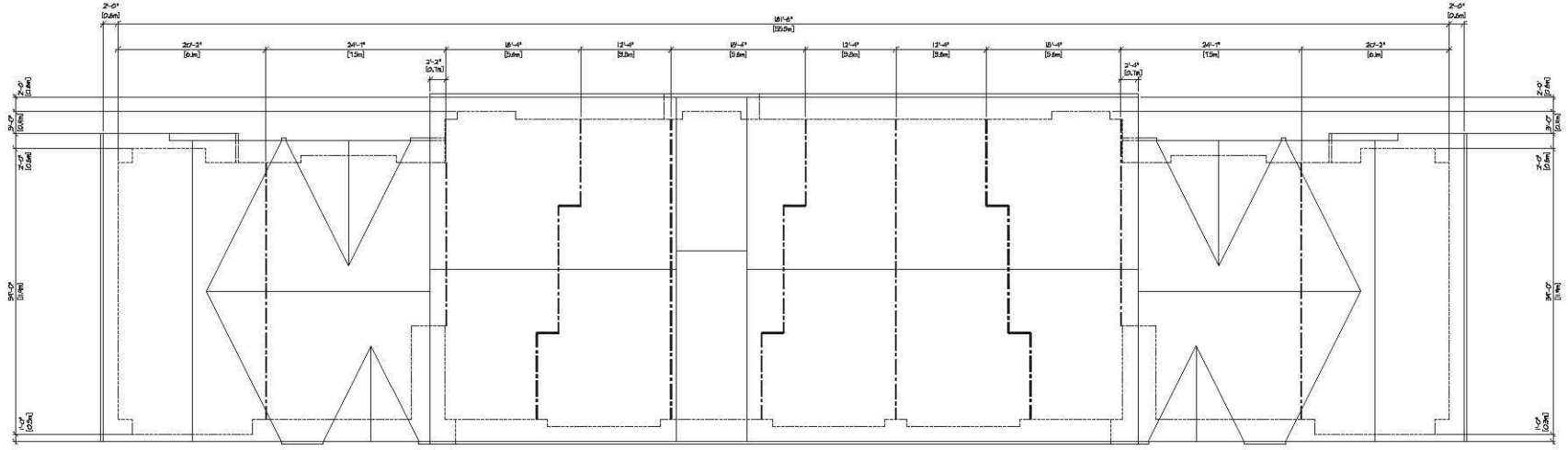
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← UNIT D2 (UNIT 102) \* UNIT D2 (UNIT 102) \* UNIT B (UNIT 104) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT C (UNIT 104) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT D2 (UNIT 102) \* UNIT D2 (UNIT 102) →

**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



← UNIT D2 (UNIT 102) \* UNIT D2 (UNIT 102) \* UNIT B (UNIT 104) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT C (UNIT 104) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT C (UNIT 102) \* UNIT B (UNIT 102) \* UNIT D2 (UNIT 102) \* UNIT D2 (UNIT 102) →

**ROOF PLAN**

REV#	DATE	BY	DATE	ISSUED FOR

600-014-1049

DESIGN :	JOE DHALIWAL
DATE :	May 21 11
SCALE :	1/8" = 1'-0"
CLIENT :	TONNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING FT

**barnett denbek**

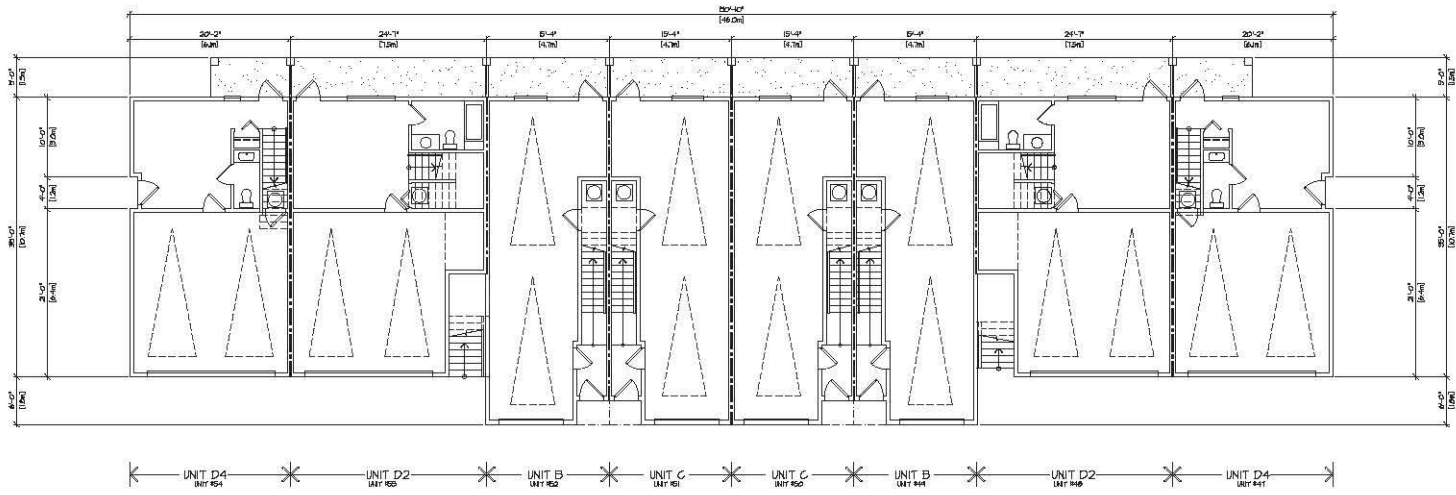
UNIT 135,  
2526 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3,07b
15066	REV. NO.

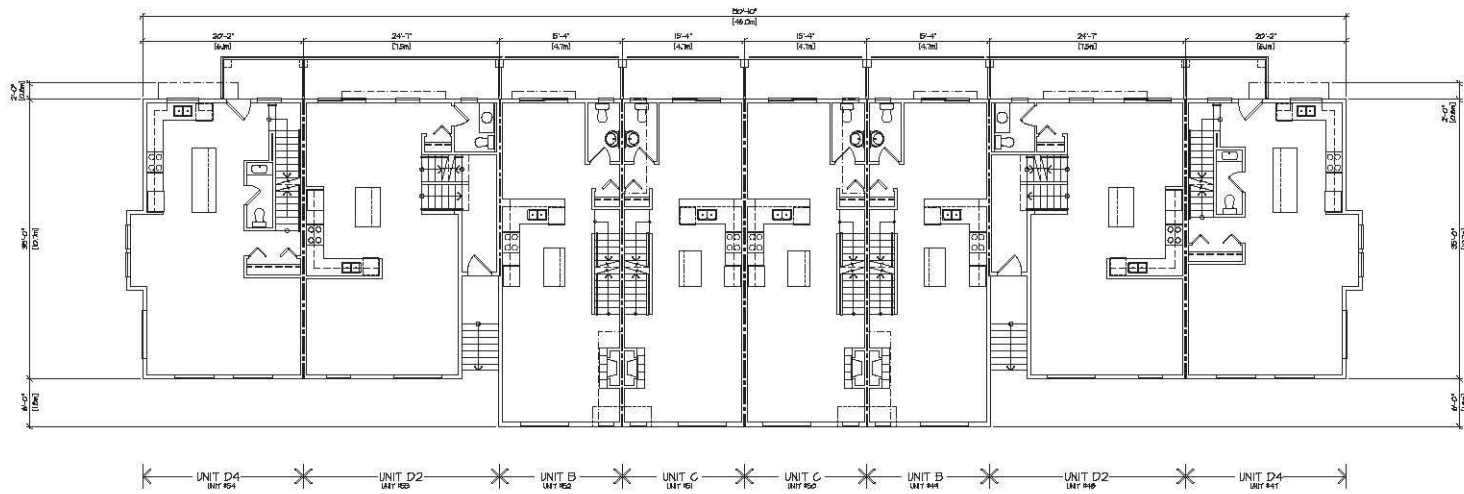
**BUILDING #7**

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**BASEMENT FLOOR PLAN**

SCALE : 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE : 1/8" = 1'-0"

NO.	DATE	REVISION

646-514-1393

DESIGN : JOE DHALWAL  
 L.F.B.  
 DRAWN :  
 DATE :  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : BUILDINGS PLANS  
 BUILDING #8

**barnett dembek**

UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mtd@darkitek.com

CLIENT NO. AC-3.09a  
 SHEET NO. 15066  
 PROJECT NO. 15066  
 REV. NO.

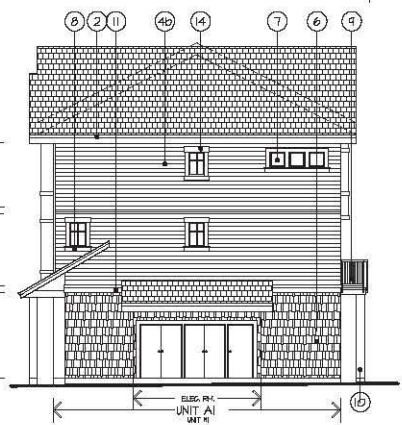
**BUILDING #8**





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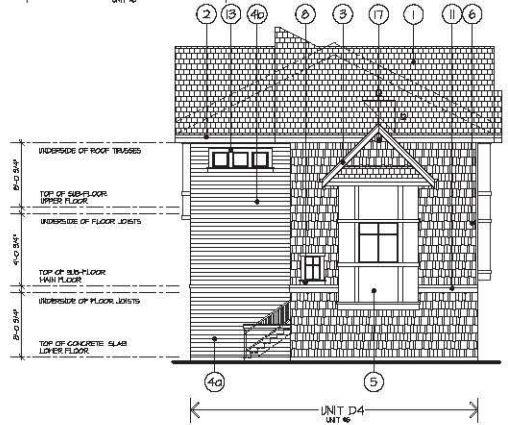
ISSUED FOR	
BY	
DATE	
ISSUE	
TOP OF SUB-FLOOR UPPER FLOOR	8'-0" 3/4"
UNDERSIDE OF FLOOR JOISTS	6'-0" 3/4"
TOP OF SUB-FLOOR MAIN FLOOR	6'-0" 3/4"
UNDERSIDE OF FLOOR JOISTS	4'-0" 3/4"
TOP OF CONCRETE SLAB LOWER FLOOR	2'-0" 3/4"
DATE	
DATE	
DATE	
DATE	
DATE	



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
 1/2" G/SHINGLES - ORIGINAL GREY
- 2 ALUMINUM GUTTER ON 2x10 WOOD FASCIA  
 WHITE GUTTER ON 1/2" WOOD TRIM - DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 3 1/4" WOOD TRIM ON 2x10 WOOD FASCIA  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 4a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
 DULUX PAINT - GREY FAWN AC01
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
 DULUX PAINT - GREY FAWN AC01
- 5 FIBER CEMENT - PANEL SIDING  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
 DULUX PAINT - GREY FAWN AC01
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
 WHITE WINDOW WITH WOOD TRIM - DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 8 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
 WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
 DULUX PAINT - GREY FAWN AC01
- 11 1/4" WOOD TRIM ON 2x12 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 12 5'-6" HIGH PRIVACY SCREEN  
 DULUX PAINT - GREY FAWN AC01
- 13 2x6 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 14 2x8 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT
- 15 THRU-WALL FLASHING  
 COLOUR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
 WHITE
- 17 KNEE BRACE  
 DULUX PAINT - ANTI-MOLD/STAIN RESISTANT



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

**BUILDING #1**

CS-011-2019

DESIGN :	JOE DHALWAL
DATE :	2019-01-11
SCALE :	1/8" = 1'-0"
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**  
 UNIT 135,  
 2526 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15066	AC-4.01
PROJECT NO.	REV. NO.

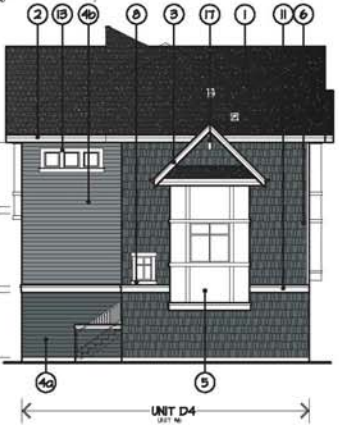
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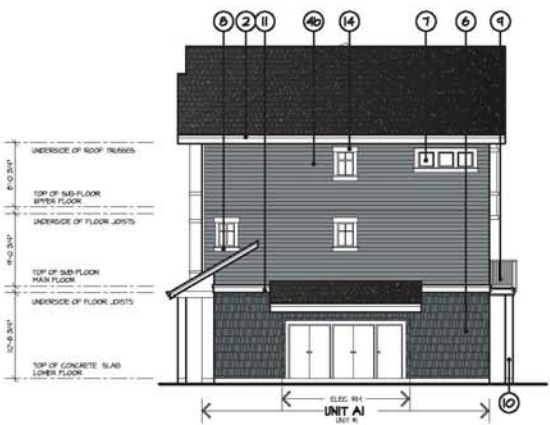
**REAR ELEVATION**  
SCALE - 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES  
1/2" GARBOLITE - 15/32" FIBERGLASS FLEECE
- ② ALUMINUM GUTTER ON 2x10 WOOD FASCIA  
PAINT: WHITE OR WOOD GRAY - (EXTERIOR ACST)
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA  
DARK PAINT - (ATMOSPHERE ACST)
- ④g FIBER CEMENT - PLANK LAP SIDING 5/8" 1/2" CORNER TRIM  
DARK PAINT - (EXTERIOR ACST)
- ④b FIBER CEMENT - PLANK LAP SIDING 5/8" 1/2" CORNER TRIM  
DARK PAINT - (EXTERIOR ACST)
- ⑤ FIBER CEMENT - PLANK LAP SIDING 5/8" 1/2" CORNER TRIM  
DARK PAINT - (EXTERIOR ACST)
- ⑥ FIBER CEMENT - SHINGLE SIDING 5/8" 1/2" CORNER TRIM  
DARK PAINT - (EXTERIOR ACST)
- ⑦ VINYL WINDOWS 5/8" WOOD TRIM AS SHOWN  
WHITE FINISH WITH WOOD TRIM - (EXTERIOR ACST)
- ⑧ 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
DARK PAINT - (ATMOSPHERE ACST)
- ⑨ 42 1/8" HIGH POWDER COATED ALUMINUM RAILING 5/8" PICKETS  
WHITE
- ⑩ BUILT UP COLLUM 5/8" FIBER CEMENT PANEL SIDING  
DARK PAINT - (EXTERIOR ACST)
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM  
DARK PAINT - (ATMOSPHERE ACST)
- ⑫ 5'-6" HIGH PRIVACY SCREEN  
DARK PAINT - (EXTERIOR ACST)
- ⑬ 2x6 WOOD TRIM  
DARK PAINT - (ATMOSPHERE ACST)
- ⑭ 2x8 WOOD TRIM  
DARK PAINT - (ATMOSPHERE ACST)
- ⑮ THRU-WALL FLASHING  
COLOR TO MATCH ADJACENT SIDING
- ⑯ ALUMINUM DOWNPIPE  
WHITE
- ⑰ KNEE BRACE  
DARK PAINT - (ATMOSPHERE ACST)



**SIDE ELEVATION**  
SCALE - 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE - 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE - 1/8" = 1'-0"

NO.	REVISION	DATE

DESIGNER :	J.P.S.
DRAWN :	J.P.S.
DATE :	Aug 21/11
SHEET NO. :	15066
SCALE :	1/8" = 1'-0"

CLIENT : JOE DHALVAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT B - 9833 BARRISTON DRIVE, SURREY, B.C.  
SHEET CONTENTS : BUILDING ELEVATIONS

**barnett denk**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

**BUILDING #1**

CLIENT NO.	SHEET NO.
15066	AC-4.01a
PROJECT NO.	REV. NO.

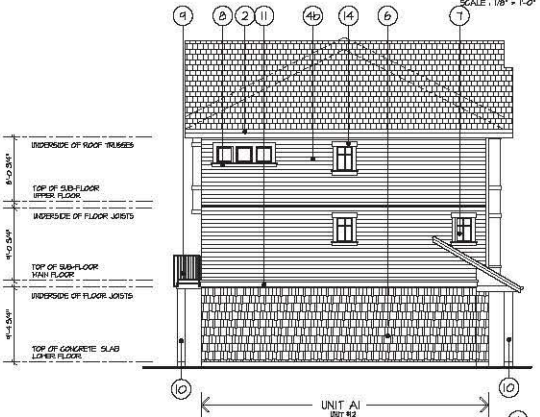
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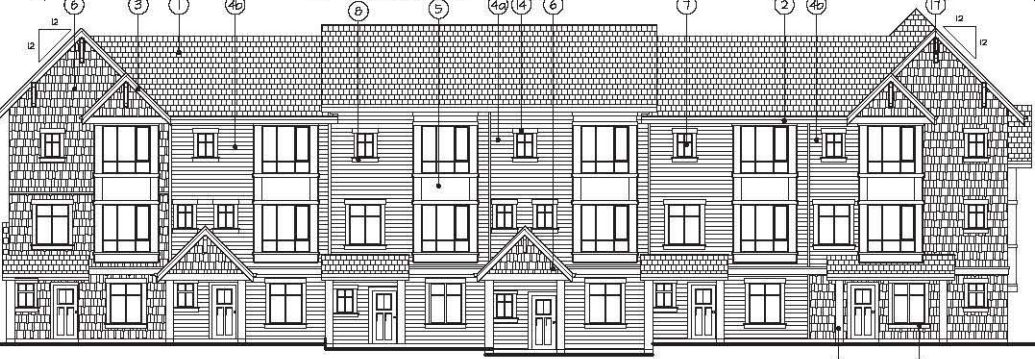
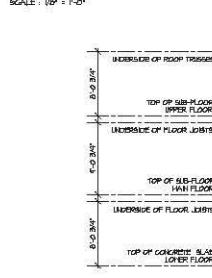
**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES  
100 GRANITE - CHARCOAL GREY
- ② ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
WHITE GUTTER ON WOOD TRIM - DULUX PAINT - ANTI-MONTE AGENT
- ③ 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
DULUX PAINT - ANTI-MONTE AGENT
- ④a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY PRIMA 33000
- ④b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY PRIMA 33000
- ④c FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY PRIMA 33000
- ⑤ FIBER CEMENT - PANEL SIDING  
DULUX PAINT - ANTI-MONTE AGENT
- ⑥ FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
- DULUX - GREY PRIMA 33000
- ⑦ VINYL WINDOW C/M WOOD TRIM AS SHOWN  
WHITE WINDOW WITH WOOD TRIM - DULUX PAINT - ANTI-MONTE AGENT
- ⑧ 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
DULUX PAINT - ANTI-MONTE AGENT
- ⑨ 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- ⑩ BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULUX PAINT - ANTI-MONTE AGENT
- ⑪ 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
DULUX PAINT - ANTI-MONTE AGENT
- ⑫ 5'-6" HIGH PRIVACY SCREEN  
DULUX PAINT - GREY PRIMA 33000
- ⑬ 2X6 WOOD TRIM  
DULUX PAINT - ANTI-MONTE AGENT
- ⑭ 2X8 WOOD TRIM  
DULUX PAINT - ANTI-MONTE AGENT
- ⑮ THRU-WALL FLASHING  
COLOUR TO MATCH ADJACENT SIDING
- ⑯ ALUMINUM DOWNPIPE  
WHITE
- ⑰ KNEE BRACE  
DULUX PAINT - ANTI-MONTE AGENT

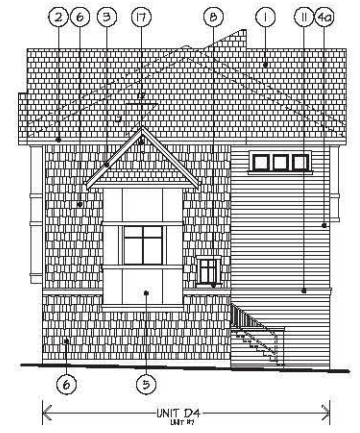
**REAR ELEVATION**



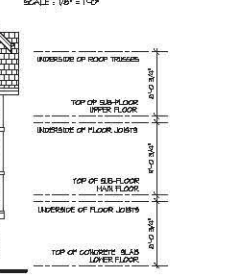
**SIDE ELEVATION**



**FRONT ELEVATION**



**SIDE ELEVATION**



ISSUED FOR	
BY	
DATE	
REVISION	
DATE	
REVISION	

DESIGN :	JOE DHALWAL
CLIENT :	JOE DHALWAL
DRAWN :	
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4883 BARNSTON DRIVE, SURREY, B.C.
DATE :	May 21 2011
SHEET NO. :	15066
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**  
 UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mel@darkitex.com

CLIENT NO.	BHEET NO.
	AC-4.02
PROJECT NO.	REV. NO.
15066	

**BUILDING #2**

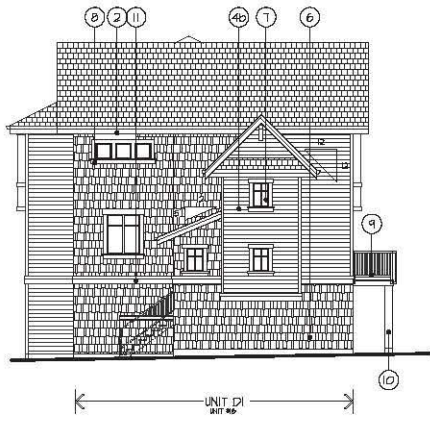


**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

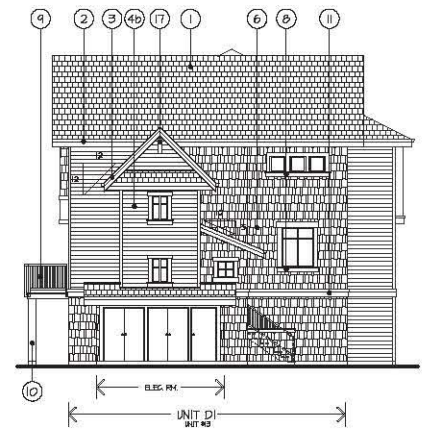
**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
NO GARBOARD - CHINGICAL GREY
- 2 ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
FINISH MATCH TO WOOD TRIM - DULUX PAINT - ATMOSPHERE AGEST
- 3 1x4 WOOD TRIM ON 2X10 WOOD FASCIA  
DULUX PAINT - ATMOSPHERE AGEST
- 4a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY FINANT A3000
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY FINANT A3000
- 4c FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREY FINANT A3000
- 5 FIBER CEMENT - PANEL SIDING  
DULUX PAINT - ATMOSPHERE AGEST
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
- DULUX - GREY FINANT A3000
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
FINISH MATCH TO WOOD TRIM - DULUX PAINT - ATMOSPHERE AGEST
- 8 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AGEST
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULUX PAINT - ATMOSPHERE AGEST
- 11 1x4 WOOD TRIM ON 2X12 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AGEST
- 12 5'-6" HIGH PRIVACY SCREEN  
DULUX PAINT - GREY FINANT A3000
- 13 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AGEST
- 14 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE AGEST
- 15 THRU-WALL FLASHING  
COLOUR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
FINISH
- 17 KNEE BRACE  
DULUX PAINT - ATMOSPHERE AGEST



**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

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ISSUED FOR	BY	DATE	REVISION



CAN-CR-1-2016

DESIGN :	JOE DHALIWAL
DATE :	May 8, 2017
SCALE :	1/8" = 1'-0"
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4853 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
	AC-4.03
PROJECT NO.	REV. NO.
15066	

**BUILDING #3**

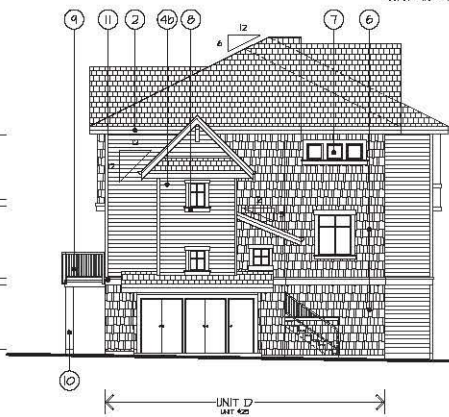




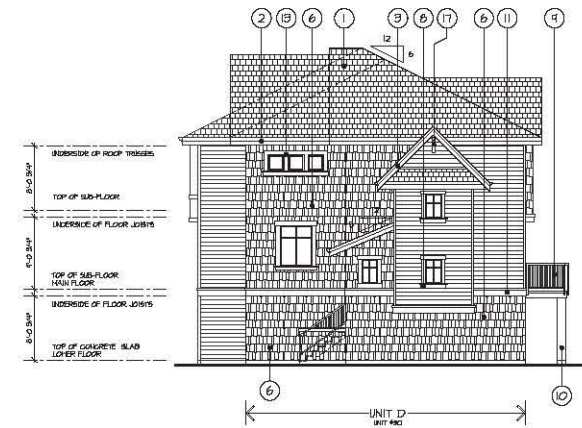
**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
100 CAMBRIDGE - CHARCOAL GREY
- 2 ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
WHITE GUTTER ON WOOD WITH GULLY TRIM - ANTI-RODENT AGENT
- 3 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
DULK PAINT - ANTI-RODENT AGENT
- 4a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULK PAINT - FROST GREY ARMS
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULK PAINT - GREAT GREY ARMS
- 5 FIBER CEMENT - PANEL SIDING  
DULK PAINT - ANTI-RODENT AGENT
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
DULK - GREAT GREY ARMS
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE GUTTER WITH GULLY TRIM DULK PAINT - ANTI-RODENT AGENT
- 8 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
DULK PAINT - ANTI-RODENT AGENT
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULK PAINT - ANTI-RODENT AGENT
- 11 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
DULK PAINT - ANTI-RODENT AGENT
- 12 5'-6" HIGH PRIVACY SCREEN  
DULK PAINT - GREY PRIVACY AGENT
- 13 2X6 WOOD TRIM  
DULK PAINT - ANTI-RODENT AGENT
- 14 2X8 WOOD TRIM  
DULK PAINT - ANTI-RODENT AGENT
- 15 THRU-WALL FLASHING  
COLOUR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
WHITE
- 17 KNEE BRACE  
DULK PAINT - ANTI-RODENT AGENT



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

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ISSUED FOR	BY	DATE	REVISION



CS-011-2019

DESIGN :	JOE DHALWAL
DRAWN :	JOE DHALWAL
DATE :	May 21 2019
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING ELEVATIONS
SCALE :	1/8" = 1'-0"



UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.05

**BUILDING #5**

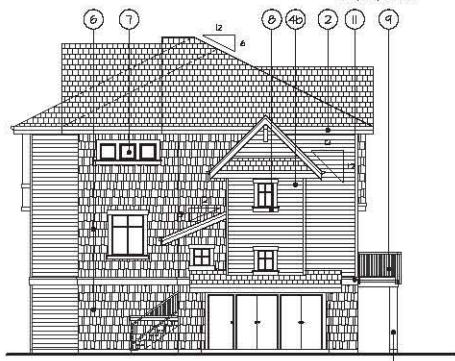
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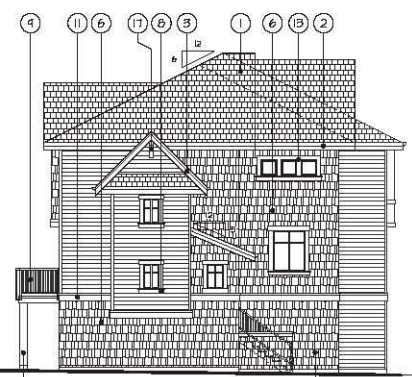
SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLES  
160 CAMBRIDGE - CHARCOAL GREY
- 2 ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
WHITE ENTIRE OR WOOD TRIM COLOR PAINT - ANTI-OSPERSE ADIST
- 3 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
DULL PAINT - ANTI-OSPERSE ADIST
- 4a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULL PAINT - FROST GREY ANIG
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULL - GREAT GREY ANIG
- 5 FIBER CEMENT - PANEL SIDING  
DULL PAINT - ANTI-OSPERSE ADIST
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
DULL - GREAT GREY ANIG
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE ENTIRE OR WOOD TRIM COLOR PAINT - ANTI-OSPERSE ADIST
- 8 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
DULL PAINT - ANTI-OSPERSE ADIST
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULL PAINT - ANTI-OSPERSE ADIST
- 11 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
DULL PAINT - ANTI-OSPERSE ADIST
- 12 5-6" HIGH PRIVACY SCREEN  
DULL PAINT - GREY PRVANT ADIST
- 13 2X6 WOOD TRIM  
DULL PAINT - ANTI-OSPERSE ADIST
- 14 2X6 WOOD TRIM  
DULL PAINT - ANTI-OSPERSE ADIST
- 15 THRU-WALL FLASHING  
COLOR TO MATCH FINISH SIDING
- 16 ALUMINUM DOWNPIPE  
WHITE
- 17 KNEE BRACE  
DULL PAINT - ANTI-OSPERSE ADIST

FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

ISSUED FOR	BY	DATE	REVISION

DESIGN :  
L.F.B.  
DRAWN :  
DATE :  
10/28/17  
SCALE :  
1/8" = 1'-0"

CLIENT : JOE DHALIWAL  
PROJECT : TOWNHOUSE DEVELOPMENT  
LOT B - 4883 BARRINGTON DRIVE, SURREY, B.C.  
SHEET CONTENTS :  
BUILDING ELEVATIONS

**barnett dembek**

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1T8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mtd@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.06

**BUILDING #6**



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 THEREIN AND ANY MATERIAL FORM  
 CHANGES SHALL BE MADE TO  
 CORRECT ANY ERRORS.



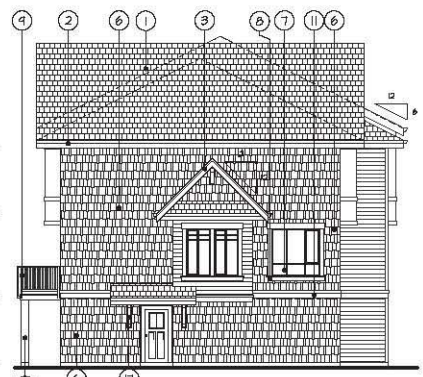
**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
302 CASHEMITE - CARBONAL GREY
- 2 ALUMINUM GUTTER ON 2x10 WOOD FASCIA  
WHITE GUTTER ON WOOD TRIM - GLOSS PAINT - ATMOSPHERE ADST
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA  
GLOSS PAINT - ATMOSPHERE ADST
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
GLOSS PAINT - FRONT GREY AN12
- 5 FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
GLOSS PAINT - GREAT GREY AN300
- 6 FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
GLOSS - GREAT GREY AN30
- 7 FIBER CEMENT - PANEL SIDING  
GLOSS PAINT - ATMOSPHERE ADST
- 8 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
GLOSS - GREAT GREY AN30
- 9 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE VISION WITH WOOD TRIM - GLOSS PAINT - ATMOSPHERE ADST
- 10 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
GLOSS PAINT - ATMOSPHERE ADST
- 11 4x2 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 12 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
GLOSS PAINT - ATMOSPHERE ADST
- 13 1x4 WOOD TRIM ON 2x12 WOOD TRIM  
GLOSS PAINT - ATMOSPHERE ADST
- 14 5'-6" HIGH PRIVACY SCREEN  
GLOSS PAINT - GREAT GREY AN300
- 15 2x6 WOOD TRIM  
GLOSS PAINT - ATMOSPHERE ADST
- 16 2x6 WOOD TRIM  
GLOSS PAINT - ATMOSPHERE ADST
- 17 KNEE BRACE  
GLOSS PAINT - ATMOSPHERE ADST



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

**BUILDING #1**

DESIGN FOR	
DATE	
BY	
DATE	
BY	
DATE	
BY	
DATE	
BY	
DATE	
BY	

688-811-7539

DESIGN : JOE DHALWAL  
 CLIENT : JOE DHALWAL  
 DATE : 10/11/11  
 DRAWN :  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT B - 4953 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : BUILDING ELEVATIONS

**barnett dank**  
 1107 111

UNIT 135,  
 2538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2098  
 EMAIL: mail@darkitek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.01

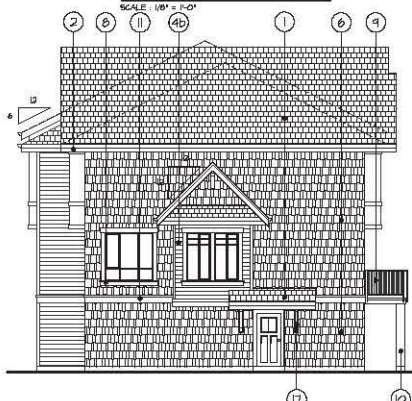
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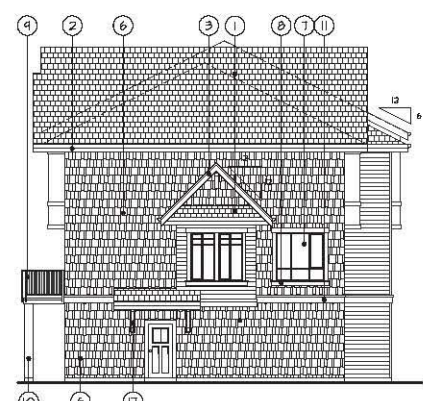
**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
5/8" GAMBROSE - CHIMSON GREY
- 2 ALUMINUM BUTTER ON 2X10 WOOD FASCIA  
WHITE BUTTER ON WOOD TRIM - DOLLAR PAINT - AT-OSPHERE ADST
- 3 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
DOLLAR PAINT - AT-OSPHERE ADST
- 4a FIBER CEMENT - PLANK LAP SIDING G/M 5 1/2" CORNER TRIM  
DOLLAR PAINT - FRONT GREY ADST
- 4b FIBER CEMENT - PLANK LAP SIDING G/M 5 1/2" CORNER TRIM  
DOLLAR PAINT - GREY TRIM ADST
- 4c FIBER CEMENT - PLANK LAP SIDING G/M 5 1/2" CORNER TRIM  
DOLLAR - GREAT GREY ADST
- 5 FIBER CEMENT - PANEL SIDING  
DOLLAR PAINT - AT-OSPHERE ADST
- 6 FIBER CEMENT - SHINGLE SIDING G/M 5 1/2" CORNER TRIM  
DOLLAR - GREAT GREY ADST
- 7 VINYL WINDOWS G/M WOOD TRIM AS SHOWN  
WHITE WINDOW WITH WOOD TRIM - DOLLAR PAINT - AT-OSPHERE ADST
- 8 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
DOLLAR PAINT - AT-OSPHERE ADST
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING G/M PICKETS  
WHITE
- 10 BUILT UP COLUMN G/M FIBER CEMENT PANEL SIDING  
DOLLAR PAINT - GREY TRIM ADST
- 11 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
DOLLAR PAINT - AT-OSPHERE ADST
- 12 5'-6" HIGH PRIVACY SCREEN  
DOLLAR PAINT - GREY TRIM ADST
- 13 2X6 WOOD TRIM  
DOLLAR PAINT - AT-OSPHERE ADST
- 14 2X8 WOOD TRIM  
DOLLAR PAINT - AT-OSPHERE ADST
- 15 THRU-HALL FLASHING  
COLOUR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
WHITE
- 17 KNEE BRACE  
DOLLAR PAINT - AT-OSPHERE ADST



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

ISSUED FOR	BY	DATE	ISSUE

DESIGN :	USE CHAL INVAL
CLIENT :	USE CHAL INVAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4183 BARNSTON DRIVE, SURREY, B.C.
DATE :	Aug 01/11
PROJECT NO. :	15066
SHEET NO. :	AC-4.08
SHEET TOTAL :	10
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mat@darkitex.com

**BUILDING #8**

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ISSUED FOR	BY	DATE	SCALE

CAD FILE

DESIGNER :	DATE :
DRAWN :	SCALE :
PROJECT :	SHEET NO. :
SHEET CONTENTS :	SCALE :
CLIENT :	

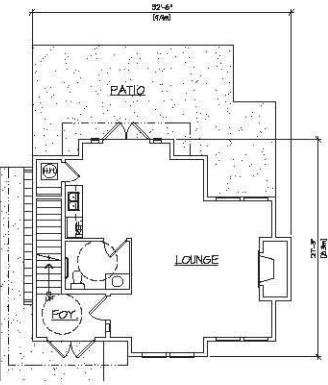
**barnett dembek**  
ARCHITECTURE INC.

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

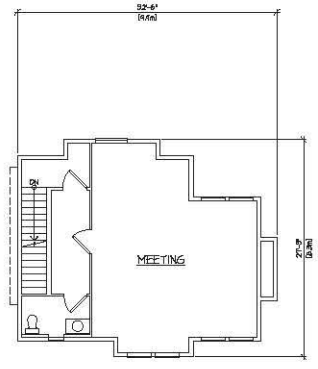
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [me@darkitex.com](mailto:me@darkitex.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.

AG-4.0T  
15066



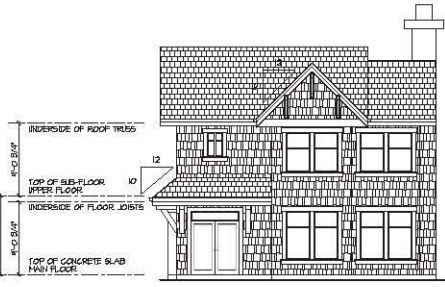
AMENITY  
MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0" 7/24 5/11



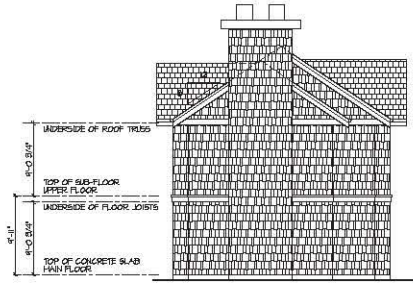
AMENITY  
UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0" 7/24 5/11

### SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X10 WOOD FASCIA
- ③ 1X4 WOOD TRIM ON 2X10 WOOD FASCIA
- ④ VINYL HORIZONTAL SIDING
- ⑤ HARDIE SHINGLE SIDING
- ⑥ CULTURED STONE VENEER
- ⑦ WINDOW SILL - 2X4 CAP ON 2XB WOOD TRIM
- ⑧ 2XB WINDOW & DOOR HEAD TRIM
- ⑨ 12X12 BUILT-UP WOOD POST WITH 24X24 BASE
- ⑩ CORNER TRIM - AS PER SIDING MATERIAL
- ⑪ VINYL FRAMED WINDOW



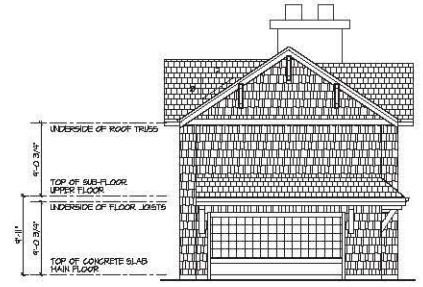
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

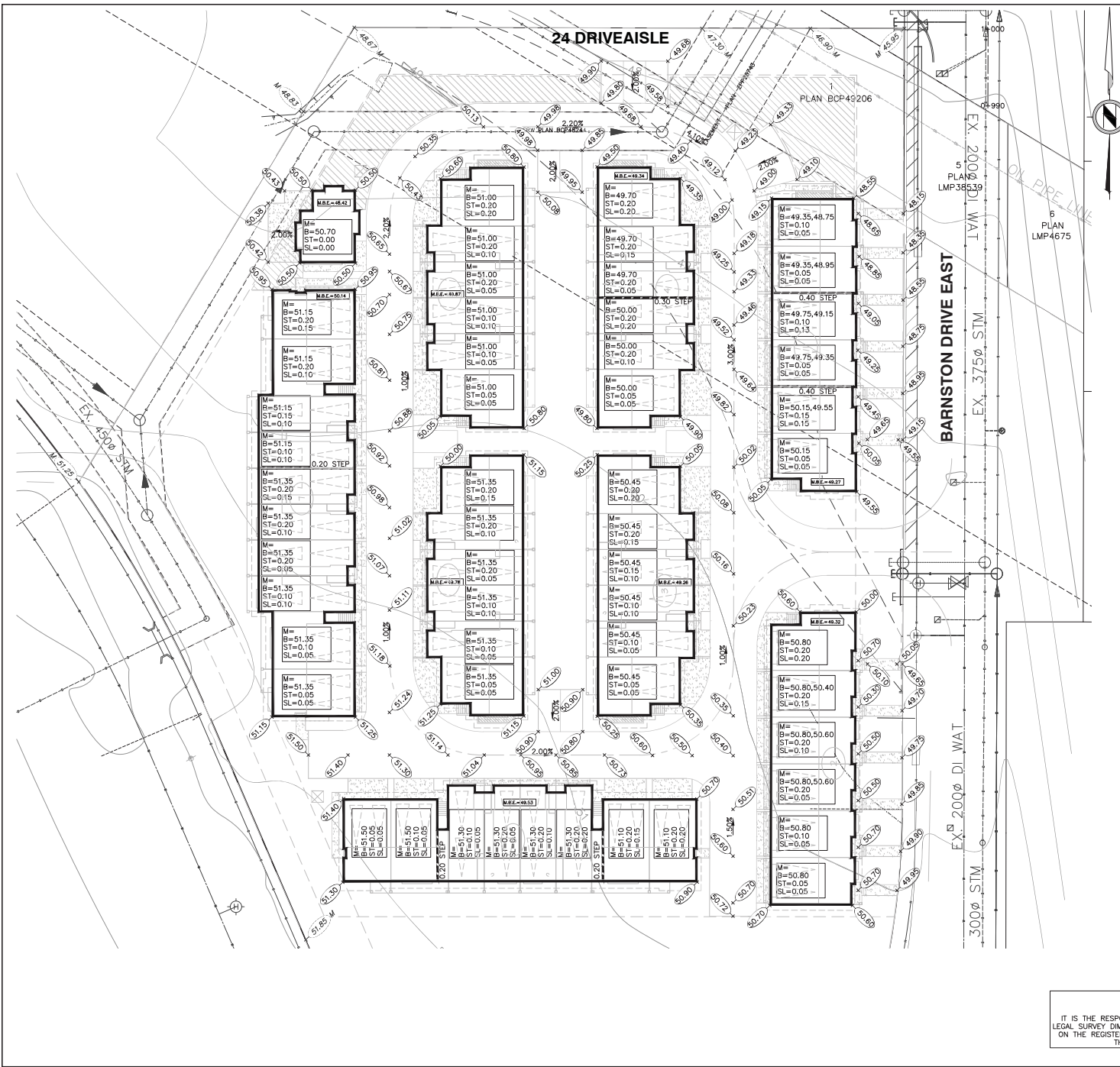


WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

AMENITY



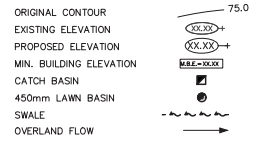
**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. ALL BUILDINGS & ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
3. THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.

**LOT GRADING NOTES:**

1. ALL DIMENSIONS AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS ARE TO GEODETIC DATUM.
3. ALL CURB RADI TO BE AS SHOWN.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH B.C. BUILDING AND PLUMBING CODES AND IS TO BE ACCEPTABLE TO THE CITY OF SURREY BUILDING AND PERMITS DEPARTMENT.
5. ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANT'S REPORT.
6. DEVELOPER TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE. CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
7. ALL SUBGRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED AT 95% MODIFIED PROCTOR, AT OPTIMUM MOISTURE CONTENT.
8. ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY.
9. CONSULT ELECTRICAL DRAWING FOR AREA LIGHTING AND POWER DISTRIBUTION SYSTEM WITHIN SITE.
10. THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR DAILY STREET CLEANING DURING TIMES OF CONSTRUCTION OR MORE OFTEN IF REQUIRED.
11. THE CONTRACTOR SHALL INFORM THE ENGINEER AND CITY OF SURREY A MINIMUM OF 24 HOURS PRIOR TO REQUIRED INSPECTIONS.

**LOT GRADING PLAN LEGEND**



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THE GENERAL CONTRACTOR SHALL OBTAIN THE DOCUMENTS FOR CONSTRUCTION CODES AND BY-LAWS AND SHALL ADVISE THE DESIGNER OF ANY DISCREPANCIES IN ANY NOTE, THE GENERAL CONTRACTOR SHALL OBTAIN AND USE ALL DRAWINGS AND REPORT ALL DISCREPANCIES AND CHANGES TO THE DESIGNER. DO NOT SCALE THE DRAWINGS. THESE DRAWINGS ARE INTENDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN ALL INFORMATION AS TO THE LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PRESERVATION OF ALL UNDERGROUND UTILITIES.

Revised	Date	Description
2	30.05.01	GRADING REVISED FOR FINAL DP
1	17.03.01	ISSUED FOR DP
0	17.01.17	ISSUED FOR COORDINATION

Aplin & Martin Consultants Ltd.  
 201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9  
 Tel: (604) 597-9058, Fax: (604) 597-9061  
 Email: general@aplinmartin.com

**MAINLAND DEVELOPMENT (BARNSTON LOT.)**  
 305-3288-120 STREET  
 SURREY B.C.  
 V3V-4B8  
 PH. 604-683-0505

**54 UNIT TOWNHOUSE DEVELOPMENT**  
 9933 BARNSTON DRIVE EAST  
 SURREY, BC

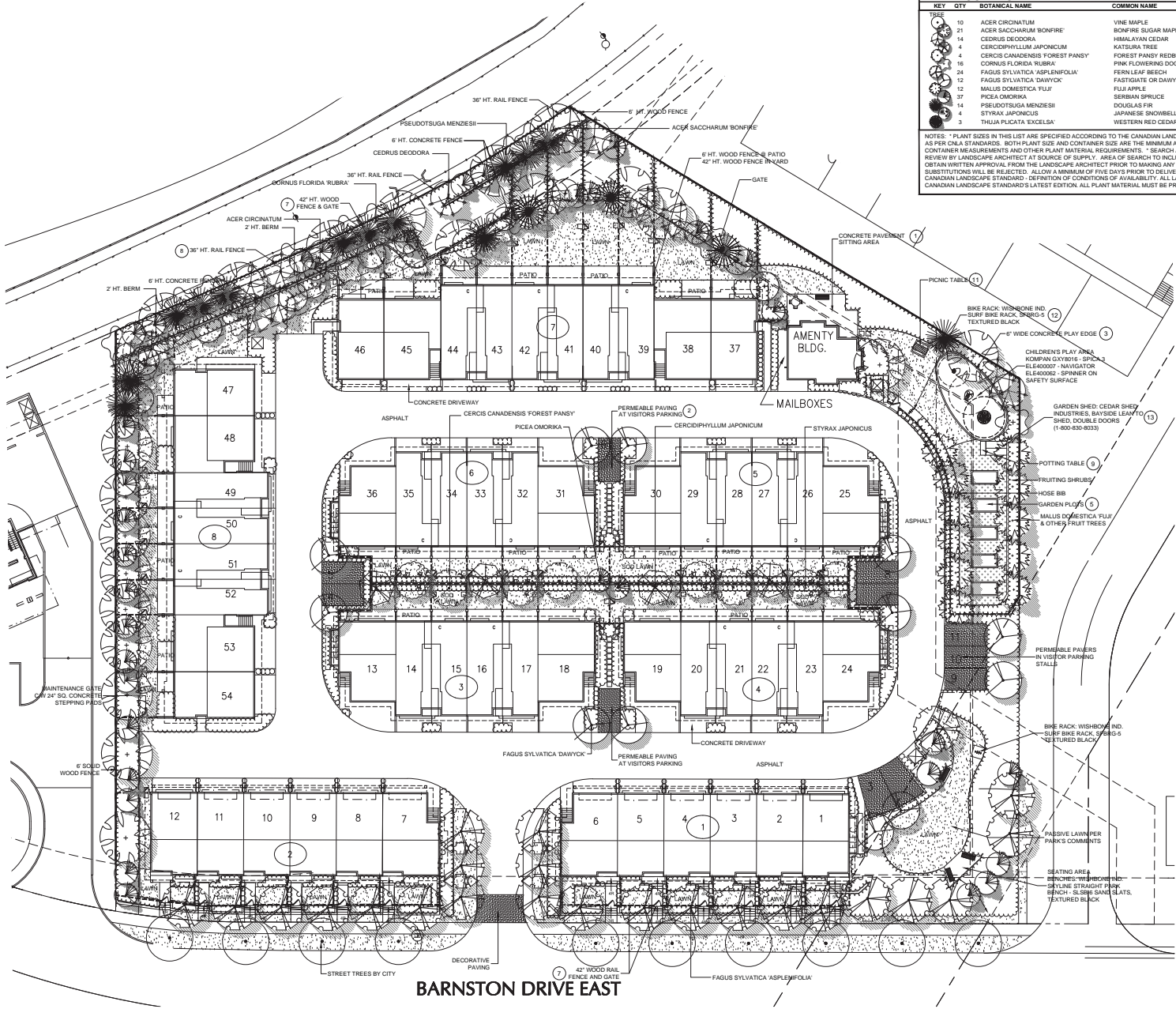
**GRADING PLAN TOWNHOUSE DEVELOPEMENT**

PROJECT No:	17-119
Client:	TJP
Designer:	SD
Checker:	SD
Date:	May 26, 2017
Scale:	1:250
Revision No:	2
Drawn by:	

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

**NOT FOR CONSTRUCTION**



PLANT SCHEDULE		P&G PROJECT NUMBER: 16-228		
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
10		ACER CIRINNATUM	VINE MAPLE	3.0M HT, B&B; 3 STEM CLUMP
21		ACER SACCHARINUM BONIFRUE	BONIFRUE SUGAR MAPLE	6CM CAL; 2M STD; B&B
14		CEDRUS DEODORA	HIMALAYAN CEDAR	2.5M HT; B&B
4		CERCIDIPHYLLUM JAPONICUM	KATSURAI TREE	6CM CAL; 1.8M STD; B&B
4		CERCIS CANADENSIS FOREST PANSY	FOREST PANSY	6CM CAL; 1.8M STD; B&B
16		CORNUS FLORIDA RUBRA	PINK FLOWERING DOGWOOD	2.5M HT; B&B
24		FAGUS SYLVATICA ASPLENIFOLIA	FERN LEAF BEECH	6CM CAL; 1.8M STD; B&B
12		FAGUS SYLVATICA DAWYCK	FASTIGIATE OR DAWYCK BEECH	6CM CAL; 1.8M STD; B&B
12		MALLUS DOMESTICA FLUI	FLUI APPLE	6CM CAL; 1.8M STD; B&B
37		PICEA OMORIKKA	SERBIAN SPRUCE	2.5M HT; B&B
14		PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B
4		STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL; 1.5M STD; B&B
3		THUJA PLICATA EXCELSA	WESTERN RED CEDAR	2.5M HT; B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OR SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MARLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
P: 604-294-0011 - F: 604-294-0022

SEAL:

2	17 MAY 26	NEW SITE PLAN	DO
1	17 MAR 27	NEW SITE PLAN	TRUM
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**  
BARNSTON DRIVE & 177A STREET  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=20'-0"  
DRAWN: DO **L1**  
DESIGN: MM  
CHKD: MCY **OF 5**

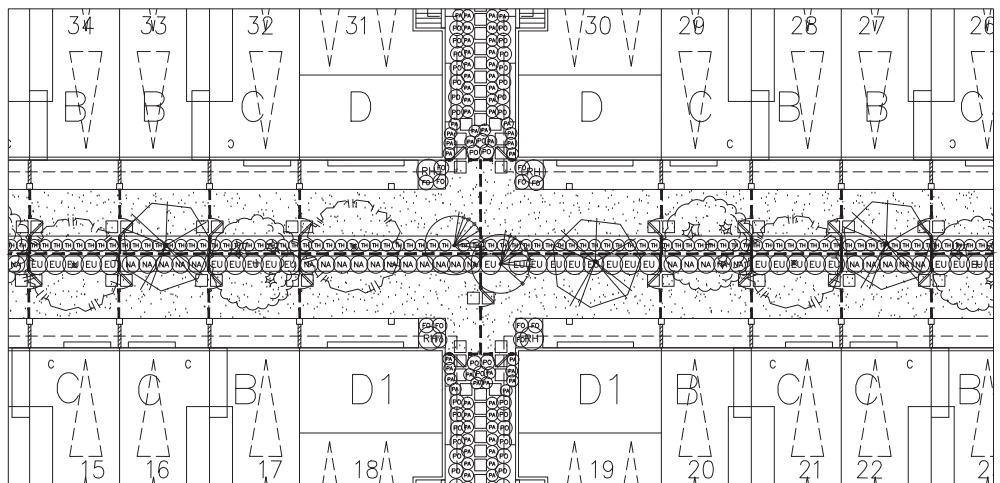


16228TH-3.2P

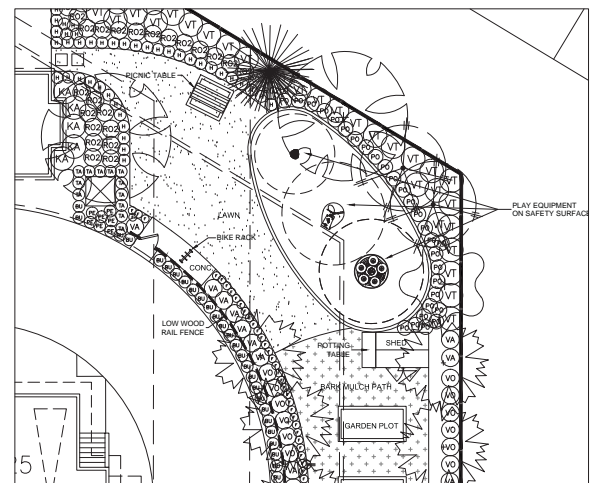
P&G PROJECT NUMBER:

16-228

SEAL:



REAR YARDS

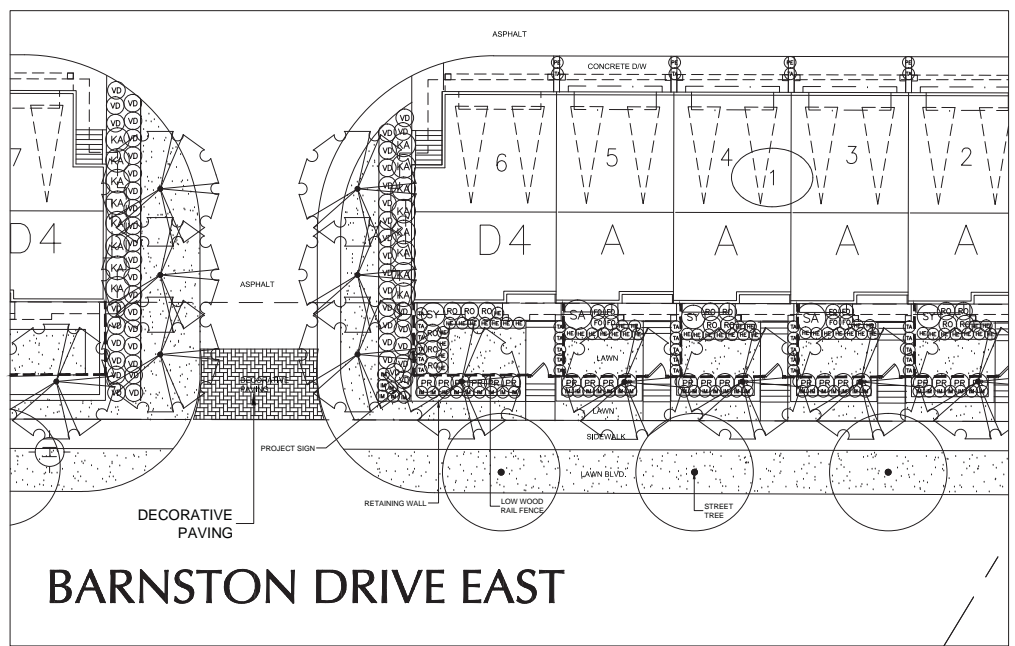


AMENITY AREA

PLANT SCHEDULE		SHRUBS	PIMG PROJECT NUMBER: 16-228
KEY	QTY	BOTANICAL NAME	COMMON NAME
(Symbol)		BUXUS MICROPHYLLA WINTER GEM	LITTLE-LEAF BOX
(Symbol)		EUCONYMUS ALATA COMPACTUS	COMPACT WINGED BURNING BUSH
(Symbol)		FOTHERGILLIA GARDENII BULLE MIST	DWARF FOTHERGILLIA
(Symbol)		KALMIA LATIFOLIA	MOUNTAIN LAUREL
(Symbol)		LONICERA PILEATA	PRIVET HONEYSUCKLE
(Symbol)		NANDINA DOMESTICA	HEAVENLY BAMBOO
(Symbol)		PRUNUS LAUROCERASUS OTTO LUYKEN	OTTO LUYKEN LAUREL
(Symbol)		RHOODOENDRON ANAH KRUSCHKE	RHOODOENDRON; BLUE
(Symbol)		ROSA ODO EASY STAMBERY CRUSH	STRAWBERRY CRUSH ROSE; PINK/YELLOW/APRICOT
(Symbol)		ROSA MEDELAND BONICA	MIDLAND ROSE; PINK
(Symbol)		SAMBUCUS NIGRA BLACK LACE	BLACK LACE ELDERBERRY
(Symbol)		SYRINGIA PRAESTONIAE MINNET	MINNET LILAC
(Symbol)		TAXUS X MEDIA HICKSII	HICKS YEW
(Symbol)		THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR
(Symbol)		VACCINIUM CORYMBOSUM	BLUESBERRY
(Symbol)		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
(Symbol)		VIBURNUM DAVIDI	DAVID'S VIBURNUM
(Symbol)		VIBURNUM TINUS SPRING DWARF	DWARF VIBURNUM
(Symbol)		HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
(Symbol)		IMPERATA CYLINDRICA RED BARON	BLOOD GRASS
(Symbol)		PENNISETUM ALDOPEUCLEROIDES HAMLEN	DWARF FOUNTAIN GRASS
(Symbol)		HEMEROCALLIS	DAYLILY
(Symbol)		FRAGARIA CHILOENSIS	BEACH STRAWBERRY
(Symbol)		PACHYSANDRA TERMINALIS	JAPANESE SPONGE
(Symbol)		POLYSTICHUM MUNITUM	WESTERN SWORD FERN

PLANTED SIZE / REMARKS

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENT REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



FRONT YARDS

# BARNSTON DRIVE EAST

NO.	DATE	REVISION DESCRIPTION	DR.
2	17 MAY 26	NEW SITE PLAN	GD
1	17 MAR 27	NEW SITE PLAN	TRUM

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**  
**BARNSTON DRIVE & 177A STREET**  
**SURREY, BC**

DRAWING TITLE:  
**SHRUB PLANTING ENLARGEMENTS**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=10'-0"  
DRAWN: MM  
DESIGN: MM  
CHKD: MCV OF 5



16225TH-3.2P

PIMG PROJECT NUMBER: 16-228

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
2	17 MAY 25	NEW SITE PLAN	DO
1	17 MAR 27	NEW SITE PLAN	TRUM

CLIENT:

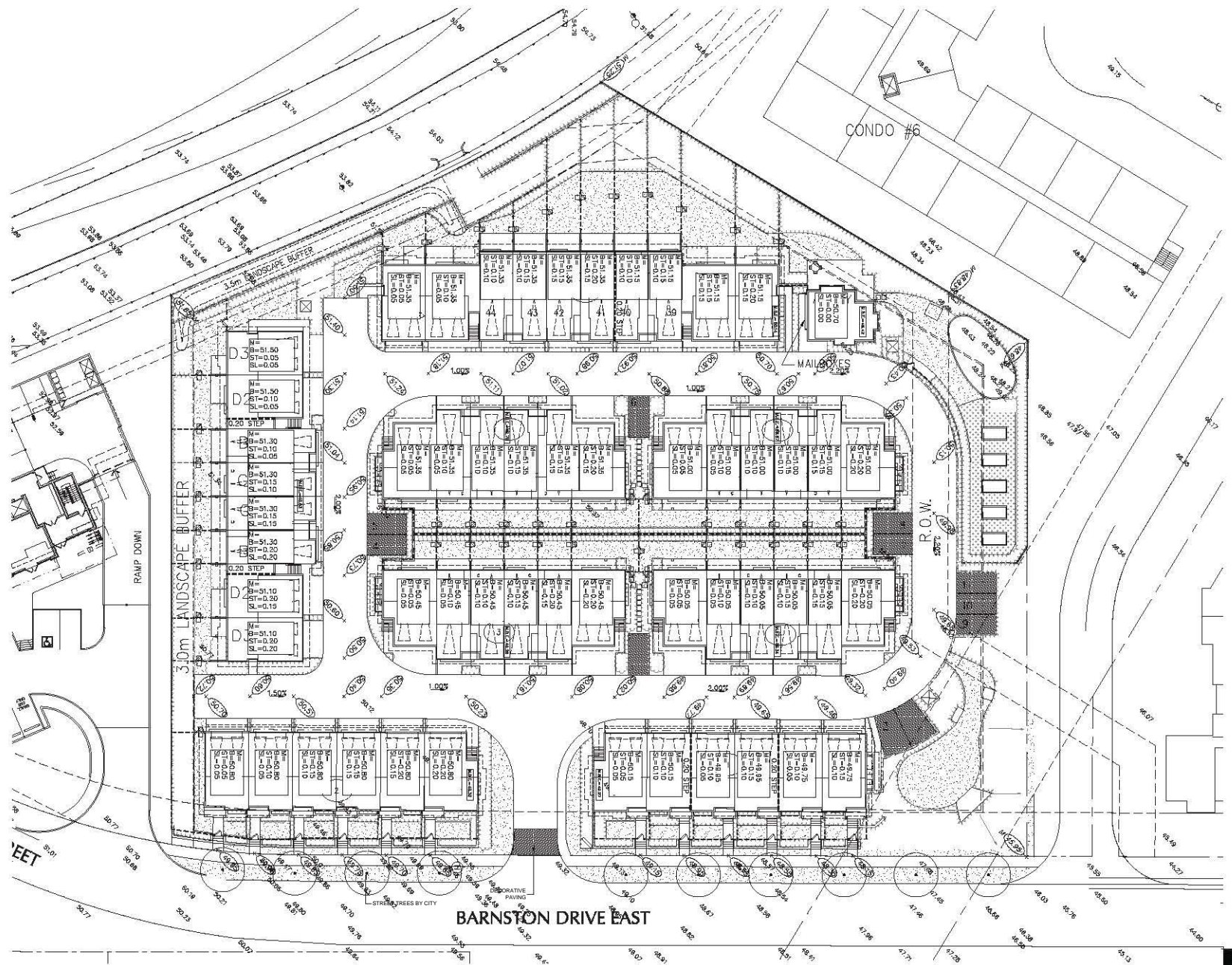
PROJECT:

**TOWNHOUSE DEV.**  
**BARNSTON DRIVE & 177A STREET**  
**SURREY, BC**

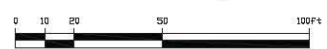
DRAWING TITLE:  
**GRADING PLAN**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=20'-0"  
DRAWN: DO **L3**  
DESIGN: MM  
CHKD: MCV **OF 5**

PMG PROJECT NUMBER: 16-228

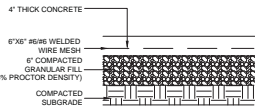


**BARNSTON DRIVE EAST**

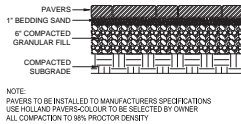


16228TH-3.2P

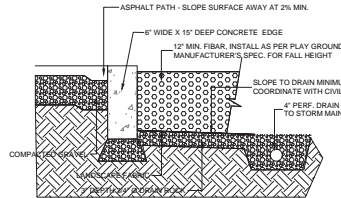
SEAL:



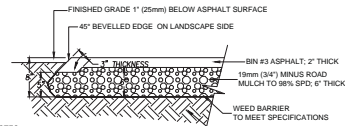
**1**  
CONCRETE PAVING  
1'-4'-0"



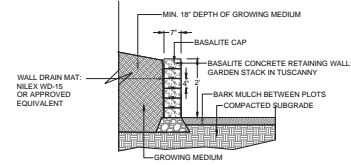
**2**  
PAVERS ON GRADE  
1'-4'-0"



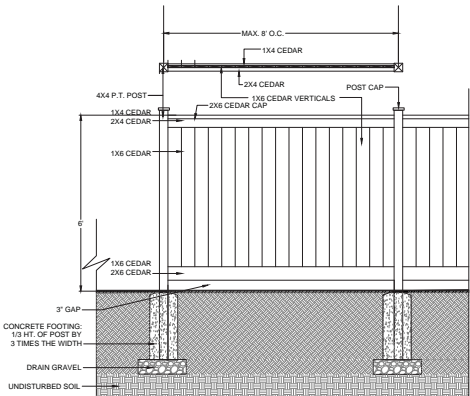
**3**  
PLAY EDGE  
1'-4'-0"



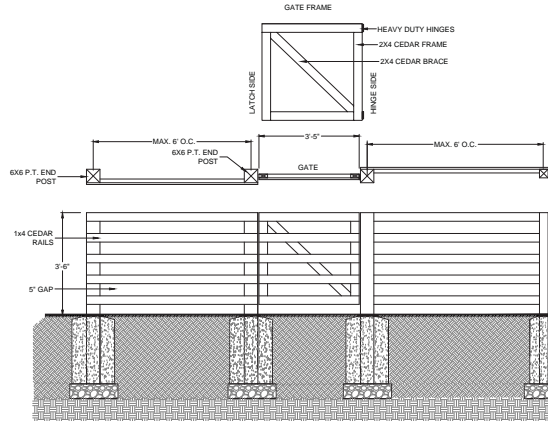
**4**  
ASPHALT PATH  
1'-4'-0"



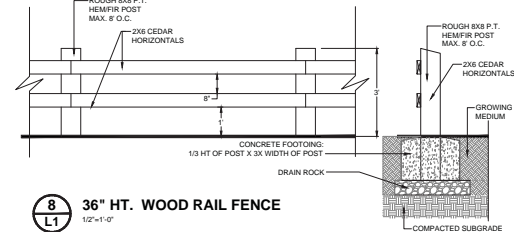
**5**  
GARDEN PLOTS  
1/2'-1'-0"



**6**  
6' HT. WOOD PERIMETER FENCE  
1/2'-4'-10"



**7**  
42" WOOD FENCE  
1/2'-4'-10"



**8**  
36" HT. WOOD RAIL FENCE  
1/2'-4'-10"


2	17 MAY 20	NEW SITE PLAN	GD
3	28 FEB 2020	NEW SITE PLAN	TMM/AM
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**  
BARNSTON DRIVE & 177A STREET  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 17 JAN. 05 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: MM  
DESIGN: MM  
CHKD: MCY

**L4**  
OF 5



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**pmg**  
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia V5C 6G9  
p. 604 294-0011 • f. 604 294-0022

SEAL:


2	17 MAY 25	NEW SITE PLAN	GD
3	28 FEB 2020	NEW SITE PLAN	TW/MW
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

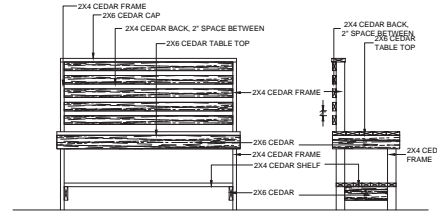
**TOWNHOUSE DEV.**  
BARNSTON DRIVE & 177A STREET  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: MM  
DESIGN: MM  
CHKD: MCY

**L5**  
OF 5

16228TH-3.2P PMG PROJECT NUMBER: 16-228



NOTES: ALL CEDAR TO BE NO. 2 GRADE OR BETTER, FREE OF SPLINTERS  
ALL PIECES TO BE SCREWED TOGETHER

**9**  
L1 **POTTING TABLE/ BENCH**  
1/2" = 1'-0"



**10**  
L1 **WISHBONE INDUSTRIES - NEW YORK CHAIR**  
CN - RED



**11**  
L1 **WISHBONE INDUSTRIES - PICNIC TABLE**  
SINGLE RECTANGULAR PICNIC TABLE - SPF/SPF-40, SAND SLATS & TEXTURED BLACK FRAME



**12**  
L1 **WISHBONE INDUSTRIES - BIKE RACK**  
SURF BIKE RACK, SFBRG-5, TEXTURED BLACK



**13**  
L1 **GARDEN SHED - CEDAR SHED INDUSTRIES**  
DOUBLE DOOR, LEAN-TO SHED, WITH 2 COATS OF CLEAR STAIN

16228TH-3.2P PMG PROJECT NUMBER: 16-228

BLOCK PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW  
 NO. \_\_\_\_\_ OVER LOT 1 DISTRICT LOT 389A AND 390A  
 GROUP 2 N.W.D. PLAN BCP49206

BCGS 92G.017  
 CITY OF SURREY  
 SCALE 1:1500

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREAS
BLOCK A	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	3947.4 m <sup>2</sup>
BLOCK B	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	10734.1 m <sup>2</sup>



NUM	ARC	RADIUS
C1	34.221	165.772
C2	19.815	145.780
C3	53.158	95.000
C4	23.389	95.000
C5	55.395	106.500

Derived from Land Title and Survey Authority records this 3rd day of March, 2017



Larin Levac BCLS 881

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**DHALIWA AND ASSOCIATES**  
 LAND SURVEYING INC.  
 #216 12899-76th Avenue  
 Surrey, B.C. V3W 1E6  
 Phone: 604 501-6188  
 Fax: 604 501-6189  
 File: 0908001-Z03.DWG

**THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT**

**THIS DOCUMENT IS NOT VALID UNLESS  
 ORIGINALLY SIGNED AND SEALED**

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 18, 2017** PROJECT FILE: **7816-0037-00**

---

RE: **Engineering Requirements  
Location: 9933 Barnston Dr E**

### OCP AMENDMENT/LAP AMENDMENT

There are no engineering requirements relative to the OCP Amendment or the proposed Abbey Ridge LAP Amendment beyond those noted below.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Provide 0.5m wide statutory rights-of-way along Barnston Drive E.
- Provide additional statutory rights-of-way for drainage access.

#### *Works and Services*

- Construct 1.8m wide concrete sidewalk along Barnston Drive E frontage.
- Construct pedestrian crossing with refuge on Barnston Drive E.
- Install street lighting on the west side of Barnston Drive E along site frontage.
- Resolve downstream sanitary constraint if applicable.
- Register restrictive covenant for on-site detention and for water quality/sediment control.
- Secure outside agency approvals as applicable.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Rémi Dubé, P.Eng.  
Development Services Manager

HB4



Thursday, March 16, 2017  
 Planning

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There is enough space at Bothwell Elementary to accommodate additional enrolment. An addition to Fraser Heights Secondary was completed in April 2014, increasing the school's nominal capacity from 1000 to 1200 + Neighbourhood Learning Centre. Fraser Heights Secondary still has some capacity constraints. With the potential increase in residential development associated with the Abbey Ridge Local Area Plan, the school district is currently evaluating future capital requests for this area.

**THE IMPACT ON SCHOOLS**

**APPLICATION #:** 16 0037 00

**SUMMARY**

The proposed 54 townhouse units and 51 lowrise units are estimated to have the following impact on the following schools:

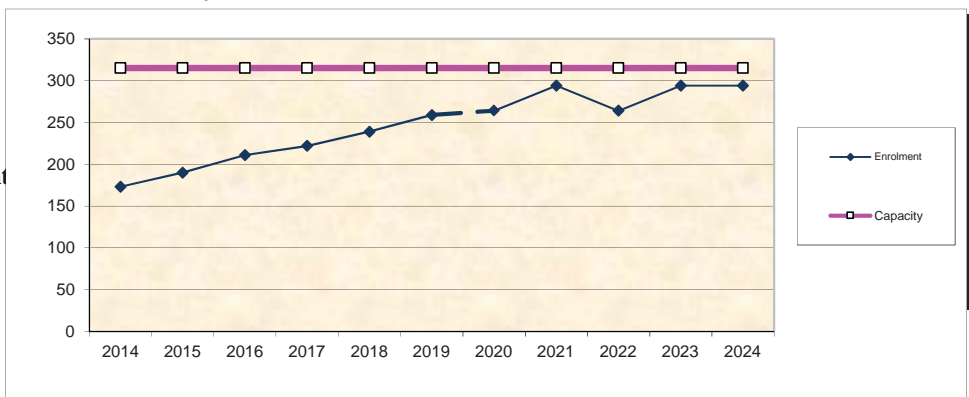
**Projected # of students for this development**

Elementary Students:	13
Secondary Students:	7

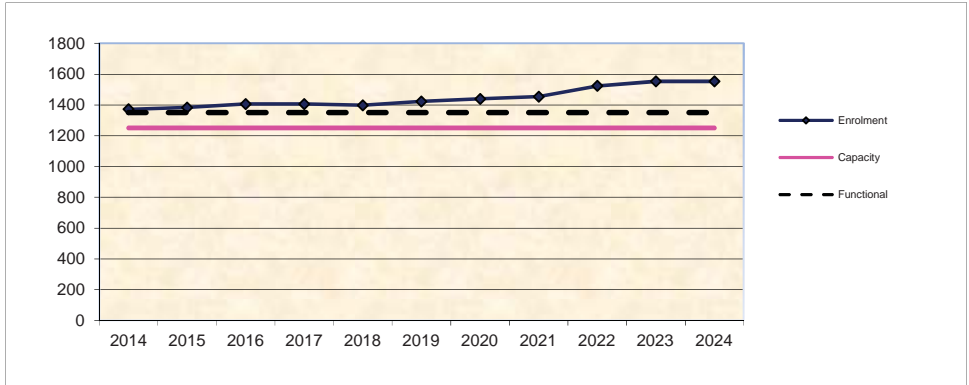
September 2018 Enrolment/School Capacity

<b>Bothwell Elementary</b>	
Enrolment (K/1-7):	26 K + 185
Capacity (K/1-7):	40 K + 275
<b>Fraser Heights Secondary</b>	
Enrolment (8-12):	1405
Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

**Bothwell Elementary**



**Fraser Heights Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



# Advisory Design Panel Minutes

## Present:

Chair – K. Johnston  
 M. Enns  
 M. Lesack  
 M. MacCaull  
 S. McFarlane  
 D. Nelson  
 A. Scott  
 D. Staples  
 M. Younger

## Guests:

L. Barnett, Barnett Dembek Architects Ltd.  
 M. Chan-Yip, PMG Landscape Architects  
 R. Bernstein, Chris Dikeakos Architects  
 J. Basran, Chris Dikeakos Architects  
 J. McDougall, Perry & Associates  
 R. Jenkins, WestStone Group  
 V. Jeon, WestStone Group  
 M. Ciriello, Lo Studio Architecture Inc.  
 M. Mitchell, M2 Landscape Architecture

## Staff Present:

M. Rondeau, Acting City Architect,  
 Planning & Development  
 L. Luaifoa, Legislative Services

## A. RECEIPT OF MINUTES

It was Moved by D. Staples  
 Seconded by M. Younger  
 That the minutes of the Advisory Design  
 Panel meeting of February 9, 2017 be received.  
Carried

## B. NEW SUBMISSIONS

1. 4:00 PM

<b>File No.:</b>	7916-0037-00
<b>New or Resubmit:</b>	New
<b>Last Submission Date:</b>	N/A
<b>Description:</b>	OCP/NCP Amendment, Rezoning and DP to permit a 5-storey mixed-use building containing approximately 51 residential dwelling units and 375 sq. m. of ground floor commercial with underground and above grade parking on proposed Lot A.
<b>Address:</b>	<b>9933 Barnston Drive East in Fraser Heights/Abbey Ridge</b>
<b>Developer:</b>	Joe Dhaliwal, Mainland Contracting
<b>Architect:</b>	Lance Barnett, Barnett Dembeck Architect Inc.
<b>Landscape Architect:</b>	Mary Chan Yip, PMG Landscape Architects
<b>Planner:</b>	Donald Nip
<b>Urban Design Planner:</b>	Mary Beth Rondeau

The Acting City Architect provided the following comments:

- Staff has no specific issues with use, form and density.

- There are concerns from the surrounding neighbourhood with the reduced amount of commercial for local uses.
- The masterplan shows 4 storeys visible along the highway for future phases which this proposal meets the intent.
- As part of the project, an acoustics assessment will be completed and highway lighting will be considered.

The **Project Architect** presented an overview of the site plan, building plans, streetscapes and elevations. The following was highlighted:

- Single Family homes are situated to the east of the project site with proposed townhouses on the site to the north. Multifamily condos are proposed for the area to the east of the subject site.
- Parking spaces at grade are provided for the commercial units.
- Regarding sustainability, 20% of materials are manufactured and supplied within 800 km of the project site. Materials will be used that require low maintenance.

The **Landscape Architect** presented an overview of the Landscape plans and highlighted the following:

- A 3.5 m planted buffer located along Barnston Drive consists of evergreen, coniferous and deciduous trees.
- Outdoor amenity will take advantage of north views of mountains framed in structural elements.

#### **ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

**OCP/NCP Amendment, Rezoning and DP to permit a 5-storey mixed-use building containing approximately 51 residential dwelling units and 375 sq. m. of ground floor commercial with underground and above grade parking on proposed Lot A.**

File No. 7916-0037-00

It was

Moved by M. Enns

Seconded by M. Lesack

That the Advisory Design Panel (ADP)

recommends C - that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

## STATEMENT OF REVIEW COMMENTS

The Design Panel supports the project in general and has no issues with use, form or density of the project.

### Site

- The site is well done for an irregular shape.
- Further consideration for the commercial parking area is needed paving i.e. paving, pedestrian access. Concern tight parking for turning.

### Building Form and Character

- Building materials, character and detailing could be more responsive to polarity of the different sides of the building with the highway on one side and the more trees in the large lots and mountain views on the other side. **A contrasting material has been added to the highway side.**
- Good relationship between the indoor and outdoor amenity spaces.
- One member suggested the addition of another storey on the building while another did not support additional height. **No adjustment.**
- Consider changes to colours used to improve the monotone feel such as changing the amount of beige Hardie Panel used. **Colours have been adjusted to add more contrast and variety.**
- The material samples shown should be better reconciled with the building. Stronger use of colour can enhance the building. **As above.**
- Retail seems a bit subterranean especially at the east. **Landscape/planter has been moved back to open up the site in front of CRUs.**
- Signage on the building could improve awareness from the street. **18" raised channel letters to be provided.**

### Landscaping **As per Landscape Consultants drawings.**

- Commend the "mountain frame" thematic. Recommend using this thematic/material/colour at the entry or with other furnishings.
- Consider selecting tree planning on south east side to allow for evening sun on residential patios.
- Consider an evergreen hedge on the west side as a buffer to residential patios.
- Recommend shift to east parking zone to provide a planted buffer to the east face of the building.
- Consider simplifying landscape materials. Currently there are 2 types of fencing; wood and metal.

**CPTED**

- CRU's 1 and 2 are isolated and more consideration should be given for adequate lighting during off hours. **Increased lighting at CRU level to be provided as recommended.**

**Accessibility**

- Suggest adding canopy over north east entry door. **Canopy is provided at entry.**

**Sustainability**

- Recommend the use of Energy Recovery Ventilators for suite ventilation. **Will be reviewed by Mechanical Consultants at the Building Permit stage.**
- Encourage the use of ducted ventilation to all living and bedroom spaces.
- Provide openable windows for bedrooms and living room. **Provided.**
- Encourage further development of site storm water management as the majority of the site is on structure or parking. **As per Civil Engineering drawings.**
- Consider design/detail of sunscreens to ensure passive solar protection is achieved. **Drapes and blinds to be used.**
- Consider rain garden/temporary water retention area in landscape bed at north south corner of site (adjacent to the parking lot). **As per Civil Engineering drawings.**

**D. NEXT MEETING**

The next Advisory Design Panel is scheduled for **Thursday, April 13, 2017.**

**E. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 7:00 p.m.

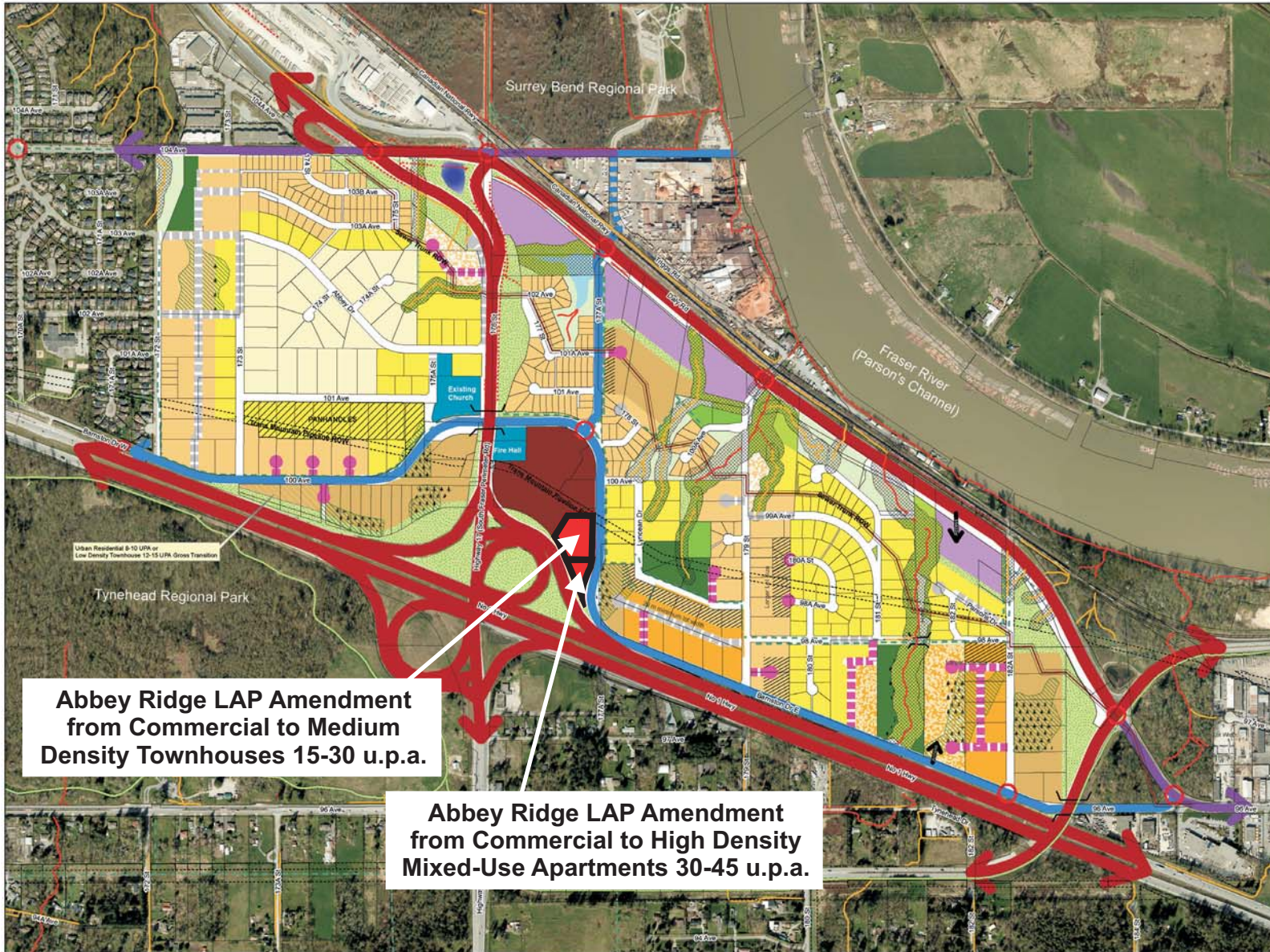
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Jane Sullivan, City Clerk

---

Kimberly Johnston, Chair  
Advisory Design Panel





**LEGEND**

**Land Use Designations**

- Acres Residential 1-2 UPA
- Suburban Residential 2-4 UPA Gross
- Urban Transition 4-5 UPA
- Low Density Cluster 4-6 UPA Gross
- Single Family Residential 4-6 UPA
- Medium Density Cluster 10-12 UPA Gross
- Urban Residential 8-10 UPA Transition
- Urban Residential 8-10 UPA
- Low Density Townhouse 12-15 UPA Gross Transition
- Low Density Townhouse 12-15 UPA Gross
- High Density Multiple Residential 30-45 UPA
- Neighbourhood Commercial
- Industrial
- Institutional
- Existing Natural Area
- Future Natural Area
- Existing Neighbourhood Park
- Future Neighbourhood Park
- Landscape Buffer
- Storm Water Pond
- Wet Land
- Tree Retention Area

**Transportation Network**

- Proposed City Greenway
- Railway
- Signalized Intersection
- Cul De Sac
- Flex Cul De Sac
- Provincial Highway
- Arterial 30m
- Collector 24m
- Future Collector 24m
- Proposed Local 20m
- Proposed Flex Local Road
- Proposed Local Lane 6m
- Proposed Greenways 4m
- In Service Greenways 4m

**Utilities & Other**

- SanitaryTrunkSewer\_ROW\_10m\_AbbyRidge
- SanitaryTrunkSewer\_AbbyRidge
- Significant Tree Stand
- Trans Mountain Pipeline ROW (18.6m)
- Stream Class A
- Stream Class B
- Buffer of Fishclass A and AO 30m
- Buffer of Fishclass B 15m

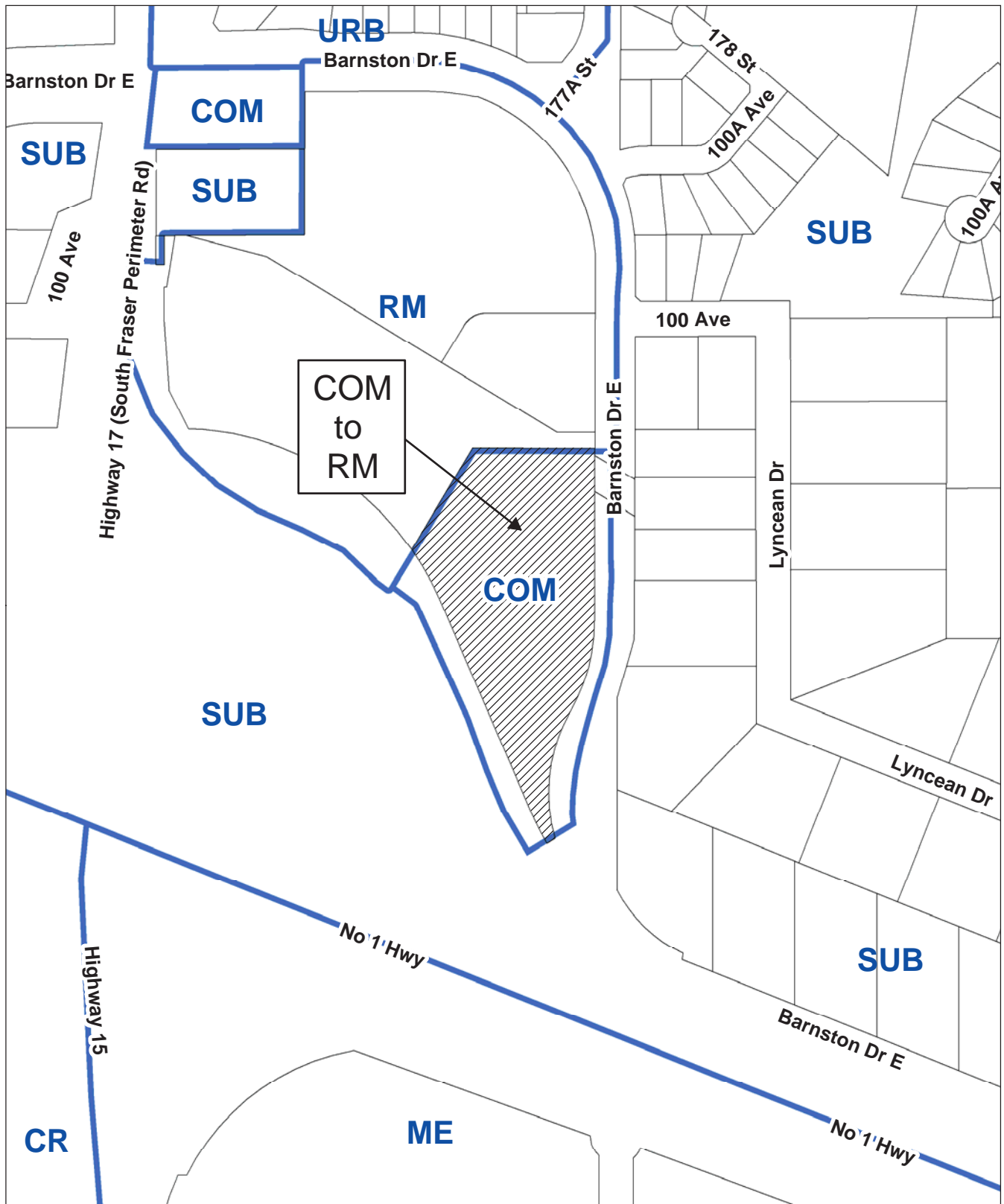
**Abbey Ridge LAP Amendment from Commercial to Medium Density Townhouses 15-30 u.p.a.**

**Abbey Ridge LAP Amendment from Commercial to High Density Mixed-Use Apartments 30-45 u.p.a.**

**Abbey Ridge Stage 2 - Land Use Concept Plan**

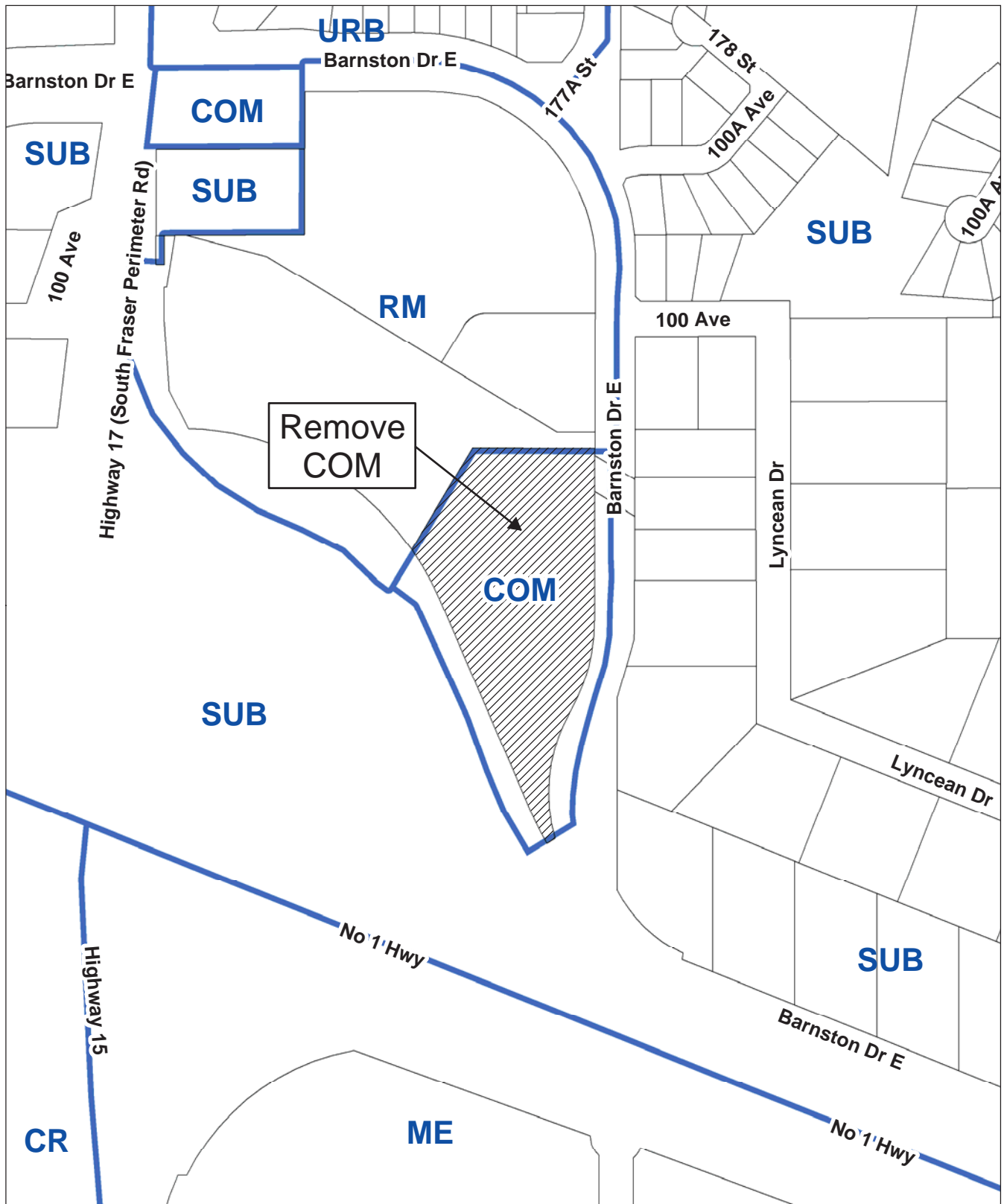
Approved by Council at it's Regular Council Meeting of February 6, 2017 - Resolution RES R17-383





OCP Amendment 7916-0037-00  
Proposed amendment from Commercial  
to Multiple Residential in Figure 3: General  
Land Use Designations





## OCP Amendment 7916-0037-00

Proposed amendment by removing  
Commercial designation in Figure 42: Major  
Employment Areas



BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM:           COMPREHENSIVE DEVELOPMENT ZONE (CD) (BY-LAW NOS. 17028 AND 17882) (SURREY ZONING BY-LAW, 1993, NO. 12000 AMENDMENT BY-LAW, 2011, NO. 17028 AND AMENDMENT BY-LAW, 2013, NO. 17882)

TO:               COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 028-675-096  
 Lot 1 District Lot 389A and 390A Group 2 New Westminster District Plan BCP49206  
 9933 - Barnston Drive East

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium density, mixed-use buildings, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Lorin Levac, B.C.L.S. on the 3<sup>rd</sup> day of March, 2017.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *secondhand stores* and *pawnshops*;
- (b) *Personal service uses* excluding *body rub parlours*;
- (c) *General service uses* excluding funeral parlours and *drive-through banks* and *rental vehicles*;
- (d) *Beverage container return centres*;
- (e) *Eating establishments* excluding *drive-through restaurants*;
- (f) *Neighbourhood pubs*;
- (g) *Liquor store*;
- (h) Office uses excluding *social escort services* and *methadone clinics*;
- (i) *Indoor recreational facilities*;
- (j) *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
- (k) *Child care centres*;
- (l) *Community services*; and
- (m) *Multiple unit residential building* may be provided subject to such use forming an integral part of the commercial uses on the *lot*.

2. Block B

- (a) *Multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.
- (b) *Child care centres*, provided that such centres:
  - i. Do not constitute a singular use on the *lot*; and
  - ii. Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the maximum *floor area ratio* shall be increased as follows:
  - (a) Block A: The *floor area ratio* shall not exceed 1.17; and
  - (b) Block B: The *floor area ratio* shall not exceed 0.80.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the airspace subdivision shall not exceed the maximum specified in Section D.2 of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

1. Block A
  - (a) The *lot coverage* shall not exceed 40%; and
  - (b) Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1(a) of this Zone.
2. Block B: The *lot coverage* shall not exceed 48%.

**F. Yards and Setbacks**

*Buildings and structures shall be sited in accordance with the following minimum setbacks:*

1. Block A

<b>Setback</b>	<i>Front</i>	<i>Rear</i>	<i>Side</i>	<i>Side</i>
	<i>Yard</i> (east)	<i>Yard</i> (west)	<i>Yard</i> (north)	<i>Yard</i> (south)
<b>Use</b>				
<i>Principal Buildings &amp; Accessory Buildings and Structures</i>	4.0 m. [13 ft.]	7.5 m. [25 ft.]	5.0 m. [16.5 ft.]	7.5 m. [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block B

<b>Setback</b>	<i>Front</i>	<i>Rear</i>	<i>Side</i>	<i>Side</i>
	<i>Yard</i> (east)	<i>Yard</i> (west)	<i>Yard</i> (north)	<i>Yard</i> (south)
<b>Use</b>				
<i>Principal Buildings</i>	5.0 m. [13 ft.]	7.5 m. [25 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]
<i>Amenity Space Building</i>	6.0 m. [20 ft.]	6.0 m. [20 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]
<i>All Other Accessory Buildings and Structures</i>	6.0 m. [20 ft.]	6.0 m. [20 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. The minimum setbacks of *principal buildings* and *accessory buildings* and *structures* from interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
4. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No.12000, as amended, decks, architectural features and roof overhangs may encroach 1.5 metre [4.5 ft.] into the required *setbacks*.
5. Notwithstanding Sub-section E.17(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than three risers may encroach into the required *setbacks*.

## G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

### 1. Block A

- (a) *Principal buildings*: The *building height* shall not exceed 19 metres [62.5 ft.]; and
- (b) *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

### 2. Block B

- (a) *Principal buildings*: The *building height* shall not exceed 12 metres [39.5 ft.];
- (b) *Indoor amenity space buildings*: The *building height* shall not exceed 11 metres [36 ft.]; and
- (c) *Other accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

## H. Off-Street Parking

### 1. Block A

- (a) Non-residential parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
- (b) Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended; and
- (c) All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

### 2. Block B

- (a) Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
- (b) All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*;
- (c) Parking within the required *setbacks* is not permitted;



- (d) *Tandem parking for ground-oriented multiple unit residential buildings* shall be permitted as follows:
- i. A maximum of fifty percent (50%) of all required resident *parking spaces* may be provided as *tandem parking spaces*, excluding *parking spaces* provided as *underground parking*;
  - ii. *Dwelling units* with *tandem parking spaces* shall not be permitted direct vehicular access to an adjacent *highway*;
  - iii. Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits;
  - iv. *Tandem parking spaces* must be attached to each *dwelling unit*; and
  - v. Both *tandem parking spaces* must be held by the same owner.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be:
  - (a) located within the *underground parking* or within a *building* on Block A as shown on the Survey Plan attached as Schedule A; and
  - (b) screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof, on Block B as shown on the Survey Plan attached as Schedule A.

## J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks* on Block B as shown on the Survey Plan attached as Schedule A; and

- (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
- 2. *Child care centres* shall be located on the *lot* such that these centre have direct access to an *open space* and play area within the *lot*.
- 3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

**K. Subdivision**

- 1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	
Block A	3,900 sq.m. [0.96 acre]
Block B	10,000 sq.m. [2.5 acres]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

- 1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. Prior to any use, the Block A *Lands* as shown on the Survey Plan attached as Schedule A, must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion.
- 3. Prior to any use, the Block B *Lands* as shown on the Survey Plan attached as Schedule A, must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone.
- 4. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
6. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
7. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
8. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
9. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion for Block A, and the development cost charges shall be based on the RM-30 Zone for Block B.
10. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
11. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
13. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_ MAYOR

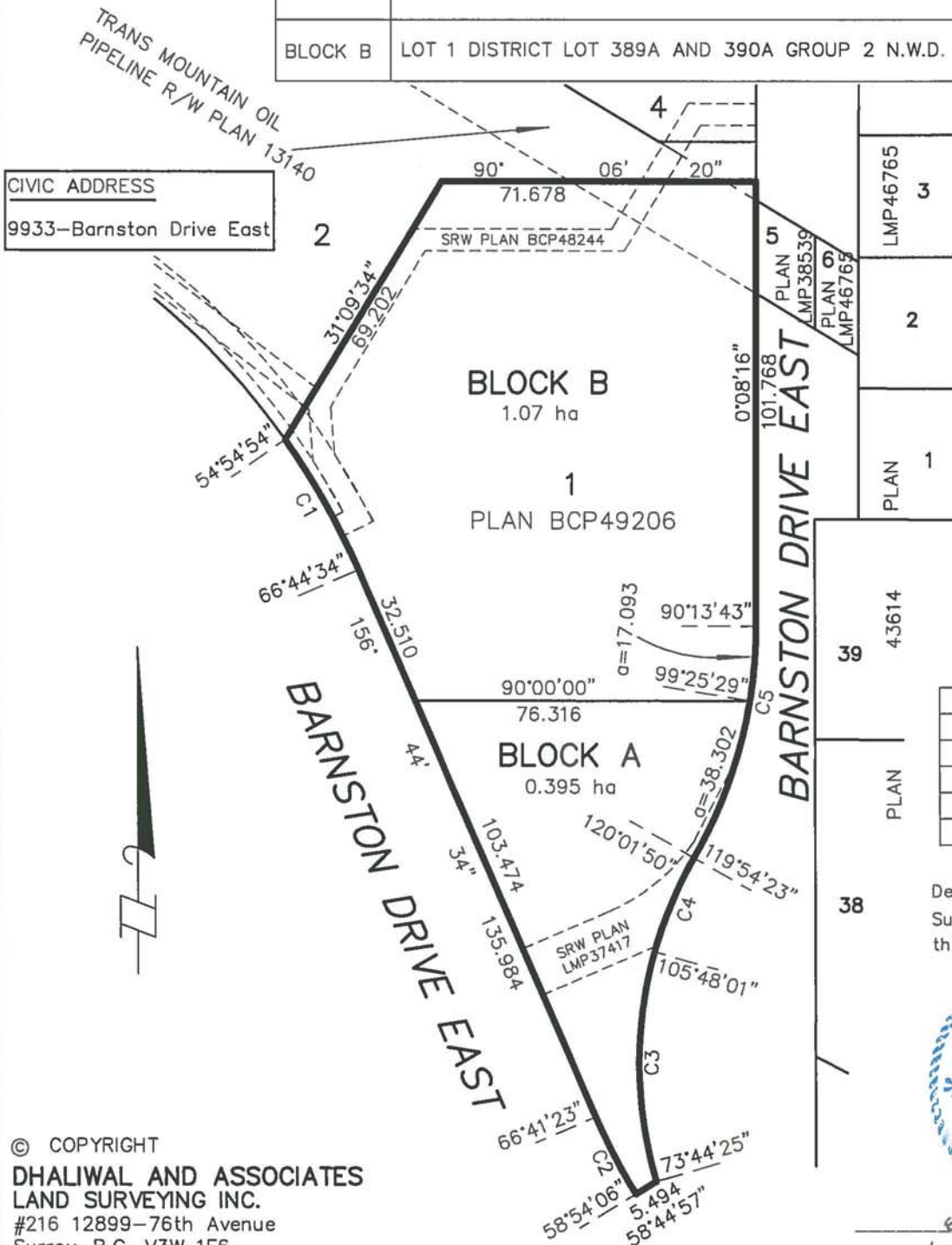
\_\_\_\_\_ CLERK

BLOCK PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW NO. \_\_\_\_\_ OVER LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206

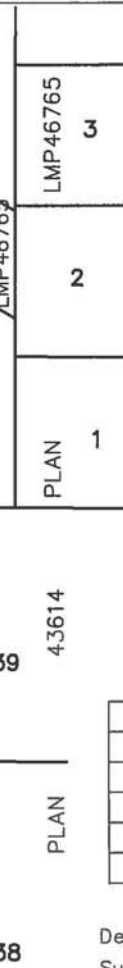
BCGS 92G.017  
CITY OF SURREY  
SCALE 1:1500

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREAS
BLOCK A	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	3947.4 m <sup>2</sup>
BLOCK B	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	10734.1 m <sup>2</sup>



CIVIC ADDRESS  
9933-Barnston Drive East



NUM	ARC	RADIUS
C1	34.221	165.772
C2	19.815	145.780
C3	53.158	95.000
C4	23.389	95.000
C5	55.395	106.500

Derived from Land Title and Survey Authority records this 3rd day of March, 2017



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DHALIWA AND ASSOCIATES  
LAND SURVEYING INC.  
#216 12899-76th Avenue  
Surrey, B.C. V3W 1E6  
Phone: 604 501-6188  
Fax: 604 501-6189  
File: 0908001-Z03.DWG

THIS PLAN LIES WITHIN THE  
GREATER VANCOUVER REGIONAL DISTRICT

THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED

Larin Levac BCLS 881



NOTE: SITE PLAN PREPARED BY  
 SURREY DESIGN ARCHITECTS

1 SITE PLAN  
 A2 SCALE: 1" = 100' NORTH