

SMILESTONES LEARNING SOCIETY REZONING

2507 128TH STREET, SURREY, B.C.

PROJECT DATA

CIVIC ADDRESS
2507 128ST, SURREY, B.C.

ZONE
EXISTING: C-4 LOCAL COMMERCIAL ZONE
PROPOSED: C-5 NEIGHBOURHOOD COMMERCIAL ZONE

BUILDING USE
COMMERCIAL

LOT AREA:
974.77 m²

BUILDING AREA (BUILDING CODE):
282.80 m²

GROSS FLOOR AREA:
LOWER FLOOR = 1,119 SF (103.96 m²)
MAIN FLOOR = 1,763 SF (163.75 m²)
UPPER FLOOR = 1,223 SF (113.66 m²)
GROSS FLOOR AREA = 4,105 SF (381.37 m²)

PARKING REQUIREMENTS (SURREY BY LAW 12000)
REQUIRED CHILD CARE PARKING SPACES = 0.7 PARKING SPACES / EMPLOYEE
+ 0.15 PARKING SPACES / LICENSED CHILD FOR DROP OFF OR 2 PARKING SPACES, WHICHEVER IS GREATER.

WHERE THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES, MUST BE ACCESSIBLE PARKING SPACES

REQUIRED
0.70 X 12 = 8 PARKING SPACES
0.15 X 60 = 9 PARKING SPACES
17 PARKING SPACES

PROPOSED
OFF STREET PARKING: 10 PARKING SPACES
VARIANCE: 7 STALLS

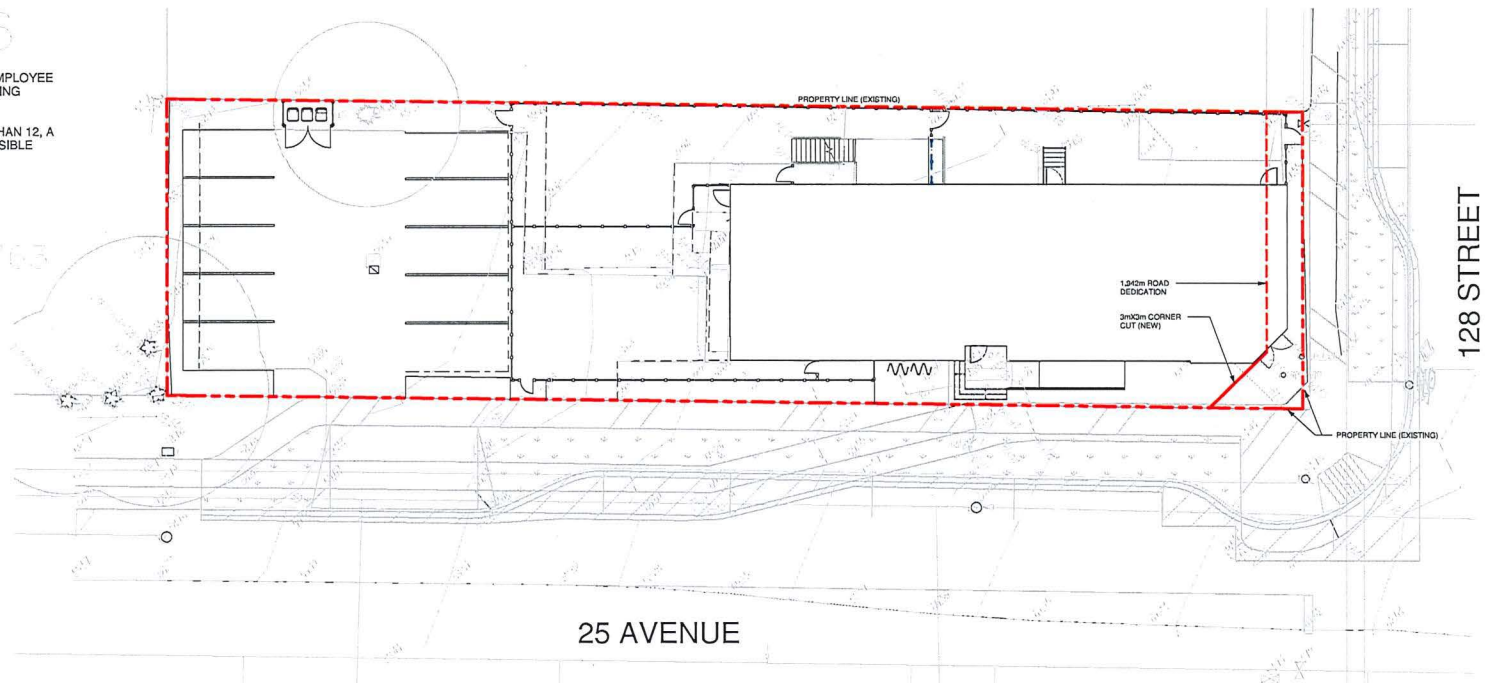
STREET PARKING: 9 STALLS

NUMBER OF STOREYS:
EXISTING: 3
PROPOSED: 3

ALLOWED BUILDING HEIGHT:
ALLOWED: MAX. 9.0 m
PROPOSED: 5.0 m

MAXIMUM DENSITY:
PERMITTED DENSITY: 0.50
PROPOSED: 0.39

LOT COVERAGE:
MAXIMUM: 50%
PROPOSED: 29%



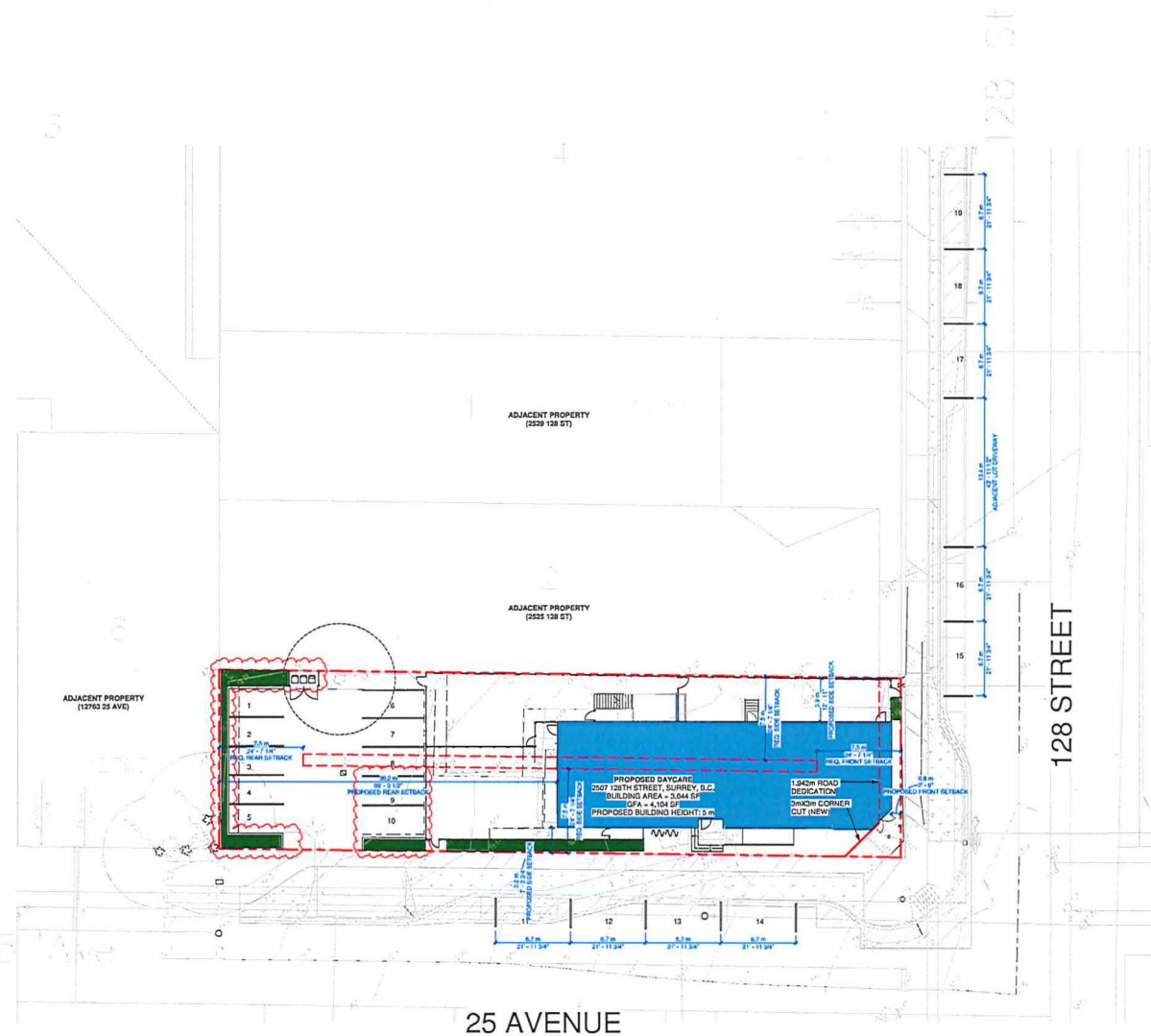
25 AVENUE

128 STREET

25 Ave

① BASE SITE PLAN
1" = 10'-0"

NO.	DESCRIPTION	DATE
10	PARKING REVISION PER CITY	23-08-20
9	IF. REZONING	23-08-11
2	IF. CLIENT REVIEW	22-08-15
1	IF. CLIENT REVIEW	22-07-04



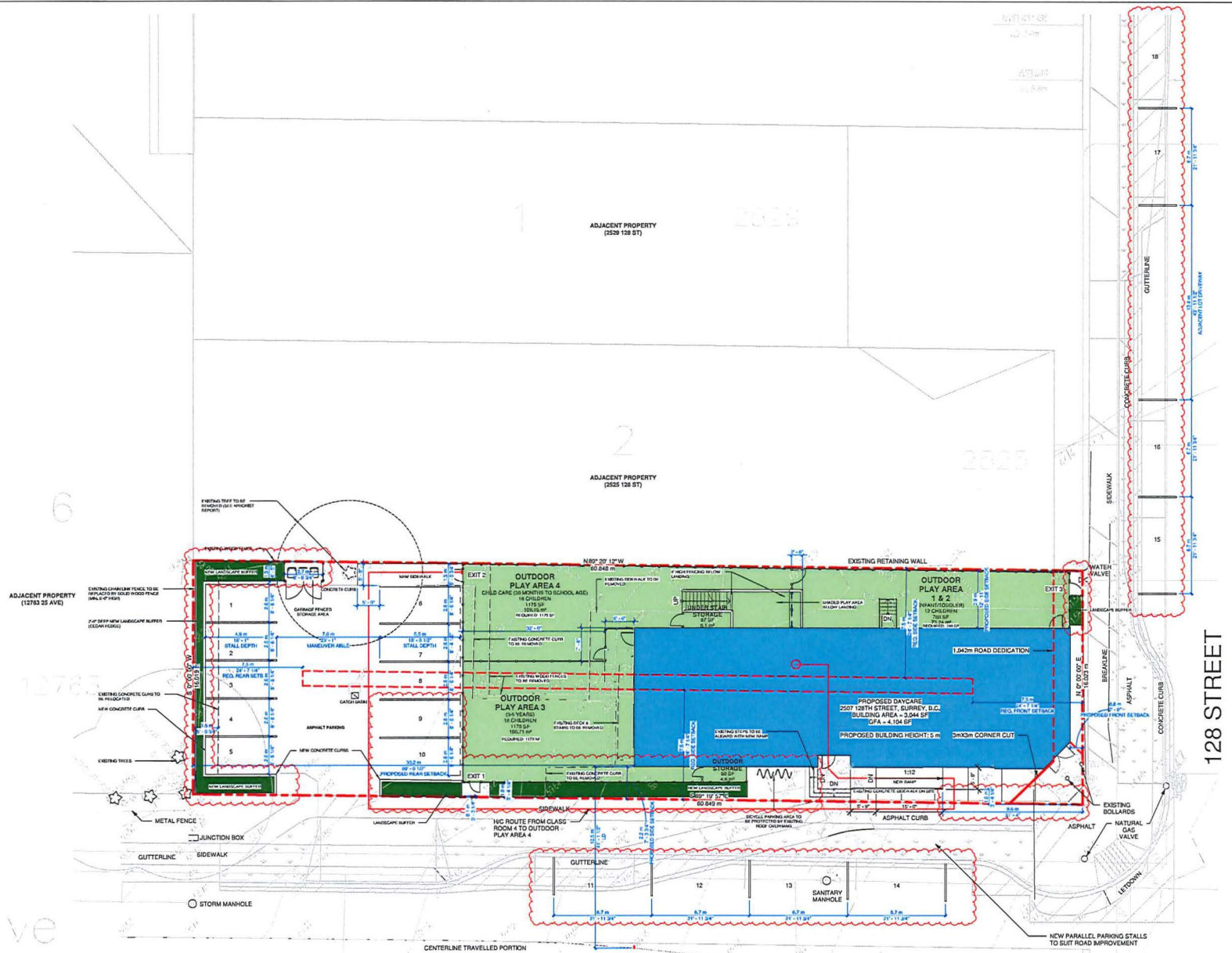
25 AVENUE

128 STREET

CONTEXT SITE PLAN
1/16" = 1'-0"

10	PAVING BELLAIR PARK CITY	23-08-10
9	17. GENERAL RELIEF COMMENTS	22-07-20
8	17. BLOCKING	20-04-17
7	17. SEE H1 RI VIEW	22-09-15
6	17. SEE H1 RI VIEW	22-09-15
5	17. SEE H1 RI VIEW	22-09-15
Revisions		ypm/m-ds

Sign & Seal
Project Title
Smilestones Learning Society
2507 128TH STREET, SURREY, B.C.
Project No. 220604
Project Start Date JUNE 2022
Sheet Title Scale 1/16" = 1'-0"
CONTEXT PLAN



25 AVENUE

128 STREET

① SITE PLAN WITH ROAD IMPROVEMENT
1" = 10'-0"

NO.	DESCRIPTION	DATE
10	PARKING REVIEW PER CITY	23-08-20
9	11. SIGNAGE PER CITY COMMENTS	23-07-20
8	11. SIGNAGE PER CITY COMMENTS	23-07-20
7	11. SIGNAGE PER CITY COMMENTS	23-06-20
6	11. SIGNAGE PER CITY COMMENTS	23-06-20
5	11. SIGNAGE PER CITY COMMENTS	23-06-20
4	11. SIGNAGE PER CITY COMMENTS	23-06-20
3	11. SIGNAGE PER CITY COMMENTS	23-06-20
2	11. SIGNAGE PER CITY COMMENTS	23-06-20
1	11. SIGNAGE PER CITY COMMENTS	23-06-20

Sign & Seal
Project Title
Stilestones Learning Society
2507 128TH STREET, SURREY, B.C.
Project No. 220604
Project Start Date JUNE 2022
Sheet Title SITE PLAN Scale 1" = 10'-0"

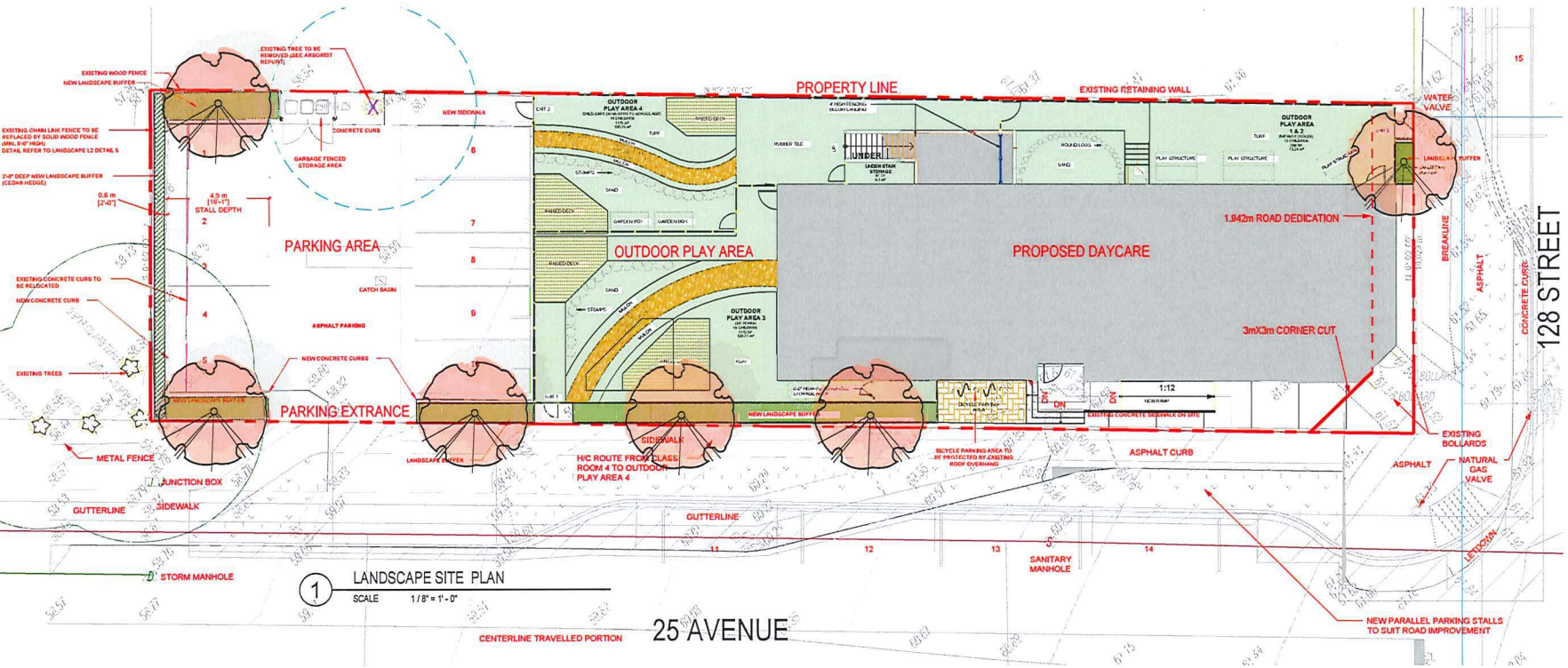


LEGEND:

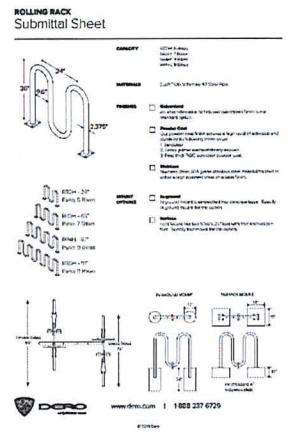
- PLANTING BED
- PAVING
- WOOD DECK
- CEDAR HEDGE
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW TREES

- GENERAL NOTES:**
- ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE BC/LANCLANA LANDSCAPE STANDARD LATEST EDITION.
 - ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT.
 - ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
 - ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.

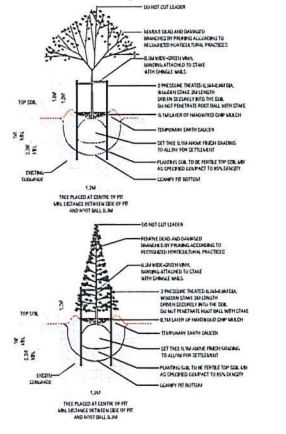
PROJECT NUMBER	L117
DRAWN BY	LS / ALZ
SCALE	
DATE CHECKED	
RPL PROJECTS	
WWW.RPLPROJECTS.COM	
lu@rplprojects.com	
604-338-5035	
PROJECT	ASPEN EARLY DAYCARE
2507 128TH STREET	
Surrey, BC	
DRAWING TITLE	LANDSCAPE SITE PLAN
DRAWING No.	L1



1 LANDSCAPE SITE PLAN
SCALE 1/8" = 1'-0"



2 BICYCLE SPECIFICATIONS
SCALE NTS



3 PLANTING DETAILS
SCALE NTS



TO: City Clerk, Legislative Services Division

FROM: Acting Director, Area Planning & Development – South Division

DATE: July 24, 2023

FILE: 7922-0306-00

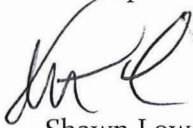
**RE: Agenda Item B.10, July 24, 2023 Regular Council – Land Use
Development Application No. 7922-0306-00
Replacement Pages for the Planning Report**

Development Application No. 7922-0306-00 is on the agenda for consideration by Council at the July 24, 2023 Regular Council – Land Use Meeting under Item B.10.

After finalizing the Planning Report for the July 24 Regular Council – Land Use Agenda, it was identified that the architectural and landscape drawings (Appendix I) did not reflect the correct landscape/screening strip along the west lot line.

Appendix I of the Planning Report has been updated to reflect this change.

The replacement Appendix I for the Planning Report is attached to this memorandum.



Shawn Low
Acting Director
Area Planning & Development – South Division
Planning & Development Department

Attachment - 7922-0306-00- Appendix I

c.c. – City Manager
General Manager, Planning & Development

ASPEN EARLY LEARNING SOCIETY REZONING

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COMMERCIAL

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17 PARKING SPACES

PROPOSED
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VARIANCE: 8 STALLS

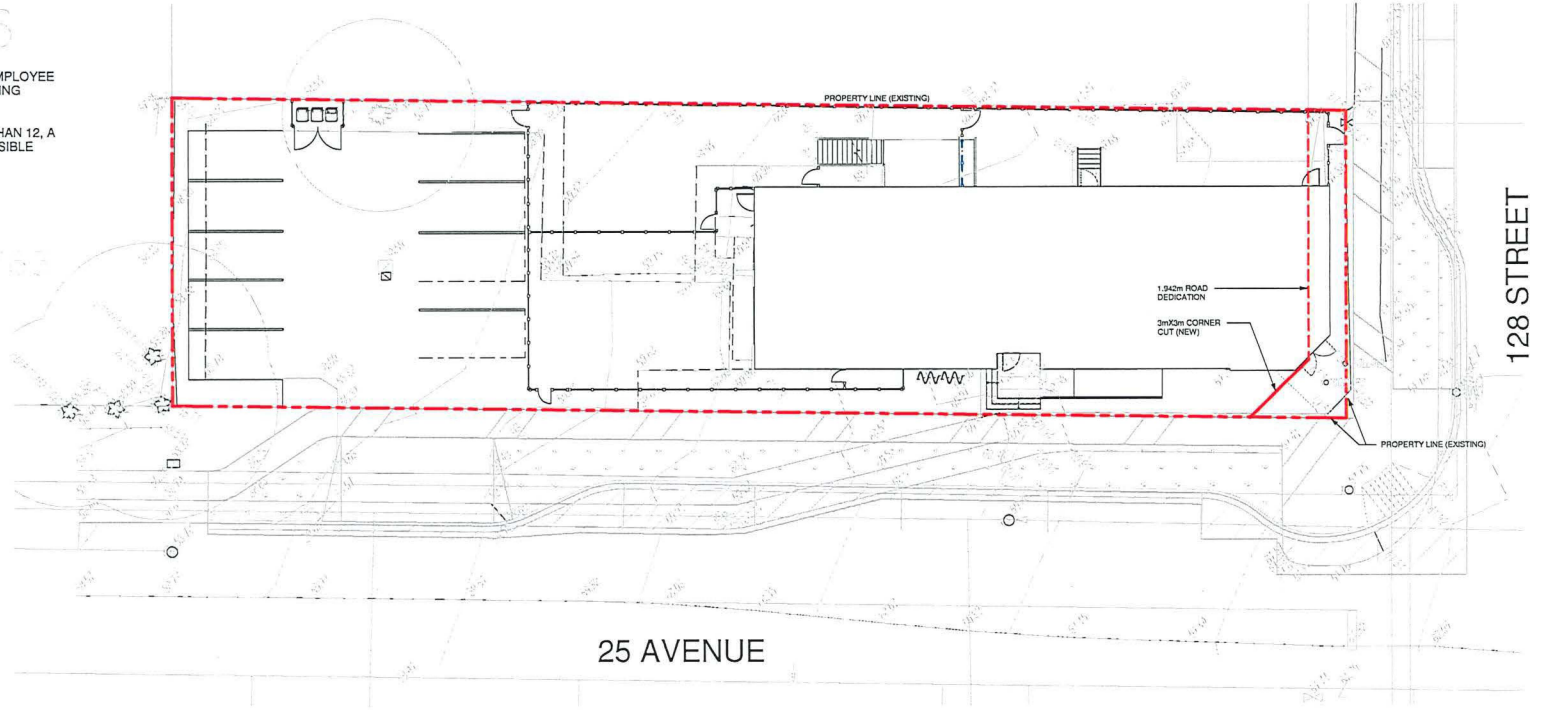
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① BASE SITE PLAN
1" = 10'-0"

Revisions		
6	I.F. REVISION PER CITY COMMENTS	23-06-23
5	I.F. REZONING	22-10-11
4	I.F. CLIENT REVIEW	22-08-15
3	I.F. CLIENT REVIEW	22-07-04

Sign & Seal

ASPEN EARLY LEARNING SOCIETY

2507 128TH STREET, SURREY, B.C.

Project Address
Project No. 220604
Project Start Date: 04/2022

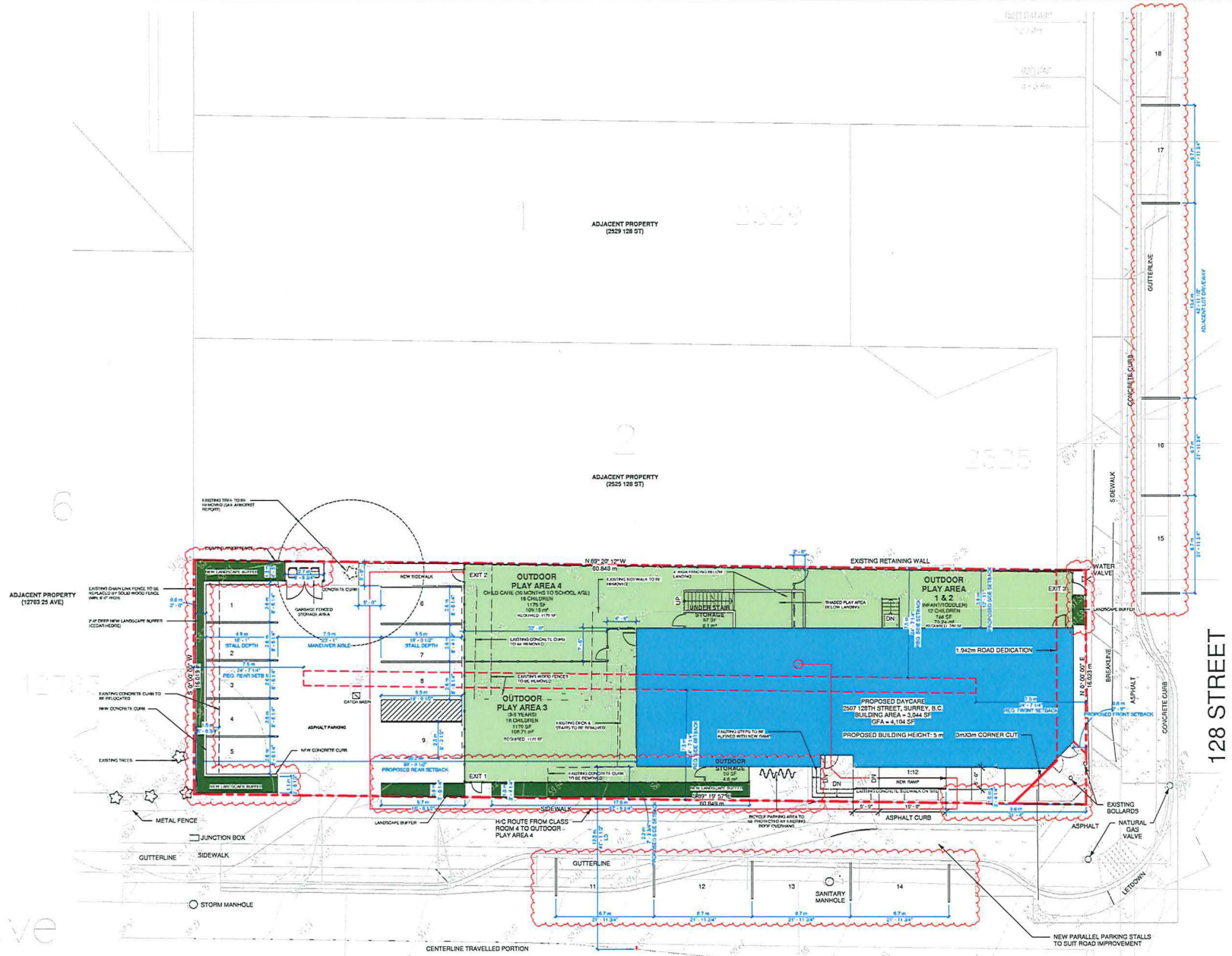
BASE SITE PLAN

Sheet Title

Scale 1" = 10'

A100

Sheet No.



25 AVENUE

128 STREET

① SITE PLAN WITH ROAD IMPROVEMENT
1" = 10'-0"

Revisions	By	Date
1. IF REVISION PER CITY COMMENTS	234	
2. IF REVISION PER LID	234	
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Sign & Seal

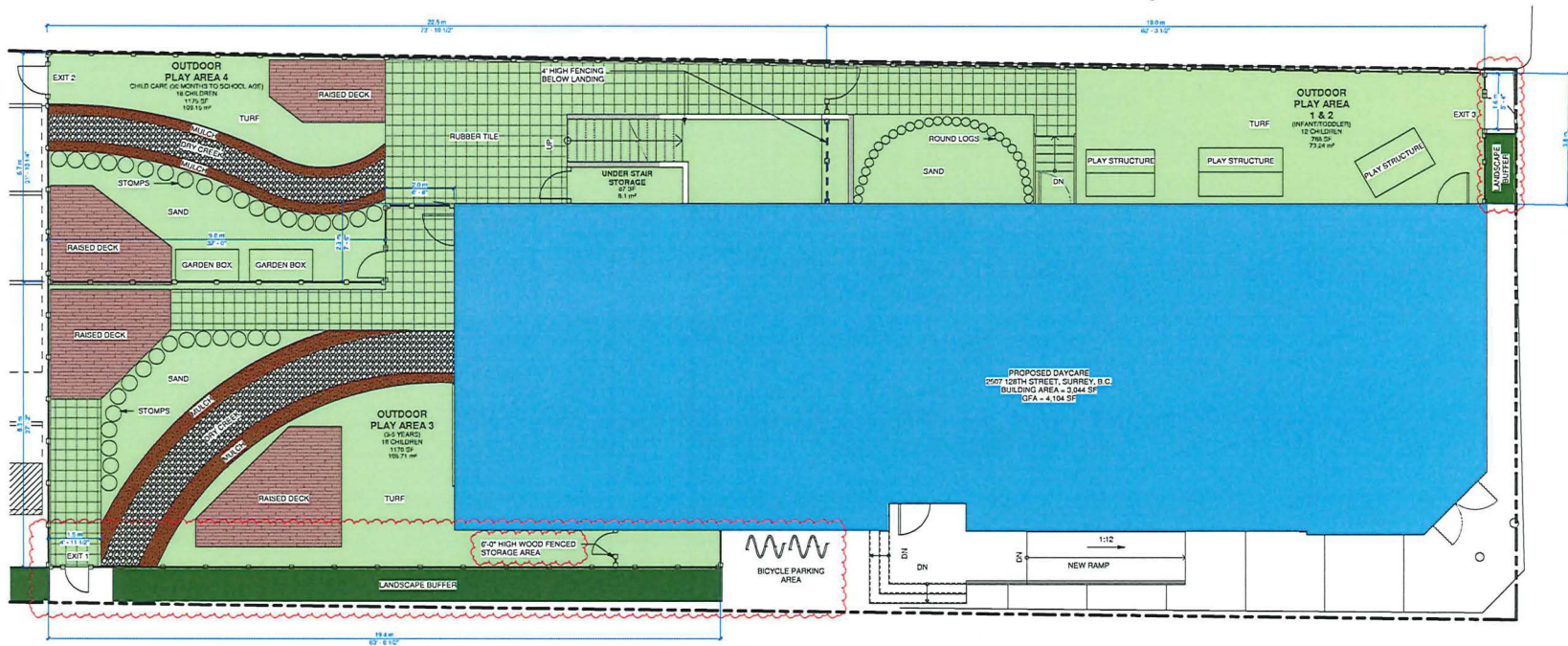
Project Title
ASPEN EARLY LEARNING SOCIETY

2507 128TH STREET, SURREY, B.C.

Project No. 220

Project Start Date JUNE 21

Sheet Title Scale 1" = 10'



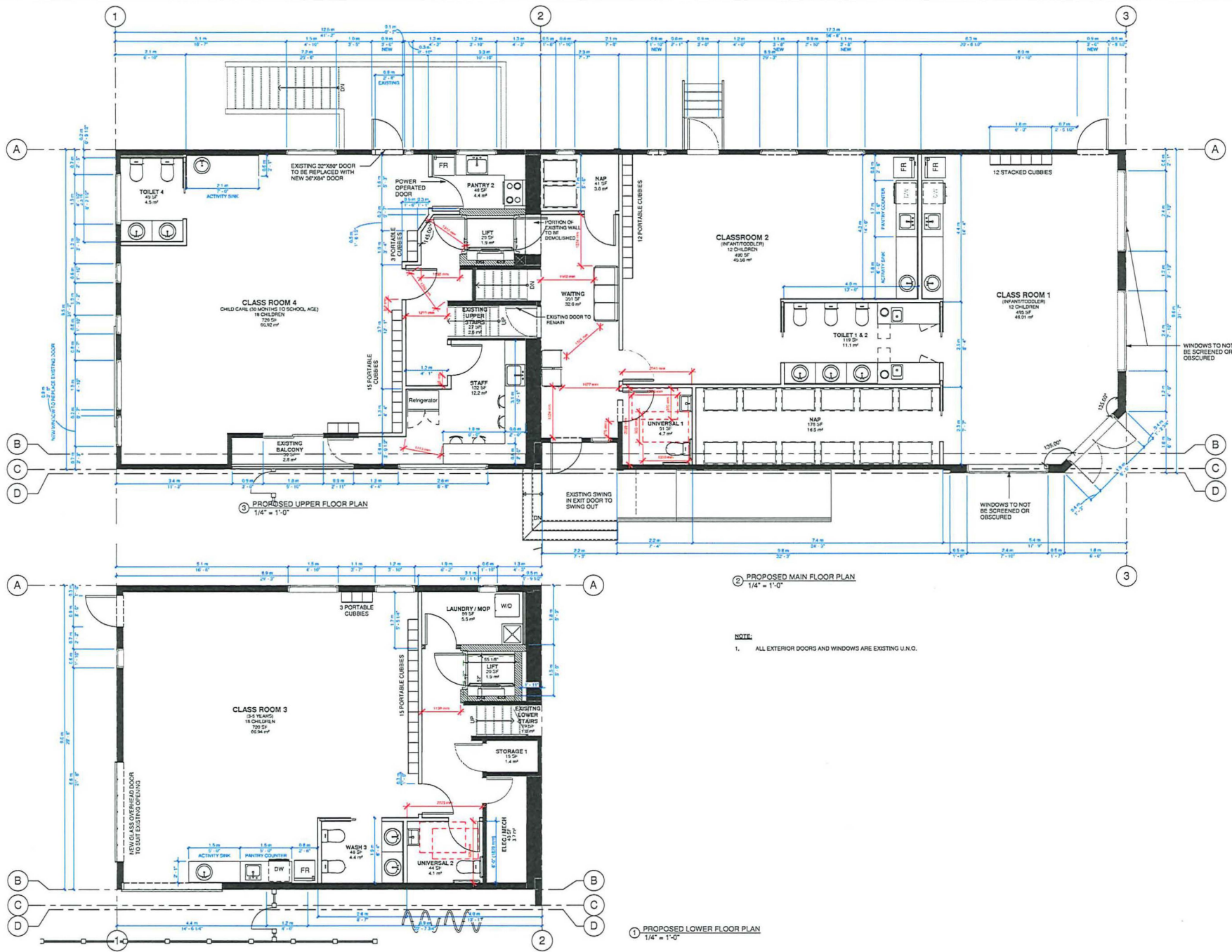
1 OUTDOOR PLAY AREA PLAN
3/16" = 1'-0"

Revision	Description	Date
7	I.F. REVISION PER LID	23-02-18
3	I.F. REZONING	22-10-11
2	I.F. CLIENT REVIEW	22-08-15
1	I.F. CLIENT REVIEW	22-03-04
4	I.F. REZONING REVISIONS	23-02-07

Sign & Seal

ASPEN EARLY LEARNING SOCIETY
2507 128TH STREET, SURREY, B.C.
Project Address
Project No. 22064 Project Start Date: JUNE 2022
Project Information

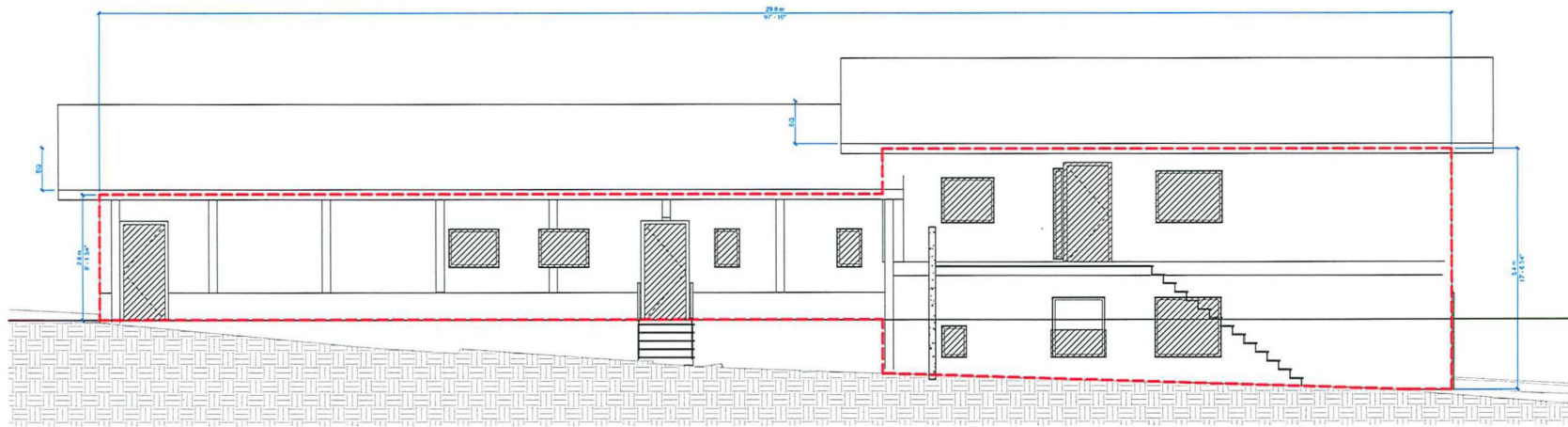
OUTDOOR PLAY AREA PLAN
Sheet Title
Scale 3/16" = 1'
A103
Sheet No.



NOTE:
1. ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING U.N.O.

Revisions	yy-mm
1. IF REVISIONS	234
2. IF REVISIONS	32
3. IF CLIENT REVIEW	224
4. IF CLIENT REVIEW	224

Sign & Seal
Project Title
ASPEN EARLY LEARNING SOCIETY
2507 128TH STREET, SURREY, B.C.
Project No. 2205
Project Start Date JUNE 21
Sheet Title Scale 1/4" = 1'-0"
PROPOSED FLOOR PLAN



NORTH ELEVATION SPATIAL SEPARATION
1/4" = 1'-0"

SPATIAL SEPARATION (L.D. 9.9 m)
TOTAL WALL AREA: 112.1 m²
UNPROTECTED OPENINGS AREA: 15.65 m² (HATCHED)
MAX. ALLOWED UNPROTECTED OPENING WITH 5.9 m LIMITING DISTANCE: 14.6 %
PROPOSED/EXISTING UNPROTECTED OPENING AREA: 13.8 %
MINIMUM REQUIRED FIRE RATING: 1 HOUR
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
TYPE OF CLADDING: NON-COMBUSTIBLE
PROPOSED: EXISTING 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH NON-COMBUSTIBLE CLADDING.

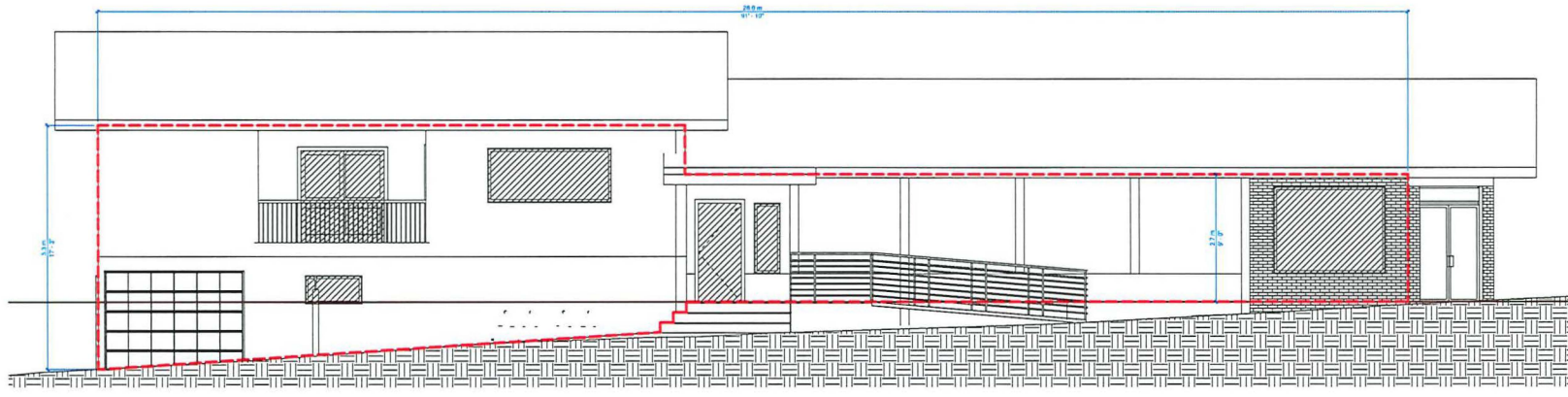
Table 2.2.1.1
Minimum Separation Requirements for Existing Building Faces

Building Type	Building Height (m)	Building Type	Building Height (m)	Building Type	Building Height (m)	Building Type	Building Height (m)
1	1.5	1	1.5	1	1.5	1	1.5
2	1.5	2	1.5	2	1.5	2	1.5
3	1.5	3	1.5	3	1.5	3	1.5
4	1.5	4	1.5	4	1.5	4	1.5
5	1.5	5	1.5	5	1.5	5	1.5
6	1.5	6	1.5	6	1.5	6	1.5
7	1.5	7	1.5	7	1.5	7	1.5
8	1.5	8	1.5	8	1.5	8	1.5
9	1.5	9	1.5	9	1.5	9	1.5
10	1.5	10	1.5	10	1.5	10	1.5
11	1.5	11	1.5	11	1.5	11	1.5
12	1.5	12	1.5	12	1.5	12	1.5
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14	1.5	14	1.5	14	1.5	14	1.5
15	1.5	15	1.5	15	1.5	15	1.5
16	1.5	16	1.5	16	1.5	16	1.5
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85	1.5	85	1.5	85	1.5	85	1.5
86	1.5	86	1.5	86	1.5	86	1.5
87	1.5	87	1.5	87	1.5	87	1.5
88	1.5	88	1.5	88	1.5	88	1.5
89	1.5	89	1.5	89	1.5	89	1.5
90	1.5	90	1.5	90	1.5	90	1.5
91	1.5	91	1.5	91	1.5	91	1.5
92	1.5	92	1.5	92	1.5	92	1.5
93	1.5	93	1.5	93	1.5	93	1.5
94	1.5	94	1.5	94	1.5	94	1.5
95	1.5	95	1.5	95	1.5	95	1.5
96	1.5	96	1.5	96	1.5	96	1.5
97	1.5	97	1.5	97	1.5	97	1.5
98	1.5	98	1.5	98	1.5	98	1.5
99	1.5	99	1.5	99	1.5	99	1.5
100	1.5	100	1.5	100	1.5	100	1.5

SPATIAL SEPARATION (L.D. 11.4 m)
TOTAL WALL AREA: 21.4 m²
UNPROTECTED OPENINGS AREA: 9.0 m²
MAX. ALLOWED UNPROTECTED OPENING WITH 11.4 m LIMITING DISTANCE: 79.2 %
PROPOSED UNPROTECTED OPENING AREA: 42 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
TYPE OF CLADDING: COMBUSTIBLE OR NON-COMBUSTIBLE
PROPOSED: EXISTING 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH NON-COMBUSTIBLE CLADDING.

Table 2.2.1.2
Minimum Separation Requirements for Existing Building Faces

Building Type	Building Height (m)	Building Type	Building Height (m)	Building Type	Building Height (m)	Building Type	Building Height (m)
1	1.5	1	1.5	1	1.5	1	1.5
2	1.5	2	1.5	2	1.5	2	1.5
3	1.5	3	1.5	3	1.5	3	1.5
4	1.5	4	1.5	4	1.5	4	1.5
5	1.5	5	1.5	5	1.5	5	1.5
6	1.5	6	1.5	6	1.5	6	1.5
7	1.5	7	1.5	7	1.5	7	1.5
8	1.5	8	1.5	8	1.5	8	1.5
9	1.5	9	1.5	9	1.5	9	1.5
10	1.5	10	1.5	10	1.5	10	1.5
11	1.5	11	1.5	11	1.5	11	1.5
12	1.5	12	1.5	12	1.5	12	1.5
13	1.5	13	1.5	13	1.5	13	1.5
14	1.5	14	1.5	14	1.5	14	1.5
15	1.5	15	1.5	15	1.5	15	1.5
16	1.5	16	1.5	16	1.5	16	1.5
17	1.5	17	1.5	17	1.5	17	1.5
18	1.5	18	1.5	18	1.5	18	1.5
19	1.5	19	1.5	19	1.5	19	1.5
20	1.5	20	1.5	20	1.5	20	1.5
21	1.5	21	1.5	21	1.5	21	1.5
22	1.5	22	1.5	22	1.5	22	1.5
23	1.5	23	1.5	23	1.5	23	1.5
24	1.5	24	1.5	24	1.5	24	1.5
25	1.5	25	1.5	25	1.5	25	1.5
26	1.5	26	1.5	26	1.5	26	1.5
27	1.5	27	1.5	27	1.5	27	1.5
28	1.5	28	1.5	28	1.5	28	1.5
29	1.5	29	1.5	29	1.5	29	1.5
30	1.5	30	1.5	30	1.5	30	1.5
31	1.5	31	1.5	31	1.5	31	1.5
32	1.5	32	1.5	32	1.5	32	1.5
33	1.5	33	1.5	33	1.5	33	1.5
34	1.5	34	1.5	34	1.5	34	1.5
35	1.5	35	1.5	35	1.5	35	1.5
36	1.5	36	1.5	36	1.5	36	1.5
37	1.5	37	1.5	37	1.5	37	1.5
38	1.5	38	1.5	38	1.5	38	1.5
39	1.5	39	1.5	39	1.5	39	1.5
40	1.5	40	1.5	40	1.5	40	1.5
41	1.5	41	1.5	41	1.5	41	1.5
42	1.5	42	1.5	42	1.5	42	1.5
43	1.5	43	1.5	43	1.5	43	1.5
44	1.5	44	1.5	44	1.5	44	1.5
45	1.5	45	1.5	45	1.5	45	1.5
46	1.5	46	1.5	46	1.5	46	1.5
47	1.5	47	1.5	47	1.5	47	1.5
48	1.5	48	1.5	48	1.5	48	1.5
49	1.5	49					



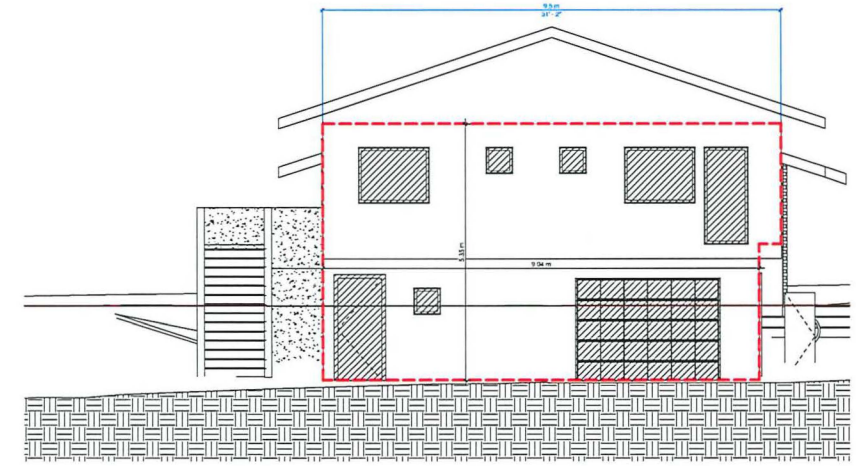
1 SOUTH ELEVATION SPATIAL SEPARATION
1/4" = 1'-0"

SOUTH ELEVATION SPATIAL SEPARATION (I.D. 12.4 m)
TOTAL WALL AREA: 102.9 m²
UNPROTECTED OPENING AREA: 14.64 m² (HATCHED)
MAX. ALLOWED UNPROTECTED OPENING WITH 12.5 m LIMITING DISTANCE: 93.3 %
PROPOSED UNPROTECTED OPENING AREA: 14.14 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
TYPE OF CLADDING: COMBUSTIBLE OR NON-COMBUSTIBLE
PROPOSED: EXISTING 45 MIN. & 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH COMBUSTIBLE & NON-COMBUSTIBLE CLADDING.

Table 2.2.1.1
Minimum Fire Separation Requirements for Exterior Building Faces

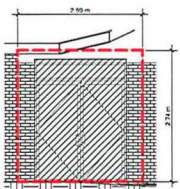
Building Occupancy	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
7	7	7	7	7
8	8	8	8	8
9	9	9	9	9
10	10	10	10	10
11	11	11	11	11
12	12	12	12	12
13	13	13	13	13
14	14	14	14	14
15	15	15	15	15
16	16	16	16	16
17	17	17	17	17
18	18	18	18	18
19	19	19	19	19
20	20	20	20	20
21	21	21	21	21
22	22	22	22	22
23	23	23	23	23
24	24	24	24	24
25	25	25	25	25
26	26	26	26	26
27	27	27	27	27
28	28	28	28	28
29	29	29	29	29
30	30	30	30	30
31	31	31	31	31
32	32	32	32	32
33	33	33	33	33
34	34	34	34	34
35	35	35	35	35
36	36	36	36	36
37	37	37	37	37
38	38	38	38	38
39	39	39	39	39
40	40	40	40	40
41	41	41	41	41
42	42	42	42	42
43	43	43	43	43
44	44	44	44	44
45	45	45	45	45
46	46	46	46	46
47	47	47	47	47
48	48	48	48	48
49	49	49	49	49
50	50	50	50	50
51	51	51	51	51
52	52	52	52	52
53	53	53	53	53
54	54	54	54	54
55	55	55	55	55
56	56	56	56	56
57	57	57	57	57
58	58	58	58	58
59	59	59	59	59
60	60	60	60	60
61	61	61	61	61
62	62	62	62	62
63	63	63	63	63
64	64	64	64	64
65	65	65	65	65
66	66	66	66	66
67	67	67	67	67
68	68	68	68	68
69	69	69	69	69
70	70	70	70	70
71	71	71	71	71
72	72	72	72	72
73	73	73	73	73
74	74	74	74	74
75	75	75	75	75
76	76	76	76	76
77	77	77	77	77
78	78	78	78	78
79	79	79	79	79
80	80	80	80	80
81	81	81	81	81
82	82	82	82	82
83	83	83	83	83
84	84	84	84	84
85	85	85	85	85
86	86	86	86	86
87	87	87	87	87
88	88	88	88	88
89	89	89	89	89
90	90	90	90	90
91	91	91	91	91
92	92	92	92	92
93	93	93	93	93
94	94	94	94	94
95	95	95	95	95
96	96	96	96	96
97	97	97	97	97
98	98	98	98	98
99	99	99	99	99
100	100	100	100	100

WEST ELEVATION SPATIAL SEPARATION (I.D. 20.2 m)
TOTAL WALL AREA: 49.6 m²
UNPROTECTED OPENING AREA: 15.0 m²
MAX. ALLOWED UNPROTECTED OPENING WITH 30.2 m LIMITING DISTANCE: 100 %
PROPOSED UNPROTECTED OPENING AREA: 30.2 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
TYPE OF CLADDING: COMBUSTIBLE OR NON-COMBUSTIBLE
PROPOSED: EXISTING 45 MIN. EXTERIOR WALL (GC TO CONFIRM) WITH COMBUSTIBLE CLADDING.



2 WEST ELEVATION SPATIAL SEPARATION
1/4" = 1'-0"

CLASS ROOM 1 ENTRANCE ELEVATION SPATIAL SEPARATION (I.D. 15.9 m)
TOTAL WALL AREA: 7.1 m²
UNPROTECTED OPENING AREA: 4.9 m²
MAX. ALLOWED UNPROTECTED OPENING WITH 15.9 m LIMITING DISTANCE: 100 %
PROPOSED UNPROTECTED OPENING AREA: 69 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
TYPE OF CLADDING: COMBUSTIBLE OR NON-COMBUSTIBLE
PROPOSED: EXISTING 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH NON-COMBUSTIBLE CLADDING.



3 CLASS ROOM 1 ENTRANCE ELEVATION SPATIAL SEPARATION
1/4" = 1'-0"

Revisions yy-mm

Table 2.2.1.1
Minimum Fire Separation Requirements for Exterior Building Faces

Building Occupancy	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces	Minimum Fire Separation Requirements for Exterior Building Faces
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
7	7	7	7	7
8	8	8	8	8
9	9	9	9	9
10	10	10	10	10
11	11	11	11	11
12	12	12	12	12
13	13	13	13	13
14	14	14	14	14
15	15	15	15	15
16	16	16	16	16
17	17	17	17	17
18	18	18	18	18
19	19	19	19	19
20	20	20	20	20
21	21	21	21	21
22	22	22	22	22
23	23	23	23	23
24	24	24	24	24
25	25	25	25	25
26	26	26	26	26
27	27	27	27	27
28	28	28	28	28
29	29	29	29	29
30	30	30	30	30
31	31	31	31	31
32	32	32	32	32
33	33	33	33	33
34	34	34	34	34
35	35	35	35	35
36	36	36	36	36
37	37	37	37	37
38	38	38	38	38
39	39	39	39	39
40	40	40	40	40
41	41	41	41	41
42	42	42	42	42
43	43	43	43	43
44	44	44	44	44
45	45	45	45	45
46	46	46	46	46
47	47	47	47	47
48	48	48	48	48
49	49	49	49	49
50	50	50	50	50
51	51	51	51	51
52	52	52	52	52
53	53	53	53	53
54	54	54	54	54
55	55	55	55	55
56	56	56	56	56
57	57	57	57	57
58	58	58	58	58
59	59	59	59	59
60	60	60	60	60
61	61	61	61	61
62	62	62	62	62
63	63	63	63	63
64	64	64	64	64
65	65	65	65	65
66	66	66	66	66
67	67	67	67	67
68	68	68	68	68
69	69	69	69	69
70	70	70	70	70
71	71	71	71	71
72	72	72	72	72
73	73	73	73	73
74	74	74	74	74
75	75	75	75	75
76	76	76	76	76
77	77	77	77	77
78	78	78	78	78
79	79	79	79	79
80	80	80	80	80
81	81	81	81	81
82	82	82	82	82
83	83	83	83	83
84	84	84	84	84
85	85	85	85	85
86	86	86	86	86
87	87	87	87	87
88	88	88	88	88
89	89	89	89	89
90	90	90	90	90
91	91	91	91	91
92	92	92	92	92
93	93	93	93	93
94	94	94	94	94
95	95	95	95	95
96	96	96	96	96
97	97	97	97	97
98	98	98	98	98
99	99	99	99	99
100	100	100	100	100

Sign & Seal

Project Title
ASPEN EARLY LEARNING SOCIETY

2507 126TH STREET, SURREY, B.C.

Project No. 220






Project Start Date JUNE 20

Sheet Title Scale 1/4" = 1'

SPATIAL SEPARATIONS



LEGEND:

-  PLANTING BED
-  PAVING
-  WOOD DECK
-  CEDAR HEDGE
-  EXISTING TREE TO BE REMOVED
-  PROPOSED NEW TREES

GENERAL NOTES:

1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE BCCLA/BCSNA LANDSCAPE STANDARD LATEST EDITION.
2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. ANY DISCREPANCIES IN THE DRAWINGS OF MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
3. ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.

ISSUED FOR REVISION	2023.07.2
ISSUED FOR REVISION	2023.07.11
ISSUES	DATE

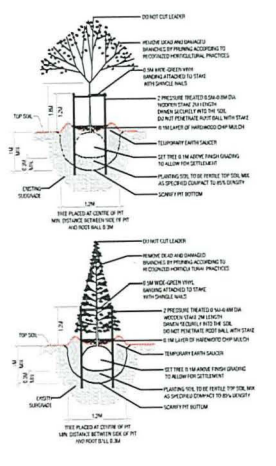
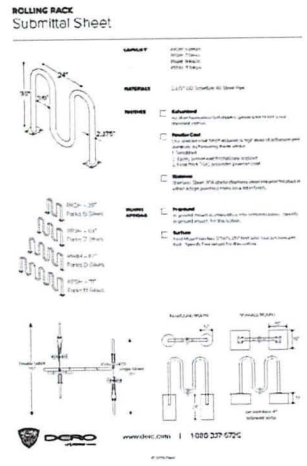
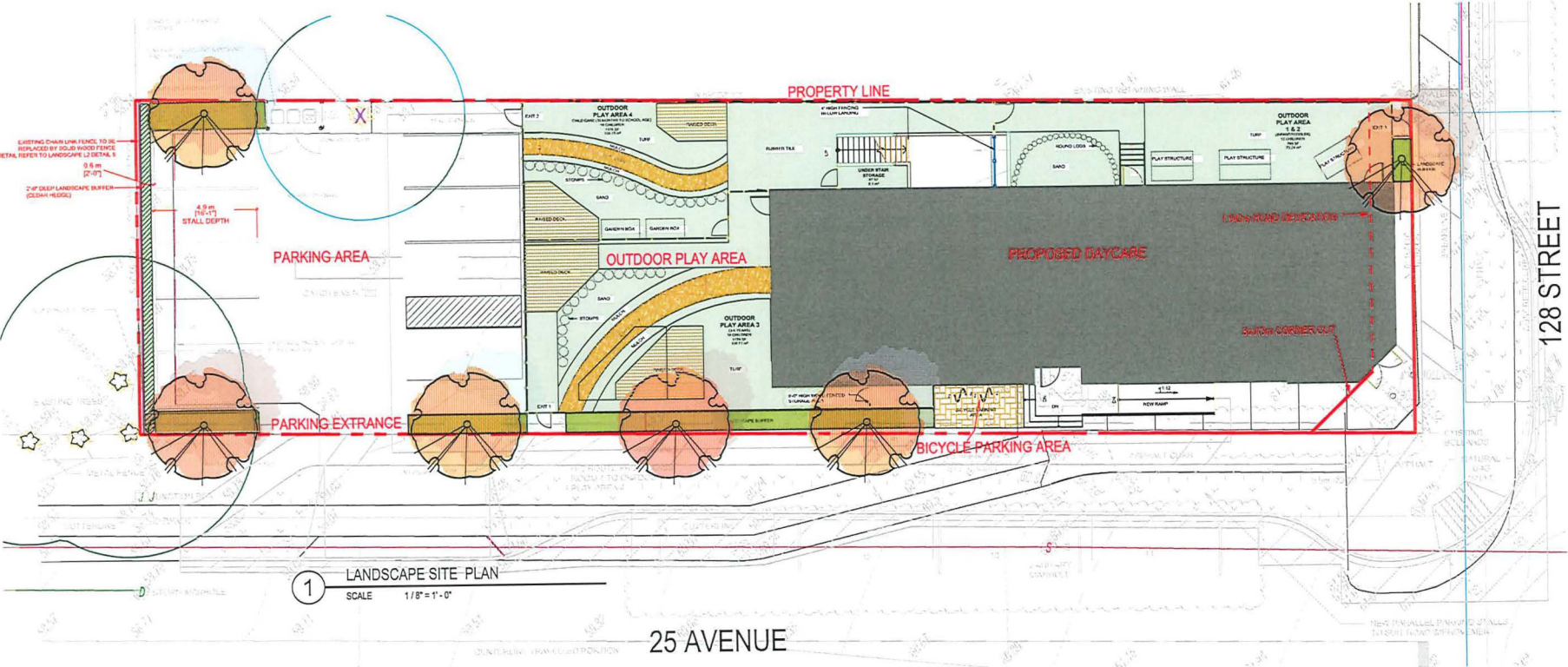
PROJECT NUMBER	L17
DRAWN BY	LJA/JZ
SCALE	
DATE CHECKED	

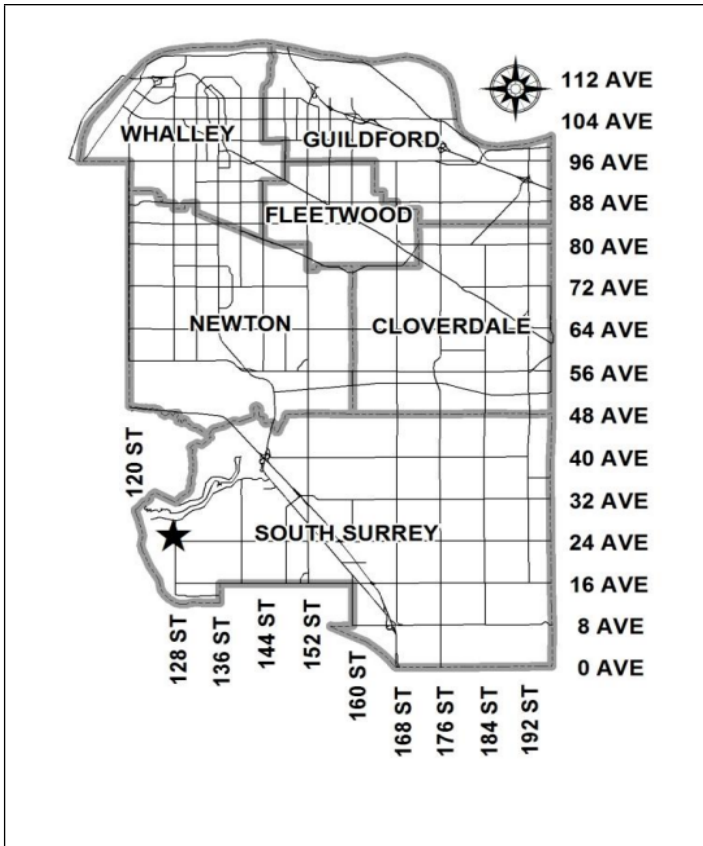


ASPEN EARLY DAYCAR
2507 128TH STREET
Surrey, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING No.
L1





PROPOSAL:

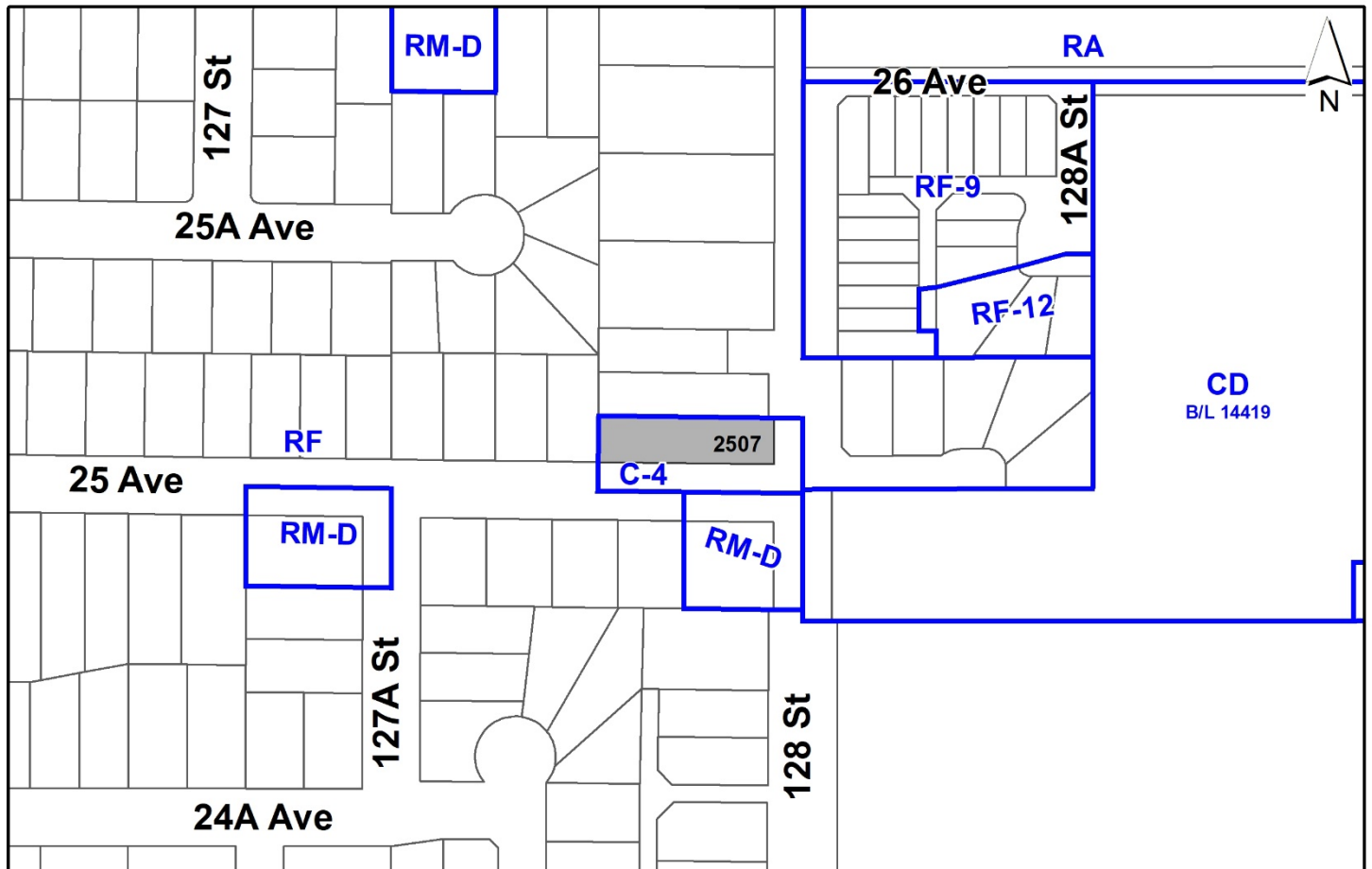
- **Rezoning** from C-4 to C-5
- **Development Permit**
- **Development Variance Permit**

to permit a Child Care Centre within an existing commercial building.

LOCATION: 2507 - 128 Street

ZONING: C-4

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary Part 5, Off-Street Parking to reduce the parking rate for a Child Care Centre from 17 to 10 and to vary the minimum setback requirements of the “Neighbourhood Commercial Zone (C-5)” to legitimize the existing non-conforming building and changes to parking.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of South Surrey.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed variances will legitimize the non-confirming siting of the existing building and recognize the unique site constraints. The provision of additional on-street parking beyond the site frontage will offset potential impacts of reducing on-site parking requirements.
- The proposed setback variances legitimize the non-confirming siting of the existing building, and a Highway Licencing Agreement is required to authorize the encroachment of the building into the new road dedication.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Local Commercial Zone (C-4)" to "Neighbourhood Commercial Zone (C-5)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7922-0306-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7922-0306-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum number of off-street parking spaces for a Child Care Centre from 17 to 10;
 - (b) to increase the percentage of parking spaces permitted to have the length reduced to a minimum of 4.9 metres, from 35% to 50%;
 - (c) to reduce the minimum setback of the C-5 Zone from the east (front) lot line to the principal building face from 7.5 metres to 0.0 metres;
 - (d) to reduce the minimum setback of the C-5 Zone from the north (side) lot line to the principal building face from 7.5 metres to 3.9 metres;
 - (e) to reduce the minimum setback of the C-5 Zone from the south (side, flanking) lot line to the principal building face from 7.5 metres to 2.2 metres; and
 - (f) to reduce the minimum screening strip along the west (rear) lot line from 1.5 metres to 0.6 metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and

- (g) The applicant is to remove the existing awning on the east building face and enter into a Highway Licencing Agreement to allow a portion of the existing building to be located within the future road allowance.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Commercial	Urban	C-4
North:	Single Family Residential	Urban	RF
East (Across 128 Street):	Single Family Residential	Urban	RF
South (Across 25 Avenue):	Single Family Residential	Urban	RF, RM-D
West:	Single Family & Duplex Residential	Urban	RF

Context & Background

- The subject property is 977 square metres, located at the northwest corner of 128 Street and 25 Avenue within a single family residential neighbourhood. The commercial property currently contains a split-level building with ground floor retail and a caretaker suite.
- The property is designated “Urban” in the Official Community Plan (OCP) and is currently regulated by the “Local Commercial Zone (C-4)” which does not include Child Care Centre as a permitted use.
- Although the site is not located within a Secondary Plan area, it is informally considered part of the Crescent Beach neighbourhood. The surrounding neighbourhood is generally comprised of single family residential, with some multiple residential (senior housing) and Crescent Park Elementary School located across 128 Street and Crescent Park beyond.
- The subject application is to convert the existing commercial building into a Child Care Centre, which includes minor façade renovations, a new outdoor play area, landscaping and off-site road works to off-set the potential impact of the requested parking variance.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the subject property from “Local Commercial Zone (C-4)” to “Neighbourhood Commercial Zone (C-5)” to allow a Child Care Centre use.
- The applicant proposes a Form and Character Development Permit to authorize minor façade renovations and landscaping changes to accommodate an outdoor play space.

- A Development Variance to increase the percentage of small car parking spaces from 35% to 50%, reduce the required screening strip along the west lot line from 1.5 metres to 0.6 metres and to reduce the parking rate for a Child Care Centre from 17 to 10 has also been requested given on-site constraints. Off-site road works will be required as compensation for the requested parking variance which will improve vehicular and pedestrian circulation in and around the site.
- Additional variances are required to reduce setbacks from the east, north and south lot lines in order to legitimize the siting of the existing building.
- The applicant has indicated that the proposed Child Care Centre will be licenced for up to 60 children, and requires 12 employees, subject to approval from the Fraser Health Authority

	Proposed
Lot Area	
Gross Site Area:	974.8 square metres
Road Dedication:	31.1 square metres
Net Site Area:	944.98 square metres
Building Height:	5.0 metres (existing)
Floor Area Ratio (FAR):	0.39 (existing)

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	The closest active park with amenities including basketball, baseball diamonds, a cricket pitch, pickleball courts, a playground and walking trails is Crescent Park and is 200 metres away, walking distance from the development. The park also includes natural areas.
Fraser Health Authority:	Fraser Health has indicated there are currently no concerns with a child care facility at this location. However, submitted drawings currently do not meet the legislative requirements for physical space for the capacity and service types put forth.
Surrey Fire Department:	Fire has no concerns, given the proposal takes place within an existing building and changes do not impact Fire Department access.

Transportation Considerations

- The applicant is required to provide a 1.942 metre road dedication along 128 Street, and a 3.0 metre x 3.0 metre corner cut at 128 Street and 25 Avenue.
- In order to offset the impact of the requested variance, the applicant will be required to complete off-site road improvements, including the construction of new parking pockets and an on-street bike lane along 128 Street, as well as the reconstruction and extension of the existing parking pocket along 25 Avenue.
- A Highway Licence Agreement (HLA) will be required for the portion of building within new road allowance.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “General Urban” land use designation in the Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the “Urban” land use designation in the Official Community Plan (OCP).

Zoning By-law

- The applicant proposes to rezone the subject site from "Local Commercial Zone (C-4)" to "Neighbourhood Commercial Zone (C-5)". The current C-4 Zone permits limited retail, personal service, and eating establishment uses; Child Care Centres is not identified as a permitted use. The proposed C-5 Zone is intended to accommodate neighbourhood scale shopping nodes, and permits a larger variety of commercial uses, including Child Care Centres.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Neighbourhood Commercial Zone (C-5)" and parking requirements.

C-5 Zone (Part 35)	Permitted and/or Required	Proposed
--------------------	---------------------------	----------

C-5 Zone (Part 35)	Permitted and/or Required	Proposed
Yards and Setbacks		
All Lot Lines:	7.5 metres	
East (front) lot line		<0.0 metres*
North (side) lot line:		3.9 metres
South (side, flanking) lot line:		2.2 metres
West (rear) lot line:		30.2 metres
Parking (Part 5)		
Number of Spaces	Required	Proposed
	17	10

**The applicant is required to enter into a Highway Licence Agreement to authorize the existing building to encroach into the future road allowance.*

Setback and Parking Variances

- The applicant is requesting the following variances:
 - to reduce the minimum number of on-site parking spaces for a Child Care Centre from 17 to 10;
 - to increase the percentage of parking spaces permitted to have the length reduced to a minimum of 4.9 metres, from 35% to 50%;
 - to reduce the minimum setback of the C-5 Zone from the east (front) lot line to the principal building face from 7.5 metres to 0.0 metres;
 - to reduce the minimum setback of the C-5 Zone from the north (side) lot line to the principal building face from 7.5 metres to 3.9 metres;
 - to reduce the minimum setback of the C-5 Zone from the south (side, flanking) lot line to the principal building face from 7.5 metres to 2.2 metres; and
 - to reduce the minimum screening strip along the west (rear) lot line from 1.5 metres to 0.6 metres.
- According to the Zoning Bylaw, the applicant is required to provide a total of 17 stalls on site to support the proposed use.
- The applicant is proposing to provide 10 stalls on site, equating to a proposed 7-stall reduction.
- In order to support the proposed parking reduction, the applicant will be constructing on-street parking stalls on 25 Avenue and 128 Street along and beyond the site frontage. An estimated 9 on-street stalls will be provided as part of the proposal.
- Based on the unique site constraints, retention of the existing building, and provision of additional on-street parking beyond the site frontage, staff can support the proposed parking reduction.
- In order to accommodate the required outdoor play space, modifications are proposed to the existing parking lot, resulting in a reduced screening strip along the west (rear) lot line. Additionally, an increase is proposed to the percentage of parking spaces permitted to have the length reduced to a minimum of 4.9 metres, from 35% to 50%. This reduction will allow

for a small buffer to be provided between the adjacent residential property to the west and the subject property, inclusive of a new fence.

- The existing building does not conform to the setback provisions of the “Local Commercial Zone (C-4)”, nor will it comply with the “Neighbourhood Commercial Zone (C-5)”. Variances have been requested to legitimize the siting of the existing building. Given that no changes to the buildings siting is proposed, staff have no concern with the potential impact of the requested setback reductions.
- Staff support the requested variances to proceed for consideration.

Signage

- Currently, the applicant has not proposed signage in conjunction with the Child Care Centre. In the case a sign were proposed in the future, the issuance of a Sign Permit would be required, in accordance with the Sign By-Law.

Guidelines for Location and Siting of Child Care Centres

- In 1990, the City completed a report entitled "Guidelines for Location and Siting of Child Care Centres". The following illustrates how the proposed application partially adheres to the various locational and siting guidelines outlined in the report:
 - In principle, allow childcare centres where people live, shop, work and recreate.
 - The proposed child care centre will be located in a residential area.
 - Locate centres close to child-oriented facilities.
 - The subject property is located adjacent to Crescent Park Elementary School.
 - Locate large centres (for greater than 25 children) and one-of-a-kind centres in certain areas only.
 - Although this is a large centre that will be located along an arterial road, it is located adjacent to Crescent Park Elementary School, is in a centralized location within the surrounding residential neighbourhood, on-site parking is accessed from 25 Avenue which is a lower classification road, and the outdoor play space is sited away from 128 Street, the arterial road.
 - Avoid undue concentration of childcare centres.
 - The guidelines recommend that childcare facilities should be located in areas that are currently underserved to avoid an undue concentration of facilities.
 - There is currently only one other child care centre within approximately 400 metres of the subject site, located at Crescent Park Elementary School.
 - Provide adequate on-site parking for employees and parents.
 - The applicant is proposing 10 on-site parking spaces, which required a variance to reduce the parking requirement for Child Care Centres by 7 spaces. However, 9 off-site parking spaces will be provided through required road improvements.

- Provide adequate fencing, screening, setbacks, and outdoor play areas.
 - The childcare facility will provide direct access to an outdoor play space. Staff will continue to work with the applicant to ensure sufficient fencing and screening is provided.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- The Public Art contribution will not be required as the proposal does not propose new commercial floor area.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on July 7, 2023, and the Development Proposal Signs were installed on April 11, 2023. Staff have received six responses to date from neighbouring residents with questions and concerns. Requested information and comments provided include:
 - Details on the proposed child care licence type, capacity, hours, parking, and road improvements;
 - Concern with negative impact on property values and an increase in noise;
 - Concern with an increase in traffic, particularly during drop-off and pick-up times. It has been expressed that 128 Street already sees high traffic volumes, particularly given close proximity to Crescent Beach and Crescent Park Elementary School.
 - Additionally, some residents have expressed the perspective that demographics of the neighbourhood include fewer young families than higher density neighbourhoods, resulting in lower demand for daycare facilities.

(the applicant is required to complete off-site road improvements which will off-set the requested parking variance.

Staff have and will continue to work with the applicant to provide sufficient screening and strengthen the pedestrian interface.

The subject property is currently regulated by a commercial zone, which would permit a number of traffic generating uses.

Child care has been identified as a community need throughout the City of Surrey and the proposal generally complies with the Guidelines for Location and Siting of Child Care Centres)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to improve on-site parking and public realm interface.
- Proposed façade renovations are limited to changes to windows and doors, a new ramp and painting. Although changes to the façade are limited, they will result in an overall improvement to the buildings appearance.

Landscaping and Outdoor Play Area

- A new landscape buffer is proposed along 25 Avenue which will assist with screening the outdoor play area. Additional landscaping will be introduced where possible throughout the site, including at the northwest corner of the lot. The outdoor play area incorporates natural elements such as sand, stumps, as well as dry creeks, and incorporates raised decks.
- New bicycle parking will be provided at the buildings entrance.
- Overall, the proposed changes to the site and landscaping will be an improvement.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include sufficient screening and fencing, with particular attention required along the west lot line, as well as incorporating public amenities, such as a bench at the corner of 25 Avenue and 128 Street.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Max Rathburn and Morgan Sullivan, ISA Certified Arborists of Diamon Head Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Douglas Fir	1	1	0
Total (excluding Alder and Cottonwood Trees)	1	1	0

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	0
Total Retained and Replacement Trees Proposed	0
Estimated Contribution to the Green City Program	\$1,100

- The Arborist Assessment states that there is 1 mature tree on the site. The applicant proposes to remove the 1 tree as part of this development proposal.
- The Arborist has identified a group of 5 off-site protected trees that are located in close proximity to the subject property where site alterations are proposed to occur. These trees are proposed to be retained with Arborist supervision required during any construction that may occur within the Tree Protection Zone. The viability of this will be determined in consultation with the Parks, Recreation and Culture Department.
- For the on-site tree that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 2 replacement trees on the site. Since the applicant is not proposing any replacement trees, the proposed deficit of 2 replacements trees will require an estimated cash-in-lieu payment of \$1,100, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, there are no trees proposed to be retained or replaced on the site with an estimated contribution of \$1,100 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. Servicing Concept and Road Improvements
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Tree Management Plan
- Appendix VI. Development Variance Permit No. 7922-0306-00

approved by Shawn Low

Don Luymes
 General Manager
 Planning and Development

SA/ar

ASPEN EARLY LEARNING SOCIETY REZONING

2507 128TH STREET, SURREY, B.C.

PROJECT DATA

CIVIC ADDRESS

2507 128ST, SURREY, B.C.

ZONE

EXISTING: C-4 LOCAL COMMERCIAL ZONE
 PROPOSED: C-5 NEIGHBOURHOOD COMMERCIAL ZONE

BUILDING USE

COMMERCIAL

LOT AREA:

974.77 m²

BUILDING AREA (BUILDING CODE):

282.80 m²

GROSS FLOOR AREA:

LOWER FLOOR = 1,119 SF (103.96 m²)
 MAIN FLOOR = 1,763 SF (163.75 m²)
 UPPER FLOOR = 1,223 SF (113.66 m²)
 GROSS FLOOR AREA = 4,105 SF (381.37 m²)

PARKING REQUIREMENTS (SURREY BY LAW 12000)

REQUIRED CHILD CARE PARKING SPACES = 0.7 PARKING SPACES / EMPLOYEE
 + 0.15 PARKING SPACES / LICENSED CHILD FOR DROP OFF OR 2 PARKING SPACES, WHICHEVER IS GREATER.

WHERE THE NUMBER OF REQUIRED PARKING SPACES IS GREATER THAN 12, A MINIMUM OF 2% OF THE REQUIRED PARKING SPACES, MUST BE ACCESSIBLE PARKING SPACES

REQUIRED
 0.70 X 12 = 8 PARKING SPACES
 0.15 X 60 = 9 PARKING SPACES
 17 PARKING SPACES

PROPOSED
 OFF STREET PARKING: 9 PARKING SPACES (8 + 1 ACCESSIBLE)
 VARIANCE: 8 STALLS

STREET PARKING: 9 STALLS

NUMBER OF STOREYS:

EXISTING: 3
 PROPOSED: 3

ALLOWED BUILDING HEIGHT:

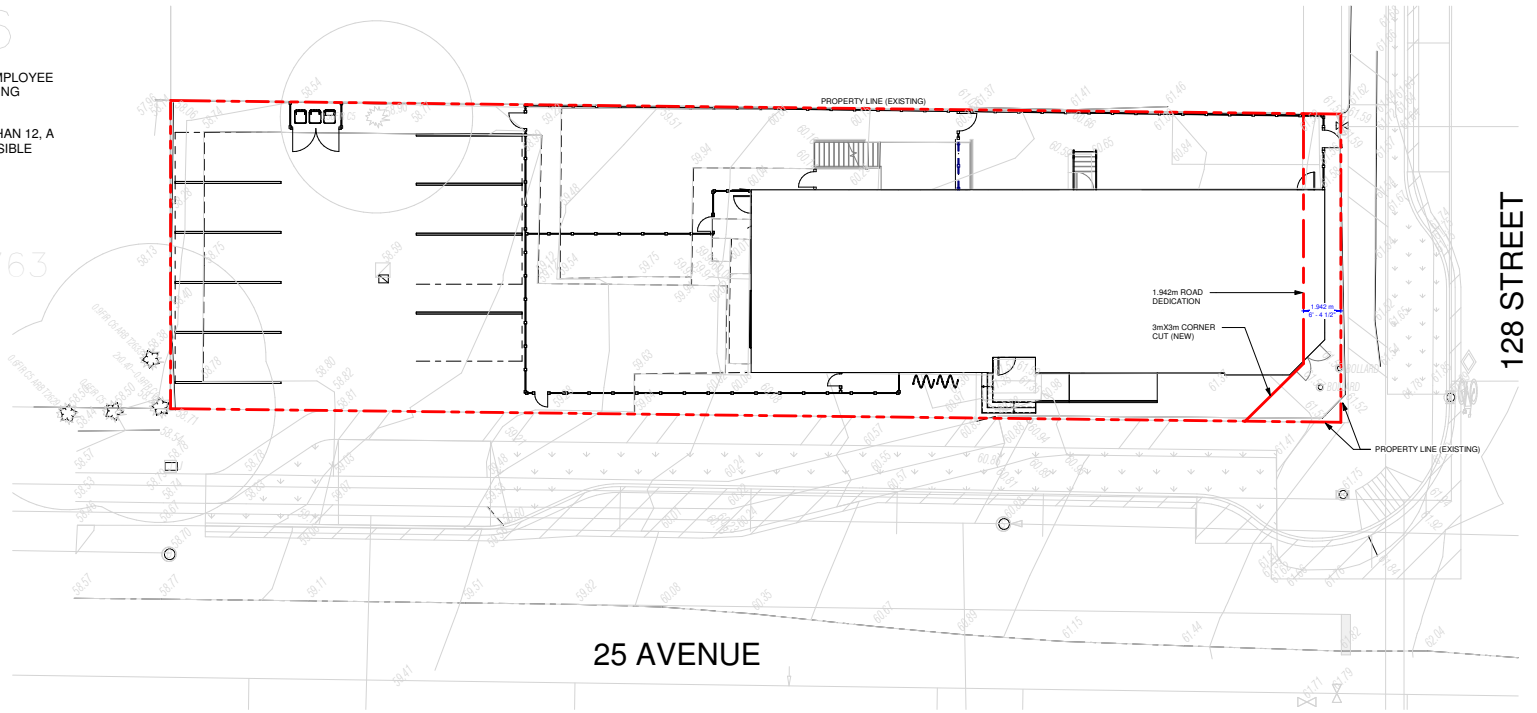
ALLOWED: MAX. 9.0 m
 PROPOSED: 5.0 m

MAXIMUM DENSITY:

PERMITTED DENSITY: 0.50
 PROPOSED: 0.39

LOT COVERAGE:

MAXIMUM: 50%
 PROPOSED: 29%



1 BASE SITE PLAN
 1" = 10'-0"



Architect: Robert H. Lee, AIBC
Mara + Natha Architecture Ltd.
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 (+1) 604-203-2253
 rob@maranarch.com
 www.maranarch.com

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Revision	Description	Date
6	IF: REVISION PER CITY COMMENTS	23-04-23
5	IF: REZONING	22-10-11
2	IF: CLIENT REVIEW	22-08-15
1	IF: CLIENT REVIEW	22-07-04

Sign & Seal

ASPEN EARLY LEARNING SOCIETY
 2507 128TH STREET, SURREY, B.C.
 Project Address
 Project No. 22054
 Project Start Date: JUNE 2022
 Project Information

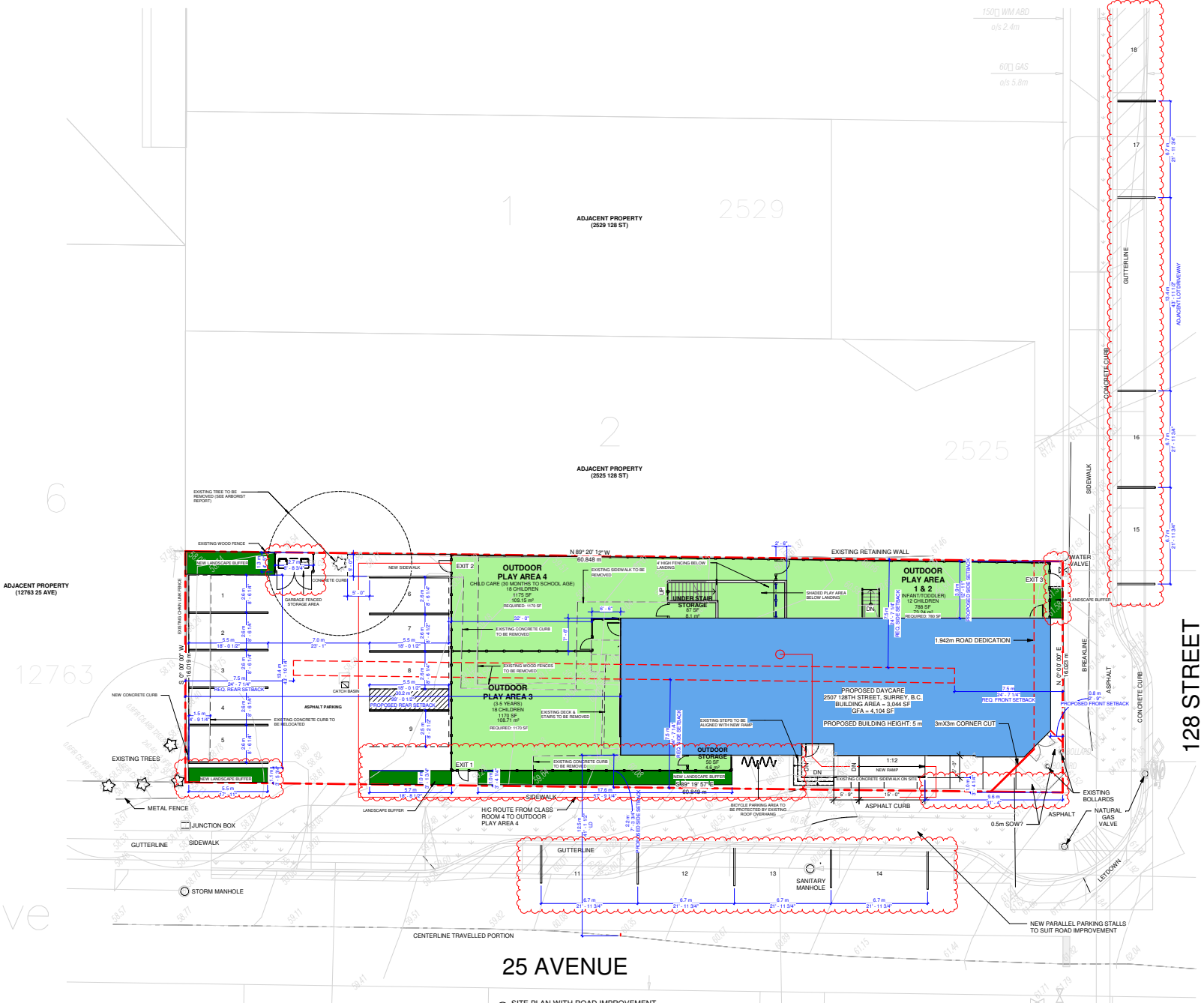
BASE SITE PLAN

Sheet Title

Scale 1" = 10'-0"

A100

Sheet No.



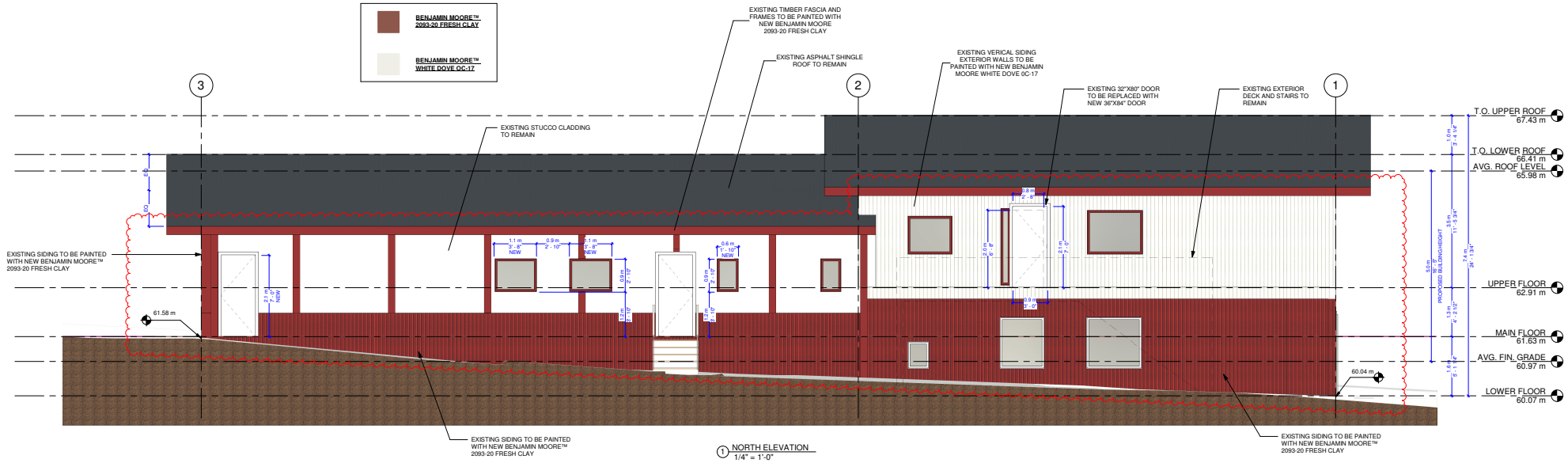
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2	CLIENT REVIEW	22-08-18
3	CLIENT REVIEW	22-10-11
4	CLIENT REVIEW	22-08-18
5	CLIENT REVIEW	22-07-04
6	CLIENT REVIEW	22-07-18
7	REVISION PER LID	23-07-18
8	REVISION PER CITY COMMENTS	23-08-23
9	REVISION PER CITY COMMENTS	23-08-23
10	REVISION PER CITY COMMENTS	23-08-23
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100	REVISION PER CITY COMMENTS	23-08-23

① SITE PLAN WITH ROAD IMPROVEMENT
 1" = 10'-0"

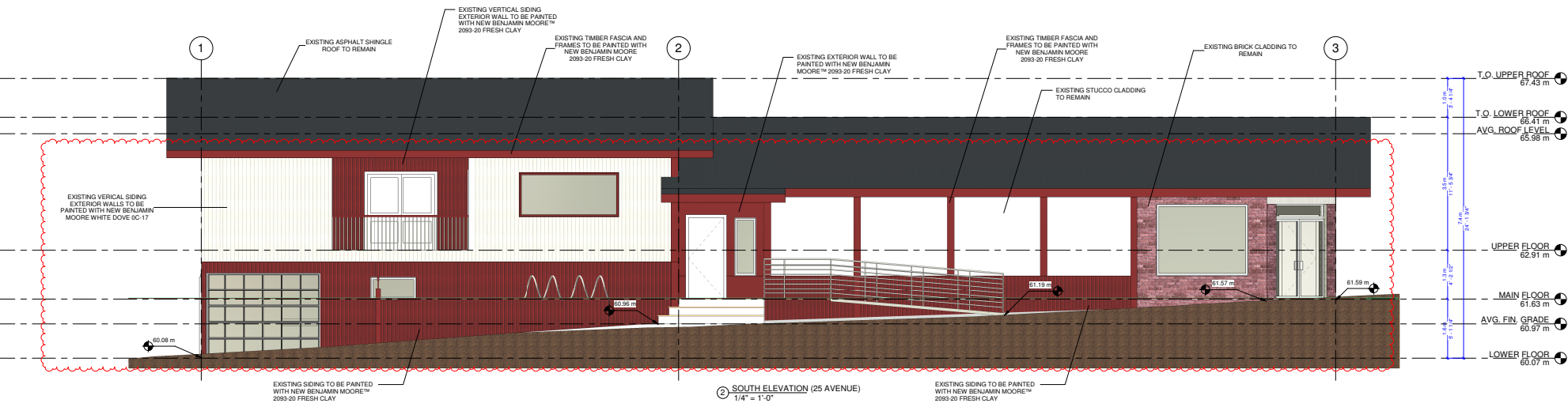
Sign & Seal
 Project Title
ASPEN EARLY LEARNING SOCIETY
 2507 128TH STREET, SURREY, B.C.
 Project No. 220604
 Project Start Date JUNE 2022
 Sheet Title Scale 1" = 10'-0"

NEW EXTERIOR PAINT COLOUR LEGEND

	BENJAMIN MOORE™ 2093-20 FRESH CLAY
	BENJAMIN MOORE™ WHITE DOVE OC-17



① NORTH ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION (25 AVENUE)
1/4" = 1'-0"

Mara + Natha
ARCHITECTURE

Architect: Robert H. Lee, AIBC
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Revision	Description	Date
3	I.F. REVISION PER CITY COMMENTS	23-06-23
1	I.F. REZONING	23-10-11
2	I.F. CLIENT REVIEW	22-08-15
1	I.F. CLIENT REVIEW	22-07-04
2	I.F. REZONING REVISIONS	23-05-09

Sign & Seal

ASPEN EARLY LEARNING SOCIETY

2507 128TH STREET, SURREY, B.C.

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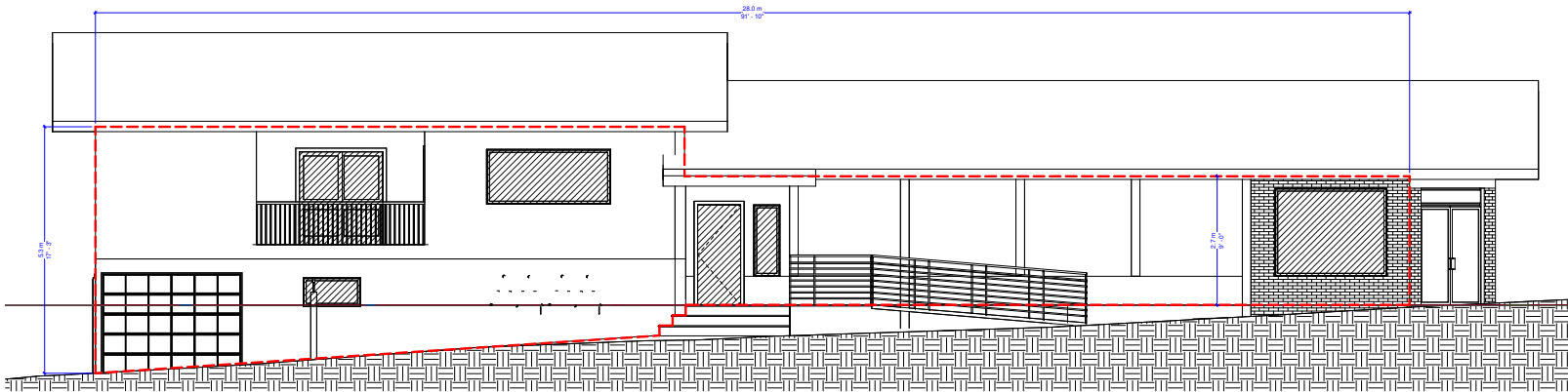
BUILDING ELEVATIONS

Sheet Title

Scale: 1/4" = 1'-0"

A200

Sheet No.



SOUTH ELEVATION SPATIAL SEPARATION
①
1/4" = 1'-0"

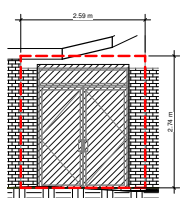
SOUTH ELEVATION SPATIAL SEPARATION (I.D. 12.5 m)
TOTAL WALL AREA: 103.5 m²
UNPROTECTED OPENINGS AREA: 14.84 m² (HATCHED)
MAX. ALLOWED UNPROTECTED OPENING WITH 30.2 m LIMITING DISTANCE: 90.5 %
PROPOSED UNPROTECTED OPENING AREA: 14.14 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
PROPOSED: EXISTING 45 MIN. & 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH COMBUSTIBLE & NON-COMBUSTIBLE CLADDING.

Table 3.2.1.6.6 - Equivalent Opening Limits for a Building with a Protected End to an Equivalent Throughput

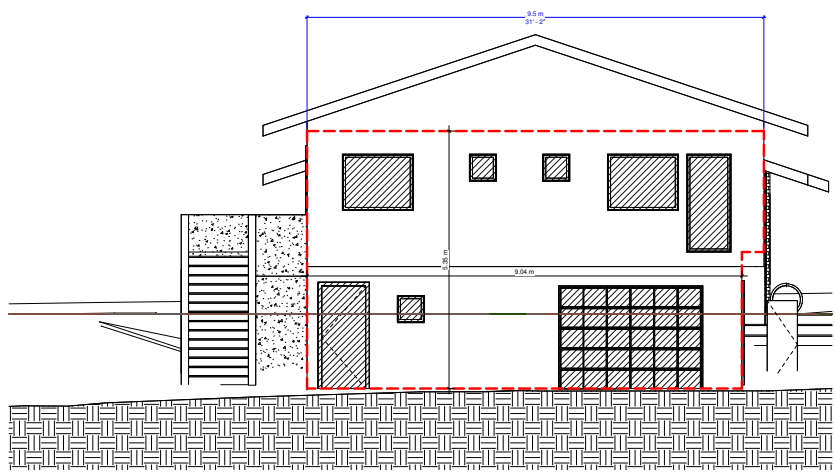
Equivalent Opening Area (m ²)	Equivalent Throughput (m ²)											
	1	2	3	4	5	6	7	8	9	10	11	12
0.0	1	2	3	4	5	6	7	8	9	10	11	12
0.1	1	2	3	4	5	6	7	8	9	10	11	12
0.2	1	2	3	4	5	6	7	8	9	10	11	12
0.3	1	2	3	4	5	6	7	8	9	10	11	12
0.4	1	2	3	4	5	6	7	8	9	10	11	12
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1.8	1	2	3	4	5	6	7	8	9	10	11	12
1.9	1	2	3	4	5	6	7	8	9	10	11	12
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2.6	1	2	3	4	5	6	7	8	9	10	11	12
2.7	1	2	3	4	5	6	7	8	9	10	11	12
2.8	1	2	3	4	5	6	7	8	9	10	11	12
2.9	1	2	3	4	5	6	7	8	9	10	11	12
3.0	1	2	3	4	5	6	7	8	9	10	11	12

WEST ELEVATION SPATIAL SEPARATION (I.D. 30.2 m)
TOTAL WALL AREA: 49.6 m²
UNPROTECTED OPENINGS AREA: 15.0 m²
MAX. ALLOWED UNPROTECTED OPENING WITH 30.2 m LIMITING DISTANCE: 100 %
PROPOSED UNPROTECTED OPENING AREA: 30.2 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
PROPOSED: EXISTING 45 MIN. EXTERIOR WALL (GC TO CONFIRM) WITH COMBUSTIBLE CLADDING.

CLASS ROOM 1 ENTRANCE ELEVATION SPATIAL SEPARATION (I.D. 15.9 m)
TOTAL WALL AREA: 7.1 m²
UNPROTECTED OPENINGS AREA: 4.9 m²
MAX. ALLOWED UNPROTECTED OPENING WITH 15.9 m LIMITING DISTANCE: 100 %
PROPOSED UNPROTECTED OPENING AREA: 69 %
MINIMUM REQUIRED FIRE RATING: 45 MIN.
TYPE OF CONSTRUCTION: COMBUSTIBLE, ENCAPSULATED MASS TIMBER, OR NON-COMBUSTIBLE
PROPOSED: EXISTING 1 HOUR EXTERIOR WALL (GC TO CONFIRM) WITH NON-COMBUSTIBLE CLADDING.



CLASS ROOM 1 ENTRANCE ELEVATION SPATIAL SEPARATION
③
1/4" = 1'-0"



WEST ELEVATION SPATIAL SEPARATION
②
1/4" = 1'-0"

Table 3.3.3.1 - Minimum Construction Requirements by Exposed Building Face

Exposure/Classification/Ability for Occupancy	Minimum Fire Rating (m ²)	Minimum Fire Rating (m ²)	Type of Construction Required	
			Construction	Fire Rating
Group 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	0.0	15	Non-combustible	Non-combustible
	0.1	15	Non-combustible	Non-combustible
	0.2	45min	Combustible	Non-combustible
	0.3	45min	Combustible	Non-combustible
Group 4, 5, 6, 7, 8, 9, 10, 11, 12	0.4	45min	Combustible	Non-combustible
	0.5	45min	Combustible	Non-combustible
	0.6	45min	Combustible	Non-combustible
	0.7	45min	Combustible	Non-combustible
Group 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	0.8	15	Non-combustible	Non-combustible
	0.9	15	Non-combustible	Non-combustible
	1.0	15	Non-combustible	Non-combustible
	1.1	15	Non-combustible	Non-combustible

Revisions yy-mm-dd

Sign & Seal
Project Title
ASPEN EARLY LEARNING SOCIETY

2507 128TH STREET, SURREY, B.C.

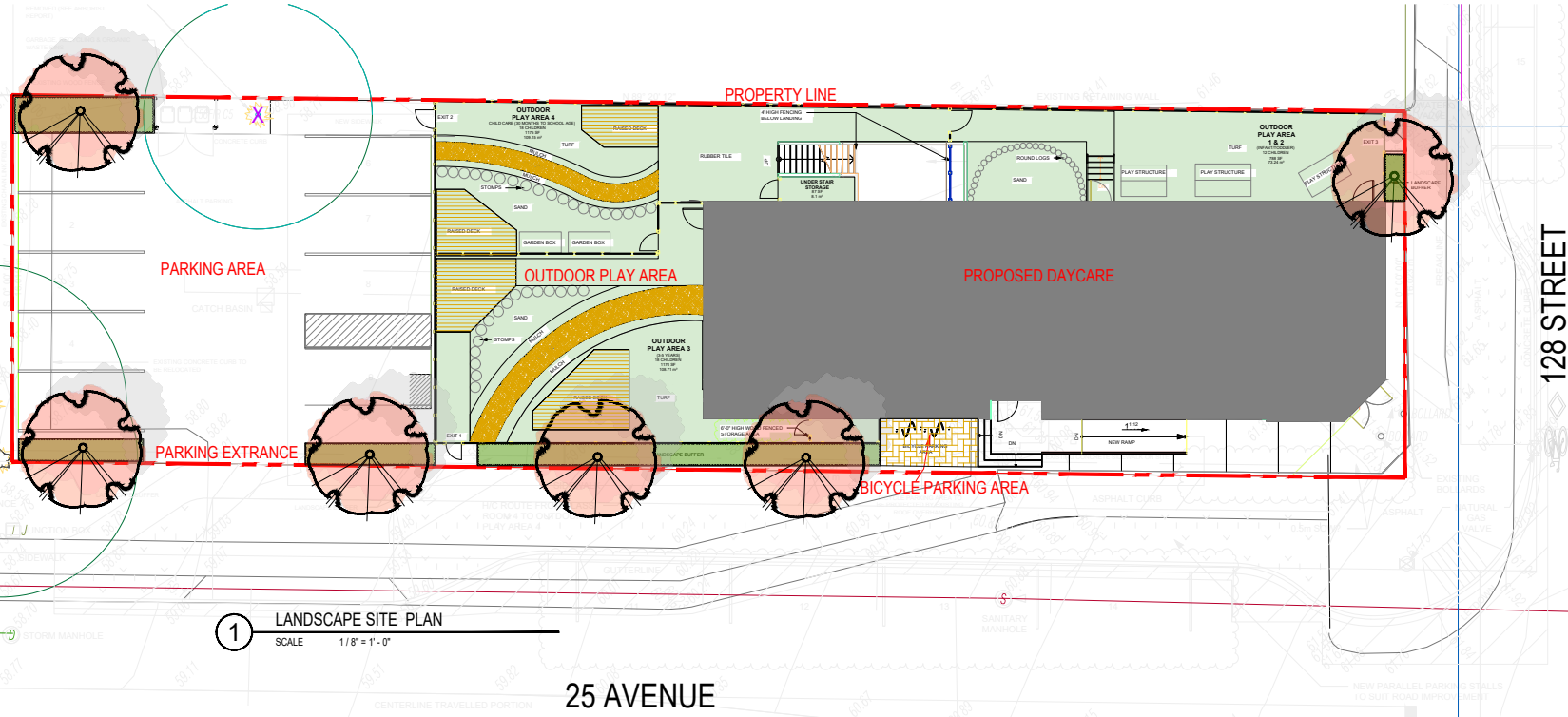
Project No. 220604

Project Start Date JUNE 2022

Sheet Title Scale 1/4" = 1'-0"

SPATIAL SEPARATIONS





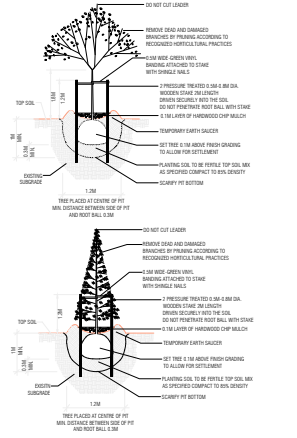
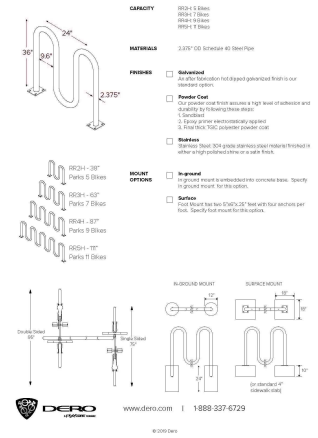
LEGEND:

- PLANTING BED
- PAVING
- WOOD DECK
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW TREES

1 LANDSCAPE SITE PLAN
SCALE 1/8" = 1'-0"

25 AVENUE

ROLLING RACK
Submittal Sheet



2 BICYCLE SPECIFICATIONS
SCALE NTS

3 PLANTING DETAILS
SCALE NTS

- GENERAL NOTES:**
- ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE BCS/LAB/RLA LANDSCAPE STANDARD LATEST EDITION.
 - ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
 - ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.

8	
7	
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2	
1	ISSUED FOR REZONE 2023.07.18
ISSUES	DATE

PROJECT NUMBER	L17
DRAWN BY	LX / ALZ
SCALE	

DATE CHECKED

WWW.RPLPROJECTS.COM
lu@rplprojects.com
604-338-5035

PROJECT
ASPEN EARLY DAYCARE
2507 128TH STREET
Surrey, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING No.
L1

Cozy Dome®
Landscape Structure (w/ Adult 1000000), Ages 3-12

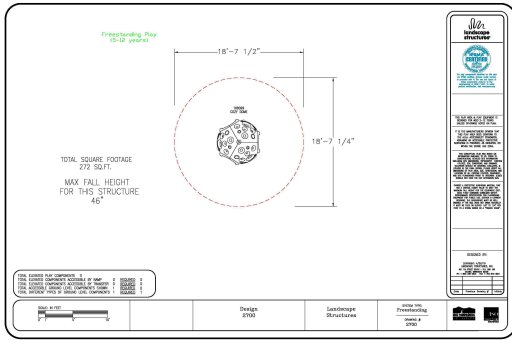


The Cozy Dome® offers kids a place to escape the heat and shade of a busy playground, safe from the sun and wind. It can be used as a quiet place for open-ended play with push beads to let kids and supervisors keep an eye on the action. Various textures on the outer surface create a quiet, calming experience as well.

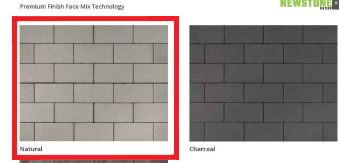
*Always pricing in freight only, and www.habitat.com freight pricing, remote areas fees, installation, etc. are not included in this price.

Habitat.com | 1.800.421.8000 | www.habitat.com

KIDS PLAY - COZY DOME
SCALE: NTS

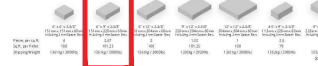


Dorado

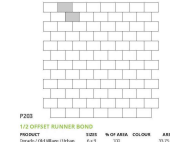


Dorado offers multiple sizes to allow endless colour and pattern variations

AVAILABLE SIZES



RECOMMENDED APPLICATIONS



KIDS PLAY - LOG STEPPERS
SCALE: NTS

KIDS PLAY - PLAY TILES - HOPSCOTCH SET
SCALE: NTS

KIDS PLAY - STORAGE SHED
SCALE: NTS

7 WALKWAY - CONCRETE PAVERS SPEC- NEWSTONE - DORADO 6\"/>

SCALE: NTS

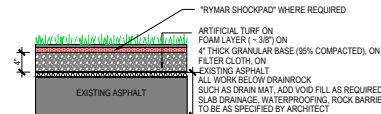
NOTE:
RUBBER PLAYFALL TILES TO BE SUPPLIED CLIENT
APPROX. 300 TILES = 24' X 24' X 2"
APPROX. 200 TILES = 24' X 24' X 1.75"
SEE LAYOUT PLAN FOR LOCATION OF TILES



8 RUBBER PLAYFALL TILE ON EXISTING ASPHALT

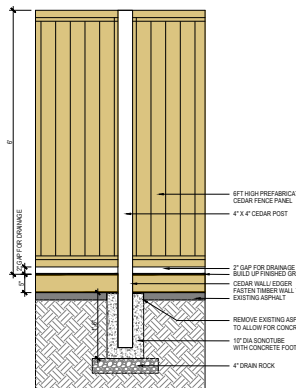
SCALE: 1\"/>

NOTES:
ALL ARTIFICIAL TURF WITHIN FALL ZONE OF PLAY PIECES TO INSTALL
1\"/>

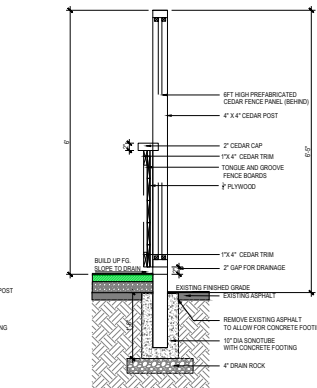


9 ARTIFICIAL TURF SURFACING ON SLAB

SCALE: 1\"/>

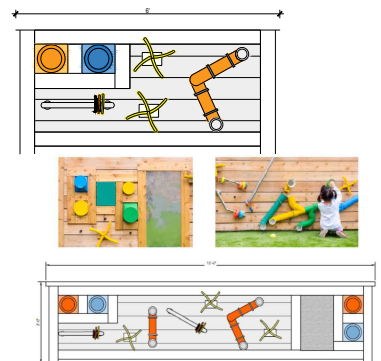


5 PERIMETER FENCE/WALL DETAILS
SCALE: 3/4\"/>



6 PERIMETER POST + SENSORY PANEL DETAILS
SCALE: 3/4\"/>

- NOTES:
1. SENSORY WALL TO BE BUILT ON/BE EXISTING CONDITIONS
2. PIECES PROVIDE TACTILE, SENSORY AND EXPERIENCE. OPTIONS FOR KIDS TO PUT BALLS THROUGH PIPES, MOVABLE RINGS ON A STRING BAR, TURN HANDLES, SPINDLY MATERIALS, ETC
3. ENSURE MOUNTING HEIGHTS ARE BETWEEN 1\"/>



GENERAL NOTES:

- ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE BCS/LANGLA LANDSCAPE STANDARD LATEST EDITION
- ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
- ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.

8		
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2		
1	ISSUED FOR REZONE	2023.07.18

ISSUES	LIST	DATE
PROJECT NUMBER	L17	
DRAWN BY	LX / ALZ	

SCALE

DATE CHECKED

ASPEN EARLY DAYCARE
2507 128TH STREET
Surrey, BC

DRAWING TITLE
**LANDSCAPE
DETAILS & SPECS**

DRAWING No.

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 17, 2023**

PROJECT FILE: **7822-0306-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2507 128 St**

REZONE

Property and Right-of-Way Requirements

- Dedicate 1.942 m along 128 Street.
- Dedicate 3.0 X 3.0 m corner cut at 128 Street and 25 Avenue.
- Register 0.5 m Statutory Right-of-Way along both frontages.
- Highway License Agreement for portion of building within new road allowance.

Works and Services

- Construct west side of 128 Street.
- Construct north side of 25 Avenue.
- Extend storm main along 25 Avenue.
- Provide new adequately sized storm, sanitary, and water service connections.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit.

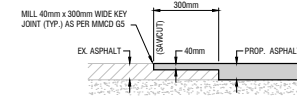


Jeff Pang, P.Eng.
Development Services Manager

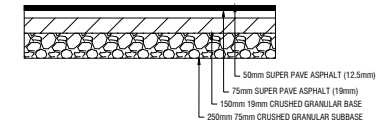
Appendix III

LEGEND OF SYMBOLS

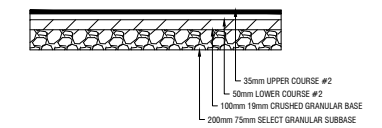
EXISTING	PROPOSED	EXISTING	PROPOSED



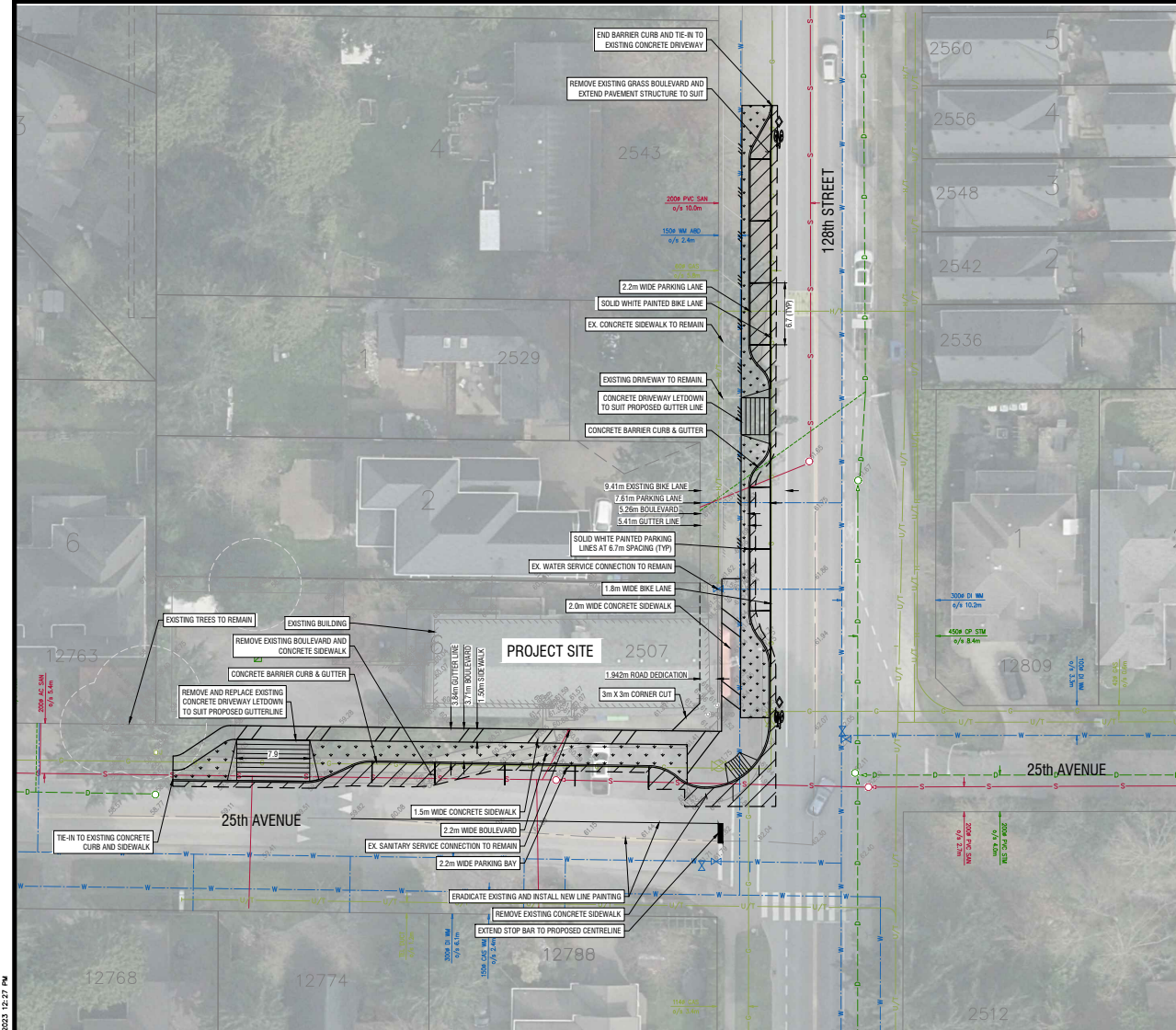
ASPHALT TIE-IN DETAIL
N.T.S.



128 STREET PAVEMENT STRUCTURE
1:25



25 AVENUE PAVEMENT STRUCTURE
1:25



V:\2022\121-07558-00\CAO\121-07558-00_Layout.mxd Plot Date: 6/23/2023 12:27 PM

NO.	DATE	DESCRIPTION	BY	CHECKED
1	2023.05.27	ISSUED FOR REVIEW	JLN	JLN
2	2023.05.27	ISSUED FOR REVIEW	JLN	JLN

BY SEALING AND SIGNING THIS DRAWING, I CERTIFY THAT THE INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE GRADING DESIGN. ADDITIONAL CHANGE ORDERS AND MATERIAL DESIGN CHANGES MADE DURING CONSTRUCTION AND FIELD ADJUSTMENTS BY THE CONSTRUCTION TEAM AND THAT THE AS CONSTRUCTED WORKS SUBSTANTIALLY COMPLY WITH THE ORIGINAL DESIGN INTENT. I, HOWEVER, DO NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS.

CONSULTANT

WSP CANADA INC.
#100 - 20339 96th AVENUE
LANGLEY, B.C.
V1M 0E4 CANADA
TEL: 604-525-4651
www.wsp.com

CITY OF SURREY

CLIENT

CRESCENT PARK DEVELOPMENTS
2507 128th STREET, SURREY, BC

TITLE: **SERVICING CONCEPT PLAN**

SCALE: 1:250

DATE: 07/11/2023
2023.04.25

DESIGNED: A.P.
DRAWN: A.P.
REVIEWED: J.N.

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

PRELIMINARY

CITY ADDRESS: 2507 128th STREET SURREY, BC

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

7922-0306

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

SERVICING CONCEPT PLAN

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

DATE: 07/11/2023
2023.04.25

PROJECT NO: 221-07558-00

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address: 2507 128 Street

Registered Arborist: Morgan Sullivan

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	1
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by



June 21, 2023

Signature of Arborist

Date

- LEGEND**
- CRITICAL ROOT ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION ZONE AND FENCING
 - SURVEYED TREE TO BE RETAINED
 - UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
 - ✗ SURVEYED TREE TO BE REMOVED
 - ✗ UN-SURVEYED TREE TO BE REMOVED (MUST BE SURVEYED)

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½) the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE DRAWINGS

1. Base Survey by: Olsen & Associates

TREE SYMBOLS SHOWN ON THIS PLAN ARE SCALE AND DO NOT REPRESENT CANOPY AREA. THEY INDICATE LOCATION ONLY.

LOCATIONS ON THIS PLAN ARE DERIVED FROM SURVEY BENCHMARK 5479 LOCATED AT 128 ST AND 25 AVE. ELEVATION = 58.661m

Arborist Notes:

- Construction of parking lot within TPZ of trees OS 1 and OS2 is to be done under arborist supervision using low impact and above ground methods with no excavation.

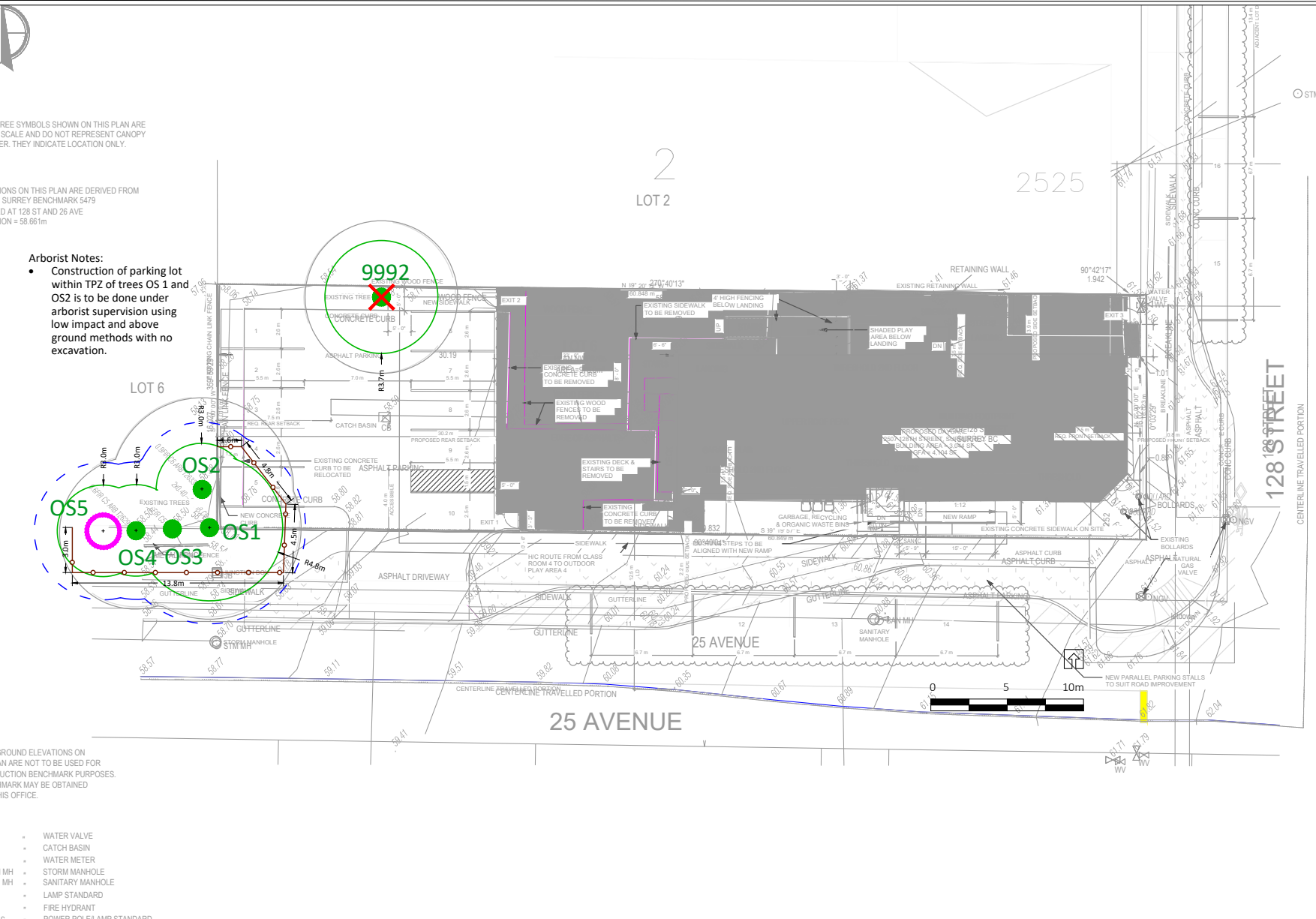
GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. ELEVATION MARK MAY BE OBTAINED FROM THE SURVEYOR'S OFFICE.

- WATER VALVE
- CATCH BASIN
- WATER METER
- MH - STORM MANHOLE
- MH - SANITARY MANHOLE
- MH - LAMP STANDARD
- FIRE HYDRANT
- POWER POLE LAMP STANDARD



3559 COMMERCIAL STREET
 VANCOUVER BC | V5N 4E8
 T 604.733.4886

Drawing title: Tree Management Plan
 Project address: 2507 128 Street, Surrey
 Client: Crescent Park Developments



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0306-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-213-214
Lot 6 Section 19 Township 1 New Westminster District Plan 8765

2507 - 128 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) Table D.1 of Part 5, Off-Street Parking and Loading/Unloading – to reduce the minimum number of Off-Street parking spaces for a Child Care Centre from 17 to 10;
 - (b) Section B.1 (c) of Part 5, Off-Street Parking and Loading/Unloading – to increase the percentage of parking spaces permitted to have the length reduced to a minimum of 4.9m, from 35% to 50%;
 - (c) Section F. of Part 35, Neighbourhood Commercial Zone (C-5) – to reduce the minimum setback from the east lot line to the principal building face from 7.5 metres to 0.0 metres;
 - (d) Section F. of Part 35, Neighbourhood Commercial Zone (C-5) – to reduce the minimum setback from the north lot line to the principal building face from 7.5 metres to 3.9 metres;
 - (e) Section F. of Part 35, Neighbourhood Commercial Zone (C-5) – to reduce the minimum setback from the south lot line to the principal building face from 7.5 metres to 2.2 metres; and
 - (f) Section I.1.(b) of Part 35, Neighbourhood Commercial Zone (C-5) – to reduce the minimum screening strip along the west lot line from 1.5 metres to 0.6 metres.
5. This development variance permit applies to only the portion of the Land, buildings and structures shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 20 .

ISSUED THIS _____ DAY OF _____, 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

Schedule A

Section B.1 (c) of Part 5 – to increase the percentage of parking spaces permitted to have the length reduced to a minimum of 4.9 metres, from 35% to 50%.

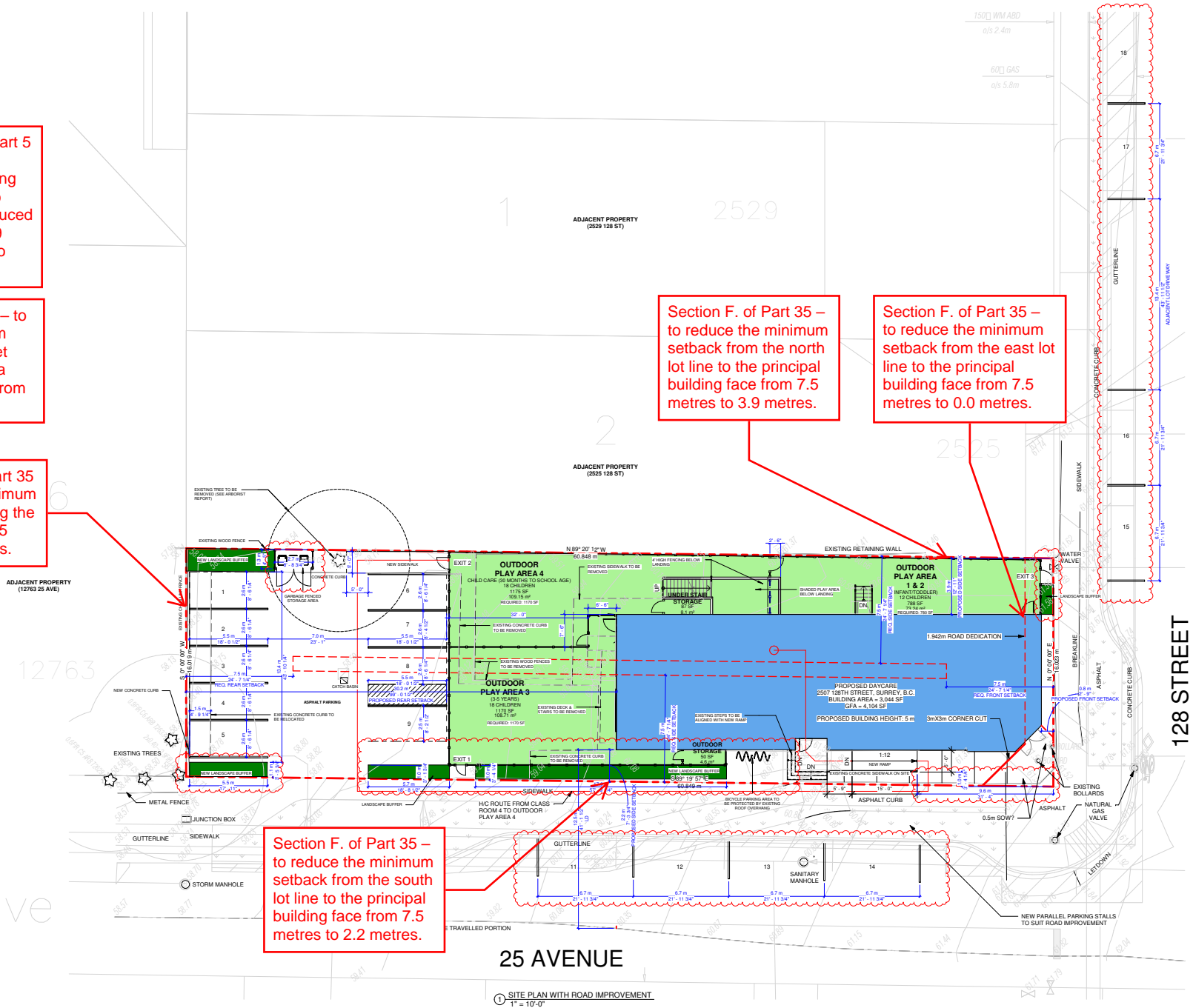
Table D.1 of Part 5 – to reduce the minimum number of Off-Street parking spaces for a Child Care Centre from 17 to 10.

Section I.1.(b) of Part 35 – to reduce the minimum screening strip along the west lot line from 1.5 metres to 0.6 metres.

Section F. of Part 35 – to reduce the minimum setback from the north lot line to the principal building face from 7.5 metres to 3.9 metres.

Section F. of Part 35 – to reduce the minimum setback from the east lot line to the principal building face from 7.5 metres to 0.0 metres.

Section F. of Part 35 – to reduce the minimum setback from the south lot line to the principal building face from 7.5 metres to 2.2 metres.



Revisions	yy-mm-dd
7. LF. REVISION PER LID	23-07-18
6. LF. REVISION PER CITY COMMENTS	23-06-23
5. LF. REVISION PER CITY COMMENTS	23-06-23
4. LF. REVISION	22-10-11
3. LF. CLIENT REVIEW	22-08-18
2. LF. CLIENT REVIEW	22-07-04
1. LF. CLIENT REVIEW	yy-mm-dd