

INTER-OFFICE MEMO

**Regular Council - Public Hearing
B.6 7922-0229-00
Monday March 6, 2023
Supplemental Information**

TO: City Clerk, Legislative Services Division

FROM: Acting Manager, Area Planning & Development – South Division

DATE: March 6, 2023 FILE: 7922-0229-00

RE: Agenda Item B.6, March 6, 2023 Regular Council – Public Hearing
Development Application No. 7922-0229-00
Replacement Page for the Planning Report

Development Application No. 7922-0229-00 is on the agenda for consideration by Council at March 6, 2023 Regular Council – Public Hearing Meeting under Item B.6.

After finalizing the Planning Report for the February 13, 2023 Regular Council – Land Use Agenda, it was noted that the Parks comments on the closest active and natural parks were not included.

Page 5 of the Planning Report has been updated to reflect this change.

The replacement page for the Planning Report detailing is attached to this memorandum.



Shawn Low
Acting Manager, Area Planning & Development – South Division
Planning & Development Department

Attachment - 7922-0229-00- Page 5 Replacement Page

c.c. - City Manager
General Manager, Planning & Development

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the site from "Intensive Agriculture Zone (A-2)" and "Light Impact Industrial Zone (IL)" to "Business Park 1 Zone (IB-1)", a Development Permit for Form and Character, and a Development Variance Permit to permit the development of a 2,979 square metre cold storage warehouse.

	Proposed
Lot Area	
Gross Site Area:	9,121 square metres
Road Dedication:	115 square metres
Net Site Area:	9,006 square metres
Number of Lots:	1
Building Height:	14 metre
Floor Area Ratio (FAR):	0.33
Floor Area	
Industrial:	2,609 square metres
Office:	357 square metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Parks, Recreation & Culture: Latimer Park is the closest active park with amenities that include a recreational trail network. The park is within 1.2km walking distance from the development. Campbell Heights Biodiversity Preserve is the closest park with natural areas. The park is within 550 metres walking distance from the development. No Concerns.

Surrey Fire Department: No Concerns.

Transportation Considerations

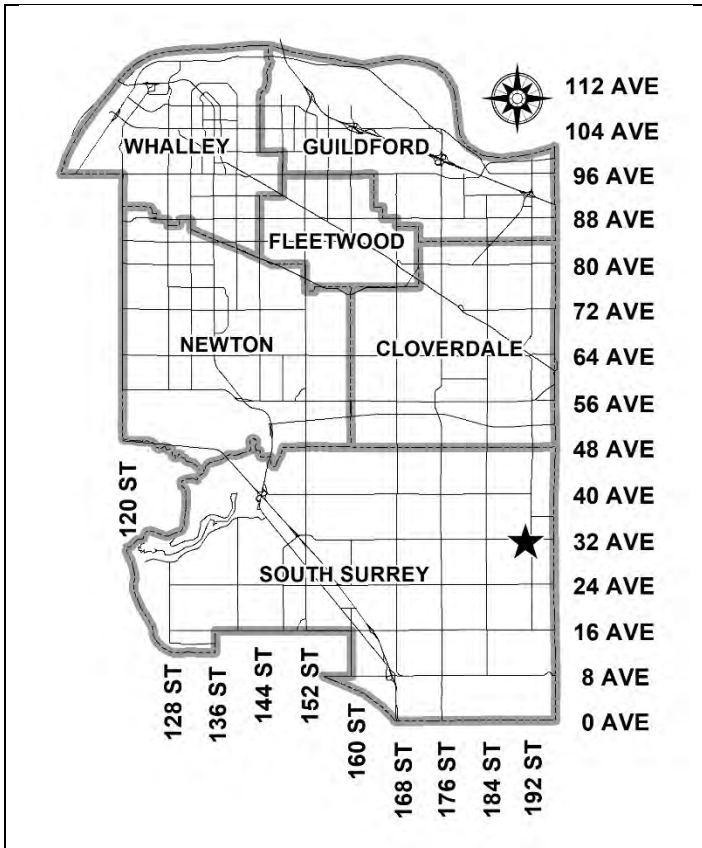
Road Network and Infrastructure

- To support the subject proposal, the applicant will be providing the following road improvements:
 - Dedication and construction of a new lane along the east side of the subject site; and
 - Dedication of the south side of 32 Avenue to accommodate future improvements.

Access

- Access to the subject site is proposed to be provided via the industrial lane, which will ultimately connect from 30 Avenue to 32 Avenue, providing full-movement ability to and from the subject site.

City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7922-0229-00
 Planning Report Date: February 13, 2023



PROPOSAL:

- **Rezoning** from A-2 and IL to IB-1
- **Development Permit**
- **Development Variance Permit**

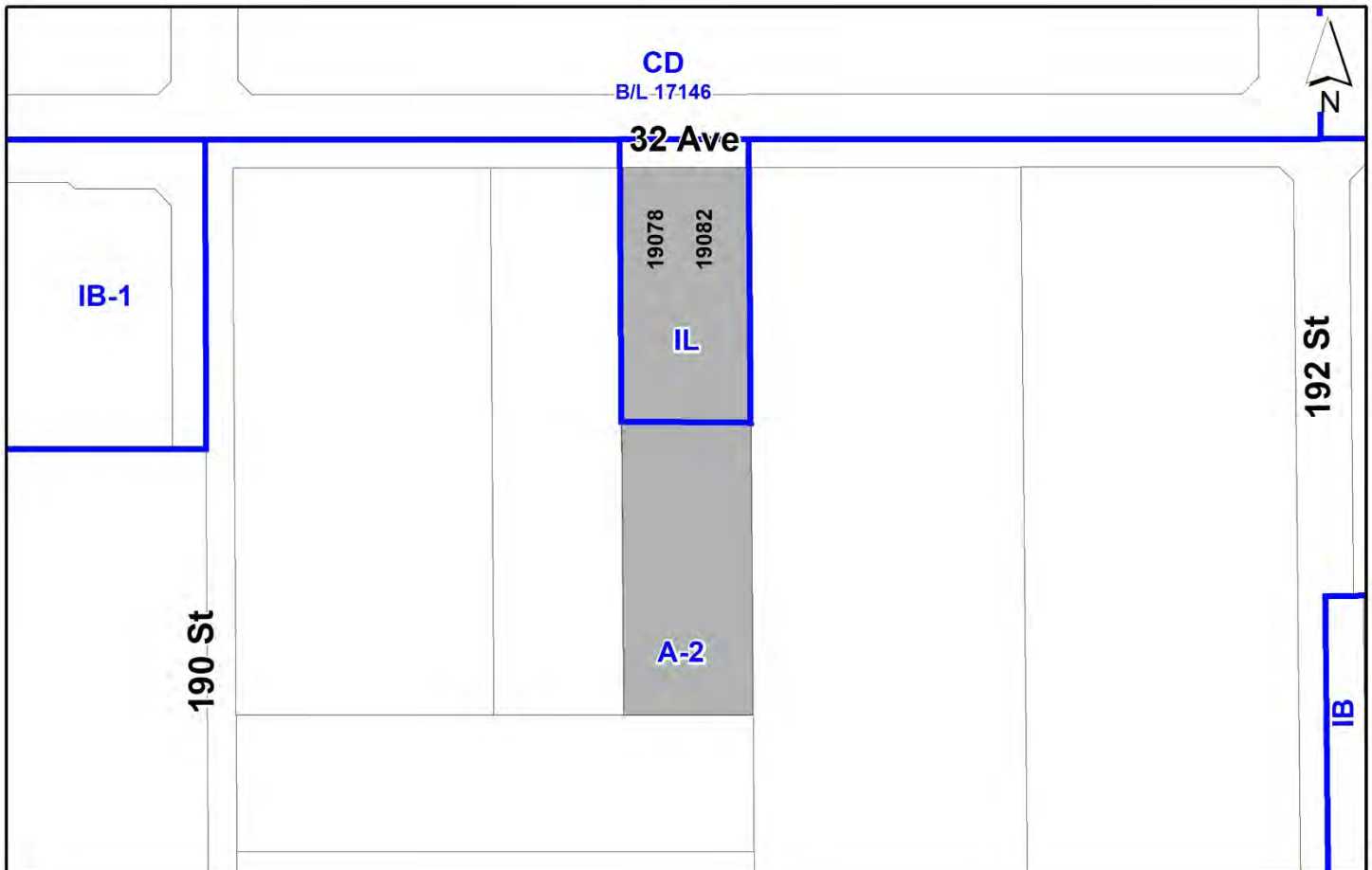
to permit the development of a 2,979 square metre cold storage facility.

LOCATION: 19082 - 32 Avenue (19078 - 32 Avenue)

ZONING: A-2 and IL

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park, Business Park (Office) and Landscaping Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the industrial parking rate to allow for a reduced number of parking stalls on-site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park land use designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The form and character of the proposed cold storage warehouse meets intent of the Campbell Heights Development Design Guidelines.
- The proposed variance to vehicle parking is supported given the nature of the facility. The applicant has demonstrated the total number of parking stalls provided on-site will accommodate the number of employees anticipated on the site during peak periods.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Intensive Agriculture Zone (A-2)" and "Light Impact Industrial Zone (IL)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7922-0229-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7922-0229-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.5 parking spaces per 100 square metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
 - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site; and
 - (j) registration of Section 219 Restrictive Covenant to require the full parking requirements should the use change in the future.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single family dwelling and vacant former light industrial buildings.	Mixed Employment / Business Park, Business Park (Office), Landscaping Strips	A-2 and IL
North (Across 32 Avenue):	Multi-tenant industrial buildings	Mixed Employment / Business Park, Landscaping Strips	CD Bylaw Nos. 17146/17934
East:	Single family dwelling <i>(Development Application No. 7922-0046-00 has conditional approval for development of four multi-tenant industrial buildings)</i>	Mixed Employment / Business Park, Business Park (Office), Landscaping Strips	A-2 <i>(Development Application No. 7922-0046-00 has conditional approval for rezoning from A-2 to IB-2)</i>
South:	Single family dwelling and on-conforming truck parking/vehicle storage on an agricultural property (outside ALR)	Mixed Employment / Business Park	A-2
West:	Single family dwelling and intensive agricultural uses.	Mixed Employment / Business Park, Business Park (Office), Landscaping Strips	A-2

Context & Background

- The subject site is approximately 0.91 hectares in size and is located in Campbell Heights, south of 32 Avenue between 190 and 192 Streets. The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park," "Business Park (Office)," and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP). The property is zoned "Intensive Agriculture Zone (A-2)" and "Light Impact Industrial Zone (IL)".
- The applicant for the subject application has coordinated with Development Application No. 7922-0046-00 to the east of the subject site (19116 32 Avenue), to provide the necessary dedication for a north-south industrial lane between 32 Avenue and future 30 Avenue to the south. The lane will provide a future outlet to 190 Street via 30 Avenue.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the site from "Intensive Agriculture Zone (A-2)" and "Light Impact Industrial Zone (IL)" to "Business Park 1 Zone (IB-1)", a Development Permit for Form and Character, and a Development Variance Permit to permit the development of a 2,979 square metre cold storage warehouse.

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Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Parks, Recreation & Culture: No Concerns.
- Surrey Fire Department: No Concerns.

Transportation Considerations

Road Network and Infrastructure

- To support the subject proposal, the applicant will be providing the following road improvements:
 - Dedication and construction of a new lane along the east side of the subject site; and
 - Dedication of the south side of 32 Avenue to accommodate future improvements.

Access

- Access to the subject site is proposed to be provided via the industrial lane, which will ultimately connect from 30 Avenue to 32 Avenue, providing full-movement ability to and from the subject site.

Parking

- The Zoning Bylaw requires a minimum of 35 stalls to be provided on site for the industrial warehouse use and associated office space. The applicant is proposing to provide a total of 22 stalls on site, equating to a 13-stall reduction, by reducing the parking rate of the industrial warehouse use by 50%.
- The proposed parking reduction is similar in magnitude to that of other cold storage sites in Campbell Heights, which have previously received Council support. Based on demonstrated lower parking demand for cold storage uses, staff are supportive of the proposed parking reduction.

Sustainability Considerations

- The applicant has met the majority of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- However, the applicant does not propose to meet the Climate Adaption Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 0.75 or higher.
- The purpose of a high-albedo roof is to reduce the internal building temperatures by reflecting the sun and also to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.
- Instead, the applicant proposes an gravel ballast material, with a Solar Radiance Index value of 0.45.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan (OCP).

Themes/Policies

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation. The subject site is also located along the 32 Avenue major arterial transportation corridor, which provides an important connection into and out of Campbell Heights.)

Secondary Plans

Land Use Designation

- The proposal complies with the “Business Park”, “Business Park (Office)”, and “Landscaping Strips” designations in the Campbell Heights Land Use Plan.

Themes/Objectives

- The proposed development is supported by the following guidelines in the Campbell Heights Local Area Plan:
- 6.5.1.4 – Design Guidelines – Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates the use high quality metal paneling and angled, recessed LED lighting panels to create a lighting language to articulate the building where traditional glazing cannot be used due to the building programming. The lighting is intended to give a reflective appearance and add visual interest to the north and west facades.)

- 6.5.1.4 – Design Guidelines – Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed buildings are architecturally coordinated with a modern appearance that promotes harmony through the use of consistent cladding materials and landscaping.)

- 6.5.1.5 – Design Guidelines – Business Park Office – Siting planning and building design should make for interested outdoor urban spaces.

(An amenity area is proposed as a corner feature plaza at the intersection of 32 Avenue and the new lane.)

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" and "Light Impact Industrial Zone (IL)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.00	0.33
Lot Coverage:	60%	30%
Yards and Setbacks		
North:	7.5 metres	10 metres
East:	9 metres	9 metres
South:	7.5 metres	7.5 metres
West:	3.6 metres	3.6 metres
Height of Buildings		
Principal buildings:	14 metres	14 metre
Accessory buildings:	6 metres	6 metres
Amenity Space		
Parking (Part 5)	Required	Proposed
Number of Stalls		
Industrial:	26	13
Office	9	9

Parking Variance

- The applicant is requesting the following variances:
 - to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.5 parking spaces per 100 square metres.
- The Zoning Bylaw requires a minimum of 35 stalls to be provided on site for the industrial warehouse use and associated office space. The applicant is proposing to provide a total of 22 stalls on site, equating to a 13-stall reduction, by reducing the parking rate of the industrial warehouse use by 50%.
- The proposed parking reduction is similar in magnitude to that of other cold storage sites in Campbell Heights, which have previously received Council support. Based on demonstrated lower parking demand for cold storage uses, staff are supportive of the proposed parking reduction.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on October 17, 2022 and the Development Proposal Signs were installed on October 19, 2022. Staff did not receive any responses from the public on this application.

- The subject development application was also reviewed by the Little Campbell Watershed Society (LCWS). The LCWS has not provided comments by the time of writing this report.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The building is proposed to have a modern, linear appearance. As this is a cold storage facility requiring high thermal performance, traditional glazing or spandrel glass is in conflict with the programming and cannot be used along the north façade. To add visual interest to the north façade along 32 Avenue, the building has been designed to integrate LED lighting strips in angled recessed panels to articulate the building with lighting language. The cladding material will be composed of angled metal panels with perforations, in the colour “weathered zinc”. For operational reasons and due to the narrow width of the site, the main entrance will be located on the west side of the building, facing the new north south lane.
- The company’s PBX logo will be integrated into the east side façade at the north end of the building, using monochromatic tone on tone perforated metal cladding with a variation in the texture and pattern from the metal cladding used on the building face.

Landscaping

- The proposed landscaping consists of a 10 metre landscaped setback on 32 Avenue, a 3 metre wide landscaping along the west property line with a bioswale and shrubs and trees planted to screen the loading area at the south end of the site. A row of trees will be planted along the east property line at the new lane.
- The proposed landscaping consists of a variety of trees including Autumn Brilliance Serviceberry, Slender Silhouette Sweetgum, Tupelo Tower Nyssa, Brus Serbian Spruce, and Select Green Austrian Black Pine. The tree plantings are complimented by a variety of shrubs, grasses, perennials, and groundcover.
- A corner plaza will be located at the north-east corner of the site at 32 Avenue and the new lane, to provide outdoor amenity for employees and visitors. The plaza includes seating, a bike rack, and will feature permeable paving.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor drafting errors and coordinating the architectural and landscaping drawings.

- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Stephen Harvey, ISA Certified Arborist of Bartlett Tree Experts prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	2	2	0
Coniferous Trees			
Douglas Fir	14	14	0
Total (excluding Alder and Cottonwood Trees)	18	18	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		78	
Total Retained and Replacement Trees		78	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 18 mature trees on the site, excluding Alder and Cottonwood trees. 2 existing trees, approximately 4 % of the total trees on the site, are Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- An additional 28 off-site trees are proposed for removal to accommodate construction of the new industrial lane along the east property line.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 34 replacement trees on the site. The applicant is proposing 78 replacement trees, exceeding City requirements.
- In summary, a total of 78 trees are proposed to be replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7922-0229-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

EM/ar



Zeidler Architecture

1981 Main Street
Vancouver, British Columbia V5T 3C1
T 604 423 3183 | zeidler.com



ZEIDLER ARCHITECTURE
300, 560 - 8 Avenue SW
Calgary, Alberta T2P 1G7

ISSUED FOR LAND DEVELOPMENT

PBX WAREHOUSE
19082 32 AVE
SURREY, BC V3S 0L5

ARCHITECTURAL

- DP00 COVER SHEET
- DP10 SITE CONTEXT AND PLAN
- DP20 OVERALL FLOOR PLANS
- DP21 LEVEL 1 FLOOR PLANS
- DP22 LEVEL 2 FLOOR PLAN & ROOF PLAN
- DP23 SITE ELEVATIONS & PICTURES
- DP24 BUILDING ELEVATIONS
- DP25 BUILDING SECTIONS
- DP26 BUILDING SECTIONS

LANDSCAPE

- L1 TREE MANAGEMENT PLAN
- L2 OVERALL LANDSCAPE PLAN
- L3 OVERALL LANDSCAPE PLAN
- L4 LANDSCAPE DETAILS
- L5 LANDSCAPE SPECIFICATIONS
- L6 STRUCTURAL, SOIL SPECIFICATIONS

CIVIL

- DP10 CIVIL SERVICES CONCEPT

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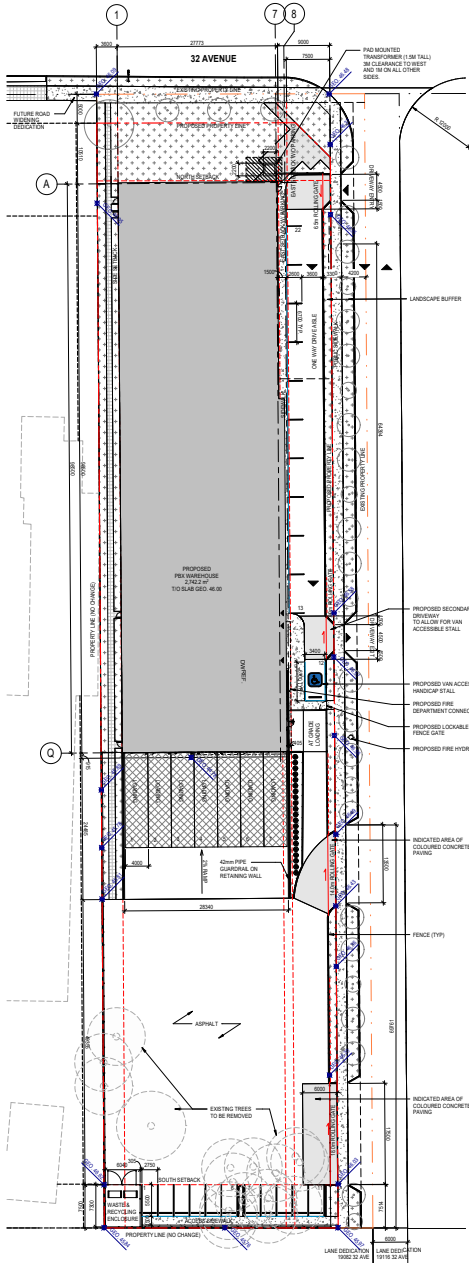
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1	ISSUED FOR LAND DEVELOPMENT	2023-01-04
NO.	ISSUE/REVISION	DATE

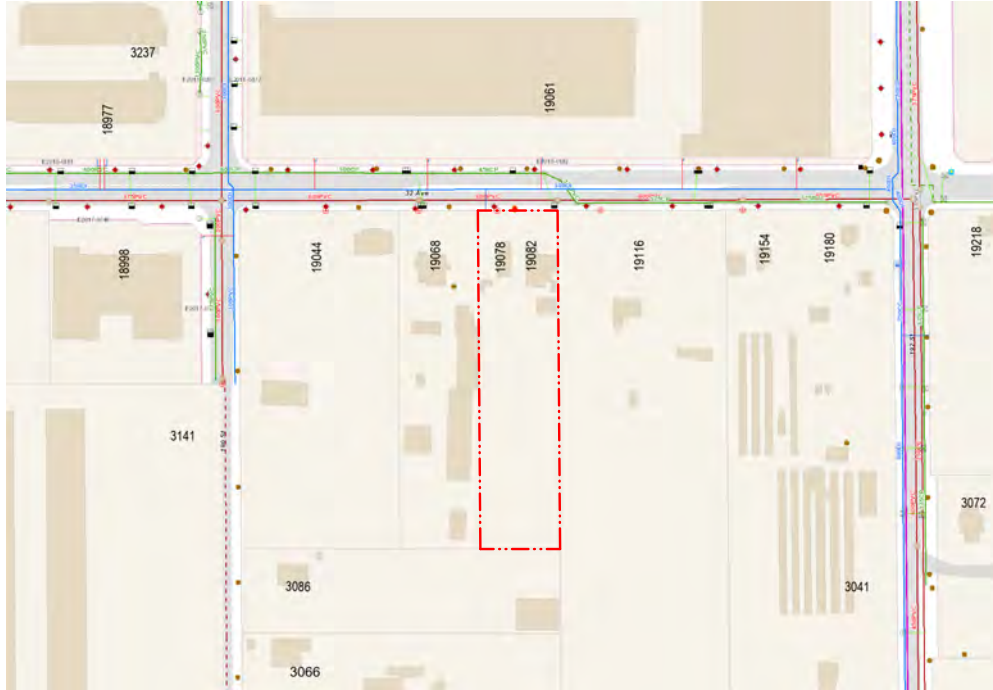
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DP0.00	1

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KEY PLAN



1 SITE PLAN
SCALE: 1:300



2 CONTEXT PLAN
SCALE: 1:1000

USE STANDINGS

HEADPLAN ADDRESS: 1982 32 AVE V147
LEGAL DESCRIPTION: SECTION 21 TOWNSHIP 17 PLAN APPROXIMATE LOCAL SUBDIVISION (L.P.S. ADDRESS) OF L.T.2

PROJECT DATA

BUILDING HEIGHT: 2 STORIES
BUILDING FOOTPRINT: 2,762.24 m²

BUILDING AREA

TOTAL AREA: 2,762.24 m²
GROUND LEVEL: 282.34 m
GROSS TOTAL AREA: 2,762.24 m²

CURRENT SITE ZONING: A-2 INTERMEDIATE AGRICULTURE ZONE (AREA OF LOT)
PROPOSED SITE ZONING: B-1 LIGHT IMPACT INDUSTRIAL ZONE (AREA OF LOT)
ZONING BY-LAW: SURVEY ZONING BY-LAW 10000

FRONT SETBACK: 10.0 m (CAN BE REDUCED TO 7.5 m IF AREA BETWEEN BUILDING & HIGHWAY IS NOT USED FOR PARKING & IS LANDSCAPED)
STREET SIDE SETBACK: 10.0 m (MIN) 15.0 m (MAX)
SIDE SETBACK: 7.5 m (CAN BE REDUCED TO 3.0 m IF ADJUTING COMMERCIAL, MIXED EMPLOYMENT OR INDUSTRIAL)
REAR SETBACK: 7.5 m
MAXIMUM BUILDING HEIGHT: 14.0 m

SITE AREA: 9,321.0 m²
BUILDING AREA: 2,762.24 m²
MAXIMUM SITE COVERAGE: 29.74% (47.0%)
PROPOSED SITE COVERAGE: 29.74% (47.0%)
FULLY COVERED F.A.C.: 1.0
PROPOSED F.A.C.: 0.33 (25% / 7.6 / 18.12 m²)

PARKING REQUIREMENTS

INDUSTRY - TRANSPORTATION: 1 STALL PER 100 m² 2823.1 m² / 100 m² = 28
TOTAL: 28 REQUIRED 28 PROVIDED

STANDARD STALLS

STANDARD STALLS: 2.75 m x 5.5 m 7.5 m DRIVE ABLE (2 WAY TRAFFIC) 11 PROVIDED 11 PROVIDED
STANDARD STALLS: 2.40 m x 4.8 m 3.4 m DRIVE ABLE (ALL WAY TRAFFIC) 34 REQUIRED 21 PROVIDED
TOTAL: 45 PROVIDED

ACCESSIBLE STALLS

3.4 m x 5.5 m 1.5 m SHARED ABLE (1:1 DRIVE ABLE (2 WAY TRAFFIC)) 1 REQUIRED 1 PROVIDED

WASTE & RECYCLING REQUIREMENTS

DRAINAGE CONTAINERS AND PASSIVE RECYCLING CONTAINERS SHALL NOT BE LOCATED WITHIN ANY REQUIRED FRONT OR PLANNING STREET SETBACK

CONTEXT PLAN LEGEND

- EXISTING BUILDINGS
- ROAD SURFACES
- SANITARY MAIN
- PROPOSED SANITARY MAIN
- DRAINAGE SERVICE CONNECTIONS
- WATER MAIN
- METRO VANDOOVER WATER MAIN
- MUNICIPAL R.O.W.
- 8C HYDRANT POLES
- STREETLIGHT
- SANITARY MANHOLE CAP
- REGULAR SANITARY MANHOLE
- SIDE INLET CATCH BASIN
- STANDARD CATCH BASIN
- REGULAR DRAINAGE MANHOLE
- SLUMP DRAINAGE MANHOLE
- LAWN BASIN
- HYDRANT LIGHTS
- REGULAR DRAINAGE MANHOLE

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
1982 32 AVE
SURREY, BC V3E 1A3

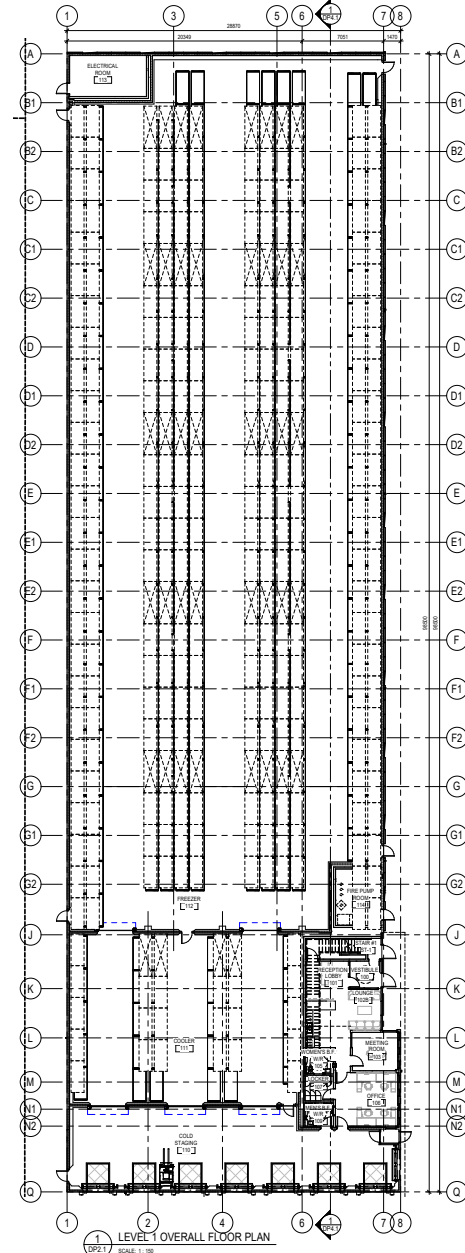
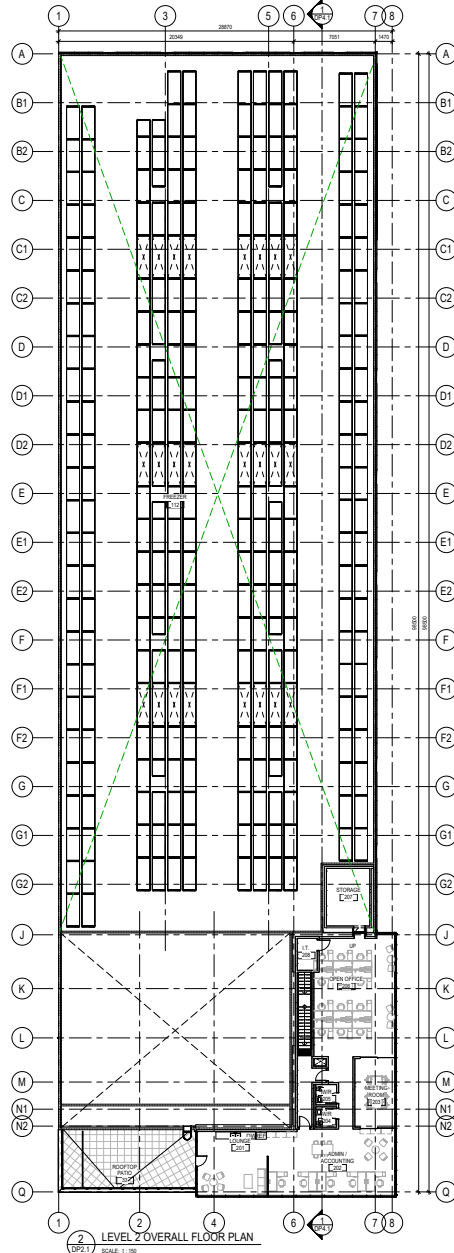
TITLE
SITE CONTEXT AND PLAN

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KEY PLAN



1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
 NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
 1960 32 AVE
 SURREY, BC V3R 9L9

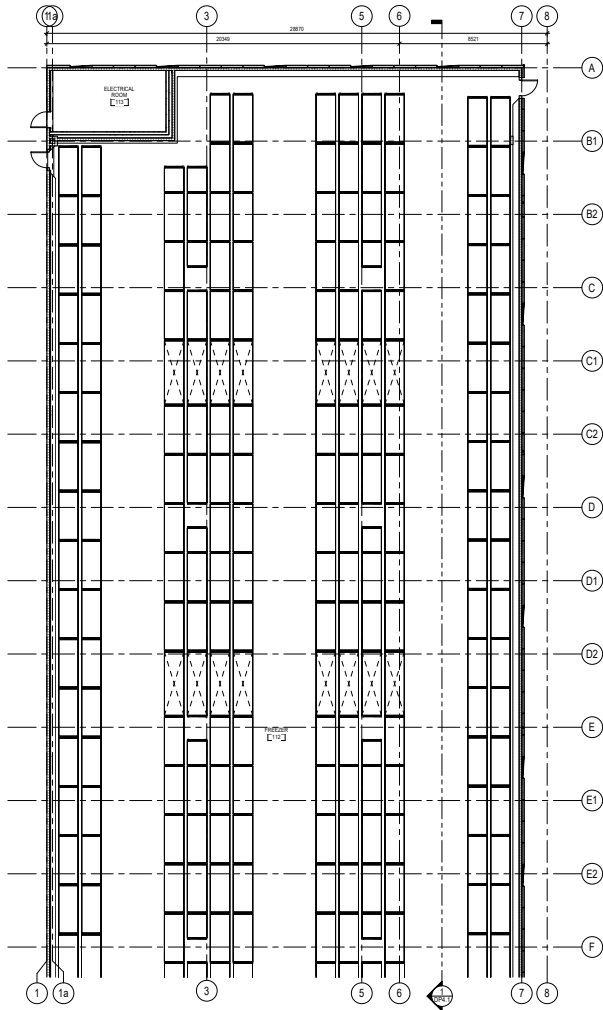
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OVERALL FLOOR PLANS

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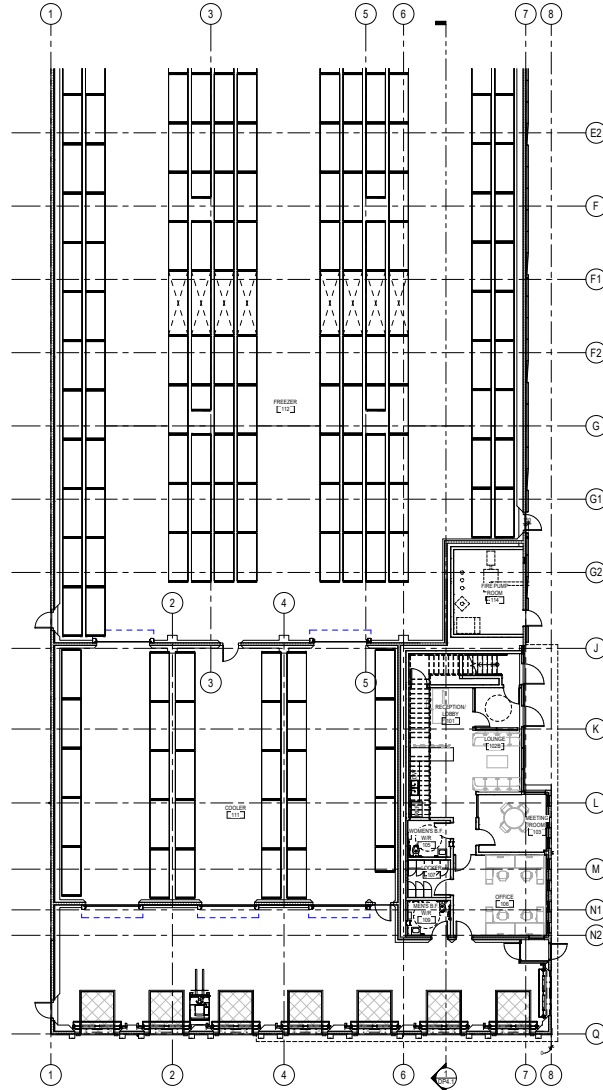
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KEY PLAN



2 LEVEL 1 FLOOR PLAN - NORTH
 SCALE: 1/100



1 LEVEL 1 FLOOR PLAN - SOUTH
 SCALE: 1/100

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
 NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
 1961 22 AVE
 SURREY, BC V3R 9J5

TITLE
LEVEL 1 FLOOR PLANS

PROJECT NO. DRAWN CHECKED
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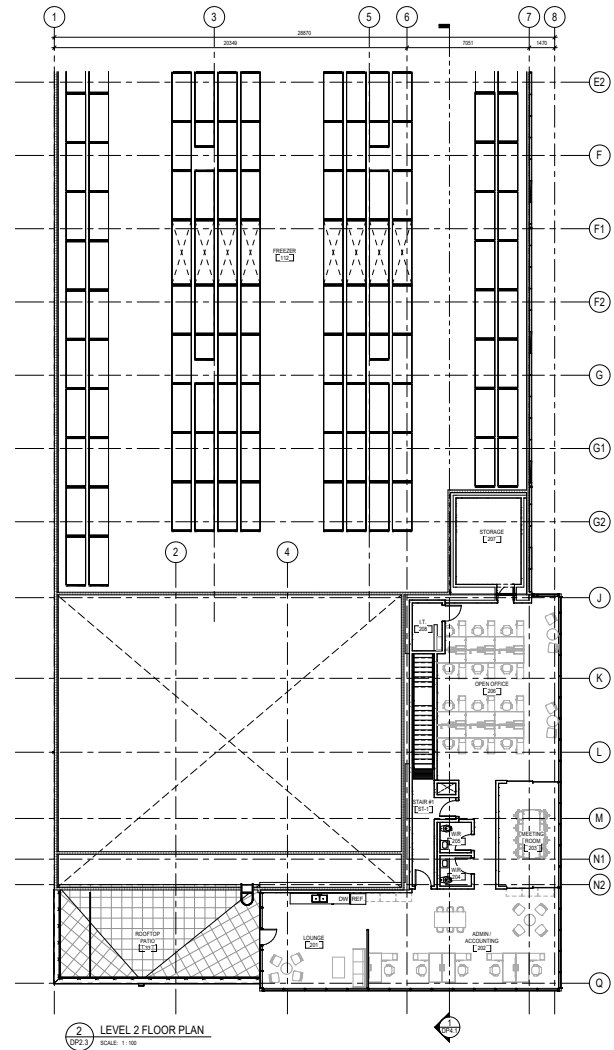
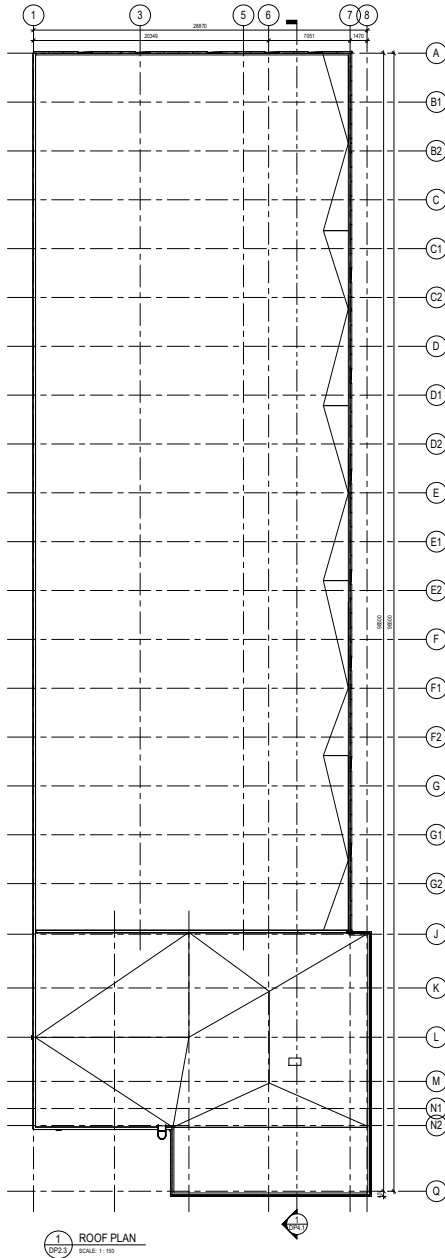
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NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
1960 32 AVE
SURREY, BC V3R 0A3

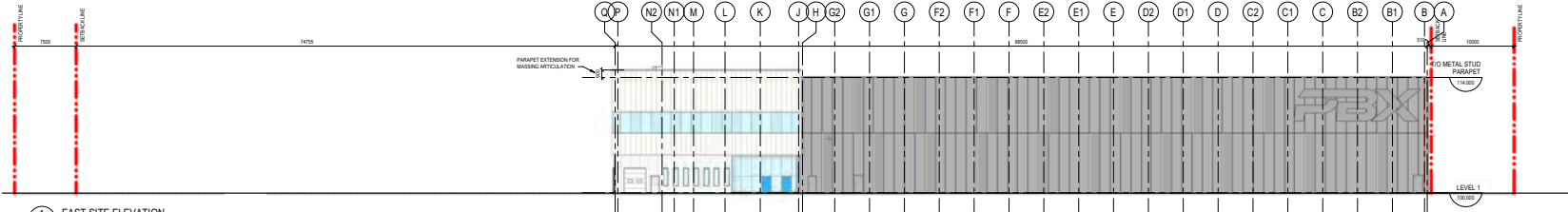
TITLE
LEVEL 2 FLOOR PLAN & ROOF PLAN

PROJECT NO. DRAWN CHECKED
221-146 TP JS

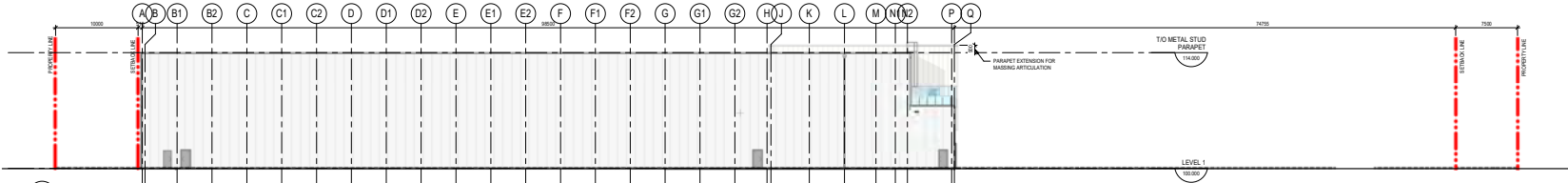
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DP2.3

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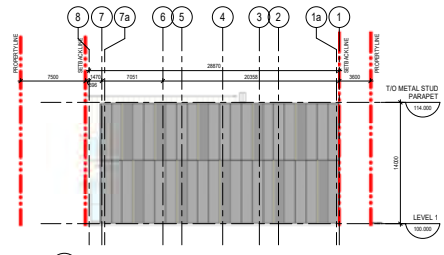
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 KEY PLAN



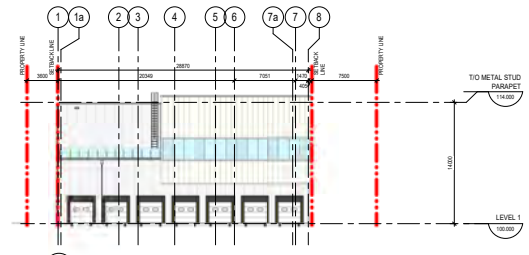
1 EAST SITE ELEVATION
 DPS1 SCALE: 1:200



2 WEST SITE ELEVATION
 DPS1 SCALE: 1:200



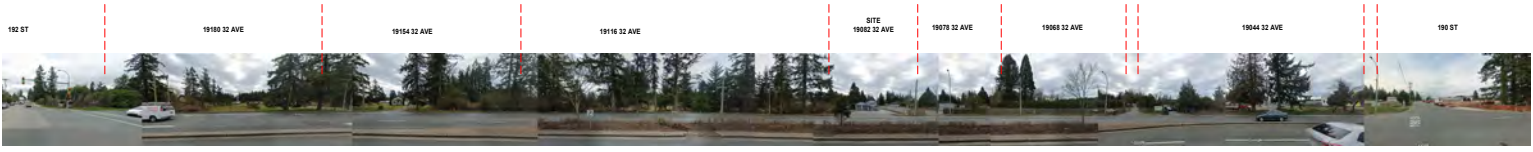
3 NORTH SITE ELEVATION
 DPS1 SCALE: 1:200



4 SOUTH SITE ELEVATION
 DPS1 SCALE: 1:200



5 STREESCENE NORTH
 DPS1 SCALE: 1:0



6 STREESCENE SOUTH
 DPS1 SCALE: 1:0

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
 NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
 1962 32 AVE
 SURREY, BC V3R 9J3

TITLE
SITE ELEVATIONS & PICTURES

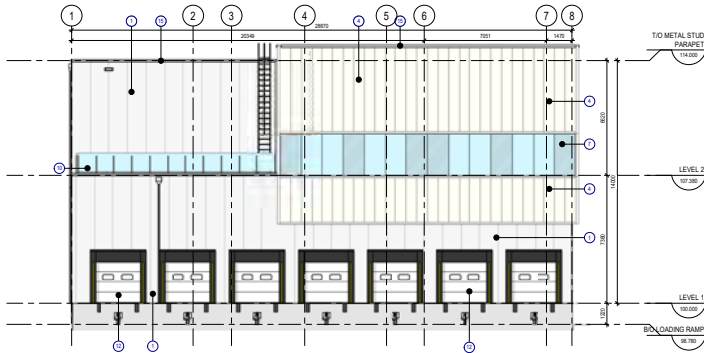
PROJECT NO. DRAWN CHECKED
 221-146 TP JS
 DRAWING NO. REVISION NO.

DP3.1

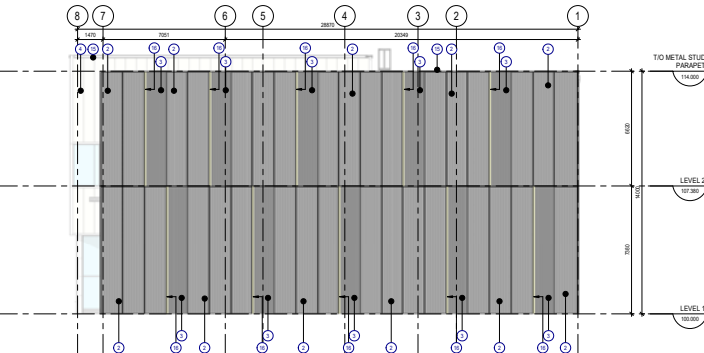
C:\Users\m2022\OneDrive\Desktop\DP3.1\m2022\m2022\DP3.1.dwg
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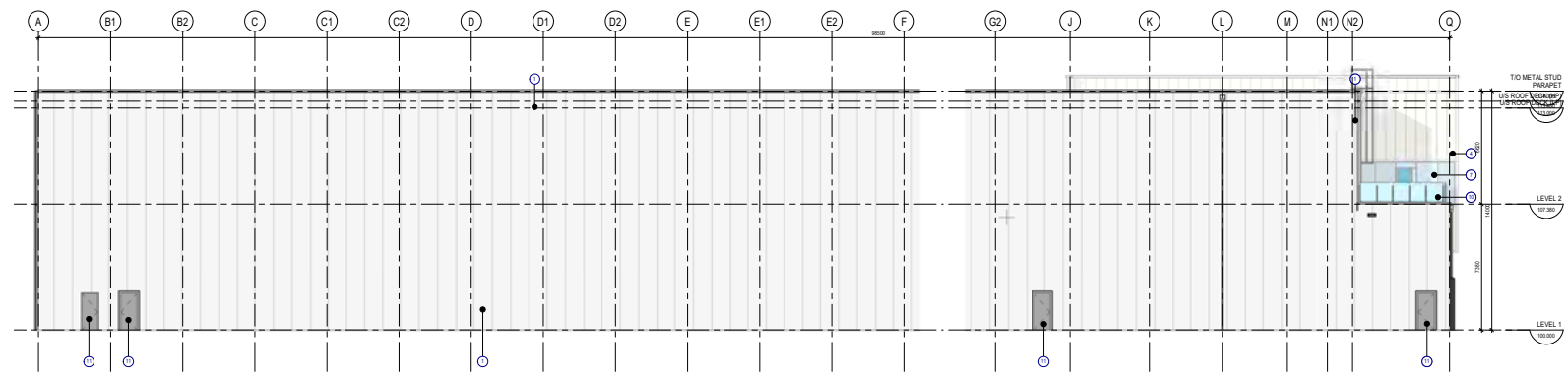
KEY PLAN



3 SOUTH ELEVATION
SCALE: 1:100



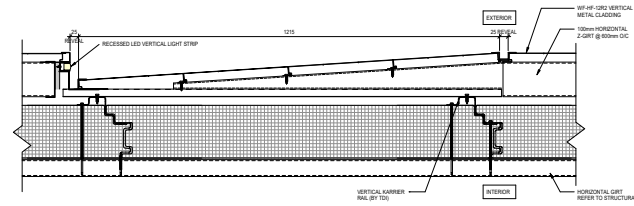
2 NORTH ELEVATION
SCALE: 1:100



1 WEST ELEVATION
SCALE: 1:100

EXTERIOR ELEVATION LEGEND

- INSULATED METAL PANEL PRODUCT: KINGSPAN COLOUR: BRIGHT SILVER GREY ZINC
- VERTICAL METAL CLADDING PRODUCT: WESTFORM METALS COLOUR: WEATHERED ZINC - ANGLE
- VERTICAL METAL CLADDING PRODUCT: WESTFORM METALS COLOUR: WEATHERED ZINC - ANGLE
- TRANSLUCENT ENLIGHTENING PANEL KINGSPAN UNGLAZED COLOUR: 'CLEAR MATTE'
- VERTICAL METAL CLADDING PRODUCT: WESTFORM METALS COLOUR: WEATHERED ZINC - PERFORATED
- ALUMINUM STOREFRONT ENTRY GLAZING: ANODIZED FRAMES
- ALUMINUM CURTAIN WALL GLAZING: ANODIZED FRAMES
- PERFORATED METAL CLADDING
- FINISHED WINDOW - FRAMES TO MATCH
- GALVANIZED STEEL GUARDRAIL
- TEMPERED GLASS GUARDRAIL
- HOLLOW METAL DOOR COLOUR TO MATCH ADJACENT CLADDING
- OVERHEAD DOOR DIV VISION PANEL COLOUR TO MATCH ADJACENT CLADDING
- NOT USED
- FIRE DEPARTMENT CONNECTION
- PREFINISHED ALUMINUM CAP FLASHING COLOUR: TO MATCH ADJACENT CLADDING
- VERTICAL RECESSED COVE LIGHTING



5 PLAN DETAIL - RECESSED LED FIXTURE AND ANGLED CLADDING PANEL
SCALE: 1:5

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
1960 32 AVE
SURREY, BC V3R 9J3

TITLE
BUILDING ELEVATIONS

PROJECT NO. DRAWN CHECKED
221-146 TP JS

DRAWING NO. REVISION NO.
DP3.2 1

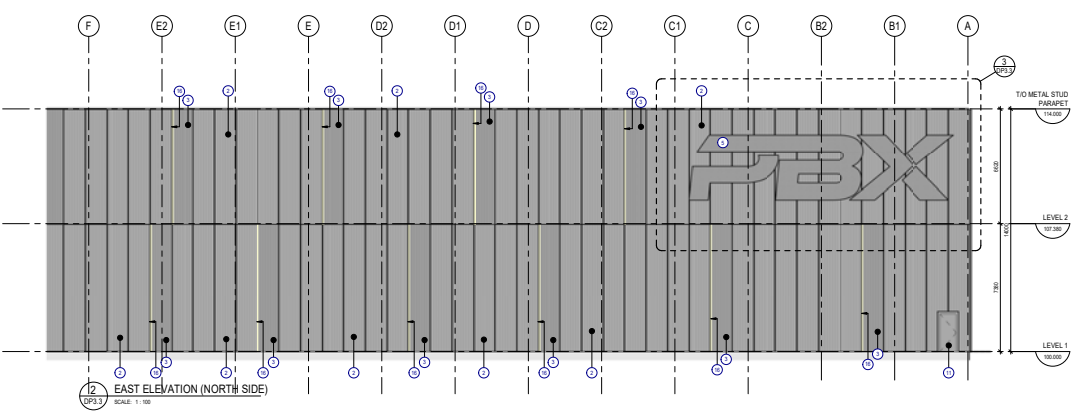
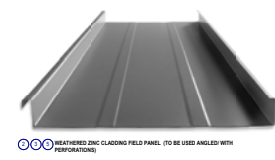
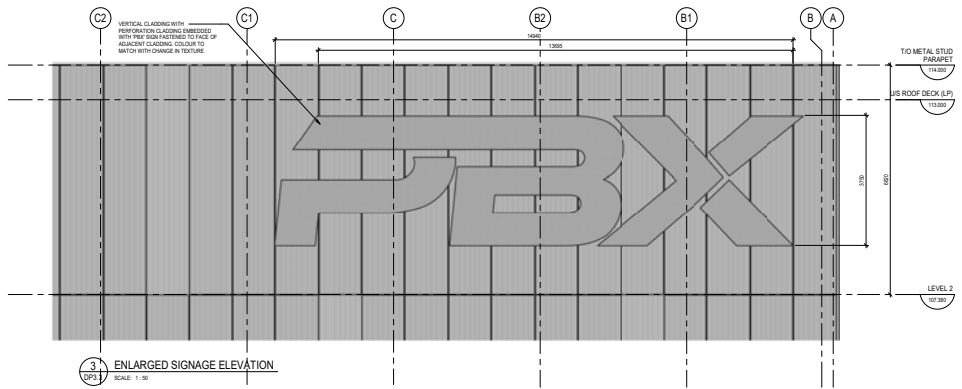
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EXTERIOR ELEVATION LEGEND:

- INSULATED METAL PANEL, PRODUCT: KINGSPAN, COLOUR: 'BRIGHT SILVER GREY'
- VERTICAL METAL CLADDING, PRODUCT: WESTFORM METALS, COLOUR: 'WEATHERED ZINC'
- VERTICAL METAL CLADDING, PRODUCT: WESTFORM METALS, COLOUR: 'WEATHERED ZINC ANGLE'
- TRANSLUCENT ENLIGHTENING PANEL, KINGSPAN (UNGLAZ), COLOUR: 'CLEAR MATTE'
- VERTICAL METAL CLADDING, PRODUCT: WESTFORM METALS, COLOUR: 'WEATHERED ZINC PREFERRED'
- ALUMINUM STOREFRONT ENTRY GLAZING, ANODIZED FRAMES
- ALUMINUM CURTAIN WALL GLAZING, ANODIZED FRAMES
- RECESSED PROFILED GLAZING
- PUNCHED WINDOW - FRAMES TO MATCH
- GALVANIZED STEEL GUMDRAL
- TEMPERED GLASS GUMDRAL
- HOLLOW METAL DOOR, COLOUR TO MATCH ADJACENT CLADDING
- OVERHEAD DOOR CH W/ VISION PANEL, COLOUR TO MATCH ADJACENT GLAZING
- NOT USED
- FIRE DEPARTMENT CONNECTION
- PREFABRICATED ALUMINUM CAP FLASHING, COLOUR TO MATCH ADJACENT CLADDING
- VERTICAL RECESSED COVE LIGHTING

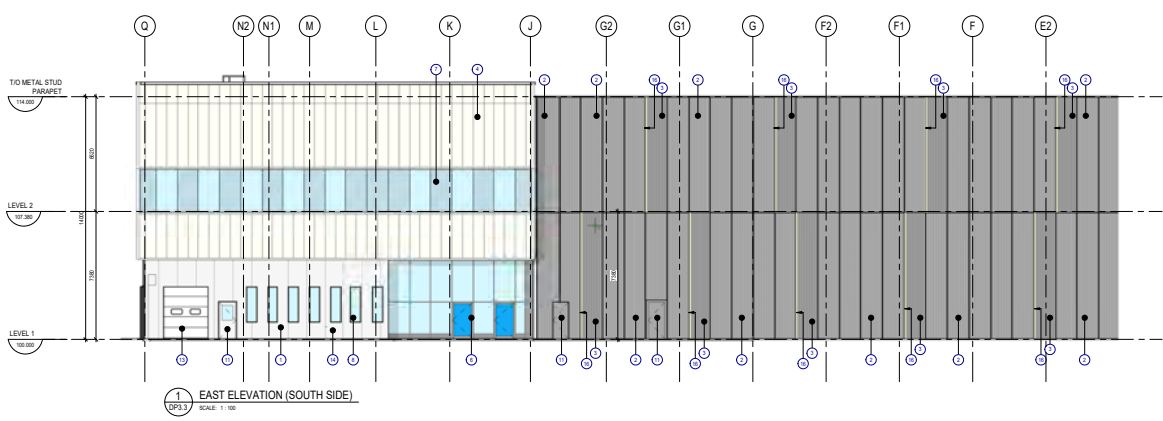
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KEY PLAN



1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION



PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
1962 32 AVE
SURREY, BC V3R 0A3

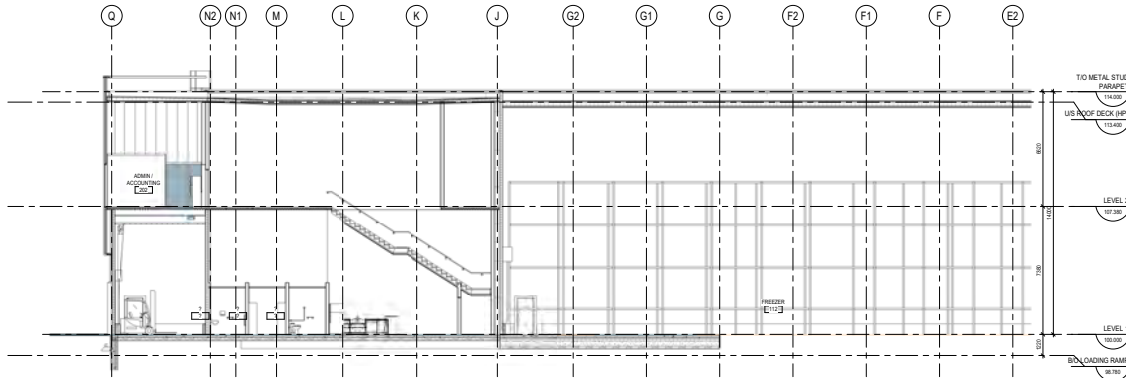
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BUILDING ELEVATIONS

PROJECT NO. 221-146 DRAWN TP CHECKED JS
DRAWING NO. REVISION NO.

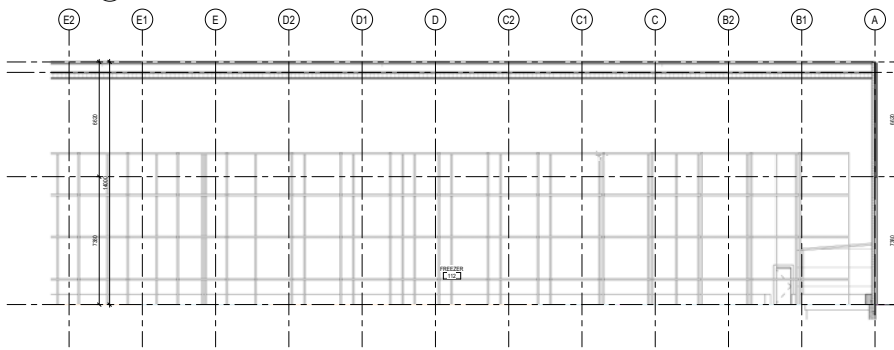
DP3.3



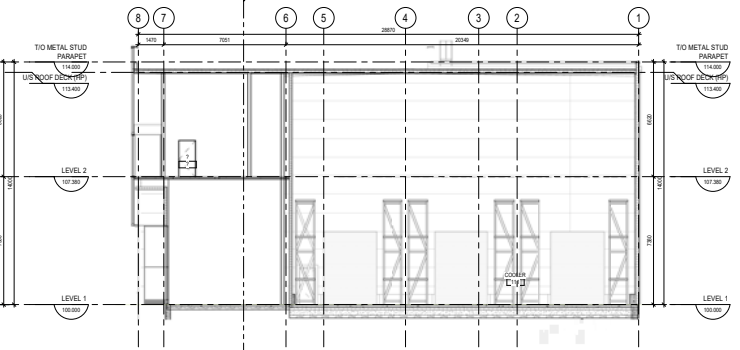
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KEY PLAN



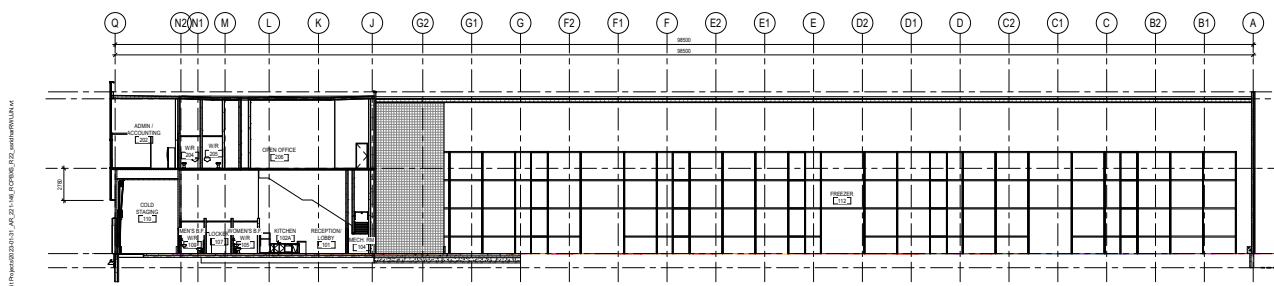
4 S-N SECTION SOUTH
SCALE: 1:100



3 S-N SECTION NORTH
SCALE: 1:100



2 E-W SECTION
SCALE: 1:100



1 OVERALL BUILDING SECTION
SCALE: 1:100

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
1961 24 AVE
SURREY, BC V3R 9J3

TITLE
BUILDING SECTIONS

PROJECT NO. DRAWN CHECKED
221-146 TP JS

DRAWING NO. REVISION NO.
DP4.1

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	2022/JUL/05	NEW SITE PLAN	MMW/TM

CLIENT:			
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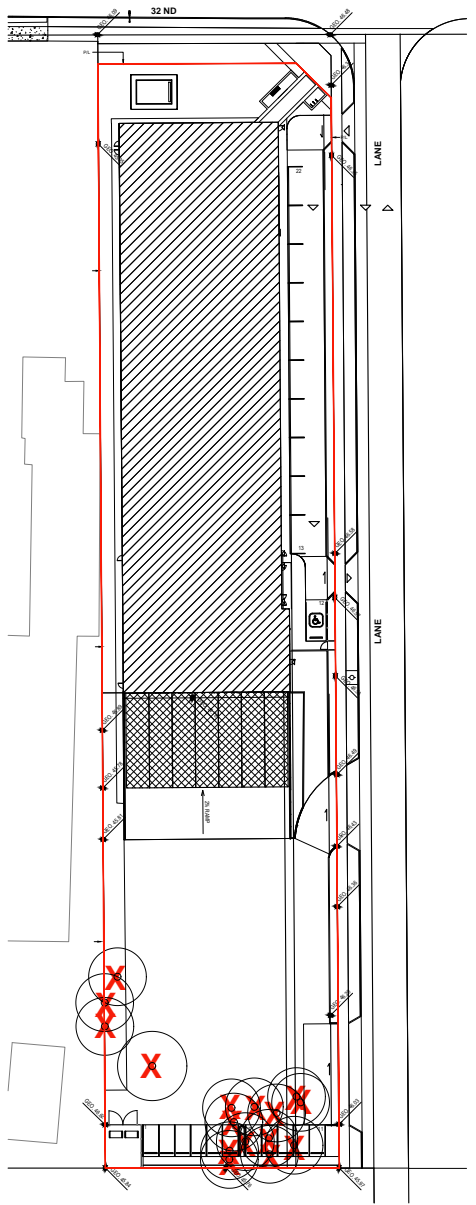
PROJECT:
PBX WAREHOUSE

19082 32ND AVE
 SURREY

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 22.JUL.05 DRAWING NUMBER:
 SCALE: 1:400
 DRAWN:
 DESIGN: BA
 CHKD:
L1

OF 6



X	TREE TO BE REMOVED REFER TO ARBORIST REPORT
	PROPERTY LINE

TREE MANAGEMENT PLAN @1:400





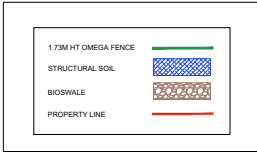
BENCH - MAGLIN 970 BACKED BENCH, METAL IN RED



BIKE RACK - MAGLIN 2300 SERIES, ICONIC IN RED



1.73 M HT. OMEGA FENCE IN BLACK



PLANT SCHEDULE				PNG PROJECT NUMBER: 22-070
KEY	QTY	TOTICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	3	AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2M HT: B&B
	18	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE DWEIFUTUM	70CM CAL: 1.8M STD: B&B
	16	NYSSA TUPELO TOWER	TUPELO TOWER NYSSA	6CM CAL: 1.8M STD: B&B; FASTIGIATE
	26	PICEA OMOROKA 'BRUNUS'	BRUNUS OMOROKA SPRUCE	3.0M HT: B&B
	18	PINUS NIGRA 'SELECT GREEN'	SELECT GREEN AUSTRALIAN BLACK PINE	3.0M HT: B&B

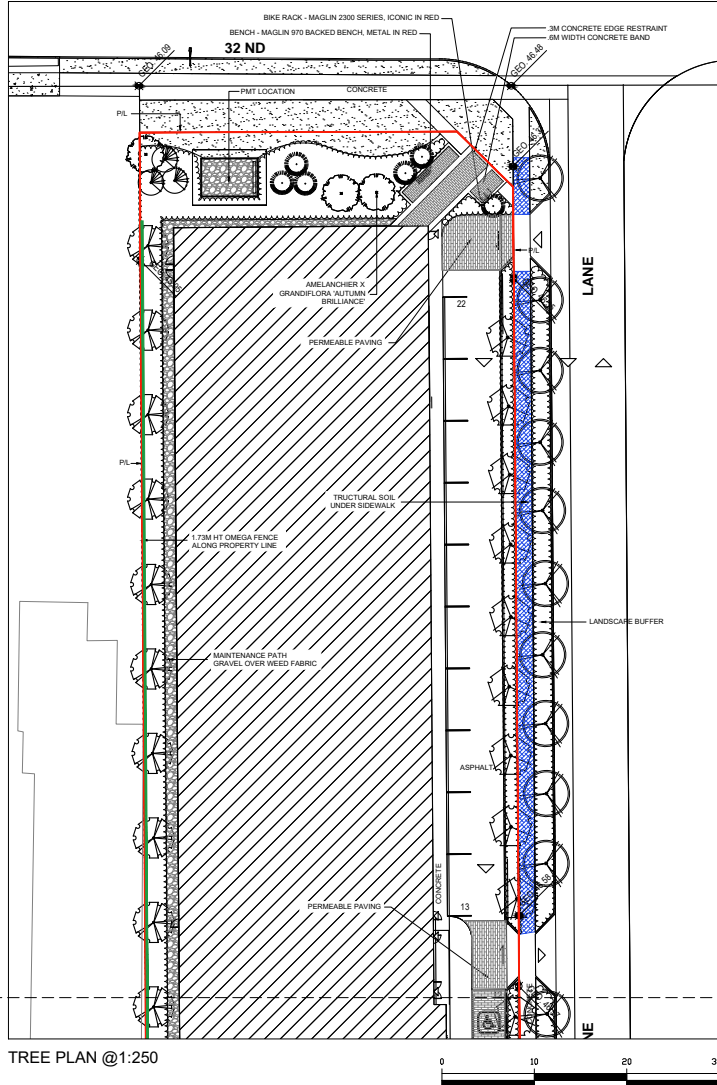
NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. *REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PACIFIC VALLEY. *SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTE: IRRIGATION FOR LANDSCAPE AREAS WILL BE PROVIDED THROUGH DESIGN BUILD SYSTEM.

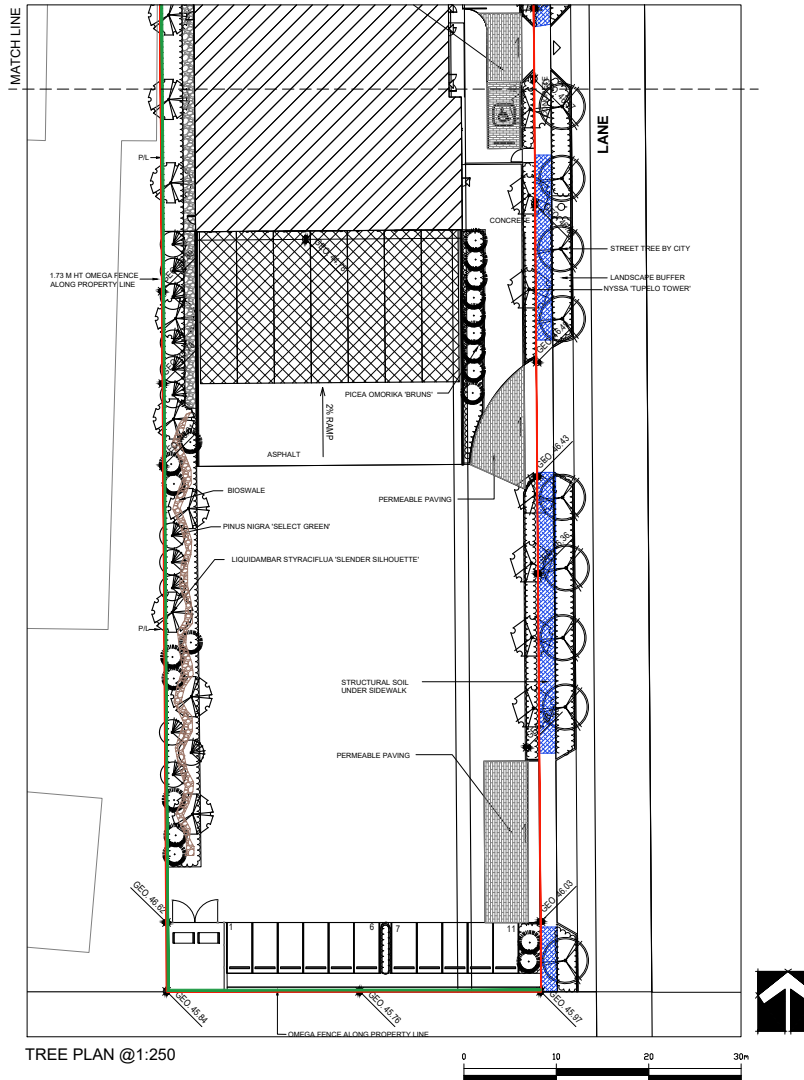
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pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011, f. 604 294-0022



TREE PLAN @1:250



TREE PLAN @1:250

SEAL:

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

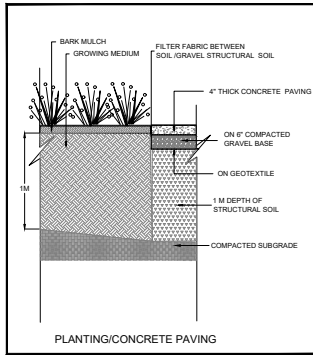
PROJECT:
PBX WAREHOUSE

19082 32ND AVE
SURREY

DRAWING TITLE:
OVERALL LANDSCAPE PLAN

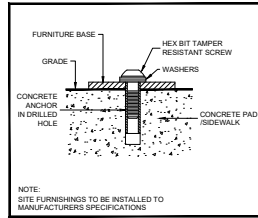
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DRAWN: BA
DESIGN: BA
CHKD: OF 6

SEAL:



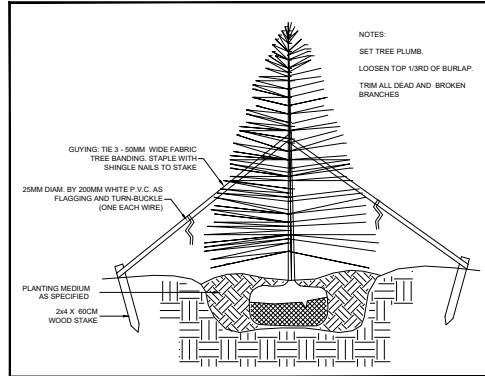
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1:25



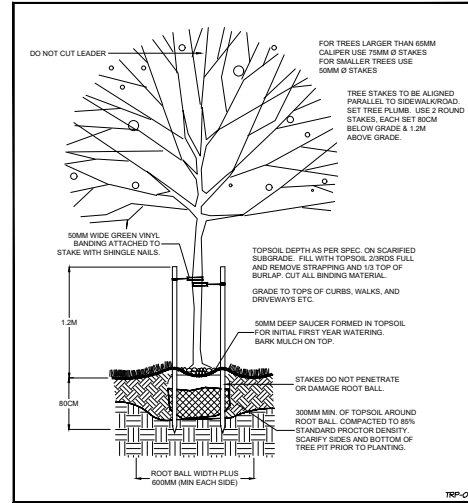
2 SITE FURNITURE MOUNTING

NTS



3 CONIFER PLANTING DETAIL

1:25



4 DECIDUOUS TREE PLANTING DETAIL

1:25

NO.	DATE	REVISION DESCRIPTION	DR.
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1	2022/01/05	NEW SITE PLAN	MW/M
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CLIENT:

PROJECT:
PBX WAREHOUSE

19082 32ND AVE
SURREY

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 22.JUL.05 DRAWING NUMBER:
 SCALE: AS NOTED
 DRAWN: BA **L4**
 DESIGN: BA
 CHKD:

OF 6



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 01, 2022** PROJECT FILE: **7822-0229-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19082 32 Avenue**

LAP AMENDMENT

There are no engineering requirements relative to the LAP Amendment.

REZONE

Property and Right-of-Way Requirements

- Dedicate approximately 4.942 m towards 32 Avenue.
- Dedicate 6.0 m towards the Green Lane.
- Dedicate required corner cuts.
- Secure off-site road dedications or statutory rights-of-way (SRW) as required.
- Register 0.5 m SRW along all road frontages.

Works and Services

- Construct multi-use pathway on 32 Avenue.
- Construct the west side of the Green Lane.
- Construct water, storm, and sanitary mains as required to service the development.
- Construct water and sanitary service connections.
- Complete sanitary and storm catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide on-site stormwater mitigation and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

DJS

NOTE: Detailed Land Development Engineering Review available on file

Surrey Project No: 221-146
 Address: 19082 – 32nd Ave Surrey BC
 Arborist: Stephen Harvey #PN-8304A

On-Site Trees	Number of Trees
Protected Trees Identified	18
Protected Trees to be Removed	18
Protected Trees to be Retained	0
Total Replacement Trees Required	
Alder/Cottonwood 2x1=2	
All other protected trees 16x2=32	34
Replacement Trees Proposed	78
Replacement Trees in Surplus	44

Off-Site Trees	Number of Trees
Trees to be Removed	28
Total Replacement Trees Required	
Alder/Cottonwood 0	
All other protected trees 28x2=56	56
Replacement Trees Proposed	19
Replacement Trees in Deficit	37

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0229-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-570-475
Parcel "A" (N33579E) of Lot 2 Section 21 Township 7
New Westminster District Plan 8048

19082 - 32 Avenue (19078 - 32 Avenue)

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

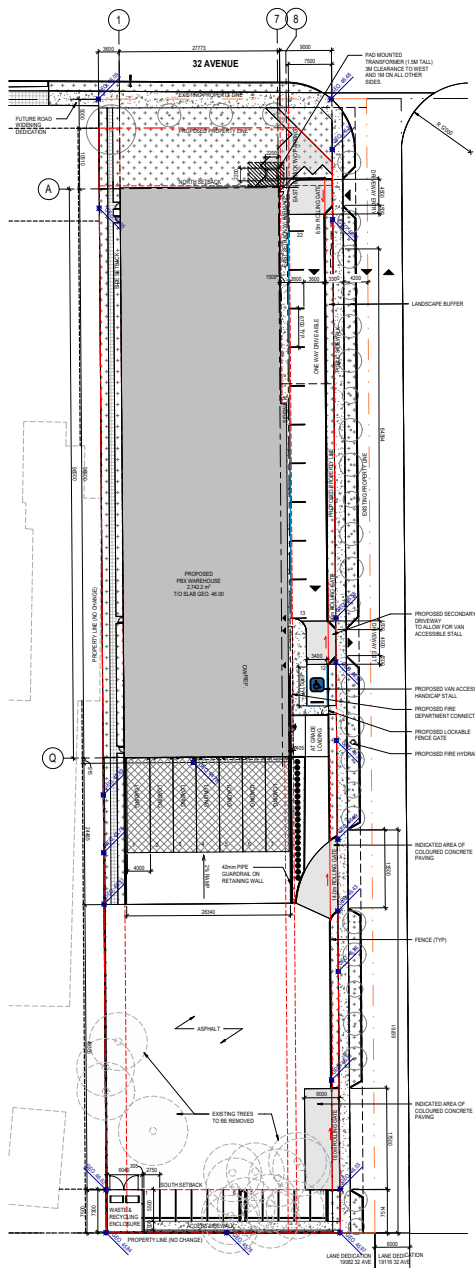
- (a) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the industrial parking rate is reduced from 1.0 parking spaces per 100 square metres to 0.5 parking spaces per 100 square metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

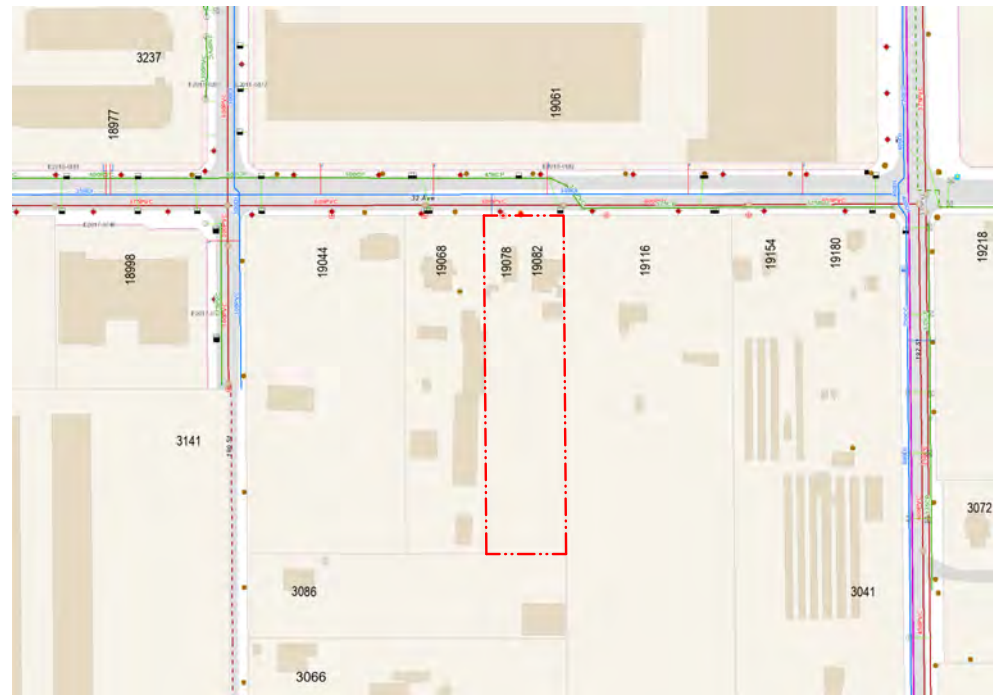
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

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 KEY PLAN



1 SITE PLAN
 DP1.1 SCALE: 1:300



2 CONTEXT PLAN
 DP1.1 SCALE: 1:1000

Industrial parking rate reduced from 1.0 to 0.5 parking spaces per 100 sq. m. of floor area

USE STANDARDS

HEADPLAN ADDRESS: 19082 32 AVE V14 1A7
 LEGAL DESCRIPTION: SECTION 27 TOWNSHIP 7 PLAN APPROXIMATE LEGAL SUBDIVISION (L.P.L. ADDRESS) OF L2

PROJECT DATA
 BUILDING HEIGHT: 2 STORIES
 BUILDING FOOTPRINT: 2,342.24 m²

BUILDING AREA
 MAIN FLOOR: 2,342.24 m²
 SECOND LEVEL: 232.34 m²
 GROSS TOTAL AREA: 2,574.58 m²

CURRENT SITE ZONING: A-2 INTERMEDIATE AGRICULTURE ZONE (MAY OF LOT)
PROPOSED SITE ZONING: I-1 LIGHT MANUFACTURE ZONE (MAY OF LOT)
ZONING BY-LAW: B-1 BUSINESS PARK 1 (DISE SURVEY ZONING BY-LAW 1000)

FRONT SETBACK: 10.0 m (CAN BE REDUCED TO 7.5 m IF AREA BETWEEN BUILDING & HIGHWAY IS NOT USED FOR PARKING & IS LANDSCAPED)
STREET SIDE SETBACK: 10.0 m (MAY BE REDUCED TO 7.5 m IF ABUTTING COMMERCIAL, MIXED EMPLOYMENT OR INDUSTRIAL)
REAR SETBACK: 7.5 m
MAXIMUM BUILDING HEIGHT: 14.0 m

SITE AREA: 9,321.0 m²
BUILDING AREA: 2,574.58 m²
MAXIMUM SITE COVERAGE: 27.6% (5,470.8 m²)
PROPOSED SITE COVERAGE: 27.6% (5,470.8 m²)
ALLOWABLE P.A.R.: 1.0
PROPOSED P.A.R.: 0.50 (2,574.58 m² / 5,149.16 m²)

PARKING REQUIREMENTS

TYPE	REQUIREMENT	PROVIDED	REQUIRED
STANDARD STALLS	2.75 x 5.5 m - 7.5 m DRIVE ABLE (2 WAY TRAFFIC)	11 PROVIDED	11 REQUIRED
STANDARD STALLS	2.75 x 4.5 m - 3.4 m DRIVE ABLE (2 WAY TRAFFIC)	34 PROVIDED	34 REQUIRED
TOTAL		45 PROVIDED	45 REQUIRED
ACCESSIBLE STALLS			
20' VAN ACCESSIBLE STALL	3.4 m x 5.5 m - 1.5 m SHARED ABLE (1:1 DRIVE ABLE (2 WAY TRAFFIC))	1 PROVIDED	1 REQUIRED

WATER & RECYCLING REQUIREMENTS

REGULAR SANITARY MANHOLE: 1 REQUIRED
 REGULAR DRAINAGE MANHOLE: 1 REQUIRED
 SIDE INLET CATCH BASIN: 1 REQUIRED
 STANDARD CATCH BASIN: 1 PROVIDED
 REGULAR DRAINAGE MANHOLE: 1 PROVIDED
 SLUMP DRAINAGE MANHOLE: 1 PROVIDED
 LAIRN BASIN: 1 PROVIDED
 HYDRO W/ LIGHTS: 1 PROVIDED
 REGULAR DRAINAGE MANHOLE: 1 PROVIDED

CONTEXT PLAN LEGEND

- EXISTING BUILDINGS
- ROAD SURFACES
- SANITARY MAIN
- PROPOSED SANITARY MAIN
- DRAINAGE SERVICE CONNECTIONS
- WATER MAIN
- METRO VANDOVER WATER MAIN
- MUNICIPAL R.O.D.R.
- 8" HYDRO POLES
- STREETLIGHT
- SANITARY MANHOLE CAP
- REGULAR SANITARY MANHOLE
- SIDE INLET CATCH BASIN
- STANDARD CATCH BASIN
- REGULAR DRAINAGE MANHOLE
- SLUMP DRAINAGE MANHOLE
- LAIRN BASIN
- HYDRO W/ LIGHTS
- REGULAR DRAINAGE MANHOLE

1 ISSUED FOR LAND DEVELOPMENT 2022-07-05
 NO. ISSUER REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
PBX WAREHOUSE

PROJECT ADDRESS
 19082 32 AVE
 SURREY, BC V3E 9J3

TITLE
SITE CONTEXT AND PLAN

PROJECT NO. DRAWN CHECKED
 221-146 TP JS
 DRAWING NO. REVISION NO.

DP1.1 