

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0265-00

Planning Report Date: November 8, 2021

PROPOSAL:

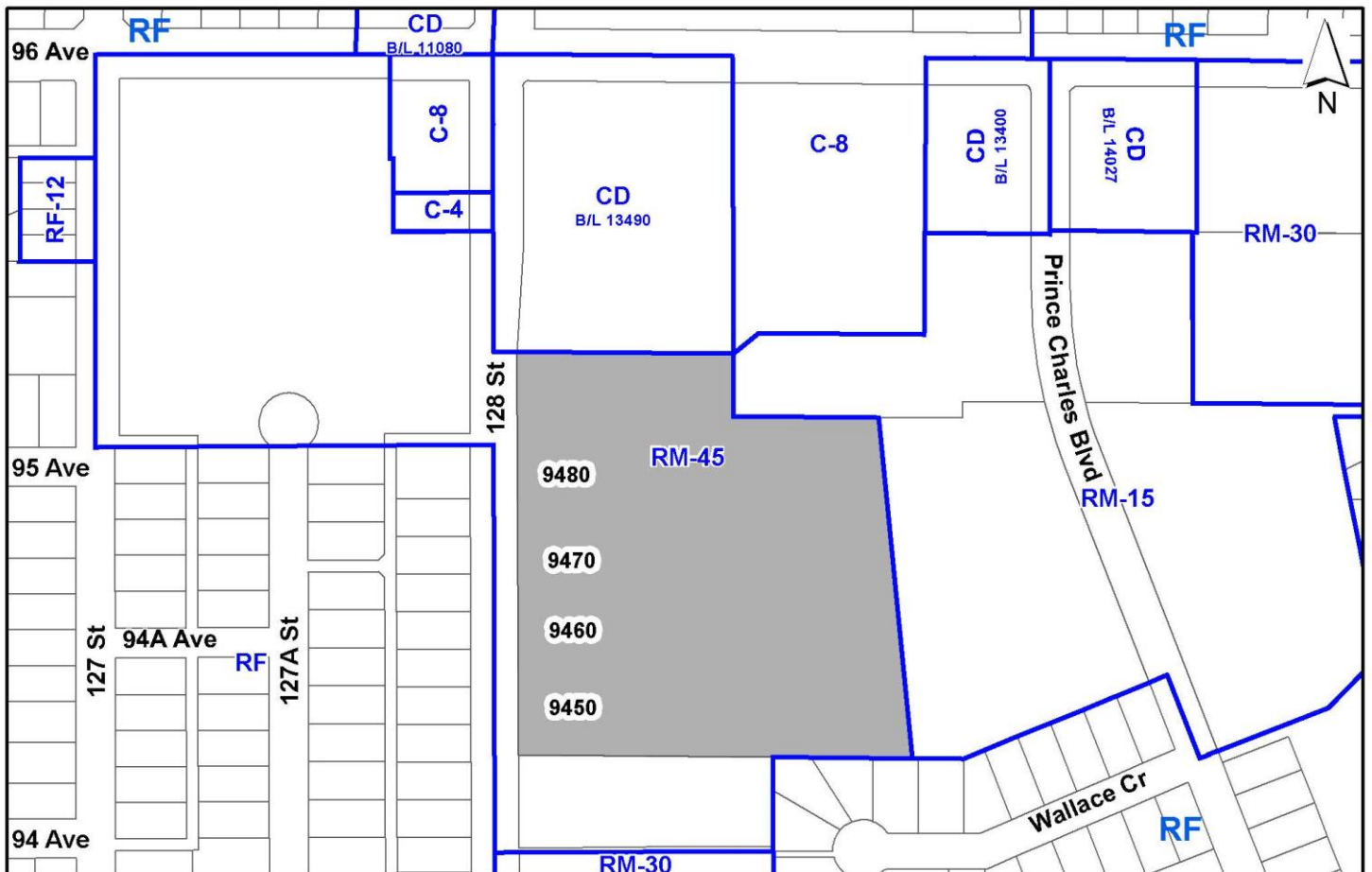
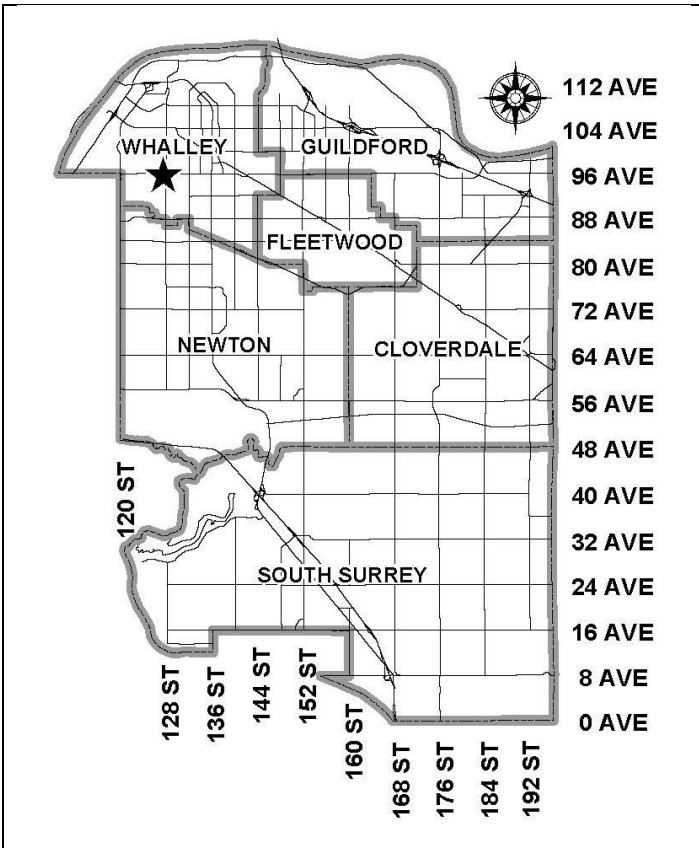
- **Development Variance Permit**

to reduce the required parking spaces and eliminate indoor amenity space requirements in order to allow for the development of 7 new residential rental dwelling units within an existing apartment development.

LOCATION: 9450, - 128 Street
 (9460, 9470 & 9480 - 128 Street)

ZONING: RM-45

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

The Planning & Development Department recommends that this application be denied.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Development Variance Permit to reduce the required number of parking spaces.
- The applicant is requesting to eliminate the required indoor amenity space for the proposed 7 additional dwelling units, and an overall reduction in indoor amenity space.

RATIONALE OF RECOMMENDATION

- Pacific Park Apartments is an existing residential, rental development constructed in 1974. The Development consists of four apartment buildings, each three-storays in height with a total of 295 units.
- The applicant is seeking to create 7 additional residential rental units within the existing four buildings, by converting existing indoor amenity and storage areas into residential dwelling units. In order to allow for this, a Development Variance Permit is required as the proposed parking spaces are below Zoning Bylaw requirements.
- A Development Permit is not required as the creation of the proposed rental units does not impact the form and character of the buildings, as the residential units are proposed to be located within existing floor area internal to the buildings.
- Staff is recommending that this application be denied for the following reasons:
 - the existing indoor amenity area is below the requirement of the RM-45 Zone and this application seeks to further reduce the indoor amenity area through the conversion of amenity and storage space to residential floor area, without a corresponding increase in amenity space to account for the new units;
 - the existing number of parking spaces is significantly below the requirements outlined under Part 5 of the Zoning Bylaw, Off-Street Parking and Loading/Unloading, and no additional parking spaces are proposed despite the overall increase in units; and
 - the proposed additional units do not have sufficient access to direct light and views, and therefore do not comply with livability policy direction and guidelines within the OCP.
- The applicant contends that the application has merits as proposed because the existing indoor amenity areas are underutilized, and a large number of the existing parking spaces are unoccupied. As well, there is a surplus of outdoor amenity area on the site.
- Furthermore, the applicant feels the variances are reasonable, given the minor increase in the number of units.

RECOMMENDATION

The Planning & Development Department recommends that this application be denied.

If Council is of the view that there are merits to the proposed variances, Council could refer the application back to staff to undertake a detailed review of the proposal, including a detailed urban design review and circulation of the required internal referrals.

This report is being forwarded to Council in advance of a full application review as staff do not support the application and it was not considered practical to undertake all of the work associated with refining and detailing the proposal until it is determined if Council is prepared to consider the proposed Development Variance Permits.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	3-storey residential development	Multiple Residential	RM-45
North:	Single-storey commercial development	Commercial	CD (Bylaw No. 13490)
East:	Two-storey townhouse development	Multiple Residential	RM-15
South:	Two-storey townhouse development and single family homes	Multiple Residential & Urban	RM-45 & RF
West (Across 128 Street):	Single family homes & 3-storey residential buildings	Urban & Multiple Residential	RF & RM-45

DEVELOPMENT PROPOSAL

Background Information

- On May 28, 2018 Development Application No. 7918-0017-00 (10425 – 150 Street) was brought forward for Council consideration. The application was similar in nature to the subject application with a proposed Development Variance Permit to reduce the required number of parking spaces and to eliminate the indoor amenity area requirement to permit 8 additional dwelling units to be constructed within an existing apartment building.
- Although staff recommendations in the Planning Report to Council were to support the Development Variance Permit for both the reduced parking and elimination of the indoor amenity area, the application was defeated by Council.

- Council defeated the application noting that the proposed units were not supportable as living spaces.

Planning Considerations

- The subject site is located at 9450 to 9480 – 128 Street, south of 96 Avenue.
- The property is designated Multiple Residential in the Official Community Plan and is not situated within a secondary plan.
- Pacific Park Apartments is an older residential, rental development constructed in 1974. The Development consists of four apartment buildings, each three-storeys in height with a total of 295 units.
- The applicant is seeking a Development Variance Permit to reduce the number of required parking spaces in order to allow for the development of 7 new residential rental dwelling units within the existing buildings on the site.
- The 7 new units are proposed to be located within all 4 of the existing buildings, within the interior "corners" of the L-shaped buildings, and are proposed to be a mix of studio, one-bedroom and three-bedroom units.
- As the existing Pacific Park apartments were constructed at a time when parking and indoor amenity requirements were less than that required today, the development is not in compliance with current bylaw requirements. As new construction within the development is proposed, the applicant is required to address current bylaw and building code requirements.
- The proposed parking variances results in a parking shortfall of 108 spaces. The proposed development therefore requires a Development Variance Permit to reduce the number of required parking spaces from 468 to 360.
- The applicant is requesting to eliminate the required indoor amenity space for the proposed 7 additional dwelling units, as well as an overall reduction in indoor amenity space.
- A Development Permit is not required as the addition of the proposed rental units does not impact the form and character of the buildings.
- The proposed 7 additional residential units would comply with all other requirements of the RM-45 Zone.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the General Urban designation in the Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The application complies with the Multiple Residential designation in the OCP.

PROJECT EVALUATION AND DISCUSSION

- Staff do not support the proposed development for the following reasons:

Urban Design and Livability Policy Compliance:

- There are a total of 7 units proposed within the existing 4 buildings. All units are proposed to be located within the interior corners of the L-shaped buildings.
- These interior corner locations pose a number of challenges for livable units including access to light, and views expanse.
- The Form and Character (Urban Design) Guidelines in the OCP provide policy direction to review residential units for livability. These guidelines focus on the long-term comfort and safety of residents. The guidelines recommend that all bedrooms have windows to the exterior for supply of light, air and views. They assume that primary living spaces, like living rooms, would also have windows with horizontal views to the exterior. The guidelines also recommend orienting residential units to face front or rear yards, not side yards, to expand horizontal views to the outside.
- As the proposed units are being located in functional space that was previously intended for amenity and storage rooms, the units are not well designed to maximize natural light access and external views.
- Further, the most recent updates to the OCP, approved by Council on March 4, 2021 under Corporate Report No. Ro48, recommends minimum low rise building separations to ensure adequate outlook from units. Its recommendations aim to have a horizontal view of at least 18 metres from primary living spaces and 6 metres for secondary rooms.
- The proposed additional units do not meet the intent of this guideline, with limited and interrupted views from living spaces.
- None of the proposed units meet the intent of the guidelines outlined above. With redesign of units, it is possible that one compliant unit per building could be achieved.
- Developing livable residential units in the interior corners of L-form buildings is always difficult. A successful outcome requires more exterior wall surface than this proposal has made available.
- Staff do not support the conversion of these functional spaces into additional residential units.

Parking:

- A Development Variance Permit is required to reduce the number of required parking spaces from 468 to 360.
- The proposed variances result in a parking shortfall of 108 spaces. The number of existing and proposed parking spaces is significantly below the Bylaw requirement. The number of parking stalls proposed, at 360, is greater than 20% below the requirement.
- The subject site is not located within close proximity to an existing Frequent Transit Network, but is located on a Future Frequent Transit Network, along 128 Street. The timing of the Future Frequent Transit Network is not known at this time.
- The applicant has provided the rationale that the reduction in parking spaces is warranted as a large number of the existing parking spaces are unoccupied.
- Staff recognize that the subject apartment development is an existing rental development and as such some reduction in parking likely has merit, however, a parking survey and study would need to be submitted in order to allow for a detailed review of the current parking usage. However, given staff's concern with the design and livability of the proposed units, staff do not support this requested variance.

Indoor Amenity Area:

- The existing indoor amenity area located in the 4 apartment buildings is currently 811 square metres. With the addition of 7 new units, the indoor amenity area requirement increases. The RM-45 Zone requires minimum 3 square metres of indoor amenity area per dwelling unit. The total requirement for the development is 885 square metres.
- However, as several of the proposed new units are in areas proposed to be converted from indoor amenity space, the applicant is proposing an overall reduction in the proposed indoor amenity area to 560 square metres.
- Therefore, the shortfall in indoor amenity area is 325 square metres.
- As outlined under General Provisions in the Zoning Bylaw, cash-in-lieu of indoor amenity may be considered, provided the minimum indoor amenity requirement is satisfied. The minimum indoor amenity requirement for the development is 74 square metres. Therefore, the indoor amenity area shortfall of 325 square metres could be addressed with the provision of cash-in-lieu.
- Staff do not support the elimination of indoor amenity space nor the provision of cash-in-lieu for the shortfall of indoor amenity because of the significant concerns regarding the proposed unit configurations, livability, and loss of amenity space.

Applicant's Rationale:

- The proposed project involves the conversion of some unused and underutilized spaces within the existing 4 buildings to create 7 new rental units.

- The proposed units are in response to public demand for the availability of more rental units.
- The 7 units are a mix of bachelor, one-bedroom and 3-bedroom units to provide some diversity.
- The new units have more outdoor private space than existing units in the building and 2 of the units also have interior courtyards.
- The proposal conforms to regulations related to occupancy, density, height, setbacks, and livable units.
- The existing complex of 4 buildings, built in the 1970's, does not meet the current requirements for parking and amenity space but the applicant feels these variances are reasonable given the minor increase in number of units.
- The existing parking provided on site is not used to capacity, with approximately 100 spaces generally unoccupied.
- The current parking provisions in the Zoning Bylaw would require 468 spaces resulting in over 200 vacant spaces on site. Given that the creation of new parking spaces would come at the expense of greenspace, a relaxation to the parking requirement to reflect the site-specific conditions is requested.
- The existing indoor amenity spaces in the complex are below the current Zoning requirements. While the total indoor amenity space will be reduced by the proposed unit conversion, this reduction in indoor amenity area is from eliminating areas that were unused/underutilized.
- The applicant intends to create a 77 square metre multi-purpose room, within the existing complex, that will benefit the residents for clubs, meetings, and social events such as birthday parties.
- The existing outdoor amenity space in the complex, 1,706 square metres exceeds the current Zoning requirement by 821 square metres with a current requirement of 885 square metres.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development would be subject to Tier 1 Capital Plan Project CACs as the proposed units comply with the existing Zoning and OCP designation.

PUBLIC ENGAGEMENT

- Pre-notification letters were not sent, and Development Notification signs were not installed as neither is required for Development Variance Permits.

CONCLUSION

- The Planning & Development Department recommends that this application be denied for the following reasons:
 - the existing indoor amenity area is below the requirement of the RM-45 Zone and this application seeks to eliminate the indoor amenity area requirement for the additional 7 units as well as a further reduction in overall indoor amenity space;
 - the existing number of parking spaces is significantly below the requirements outlined under Part 5 of the Zoning Bylaw, Off-Street Parking and Loading/Unloading, and no additional parking spaces are proposed; and
 - the proposed additional units do not have sufficient access to direct light, and view expanse, and therefore do not comply with livability policy guidelines within the OCP.
- On May 28, 2018 Development Application No. 7918-0017-00 (10425 – 150 Street) was brought forward for Council consideration. The application was similar in nature to the subject application and proposed a Development Variance Permit to reduce the required number of parking spaces and to eliminate the indoor amenity area requirement to permit 8 additional dwelling units to be constructed within an existing apartment building.
- Although staff recommendations in the Planning Report to Council were to support the Development Variance Permit for both the reduced parking and elimination of the indoor amenity area, the application was defeated by Council.
- Council defeated the application noting that the proposed units were not supportable as living spaces.
- If Council is of the view that there are merits to the proposed variances, Council could refer the application back to staff to do a detailed review of the proposal, including a detailed urban design review and circulation of the required internal referrals.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Proposed revised floor plans

approved by Ron Gill

Ron Gill
Acting General Manager
Planning and Development

IM/cm

CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE'S DIMENSIONS AND CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT SUPERVISION BY THE CONTRACTOR.

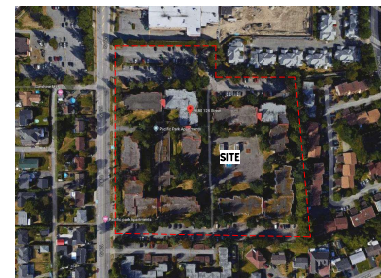
CONTRACTOR PERMITS: THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ARCHITECT AND SUBJECT TO CONDITIONS OF THE CONTRACTOR'S LICENSE.

CONTRACTOR SHALL BE RESPONSIBLE FOR:

- ALL DIMENSIONS AND VERTICAL SHALL AT LEAST COMPLY TO THE CURRENT EDITION OF ALL BC BUILDING CODES AND BY-LAWS APPLICABLE TO THE PROJECT.
- PROVIDING ARCHITECTURE WITH ALL NECESSARY INFORMATION TO OBTAIN APPROVAL FOR THE PROJECT TO THE SATISFACTION OF THE CONTRACTOR'S LICENSED ARCHITECT AND ALL APPLICABLE TO ANY OTHER PERMITS RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PRODUCED TO SUCH EXTENT AS TO BE GUARANTEED PER DOCUMENTS.
- ALL DIMENSIONS AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.

GENERAL NOTES:

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CONTEXT PLAN
N.T.S.

PROJECT SUMMARY

PROPERTY DESCRIPTION:

DEVELOPER: BRADBURY ARCHITECTURE
 LEGAL ADDRESS: 9480 128 STREET, SURREY, B.C. V4N 6W2
 LEGAL DESCRIPTION: LOT 443 SECTION 32 TOWNSHIP 2 PLAN W4/4/3/3 NMO PART N4 V/L PD 081-021-081
 CURRENT ZONING: M4-1
 MUNICIPAL: SECTION OF 7 UNITS THROUGH THE CONVERSION OF EXISTING STORAGE SPACES & CREATION OF NEW MULTI-PURPOSE AMENITY ROOM

LOT DIMENSIONS:

LOT SIZE: 375,667.67 sq' (504,763 SFI)
 TOTAL COVERAGE OF BUILDING: 6,309.68 sq' (89,610 SFI)
 MAX. ALLOWABLE LOT COVERAGE: 43%
 TOTAL LOT COVERAGE: 22.13%

FLOOR AREA DATA:

MAX. F.A.R. ALLOWABLE: 130
 MAX. EXISTING + 64%, PROPOSED + 66%

UNIT STATISTICS:

MAX. ALLOWABLE UNITS/ARECTARE: 111
 TOTAL SQUARE FEET ON LOT: 2,375
 MAX. DWELLINGS ALLOWED: 146/25
 TOTAL NO. OF DWELLINGS: 295

BUILDING HEIGHT:

MAX. BUILDING HEIGHT ALLOWED: 75'

BUILDING SETBACKS:

LOT LINE SETBACK: 75% FROM ALL LOT LINES

USE PARKING CALCULATION (AS PER TABLE C.1 PART 5 OF STREET PARKING AND LOADING, SURREY ZONING BY-LAW 10000)

TYPE OF AREA	NO. OF UNITS (20)	NO. OF UNITS (50)	REQ./UNIT SPACES
1 OR MORE BEDROOM DWELLINGS	102	100	13 SPACES / 28%
2 OR MORE BEDROOM DWELLINGS	129	127	15 SPACES / 19%
VISITOR PARKING	288	295	0.2 SPACES / 5%

TOTAL RESIDENT PARKING SPACES REQUIRED: 499
TOTAL SPACES WITHIN BUILDING ENVELOPE: 448

51% OF RESIDENT PARKING REQUIRED TO BE UNDERGROUND/WITHIN BUILDING ENVELOPE: 305

TOTAL PARKING SPACES PROVIDED: 360
TOTAL SPACES WITHIN BUILDING ENVELOPE: 448
TOTAL SPACES OUTSIDE OF BUILDING ENVELOPE: 314

BUILDING CODE ANALYSIS (AS PER TABLE B.03(2))

USE TYPE/PROPOSED CODE CLASSIFICATION:
 22.312 GROUP C - 10 TO 13 STOREYS
 BUILDING AREA LESS THAN 150K'²
 2 STOREYS
 1-10 FIRE RATINGS
 CORNERS/TOLE

EXISTING MIN-COMPLYING CONSTRUCTIVE BUILDING
BUILDING AREA EXCEEDS MAXIMUM ALLOWED PER BUILDING CODE 2018

WHERE NEW WORK IS BEING DONE WITHIN THE SUITES
 ALL WALL AND CEILING ASSEMBLIES BETWEEN UNITS
 1 HOUR FIRE RATINGS WITH AN OF SITE 50'
 ALL PENETRATIONS TO BE FIRE STOPPED AND
 LIGHTS AND FANS TO BE BOXED IN 2 LAYERS OF TYPE 'X' DRYWALL

DRAWING LIST

No.	SHEET NAME
AR00	COVER SHEET
AR01	BUILDING 1 EXISTING PLAN - GROUND FLOOR
AR02	BUILDING 2 EXISTING PLAN - GROUND FLOOR
AR03	BUILDING 3 EXISTING PLAN - GROUND FLOOR
AR04	BUILDING 4 EXISTING PLAN - GROUND FLOOR
AR05	BUILDING 1 EXISTING PLAN - SECOND FLOOR
AR06	BUILDING 2 EXISTING PLAN - SECOND FLOOR
AR07	BUILDING 3 EXISTING PLAN - SECOND FLOOR
AR08	BUILDING 4 EXISTING PLAN - SECOND FLOOR
AR09	BUILDING 1 PROPOSED PLAN - SECOND FLOOR
AR10	BUILDING 2 PROPOSED PLAN - SECOND FLOOR
AR11	BUILDING 3 PROPOSED PLAN - SECOND FLOOR
AR12	BUILDING 4 PROPOSED PLAN - SECOND FLOOR
AR13	BUILDING 1 EXISTING PLAN - THIRD FLOOR
AR14	BUILDING 2 EXISTING PLAN - THIRD FLOOR
AR15	BUILDING 3 EXISTING PLAN - THIRD FLOOR
AR16	BUILDING 4 EXISTING PLAN - THIRD FLOOR
AR17	BUILDING 1 PROPOSED PLAN - THIRD FLOOR
AR18	BUILDING 2 PROPOSED PLAN - THIRD FLOOR
AR19	BUILDING 3 PROPOSED PLAN - THIRD FLOOR
AR20	BUILDING 4 PROPOSED PLAN - THIRD FLOOR
AR21	APARTMENTS
AR22	SECTIONS, DETAILS, SCHEDULES

Amenity space, subject to Section 6(1), Part 4, General Provisions, shall be provided on the lot as follows:

- (a) Outdoor amenity space, in the amount of 5.0 sq. m per dwelling unit, and
- (b) Indoor amenity space, in the amount of 3.0 sq. m per dwelling unit, and
- (c) Outdoor amenity space, in the amount of 5.0 sq. m per dwelling unit, and
- (d) Indoor amenity space, in the amount of 3.0 sq. m per dwelling unit, and
- (e) Outdoor amenity space, in the amount of 5.0 sq. m per dwelling unit, and
- (f) Indoor amenity space, in the amount of 3.0 sq. m per dwelling unit.

74 sq. m

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	INITIAL RELEASE	2020-10-27

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

COVER SHEET

PROJECT NUMBER: 9917

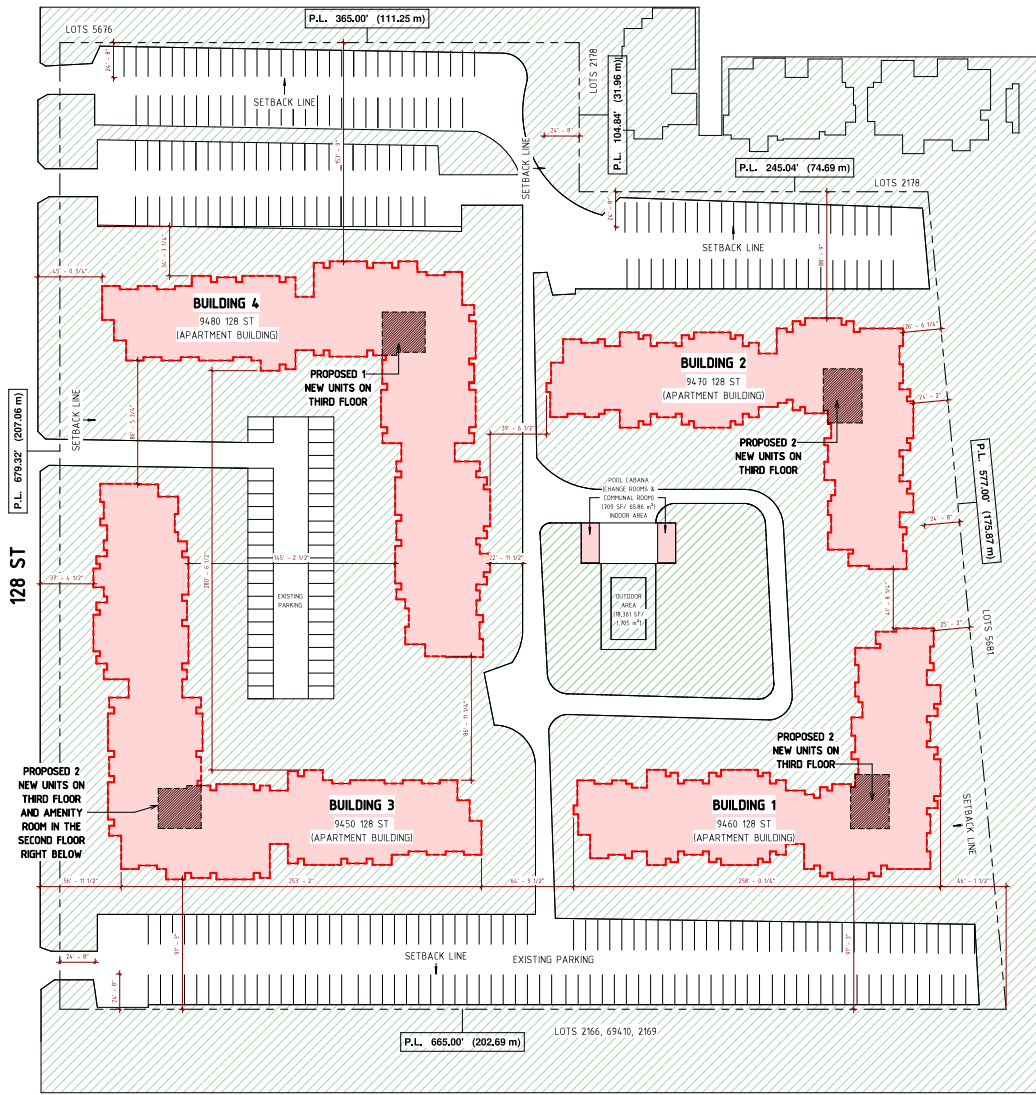
DATE: 2021-10-01

DRAWN BY: RS

CHECKED BY: MK

A0.00

SCALE: As Indicated



1 SITE
 1" = 40'-0"

128 ST
 P.L. 679.32' (207.06 m)

P.L. 365.00' (111.25 m)

P.L. 104.94' (31.96 m)

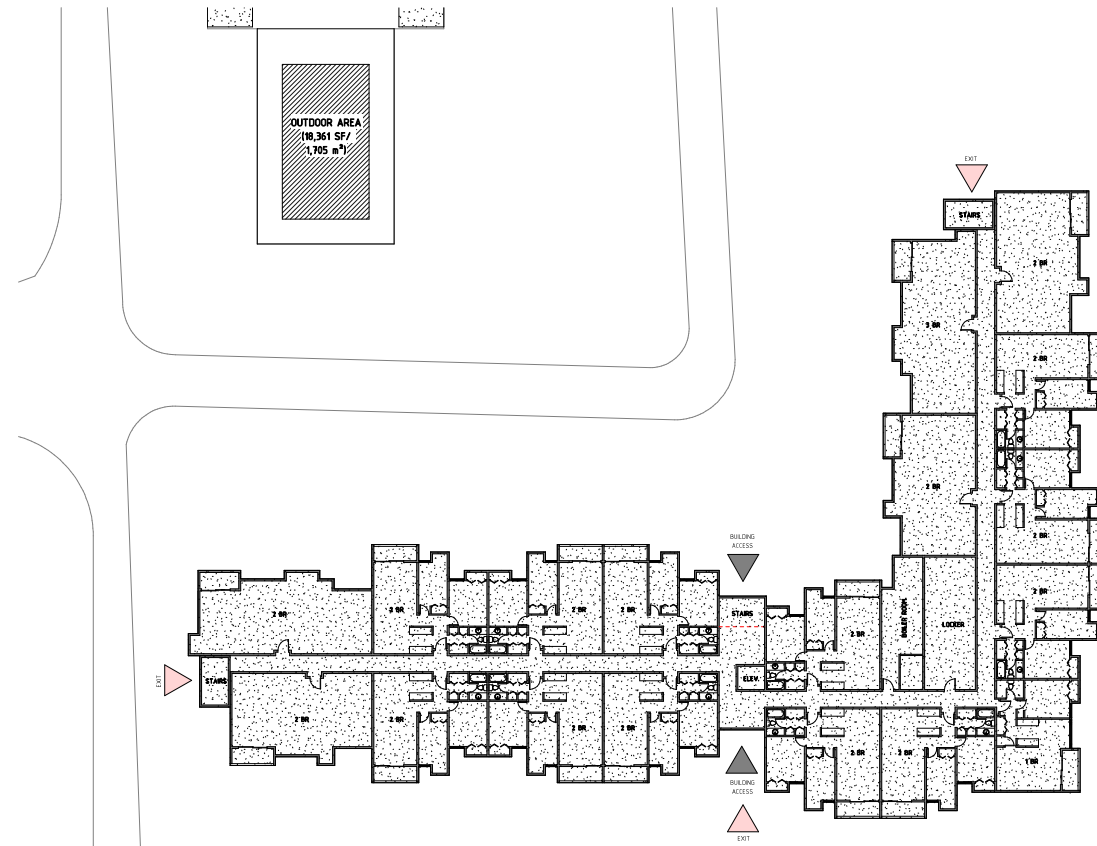
P.L. 245.04' (74.69 m)

P.L. 577.00' (175.87 m)

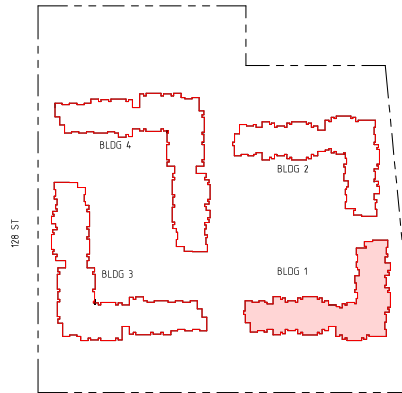
P.L. 665.00' (202.69 m)

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GENERAL NOTES:
 - THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY ERRORS, OMISSIONS, CONFLICTS OR INCONSISTENCIES AND CONTACT BRADBURY ARCHITECTURE IMMEDIATELY UPON DISCOVERY OF ANY SUCH DISCREPANCY. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT THE CONSENT OF THE CONTRACTOR.
 - DIMENSIONS FROM THE CONTRACT DOCUMENTS SUPERSEDE DIMENSIONS FROM THE ARCHITECT'S OR SUBJECT TO CORRECTION BY THE CONTRACTOR'S SURVEY.
 - WORK FINISHED SHALL BE SUBJECT TO BRADBURY ARCHITECTURE AND REVIEW AND APPROVAL FROM THE CONTRACTOR.
 - ALL DIMENSIONS AND NOTES SHALL AT LEAST CORRESPOND TO THE CURRENT EDITION OF ALL RELEVANT CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
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 - BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SUCH EXTENT AS TO BE GUARANTEED FROM DISCREPANCY.
 - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



1 EXISTING GROUND FLOOR - BUILDING 1
1/16" = 1'-0"



2 KEYPLAN - BUILDING 1 - GROUND FLOOR
1" = 100'-0"

**PLAN JUST FOR REFERENCE
GROUND FLOOR REMAINS UNCHANGED.**

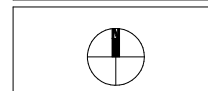
REVISIONS / ISSUES		DATE
NO.	DESCRIPTION	

PACIFIC PARK APARTMENT	
9450-9480 128 ST, SURREY, BC	
BUILDING 1 EXISTING PLAN - GROUND FLOOR	
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK
A1.00	
SCALE	As Indicated

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**PLAN JUST FOR REFERENCE
GROUND FLOOR REMAINS UNCHANGED.**

REVISIONS / ISSUES

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

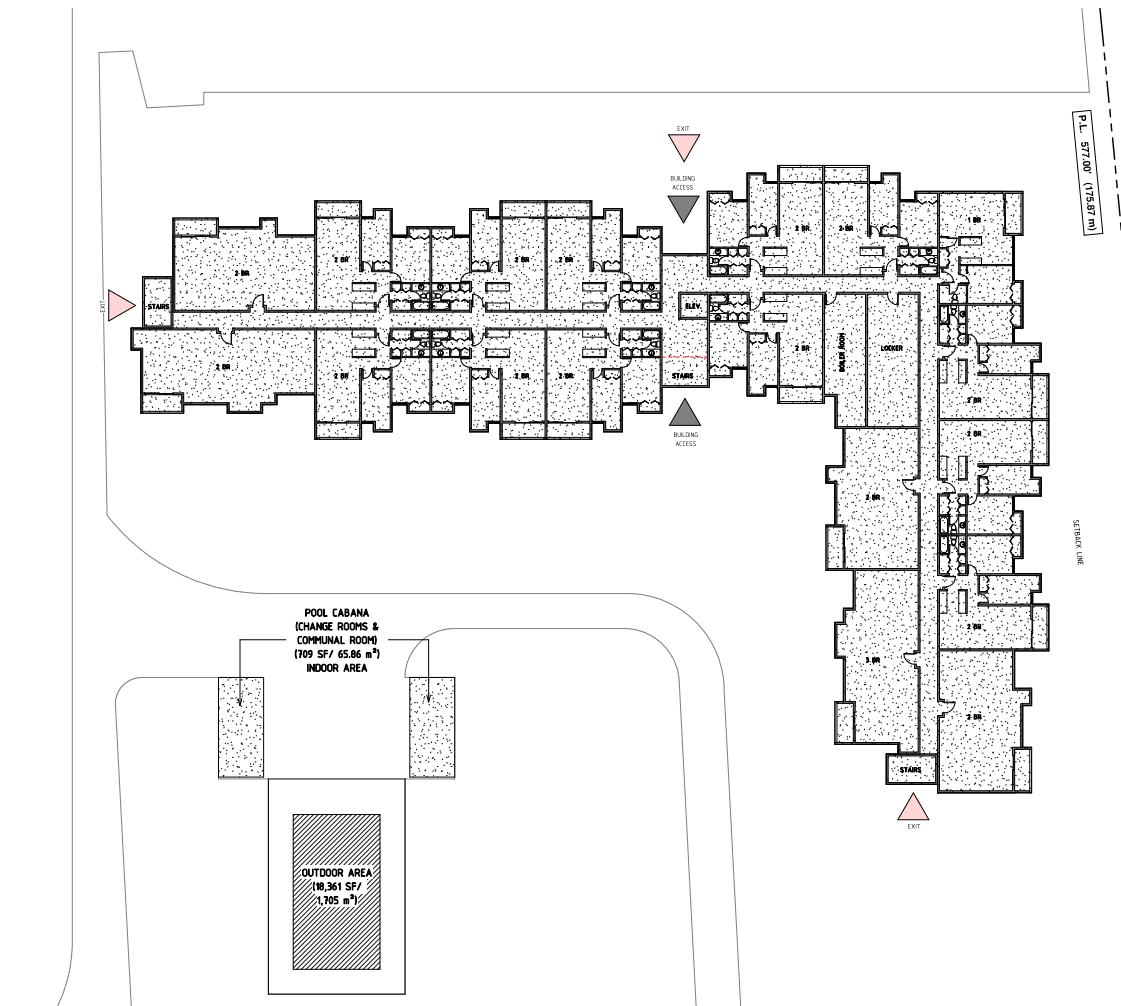
9450-9480 128 ST, SURREY, BC

BUILDING 2 EXISTING PLAN - GROUND FLOOR

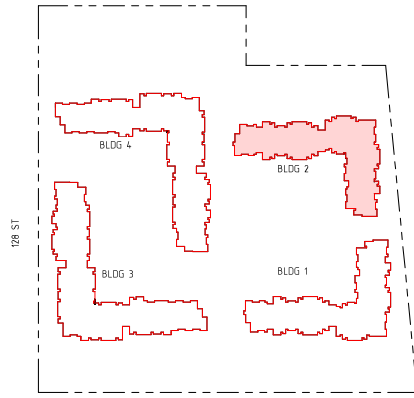
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.01

SCALE: As Indicated



① EXISTING GROUND FLOOR - BUILDING 2
1/16" = 1'-0"



② KEYPLAN - BUILDING 2 - GROUND FLOOR
1" = 100'-0"

PLST DATE: 06/2021 15:23:00 PDF

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GENERAL NOTES:
 - THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS IMMEDIATELY UPON THE DISCOVERY THEREOF TO CORRECT THEM.
 - BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT THE APPROVAL OF THE CITY OF VANCOUVER.
 - DIMENSIONS FROM THE CONTRACT OCCASION SURVEY ARE NOT APPLICABLE FROM THE ARCHITECT'S AND CONTRACTOR'S RESPONSIBILITY TO VERIFY DIMENSIONS ON SITE.
 - WORK FINISHED SHALL BE SUBJECT TO BRADBURY ARCHITECTURE'S REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - ALL DIMENSIONS AND MATERIALS SHALL AT LEAST COMPLY TO THE CURRENT EDITIONS OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
 - BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY OR CORRECT FOR THIS PROJECT THE DIMENSIONS OF THE CONTRACTOR'S EXISTING ARCHITECTURE AND ITS DIMENSIONS ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
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 - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
GROUND FLOOR REMAINS UNCHANGED.**

REVISIONS / ISSUES:

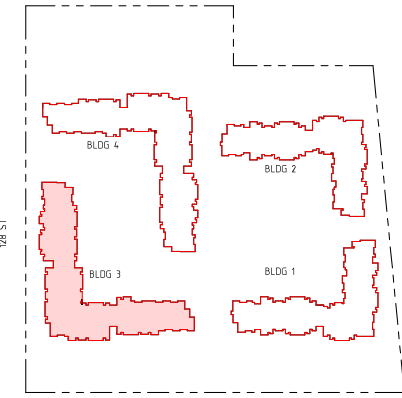
NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT
 9450-9480 128 ST, SURREY, BC
BUILDING 3 EXISTING PLAN - GROUND FLOOR

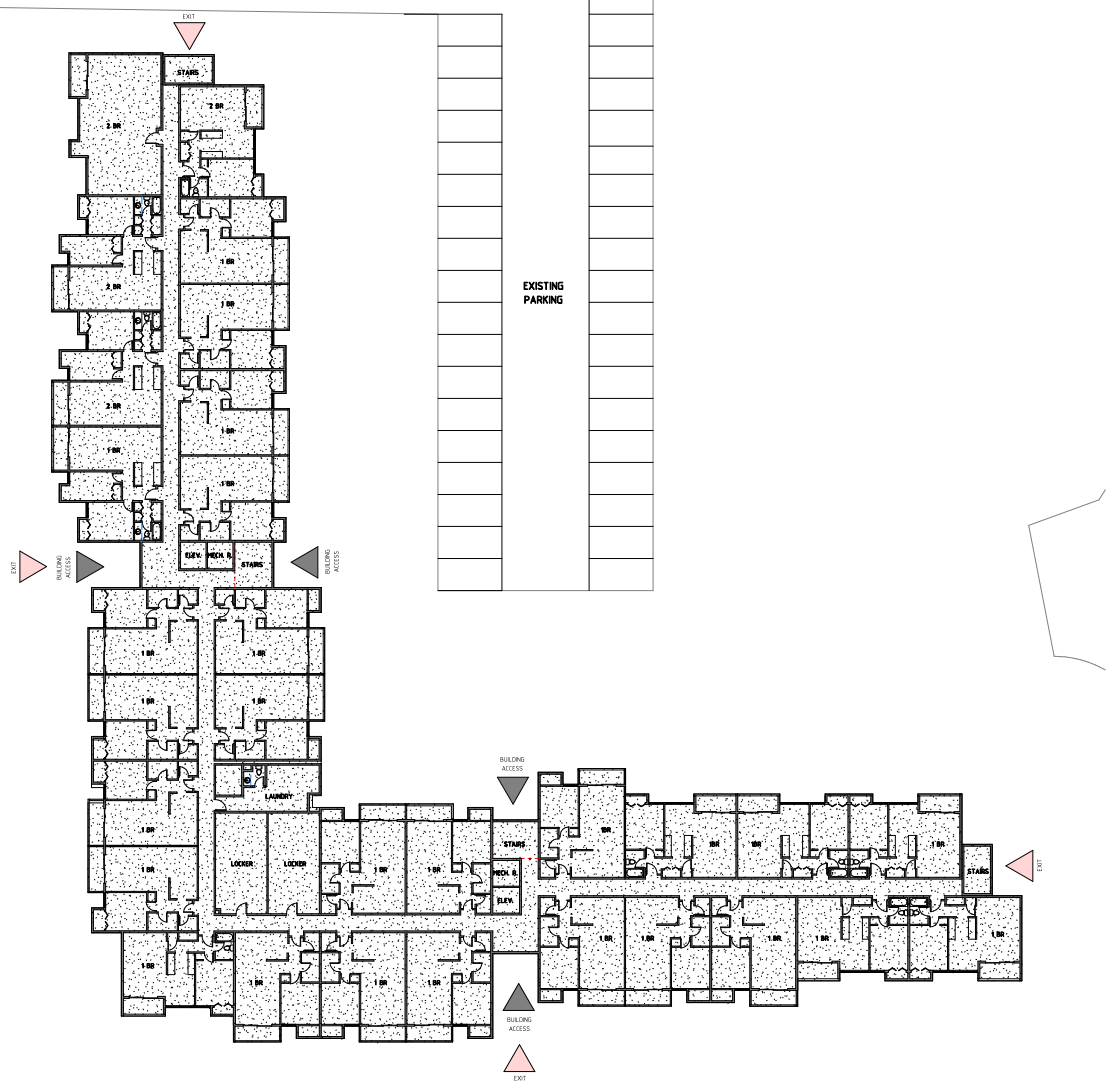
PROJECT NUMBER 1917
 DATE 2021-10-01
 DRAWN BY RS
 CHECKED BY MK

A1.02
 SCALE As Indicated

PLANT DATE: 20/10/2021 15:23:37 PST



② KEYPLAN - BUILDING 3 - GROUND FLOOR
 1" = 100'-0"



① EXISTING GROUND FLOOR - BUILDING 3
 1/16" = 1'-0"

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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, DISCREPANCIES MUST BE REPORTED AND CORRECTED IMMEDIATELY BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT CORRECTION OF THE CONTRACTOR.
- DISCREPANCIES FROM THE CONTRACT OCCURRING BETWEEN DRAWINGS APPROVED FROM THE ARCHITECT ARE SUBJECT TO CORRECTION BY THE CONTRACTOR'S SUPERVISOR.
- WORK FINISHED SHALL BE CORRECTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST COMPLY TO THE CURRENT EDITIONS OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY OR CHECK FOR THIS PROJECT THE EXISTENCE OF OR THE ACCURACY OF ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PRODUCED TO SCALE. DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
GROUND FLOOR REMAINS UNCHANGED.**

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

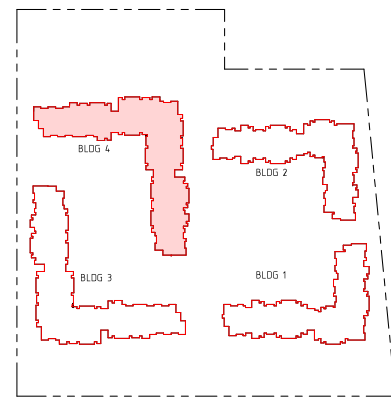
BUILDING 4 EXISTING PLAN - GROUND FLOOR

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.03

SCALE: As Indicated

PLANT DATE: 20/10/2021 10:43:23 AM



① KEYPLAN - BUILDING 4 - GROUND FLOOR
1" = 100'-0"

① EXISTING GROUND FLOOR - BUILDING 4
1/16" = 1'-0"

EXISTING
PARKING

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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE'S OF ANY DIMENSIONS, CONDITIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT DIMENSIONS FROM THE CONTRACT DOCUMENTS UNLESS OTHERWISE SPECIFIED.
- DIMENSIONS FROM THE CONTRACT DOCUMENTS UNLESS OTHERWISE SPECIFIED FROM THE ARCHITECT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.
- WORK SHOWN SHALL BE CORRECTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST CONFORM TO THE CURRENT EDITION OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE IN THE PROJECT JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY OR CHECK FOR THIS PROJECT THE CORRECTNESS OF THE CONTRACTOR'S MEASUREMENTS AND/OR DIMENSIONS AND NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SOCIAL DIMENSIONS SHALL NOT BE CALLED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
 BUILDING 1 SECOND FLOOR REMAINS
 UNCHANGED.**

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

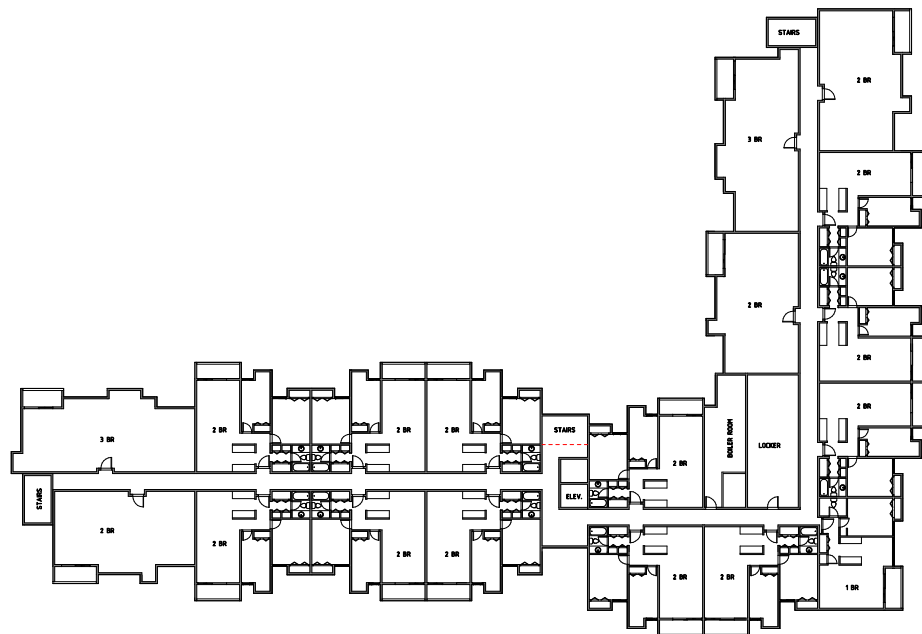
9450-9480 128 ST, SURREY, BC

BUILDING 1 EXISTING PLAN - SECOND FLOOR

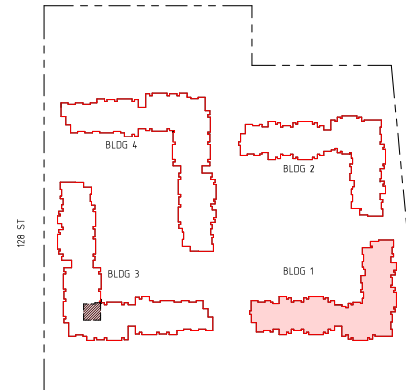
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.04

SCALE As Indicated



① EXISTING SECOND FLOOR - BUILDING 1
 1/16" = 1'-0"

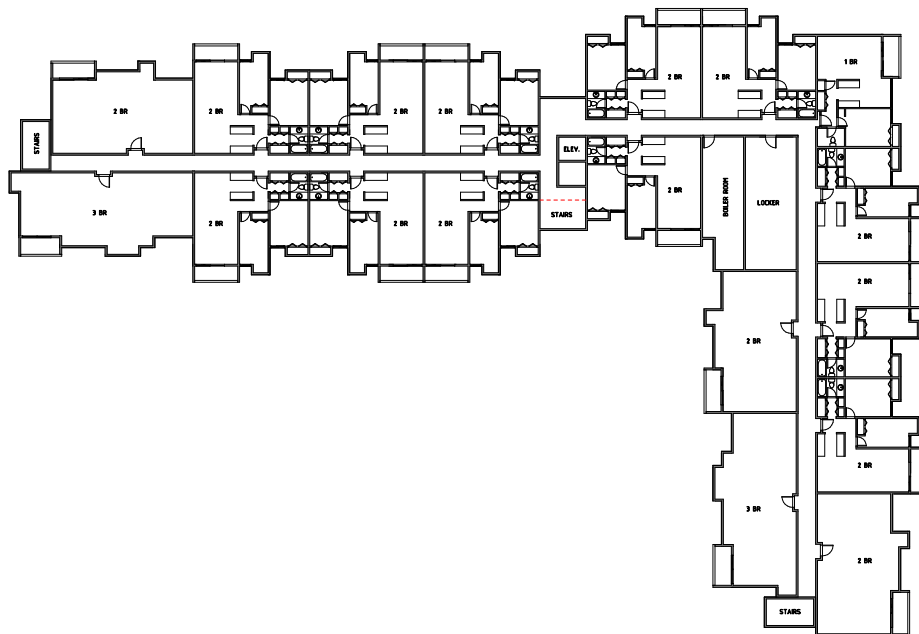


② KEYPLAN - BUILDING 1 - SECOND FLOOR
 1" = 100'-0"

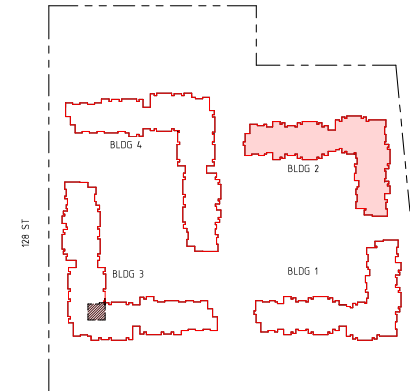
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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE'S OF ANY DIMENSIONS, CONDITIONS OR DISCREPANCIES AND CORRECTIVE ACTION AS THE SUBJECTS PRIOR TO COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT CORRECTION OF THE CONTRACTOR.
- CONDITIONS FROM THE CONTRACT DOCUMENTS APPLIED UNLESS OTHERWISE PROVIDED HEREIN ARE SUBJECT TO CORRECTIONS BY THE CONTRACTOR'S SUPERVISOR.
- WORK FINISHES SHALL BE CORRECTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND NOTICES SHALL AT LEAST COMPARE TO THE CURRENT RECORD OF ALL RECORDS AND BY-LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT TO THE EXTENT OF OR FOR CONSTRUCTION. BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SCALE. DIMENSIONS SHALL NOT BE SCALED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.



② EXISTING SECOND FLOOR - BUILDING 2
1/16" = 1'-0"



① KEYPLAN - BUILDING 2 - SECOND FLOOR
1" = 100'-0"

**PLAN JUST FOR REFERENCE
BUILDING 2 SECOND FLOOR REMAINS
UNCHANGED.**

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

BUILDING 2 EXISTING PLAN - SECOND FLOOR

PROJECT NUMBER 1917

DATE 2021-10-01

DRAWN BY RS

CHECKED BY MK

A1.05

SCALE As Indicated

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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, DISCREPANCIES FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT CORRECTION BY THE CONTRACTOR.
- DISCREPANCIES FROM THE CONTRACTED OCCUPANT SURVEY METHOD APPLICABLE FROM THE ARCHITECT ARE SUBJECT TO CORRECTION BY THE CONTRACTOR'S SURVEY.
- WORK FINISHED SHALL BE CHECKED BY BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND NOTICES SHALL AT LEAST COMPLY TO THE CURRENT EDITION OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY OR CHECK FOR THIS PROJECT THE ACCURACY OF OR CONSTRUCTION RELATED ARCHITECTURAL DETAILS. DIMENSIONS ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SOCIAL ENGINEERS SHALL NOT BE CREATED FROM DOCUMENTS.
- ALL DIMENSIONS AND IN SET AND NOTES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
REFER TO SHEET A2.00 FOR NEW AMENITY
SPACE LAYOUT IN BUILDING 3 SECOND
FLOOR.**

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW
	NEW

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

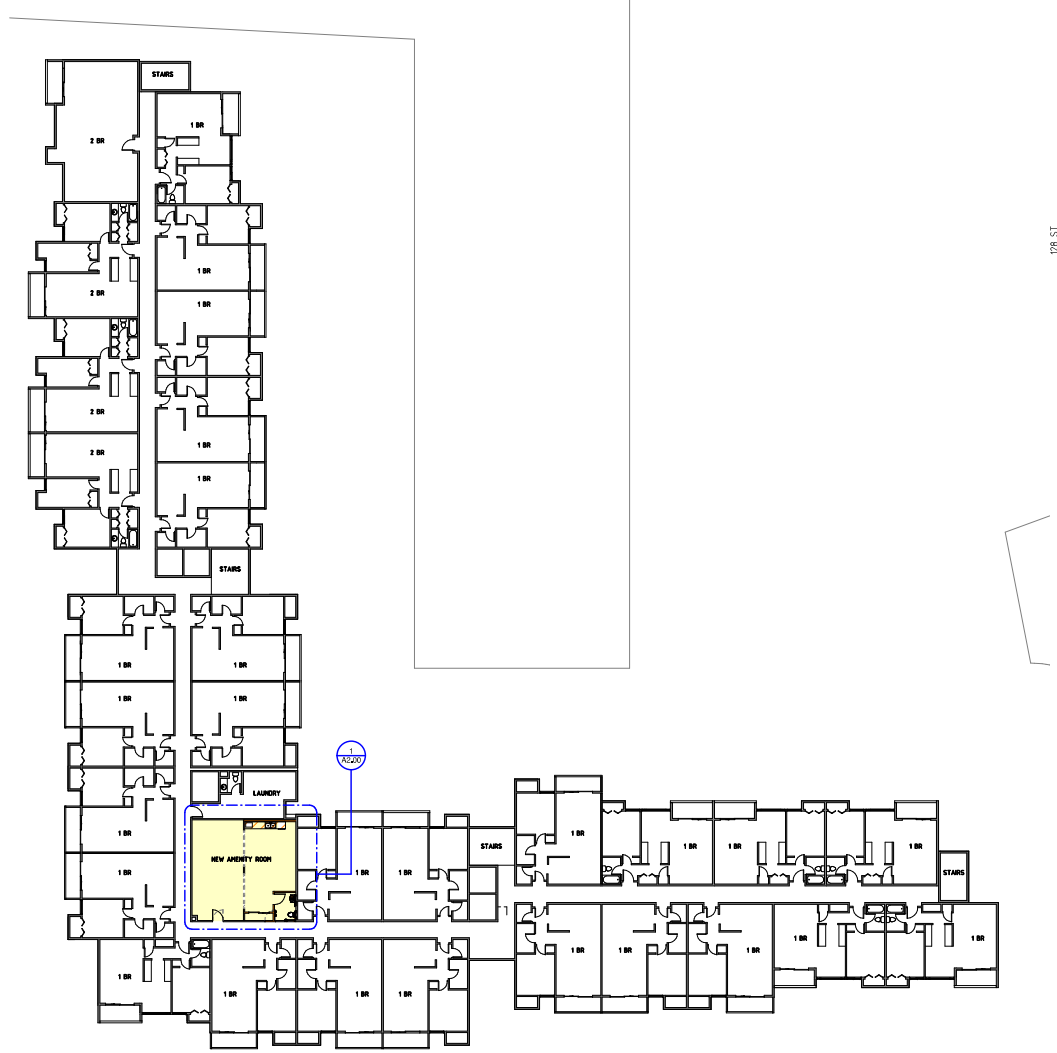
9450-9480 128 ST, SURREY, BC

BUILDING 3 PROPOSED PLAN - SECOND FLOOR

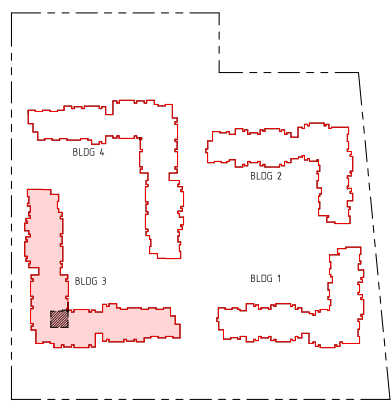
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.06

SCALE As Indicated



① PROPOSED SECOND FLOOR - BUILDING 3
1/16" = 1'-0"

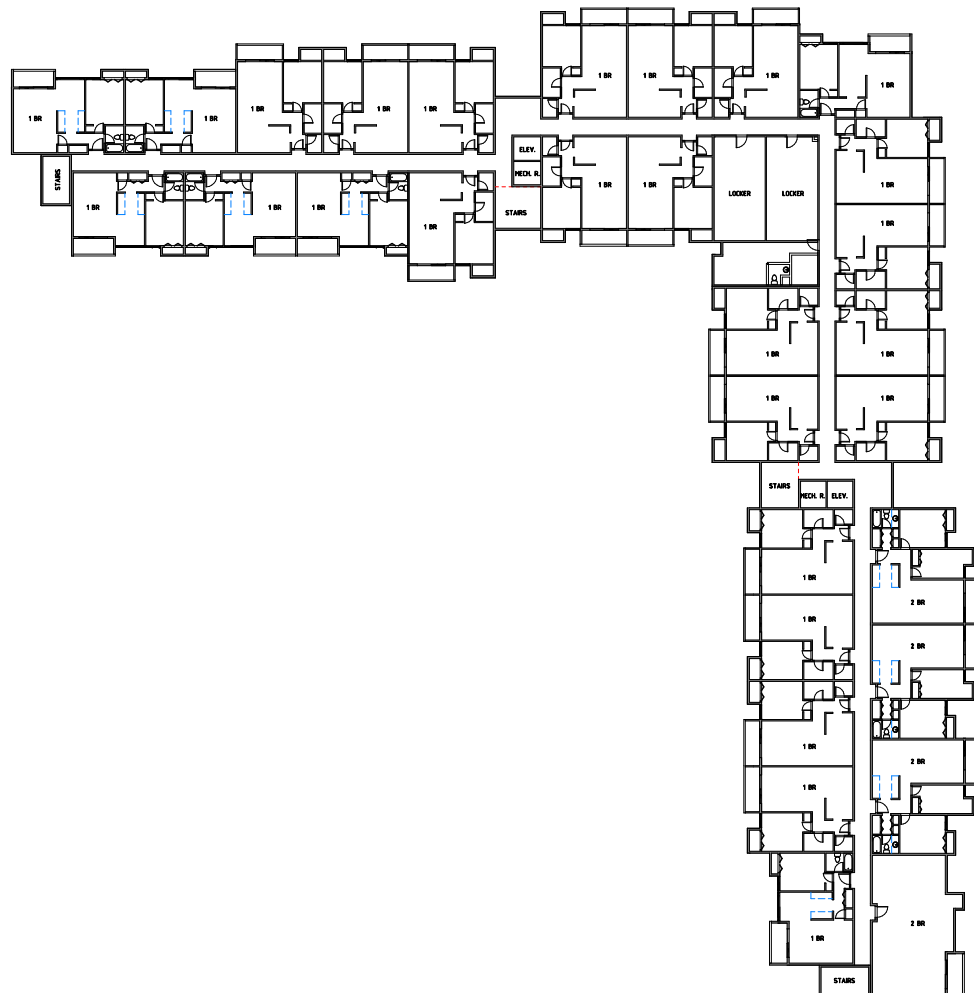


② KEYPLAN - BUILDING 3 - SECOND FLOOR
1" = 100'-0"

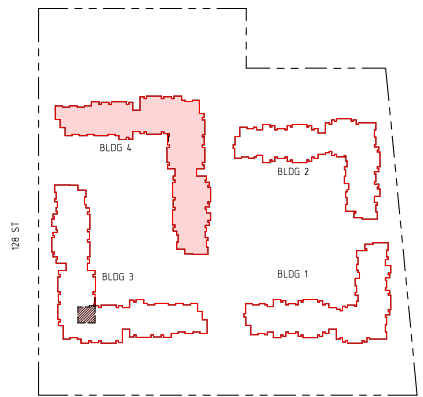
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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, DISCREPANCIES FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT THE APPROVAL OF THE CONTRACTOR.
- DISCREPANCIES FROM THE CONTRACT DOCUMENTS SHALL BE SETTLED BY THE ARCHITECT AND SUBJECT TO THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WORK FINISHED SHALL BE SUBJECT TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST COMPLY TO THE CURRENT EDITION OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT TO THE EXTENT OF THE CONTRACT DOCUMENTS. BRADBURY ARCHITECTURE AND ITS EMPLOYEES ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SCALE. DIMENSIONS SHALL NOT BE SCALED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.



② EXISTING SECOND FLOOR - BUILDING 4
 1/16" = 1'-0"



① KEYPLAN - BUILDING 4 - SECOND FLOOR
 1" = 100'-0"

**PLAN JUST FOR REFERENCE
 BUILDING 4 SECOND FLOOR REMAINS
 UNCHANGED.**

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

BUILDING 4 EXISTING PLAN - SECOND FLOOR

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.07

SCALE: As Indicated

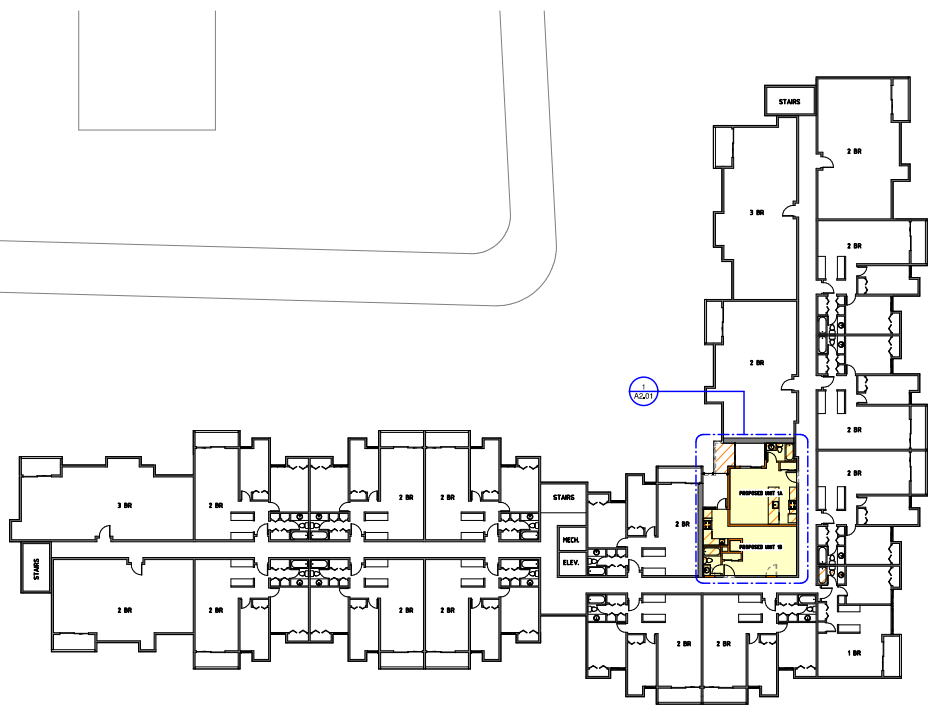
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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT DIMENSIONS ON THE DOCUMENTS.
- DISCREPANCIES FROM THE CONTRACT DOCUMENTS SHALL BE SETTLED UNLESS OTHERWISE PROVIDED FOR BY THE ARCHITECT AND SUBJECT TO THE DIRECTION OF THE CONTRACTOR'S SUPERVISOR.
- WORK FINISHED SHALL BE CORRECTED TO BRADBURY ARCHITECTURE'S SATISFACTION AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST CONFORM TO THE CURRENT EDITION OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE TO THE PROJECT.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT. THE CONTRACTOR OR SUB-CONTRACTOR, BRADBURY ARCHITECTURE AGENTS, EMPLOYEES ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO LOCAL JURISDICTIONS SHALL NOT BE CLAINED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



KEYPLAN - BUILDING 1 - THIRD FLOOR
 1" = 100'-0"



PROPOSED THIRD FLOOR PLAN - BUILDING 1
 1/16" = 1'-0"

**PLAN JUST FOR REFERENCE
 REFER TO SHEET A2.01 FOR 2 NEW STUDIO
 LAYOUT IN BUILDING 1 THIRD FLOOR.**

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW


REVISIONS / ISSUES		
NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT	
9450-9480 128 ST, SURREY, BC	
BUILDING 1 PROPOSED PLAN - THIRD FLOOR	
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK
A1.08	
SCALE	As Indicated

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
GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONTRACTED WITHOUT SUPERVISION BY THE CONTRACTOR.
- DISCREPANCIES FROM THE CONTRACT DOCUMENTS SHALL BE SETTLED PRIOR TO THE ARCHITECT'S FIRST VISIT TO THE PROJECT AT THE CONTRACTOR'S EXPENSE.
- WORK FINISHED SHALL BE SUBJECT TO BRADBURY ARCHITECTURE'S REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST COMPLY TO THE CURRENT EDITION OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE TO THE PROJECT.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT. THE CONTRACTOR OR SUB-CONTRACTOR, BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SOCIAL ENGINEERS SHALL NOT BE CALLED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



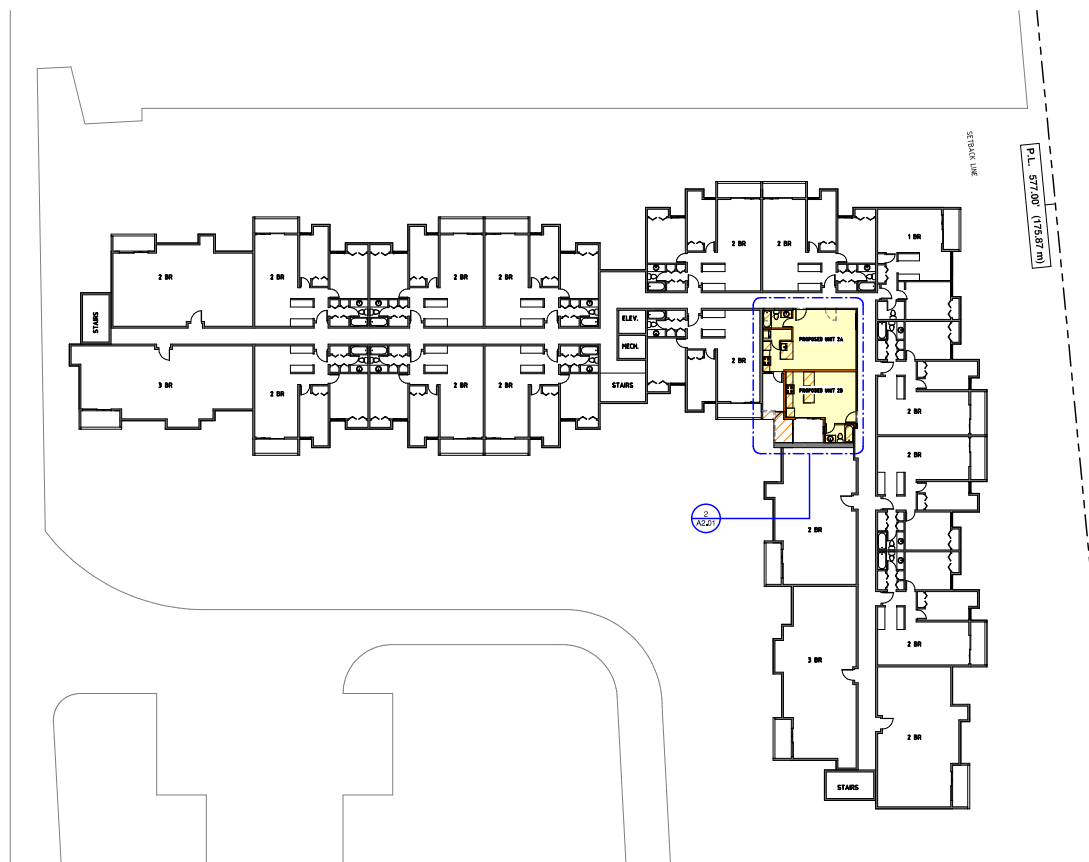
**PLAN JUST FOR REFERENCE
REFER TO SHEET A2.01 FOR 2 NEW STUDIO
LAYOUT IN BUILDING 2 THIRD FLOOR.**

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW
	NEW

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT	
9450-9480 128 ST, SURREY, BC	
BUILDING 2 PROPOSED PLAN - THIRD FLOOR	
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK
A1.09	
SCALE	As Indicated



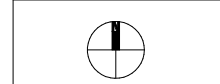
② KEYPLAN - BUILDING 2 - THIRD FLOOR
1" = 100'-0"

① PROPOSED THIRD FLOOR PLAN - BUILDING 2
1/16" = 1'-0"

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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS IMMEDIATELY AND CORRECT THEM AT HIS OWNERS RISK TO COMPLETION OF WORK.
- BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION FROM THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES AT HIS OWNERS RISK.
- WORK FINISHES SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND NOTICES SHALL AT LEAST COMPLY TO THE CURRENT EDITION OF ALL BRITISH COLUMBIAN AND CANADIAN STANDARDS.
- BRADBURY ARCHITECTURE IS NOT RESPONSIBLE FOR ANY DAMAGES OR LOSSES INCURRED FOR THIS PROJECT BY THE CONTRACTOR OR ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SOCIAL ENGINEERS SHALL NOT BE USED FOR CONSTRUCTION.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
 REFER TO SHEET A2.02 FOR 1 NEW STUDIO
 & 1 NEW ONE BEDROOM UNIT LAYOUT IN
 BUILDING 3 THIRD FLOOR.**

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

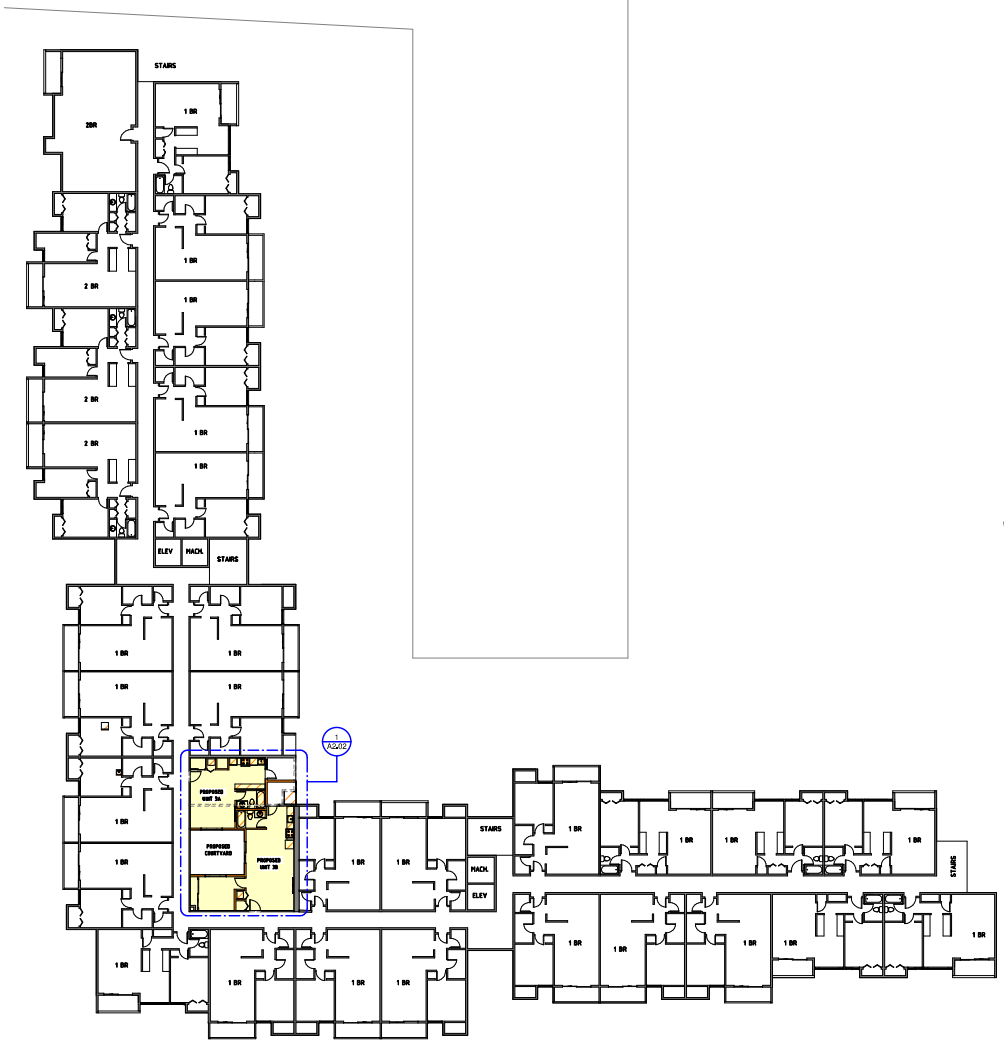
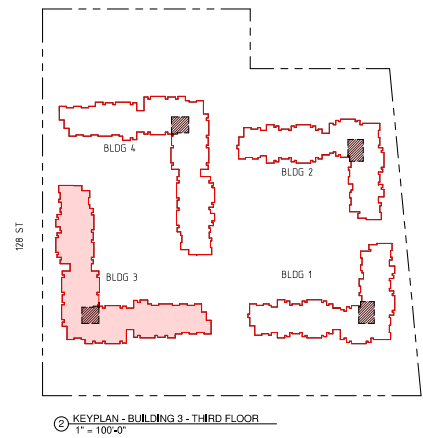
9450-9480 128 ST, SURREY, BC

BUILDING 3 PROPOSED PLAN - THIRD FLOOR

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.10

SCALE: As Indicated



1 PROPOSED THIRD FLOOR PLAN - BUILDING 3
 1/16" = 1'-0"

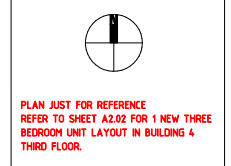
DISCLAIMER: THE CLIENTS AND DESIGNER ARE NOT RESPONSIBLE FOR ALL DIMENSIONS ON THIS AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DIMENSION, CONDITIONS, OR CONSTRUCTION OF THE CONSTRUCTION. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT THE SUPERVISION OF THE ARCHITECT.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THIS AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DIMENSION, CONDITIONS, OR CONSTRUCTION OF THE CONSTRUCTION.
- BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT THE SUPERVISION OF THE ARCHITECT.
- CONSTRUCTION SHALL BE SUBJECT TO THE CONTRACTOR'S LIABILITY FOR THE ARCHITECT'S SUPERVISION OF THE CONSTRUCTION.
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- CONSTRUCTION SHALL BE SUBJECT TO THE CONTRACTOR'S LIABILITY FOR THE ARCHITECT'S SUPERVISION OF THE CONSTRUCTION.



PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW
	NEW

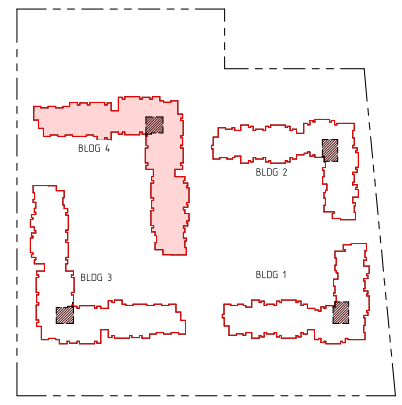
REVISIONS / ISSUES

NO.	DESCRIPTION	DATE

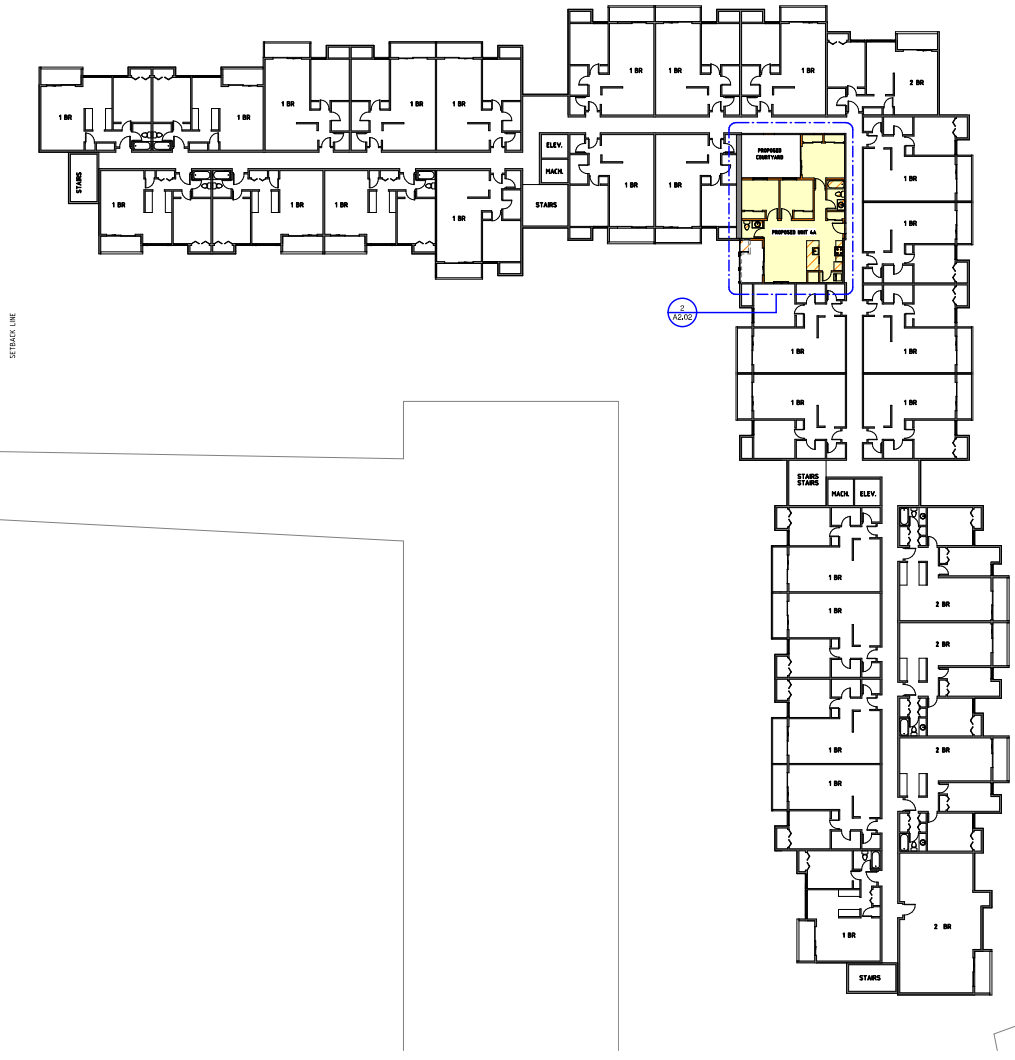
PACIFIC PARK APARTMENT
9450-9480 128 ST, SURREY, BC
BUILDING 4 PROPOSED PLAN - THIRD FLOOR

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.11
SCALE As Indicated



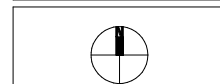
② **KEYPLAN - BUILDING 4 - THIRD FLOOR**
1" = 100'-0"



① **PROPOSED THIRD FLOOR PLAN - BUILDING 4**
1/16" = 1'-0"

IMPORTANT NOTES: THE DOCUMENTS AND DESIGN ARE THE PROPERTY OF BRADBURY ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE BUILDING.

GENERAL NOTES:
 - THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS OR DISCREPANCIES AND CORRECTIVE ACTION BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
 - BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION BY THE CONTRACTOR.
 - DIMENSIONS FROM THE EXISTING CONDITIONS UNLESS NOTED OTHERWISE FROM THE ARCHITECT ARE SUBJECT TO VARIATION AT THE CONTRACTOR'S EXPENSE.
 - WORK FINISHES SHALL BE CORRECTED TO BRADBURY ARCHITECTURE'S SATISFACTION AND APPROVAL PRIOR TO FABRICATION.
 - ALL DIMENSIONS AND MATERIALS SHALL AT LEAST COMPLY TO THE CURRENT EDITIONS OF ALL CANADIAN CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
 - BRADBURY ARCHITECTURE'S DESIGN IS SUBJECT TO VARIATION TO IMPROVE QUALITY FOR THIS PROJECT. THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
 - BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SCALE. DIMENSIONS SHALL NOT BE CALLED FROM DIMENSIONS.
 - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
 BUILDING 1 ROOF PLAN REMAINS UNCHANGED.**

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

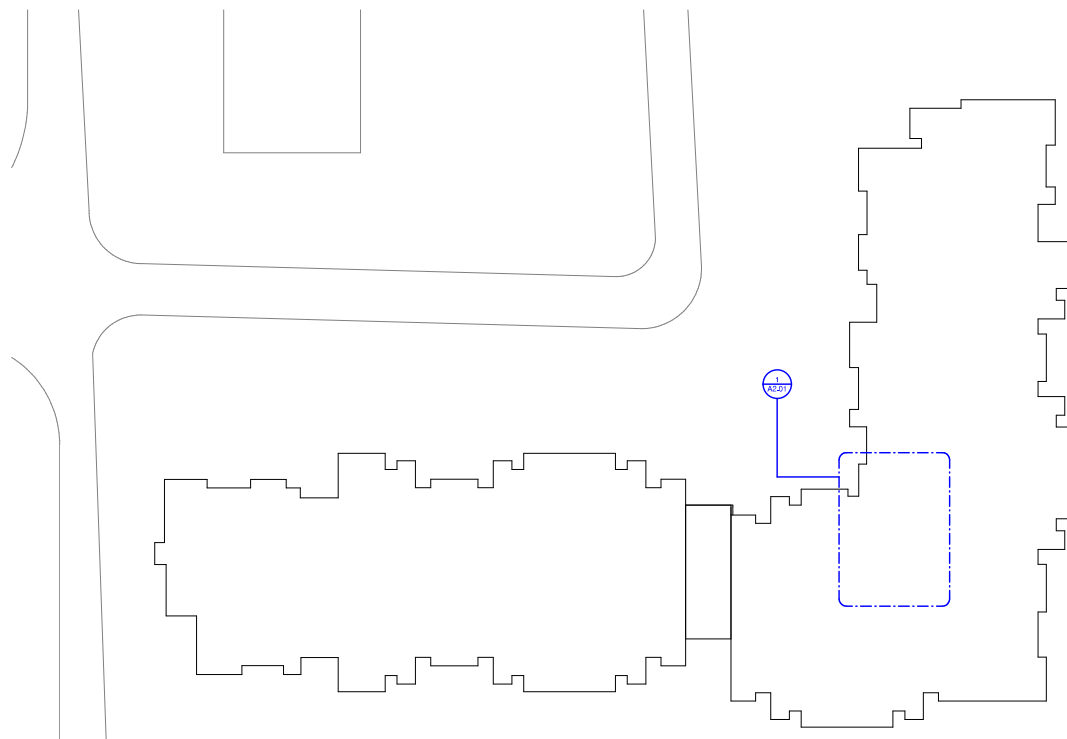
PACIFIC PARK APARTMENT
 9450-9480 128 ST, SURREY, BC
 BUILDING 1 EXISTING ROOF PLAN

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.12
 SCALE As Indicated



② KEY PLAN - BUILDING 1 - ROOF PLAN
 1" = 100'-0"



① EXISTING BUILDING 1 ROOF PLAN
 1/16" = 1'-0"

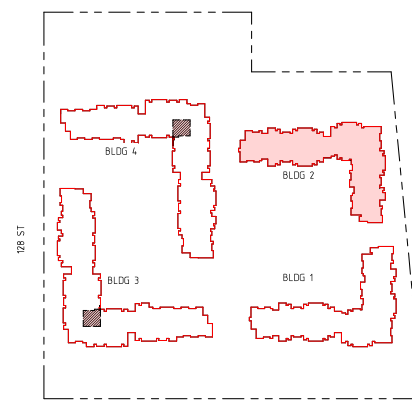
COPYRIGHT NOTICE: THE DOCUMENTS AND DESIGN ARE THE PROPERTY OF BRADBURY ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING ACT AND THE BRITISH COLUMBIA BUILDING REGULATIONS. BRADBURY ARCHITECTURE SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DOCUMENTS. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DOCUMENTS.

GENERAL NOTES:

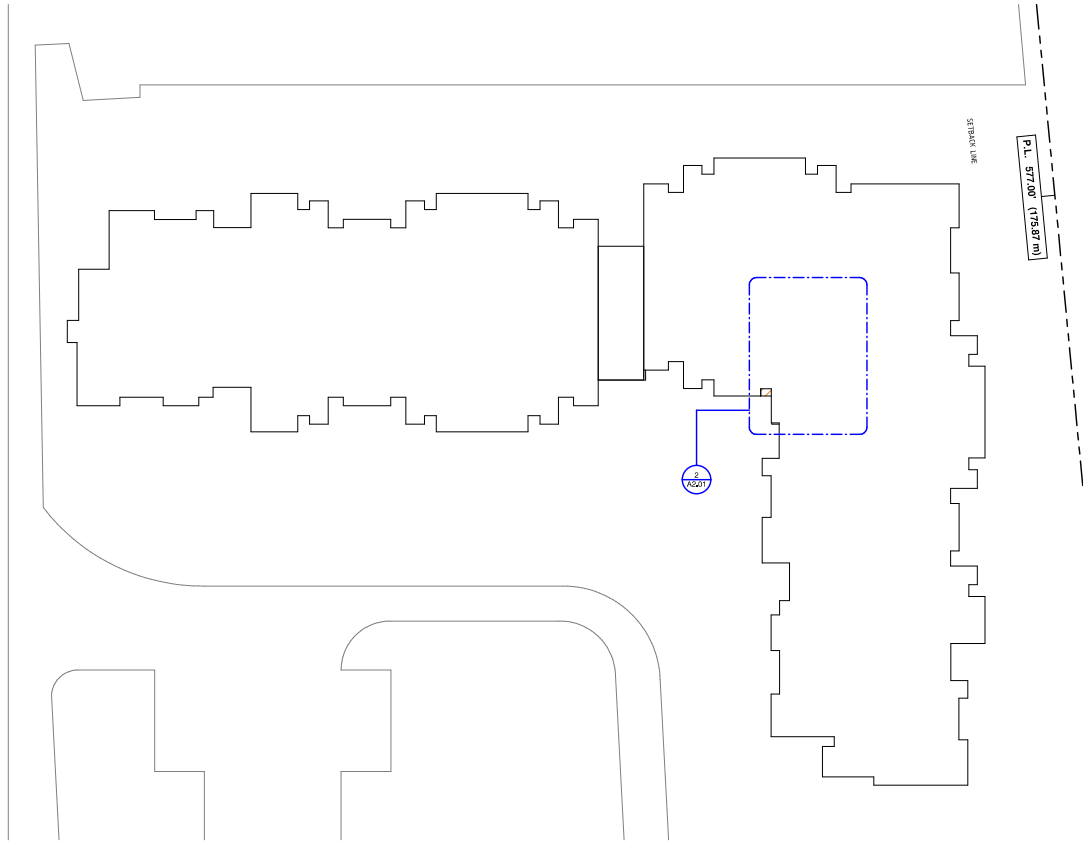
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION OF THE CONTRACTOR.
- DISCREPANCIES FROM THE CONTRACT DOCUMENTS SHALL BE SETTLED PRIOR TO THE ARCHITECT'S FIRST TO CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
- WORK FINISHED SHALL BE SUBJECT TO BRADBURY ARCHITECTURE'S INSPECTION AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND NOTICES SHALL AT LEAST CORRESPOND TO THE CURRENT EDITION OF ALL BRADBURY CODES AND BY-LAWS APPLICABLE TO THE PROJECT.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT. THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DOCUMENTS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DIMENSIONS ARE PROTECTED TO LOCAL DIMENSIONS SHALL NOT BE CALLED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



**PLAN JUST FOR REFERENCE
 BUILDING 2 ROOF PLAN REMAINS UNCHANGED.**



2 KEY PLAN - BUILDING 2 - ROOF PLAN
 1" = 100'-0"



1 EXISTING BUILDING 2 ROOF PLAN
 1/16" = 1'-0"

REVISIONS / ISSUES		DATE
NO.	DESCRIPTION	

PACIFIC PARK APARTMENT	
9450-9480 128 ST, SURREY, BC	
BUILDING 2 EXISTING ROOF PLAN	
PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK
A1.13	
SCALE	As Indicated

IMPORTANT NOTE: THE DOCUMENTS AND DESIGN ARE THE PROPERTY OF BRADBURY ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER AND THE BC BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL NOT BE HELD RESPONSIBLE WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT DIMENSIONS FROM THE CONTRACT DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE.
- WORK FINISHES SHALL BE SUBJECT TO APPROVAL BY THE CONTRACTOR'S SUPERVISOR AND APPROVAL FROM THE AUTHORITY.
- ALL DIMENSIONS AND FINISHES SHALL AT LEAST CORRESPOND TO THE CURRENT EDITION OF ALL BRADBURY CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE TO VERIFY CONDITIONS FOR THIS PROJECT TO THE EXTENT OF OR FOR CONSTRUCTION. BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY FOR THE DESIGN OR FOR CONSTRUCTION. BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY FOR THE DESIGN OR FOR CONSTRUCTION. BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY FOR THE DESIGN OR FOR CONSTRUCTION.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SCALE. DIMENSIONS SHALL NOT BE SCALED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



PLAN JUST FOR REFERENCE
AREA WITH GREY HATCH INDICATES
DEMOLISHED PORTION OF THE ROOF FOR
CREATION OF THE NEW COURTYARD IN
BELOW LEVEL.

LEGEND	
	ROOF PORTION TO BE DEMOLISHED FOR NEW COURTYARD
	EXISTING TO REMAIN

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

BUILDING 3 PROPOSED ROOF PLAN

PROJECT NUMBER 1917

DATE 2021-10-01

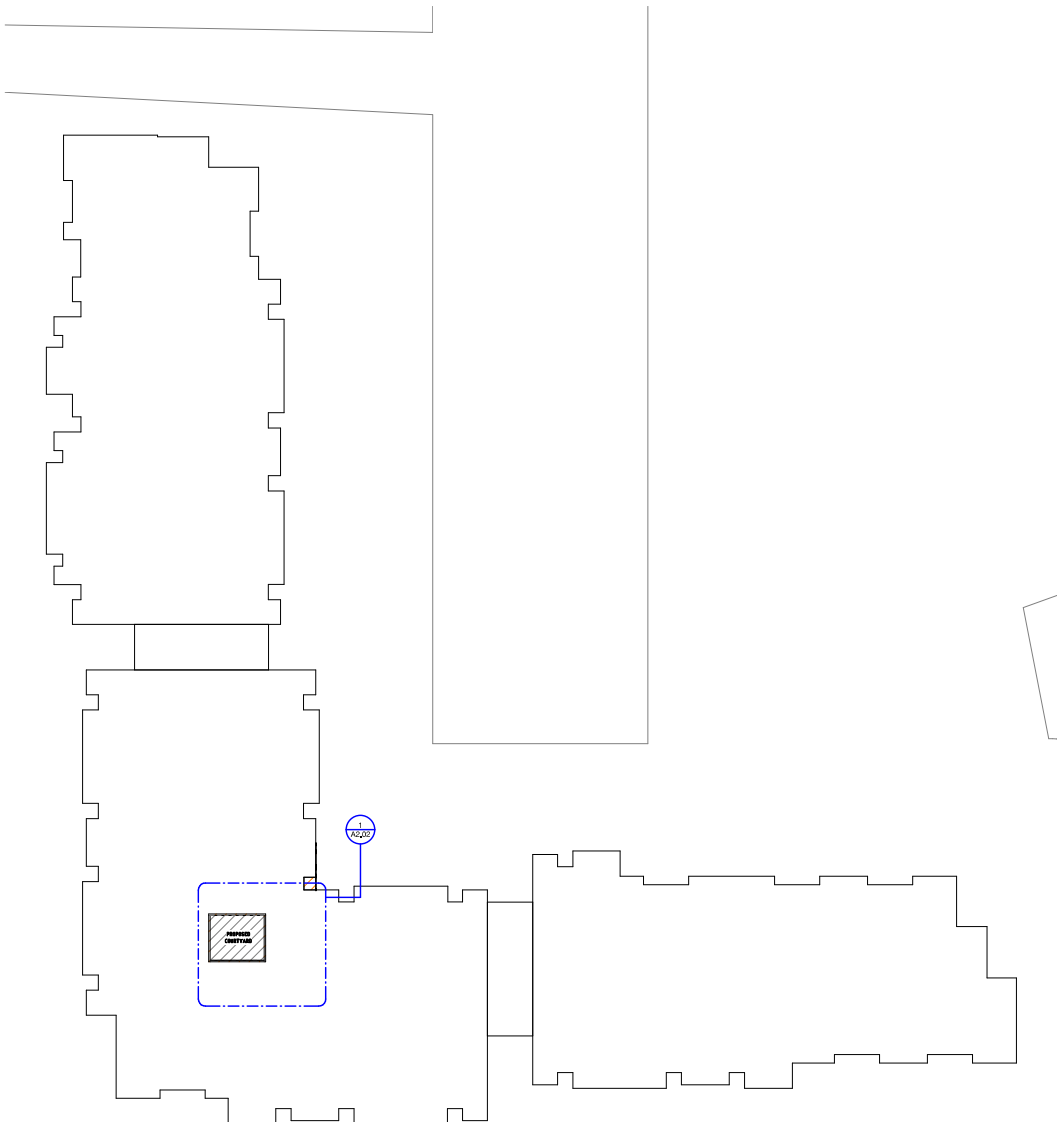
DRAWN BY RS

CHECKED BY MK

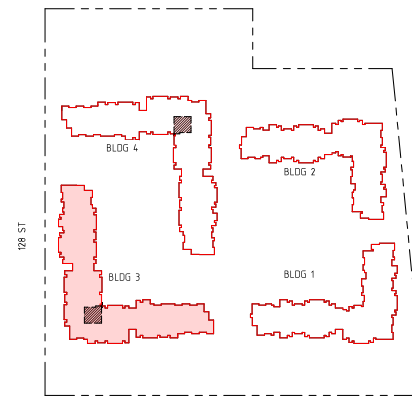
A1.14

SCALE As Indicated

PLANT DATE: 20/10/2021 10:24:23 AM



1 PROPOSED BUILDING 3 ROOF PLAN
1/16" = 1'-0"



2 KEY PLAN - BUILDING 3 - ROOF PLAN
1" = 100'-0"

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GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION BY THE DISTRICT OFFICERS, UNLESS NOTIFIED OTHERWISE FROM THE ARCHITECT AND SUBJECT TO THE LIMITATION OF THE CONTRACTOR'S EXPENSE.
- WORK FINISHED SHALL BE CORRECTED TO BRADBURY ARCHITECTURE'S SATISFACTION AND APPROVAL PRIOR TO FABRICATION.
- ALL DIMENSIONS AND NOTICES SHALL AT LEAST CORRESPOND TO THE CURRENT EDITION OF ALL BRITISH COLUMBIA AND B.C. LAWS APPLICABLE IN THE JURISDICTION.
- BRADBURY ARCHITECTURE IS UNDER NO OBLIGATION TO SUPPLY SERVICES FOR THIS PROJECT TO THE EXTENT OF OR FOR THE BENEFIT OF BRADBURY ARCHITECTURE'S EMPLOYEES AND NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SOCIAL ENGINEERS SHALL NOT BE ISSUED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



PLAN JUST FOR REFERENCE
AREA WITH GREY HATCH INDICATES
DEMOLISHED PORTION OF THE ROOF FOR
CREATION OF THE NEW COURTYARD IN
BELOW LEVEL.

LEGEND	
	ROOF PORTION TO BE DEMOLISHED FOR NEW COURTYARD
	EXISTING TO REMAIN

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

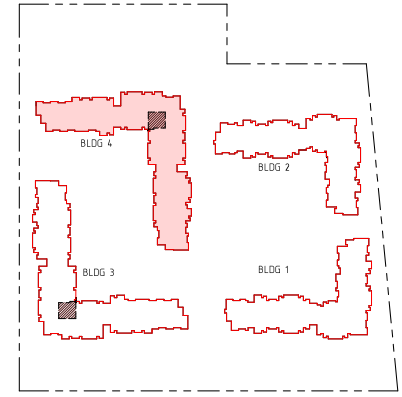
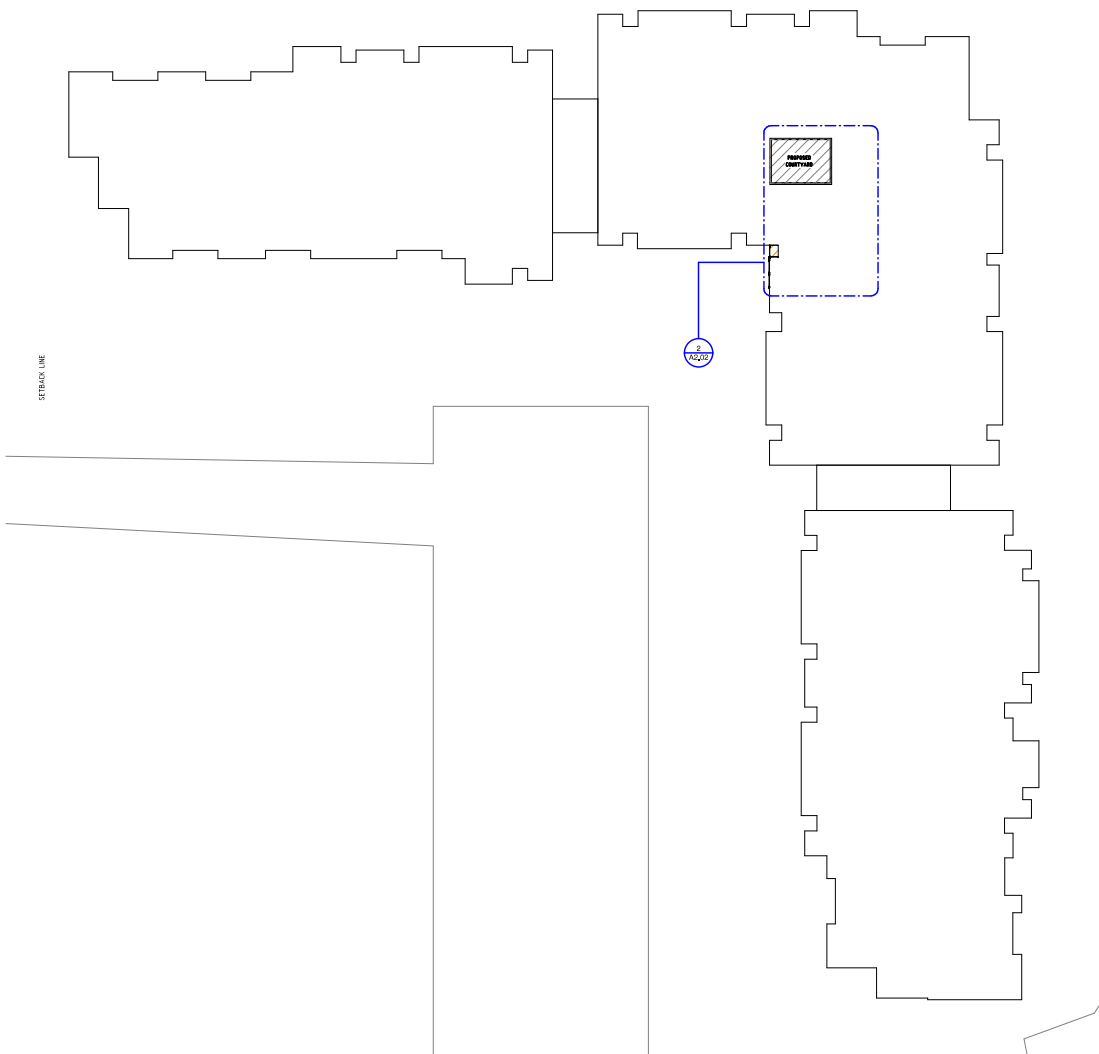
BUILDING 4 PROPOSED ROOF PLAN

PROJECT NUMBER	1917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A1.15

SCALE: As Indicated

PLANT DATE: 20/10/2021 10:24:44 AM

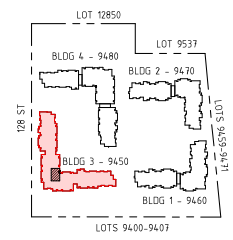


2 KEYPLAN - BUILDING 4 - ROOF PLAN
1" = 100'-0"

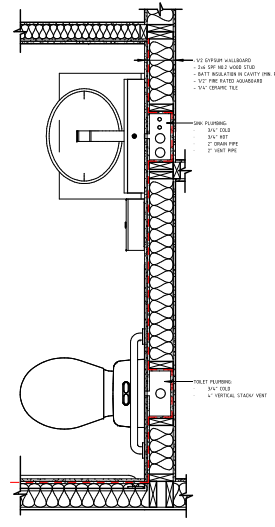
1 PROPOSED BUILDING 4 ROOF PLAN
1/16" = 1'-0"

CONTRACTOR WARNING: THE DOCUMENTS AND DESIGN ARE THE PROPERTY OF BRADBURY ARCHITECTURE AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BRADBURY ARCHITECTURE CONTRACT DOCUMENTS AND SPECIFICATIONS. ANY CHANGES TO THE DESIGN SHALL BE MADE BY BRADBURY ARCHITECTURE AND SHALL NOT BE MADE OTHERWISE WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE.

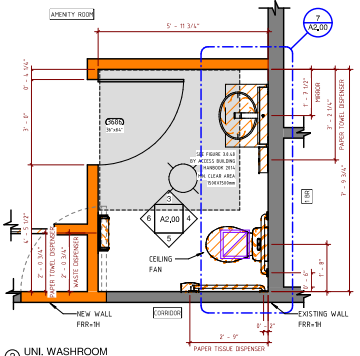
GENERAL NOTES:
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 2- BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT CONSENT OF THE CONTRACTOR.
 3- DIMENSIONS FOR THE CONTRACT OCCUPANCY UNLESS OTHERWISE SPECIFIED FOR THE ARCHITECT ARE SUBJECT TO CORRECTION BY THE CONTRACTOR'S SURVEYOR.
 4- WORK FINISHES SHALL BE IDENTIFIED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 5- ALL DIMENSIONS AND MATERIALS SHALL AT LEAST CONFORM TO THE CURRENT EDITIONS OF ALL CANADIAN CODES AND STANDARDS APPLICABLE TO THE PROJECT.
 6- BRADBURY ARCHITECTURE IS NOT BE RESPONSIBLE FOR DESIGN CONFLICTS FOR THIS PROJECT TO THE EXTENT OF THE CONTRACTOR'S DESIGN. BRADBURY ARCHITECTURE ACCEPTS NO LIABILITY FOR ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
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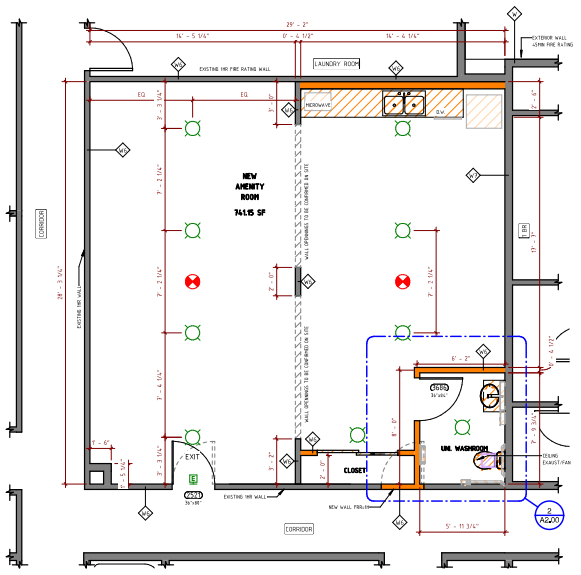
KEYPLAN - BUILDING (3)
 1" = 200'-0"



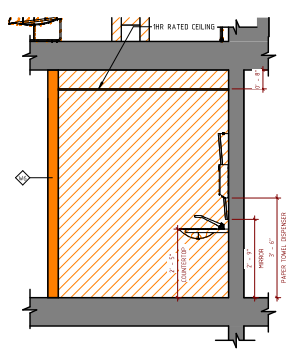
TYP. WASHROOM - WALL DETAIL
 1/2" = 1'-0"



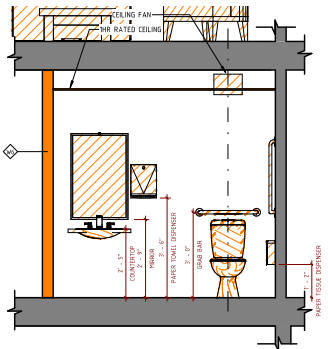
UNI. WASHROOM
 1/2" = 1'-0"



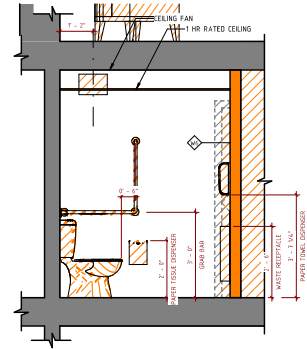
SECOND FLOOR CALLOUT - AMENITY ROOM
 1/4" = 1'-0"



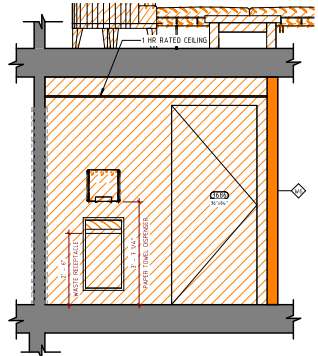
U.W. - EL01
 1/2" = 1'-0"



U.W. - EL02
 1/2" = 1'-0"



U.W. - EL03
 1/2" = 1'-0"



U.W. - EL04
 1/2" = 1'-0"

WALL ASSEMBLIES

TYPE	PLAN	DESCRIPTION
W1		INTERIOR WOOD STUD WALL (2x4) CORRIDOR WALL - 1/2" TYPE X GYPSUM BOARD - 2x4 @ 16" STUDS @ 90° O.C. STAGGERED STUDS ON 2x4 @ TOP AND BOTTOM - WITH R3 BATT INSULATION BETWEEN STUDS - 1/2" TYPE X GYPSUM BOARD
W2		FURR OUT WALL (2x4) EXISTING WALL - 2x4 @ 16" STUDS @ 90° O.C. - 1/2" TYPE X GYPSUM BOARD
W3		FIRE SEPARATION WALL - EXISTING - 1/2" TYPE X GYPSUM BOARD - 2x4 @ 16" STUDS @ 90° O.C. - 8" CONCRETE BLOCK MASONRY - 2x4 @ 16" STUDS @ 90° O.C. - 1/2" TYPE X GYPSUM BOARD
W5		EXTERIOR WOOD STUD WALL (2x4) 45 MIN FIRE RATING RES. WALL - EXTERIOR FINISH - 100% WOOD SHEATHING - 2x4 @ 16" STUDS @ 90° O.C. STAGGERED STUDS ON 2x4 @ TOP AND BOTTOM - WITH R3 BATT INSULATION BETWEEN STUDS - 1/2" TYPE X GYPSUM BOARD - 1/2" TYPE X GYPSUM BOARD
W6		INTERIOR WOOD STUD WALL (2x4) - 1/2" TYPE X GYPSUM BOARD - 2x4 @ 16" STUDS @ 90° O.C. STAGGERED STUDS ON 2x4 @ TOP AND BOTTOM - 1/2" TYPE X GYPSUM BOARD - 3-1/2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS
W7		INTERIOR WOOD STUD WALL (2x4) - 1/2" TYPE X GYPSUM BOARD - 2x4 @ 16" WOOD STUDS @ 90° O.C. - 1/2" TYPE X GYPSUM BOARD - 3-1/2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS
W8		PARTY WALL 1HR FIRE RATING - EXISTING - 1/2" TYPE X GYPSUM BOARD - 2x4 @ 16" STUDS @ 90° O.C. - R3 FIBREGLASS INSULATION BETWEEN STUDS - 1" GYPSUM BOARD WITH 1/2" WOOD STUD BOARD - 2x4 @ 16" STUDS @ 90° O.C. - R3 FIBREGLASS INSULATION BETWEEN STUDS - 1/2" TYPE X GYPSUM BOARD

	SMOKE ALARM
	WALL MOUNTED EXIT SIGN
	RECESSED DOWNLIGHT - 4"
	INSULATED EMITTER
	EXHAUST FAN

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT
 9450-9480 128 ST, SURREY, BC
 AMENITY ROOM

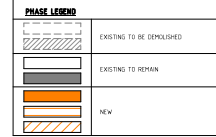
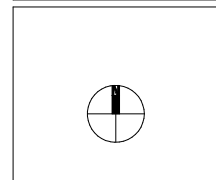
PROJECT NUMBER: 1917
 DATE: 2021-10-01
 DRAWN BY: RS
 CHECKED BY: MK

A2.00

SCALE: As Indicated

CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THIS AND SMALL WORK. BRADBURY ARCHITECTURE OF ANY DESIGN, DRAWING, CALCULATION, SPECIFICATION AND CONTRACT DOCUMENTS IS THE SOLE RESPONSIBLE FOR THE COMPLETION OF WORK. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL WORK. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE COMPLETION OF ALL WORK. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE COMPLETION OF ALL WORK.

GENERAL NOTES:
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REVISIONS / ISSUES

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

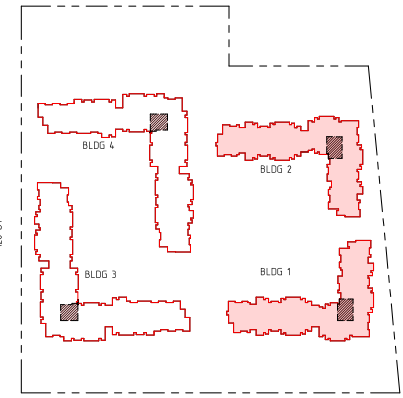
9450-9480 128 ST, SURREY, BC

APARTMENTS

PROJECT NUMBER	9917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

A2.01

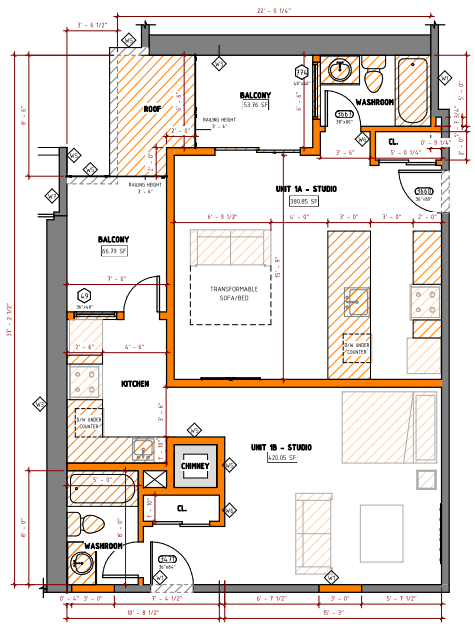
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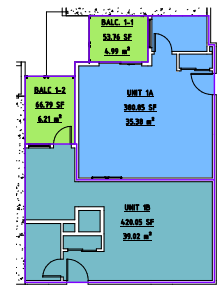
3 KEYPLAN - BUILDING 1&2 - THIRD FLOOR
1" = 100'-0"

WALL ASSEMBLIES

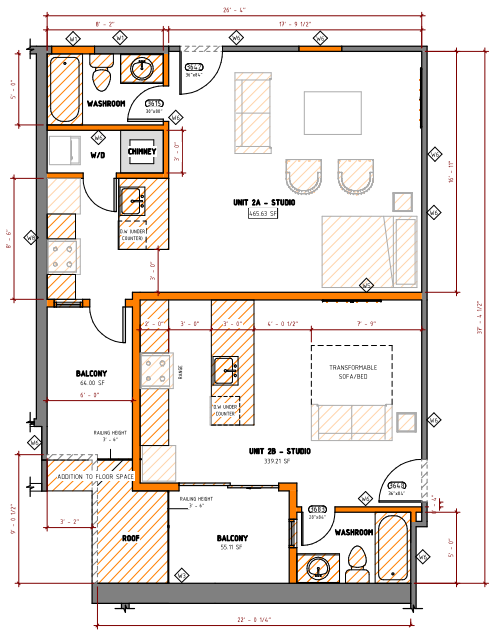
TYPE	PLAN	DESCRIPTION
W1		INTERIOR WOOD STUD WALL (2x4) CORRIDOR WALL -1/2" TYPE X GYPSUM BOARD -2"x 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x 4" TOP AND BOTTOM, WITH BY FRICION FIT INSULATION BETWEEN STUDS. -1/2" TYPE X GYPSUM BOARD
W2		FIRE SEPARATION WALL - EXISTING -1/2" TYPE X GYPSUM BOARD -2"x 4" STUDS @ 16" O.C. -4" CONCRETE BLOCK MASONRY -2"x 4" STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD
W3		EXTERIOR WOOD STUD WALL (2x4) 45 MIN FIRE RATING RES. WALL -EXTERIOR FINISH -100% WOOD SHEATHING -2"x 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x 4" TOP AND BOTTOM. -W/FR BY BATT INSULATION BETWEEN STUDS W VAPOR BARRIER. -1/2" TYPE X GYPSUM BOARD.
W4		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X GYPSUM BOARD -2"x 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x 4" TOP AND BOTTOM. -1/2" TYPE X GYPSUM BOARD + 3.0-3.2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS.
W5		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X GYPSUM BOARD -2"x 4" WOOD STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD + 3.0-3.2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS.
W6		PARTY WALL 1/2" FIRE RATING - EXISTING -1/2" TYPE X GYPSUM BOARD -2"x 4" STUDS @ 16" O.C. -40 FRICION FIT INSULATION BETWEEN STUDS, -1/2" GYPSUM BOARD WITH 1/2" MOIST STOP BOARD -2"x 4" STUDS @ 16" O.C. -40 FRICION FIT INSULATION BETWEEN STUDS. -1/2" TYPE X GYPSUM BOARD



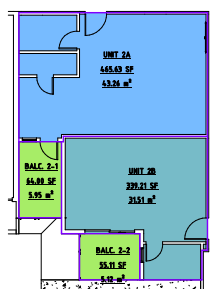
1 BUILD 1 #9480
1/4" = 1'-0"



6 BUILDING 1 AREA PLAN
1/8" = 1'-0"



2 BUILD 2 #9470
1/4" = 1'-0"



7 BUILDING 2 AREA PLAN
1/8" = 1'-0"

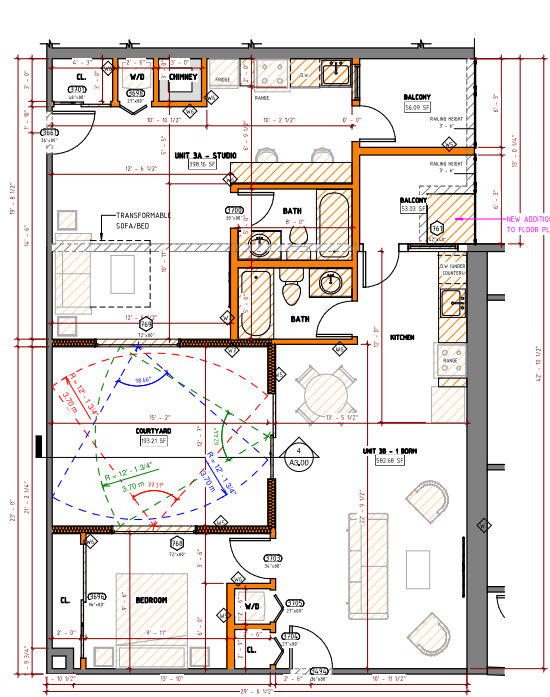
PROPOSED UNIT INFORMATION

BUILDING	UNIT TYPE	AREA (SF)	AREA (M ²)
BUILDING 1	2 STUDIOS	66.39	6.21
BUILDING 2	2 STUDIOS	390.89	35.98
BUILDING 3	1 ONE BED	428.88	39.62
BUILDING 4	1 THREE BED	391.82	36.11

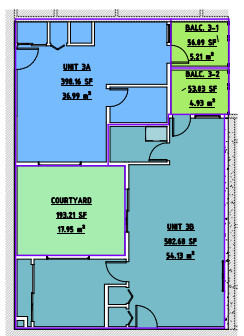
TOTAL 7 UNITS
5 STUDIO UNIT
1 ONE BED UNIT
1 THREE BED UNIT

CONTRACT NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS ON SITE AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, CHANGES, OMISSIONS, CONFLICTS OR OVERRIDES OF THE CONTRACT DOCUMENTS FROM THE COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION OF THE CONTRACTOR.
2. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.
3. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.
4. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.
5. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.

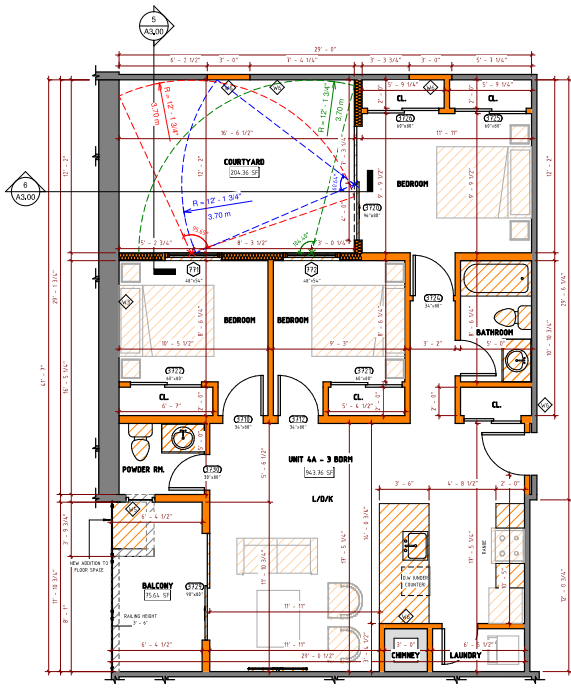
GENERAL NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS ON SITE AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, CHANGES, OMISSIONS, CONFLICTS OR OVERRIDES OF THE CONTRACT DOCUMENTS FROM THE COMMENCEMENT OF WORK. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT PERMISSION OF THE CONTRACTOR.
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4. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.
5. BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR EQUIPMENT THAT IS NOT SHOWN ON THE CONTRACT DOCUMENTS.



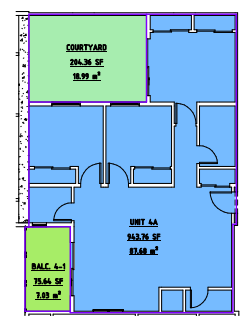
1 BUILD 3 #9450
1/4" = 1'-0"



2 BUILD 3 AREA PLAN
1/8" = 1'-0"



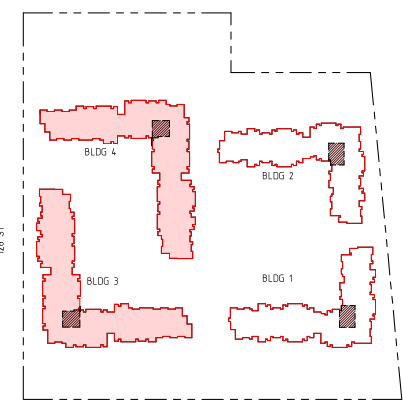
3 BUILD 4 #9460
1/4" = 1'-0"



4 BUILD 4 AREA PLAN
1/8" = 1'-0"

PROPOSED UNIT INFORMATION

BUILDING	UNIT TYPE	AREA (SF)
BUILDING 1	2 STUDIOS	
BUILDING 2	2 STUDIOS	
BUILDING 3	1 ONE BED	
BUILDING 3	1 STUDIO	
BUILDING 4	1 THREE BED	
TOTAL 7 UNITS		
5 STUDIO UNIT		
1 ONE BED UNIT		
1 THREE BED UNIT		



5 KEY PLAN - BUILDING 384 - THIRD FLOOR
1" = 100'-0"

WALL ASSEMBLIES

TYPE	PLAN	DESCRIPTION
W1		INTERIOR WOOD STUD WALL (2x4) CORRIDOR WALL -1/2" TYPE X EPSILON BOARD -2X 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2X 4" TOP AND BOTTOM, WITH 1/2" FRICION FIT INSULATION BETWEEN STUDS. -1/2" TYPE X EPSILON BOARD
W2		FURR OUT WALL (2x4) SHEATHING WALL -2X 4" STUDS @ 16" O.C. -1/2" TYPE X EPSILON BOARD
W3		FIRE SEPARATION WALL - EXISTING -1/2" TYPE X EPSILON BOARD -2X 4" STUDS @ 16" O.C. 4" CONCRETE BLOCK MASONRY -2X 4" STUDS @ 16" O.C. -1/2" TYPE X EPSILON BOARD
W4		EXTERIOR WOOD STUD WALL (2x4) 45 MIN FIRE RATING RES. WALL -EXTERIOR FINISH -1/2" PLYWOOD SHEATHING -2X 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2X 4" TOP AND BOTTOM, WITH 1/2" BATT INSULATION BETWEEN STUDS W. VAPOR BARRIER. -1/2" TYPE X EPSILON BOARD.
W5		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X EPSILON BOARD -2X 4" STUDS @ 16" O.C. STAGGERED STUDS ON 2X 4" TOP AND BOTTOM. -1/2" TYPE X EPSILON BOARD
W6		- 3-1/2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS.
W7		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X EPSILON BOARD -2X 4" STUDS @ 16" O.C. -1/2" TYPE X EPSILON BOARD
W8		- 3-1/2" ROCK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS.
W9		PARTY WALL 180 FIRE RATING - EXISTING -1/2" TYPE X EPSILON BOARD -2X 4" STUDS @ 16" O.C. -40 FRICION FIT INSULATION BETWEEN STUDS, 1/2" SPALL BETWEEN WITH 1/2" NGSS STOP BOARD -2X 4" STUDS @ 16" O.C. -40 FRICION FIT INSULATION BETWEEN STUDS. -1/2" TYPE X EPSILON BOARD

PHASE LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW

REVISIONS / ISSUES

NO.	DESCRIPTION	DATE

PACIFIC PARK APARTMENT

9450-9480 128 ST, SURREY, BC

APARTMENTS

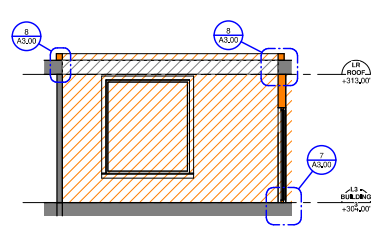
PROJECT NUMBER	9917
DATE	2021-10-01
DRAWN BY	RS
CHECKED BY	MK

CRITICAL WARNING: THE CLIENTS AND DESIGNER ARE NOT PROVIDING OR ENDORSEMENT OF SERVICES OR ANY OTHER SERVICES WITHIN THE EXCLUSIVE JURISDICTION OF BRADBURY ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE. ALL DESIGN AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF BRADBURY ARCHITECTURE. BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT SUPERVISION BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK AND SHALL NOT BE HELD LIABLE FOR THE QUALITY OF THE WORK WITHOUT THE EXPRESS WRITTEN CONSENT OF BRADBURY ARCHITECTURE.

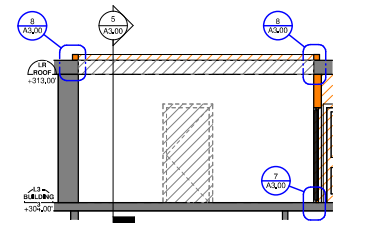
GENERAL NOTES:
 - THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON-FIELD AND SHALL NOTIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, OMISSIONS, CONFLICTS OR AMBIGUOUS AND CONFLICTING DIMENSIONS OR THE DESIGNERS FROM TO COMMENCEMENT OF WORK.
 - BRADBURY ARCHITECTURE WILL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED WITHOUT SUPERVISION BY THE CONTRACTOR.
 - DIMENSIONS PER THE CONTRACT OCCURS UNLESS NOTED OTHERWISE FROM THE ARCHITECT ARE SUBJECT TO VARIATION AT THE CONTRACTOR'S EXPENSE.
 - WORK DRAWINGS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - ALL APPROVALS AND NOTICES SHALL AT LEAST CORRESPOND TO THE CURRENT VERSION OF ALL BRADBURY CHITS AND IS HAS APPLIED IN THE PROJECT.
 - BRADBURY ARCHITECTURE IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. THE SERVICES OF AN INDEPENDENT BRADBURY ARCHITECTURE AGENTS EMPLOYEES ARE NOT LIABLE TO ANY OTHER PARTIES RELATED TO THE USE OF THESE DRAWINGS.
 - BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROVIDED TO SUCH EMPLOYERS SHALL NOT BE HELD LIABLE FOR DISCREPANCIES.
 - ALL DIMENSIONS ARE IN METRE AND UNLESS OTHERWISE NOTED.

Mark	Width	Height	Sill Height	Head Height	Comments
3098	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3100	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3101	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3103	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3104	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3105	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3110	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3112	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3120	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3121	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3122	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3124	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3126	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3129	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3130	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3131	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3132	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3133	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3134	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3135	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3136	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3138	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3139	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3140	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3141	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3142	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3143	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3144	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3145	6' - 0"	8' - 0"	2' - 0"	8' - 0"	
3150	6' - 0"	8' - 0"	2' - 0"	8' - 0"	

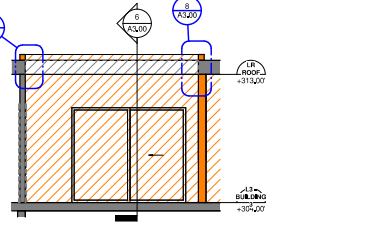
Mark	Description	Access	Height	Width	BUILDING
3098	Double sliding door		6' - 0"	8' - 0"	
3100	Bi-fold 2 panel door		6' - 0"	8' - 0"	
3101	Single flush door		6' - 0"	8' - 0"	
3103	Single flush door		6' - 0"	8' - 0"	
3104	Bi-fold 2 panel door		6' - 0"	8' - 0"	
3105	Bi-fold 2 panel door		6' - 0"	8' - 0"	
3110	Single flush door		6' - 0"	8' - 0"	
3112	Double sliding door		6' - 0"	8' - 0"	
3120	Single flush door		6' - 0"	8' - 0"	
3121	Single flush door		6' - 0"	8' - 0"	
3122	Single flush door		6' - 0"	8' - 0"	
3124	Single flush door		6' - 0"	8' - 0"	
3126	Single flush door		6' - 0"	8' - 0"	
3129	Single flush door		6' - 0"	8' - 0"	
3130	Single flush door		6' - 0"	8' - 0"	
3131	Single flush door		6' - 0"	8' - 0"	
3132	Single flush door		6' - 0"	8' - 0"	
3133	Single flush door		6' - 0"	8' - 0"	
3134	Single flush door		6' - 0"	8' - 0"	
3135	Single flush door		6' - 0"	8' - 0"	
3136	Single flush door		6' - 0"	8' - 0"	
3138	Single flush door		6' - 0"	8' - 0"	
3139	Single flush door		6' - 0"	8' - 0"	
3140	Single flush door		6' - 0"	8' - 0"	
3141	Single flush door		6' - 0"	8' - 0"	
3142	Single flush door		6' - 0"	8' - 0"	
3143	Single flush door		6' - 0"	8' - 0"	
3144	Single flush door		6' - 0"	8' - 0"	
3145	Single flush door		6' - 0"	8' - 0"	
3150	Single flush door		6' - 0"	8' - 0"	
3171	Single flush door	ENTRANCE	7' - 0"	3' - 0"	BUILDING 1 - 9460
3167	Single flush door	WASHROOM	6' - 0"	2' - 6"	BUILDING 1 - 9460
3162	Single flush door	ENTRANCE	6' - 0"	3' - 0"	BUILDING 1 - 9460
3155	Single flush door	WASHROOM	6' - 0"	2' - 6"	BUILDING 2 - 9470
3162	Single flush door	ENTRANCE	7' - 0"	3' - 0"	BUILDING 2 - 9470
3168	Single flush door	ENTRANCE	7' - 0"	3' - 0"	BUILDING 2 - 9470
3163	Single door	WASHROOM	7' - 0"	2' - 6"	BUILDING 2 - 9470
3154	Single flush door	ENTRANCE	6' - 0"	3' - 0"	BUILDING 3 - 9450
3161	Single flush door	ENTRANCE	6' - 0"	3' - 0"	BUILDING 3 - 9450
3168	Single flush door	UN. WASHROOM	7' - 0"	3' - 0"	BUILDING 3 - 9450
3162	Single flush door	APARTY	7' - 0"	3' - 0"	BUILDING 3 - 9450
3169	Double sliding door	CLOSET	6' - 0"	5' - 8"	BUILDING 3 - 9450



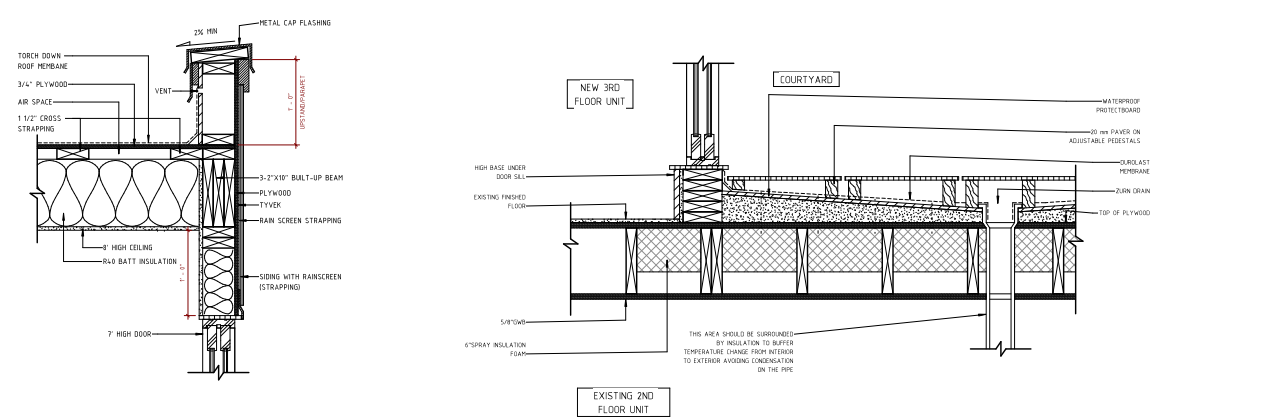
4 BUILDING 3 - SECTION 1
 1/4" = 1'-0"



5 BUILDING 4 - SECTION 1
 1/4" = 1'-0"



6 BUILDING 4 - SECTION 2
 1/4" = 1'-0"



8 COURTYARD ROOF DETAIL
 1 1/2" = 1'-0"

7 COURTYARD FLOOR DETAIL
 1 1/2" = 1'-0"

WALL ASSEMBLIES		
TYPE	PLAN	DESCRIPTION
W1		INTERIOR WOOD STUD WALL (2x4) CONDOOR WALL -1/2" TYPE X GYPSUM BOARD -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x4" TOP AND BOTTOM, WITH R3 FRETTON FIT INSULATION BETWEEN STUDS. -1/2" TYPE X GYPSUM BOARD
W2		FUROR OUT WALL (2x4) EXTERIOR WALL -2"x4" STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD
W3		FIRE SEPARATION WALL - EXISTING -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. -1/2" CONCRETE BLOCK MASONRY -2"x4" STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD
W4		EXTERIOR WOOD STUD WALL (2x4) 45 MIN FIRE RATING RES. WALL EXTERIOR FINISH -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x4" TOP AND BOTTOM, WITH R3 BATT INSULATION BETWEEN STUDS W/ VAPOR BARRIER. -1/2" TYPE X GYPSUM BOARD
W5		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. STAGGERED STUDS ON 2"x4" TOP AND BOTTOM. -1/2" TYPE X GYPSUM BOARD + 3-1/2" BEEK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS
W6		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD
W7		INTERIOR WOOD STUD WALL (2x4) -1/2" TYPE X GYPSUM BOARD -2"x4" STUDS @ 16" O.C. -1/2" TYPE X GYPSUM BOARD + 3-1/2" BEEK WOOL BATT IN CAVITY FOR ACOUSTIC INSULATION WHERE INDICATED ON PLANS
W8		PARTY WALL OR FIRE RATING - EXISTING -2"x4" STUDS @ 16" O.C. -1/2" FRETTON FIT INSULATION BETWEEN STUDS. -1/2" SHIELD BETWEEN WITH 1/2" ROSE STOP BOARD -2"x4" STUDS @ 16" O.C. -1/2" FRETTON FIT INSULATION BETWEEN STUDS. -1/2" TYPE X GYPSUM BOARD

NO.	REVISIONS / ISSUES	DESCRIPTION	DATE
1	INITIAL RELEASE		2020-03-07

PACIFIC PARK APARTMENT
 9450-9480 128 ST, SURREY, BC
SECTIONS, DETAILS, SCHEDULES

PROJECT NUMBER 1917
 DATE 2021-10-01
 DRAWN BY RS
 CHECKED BY MK

A3.00
 SCALE As Indicated