

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

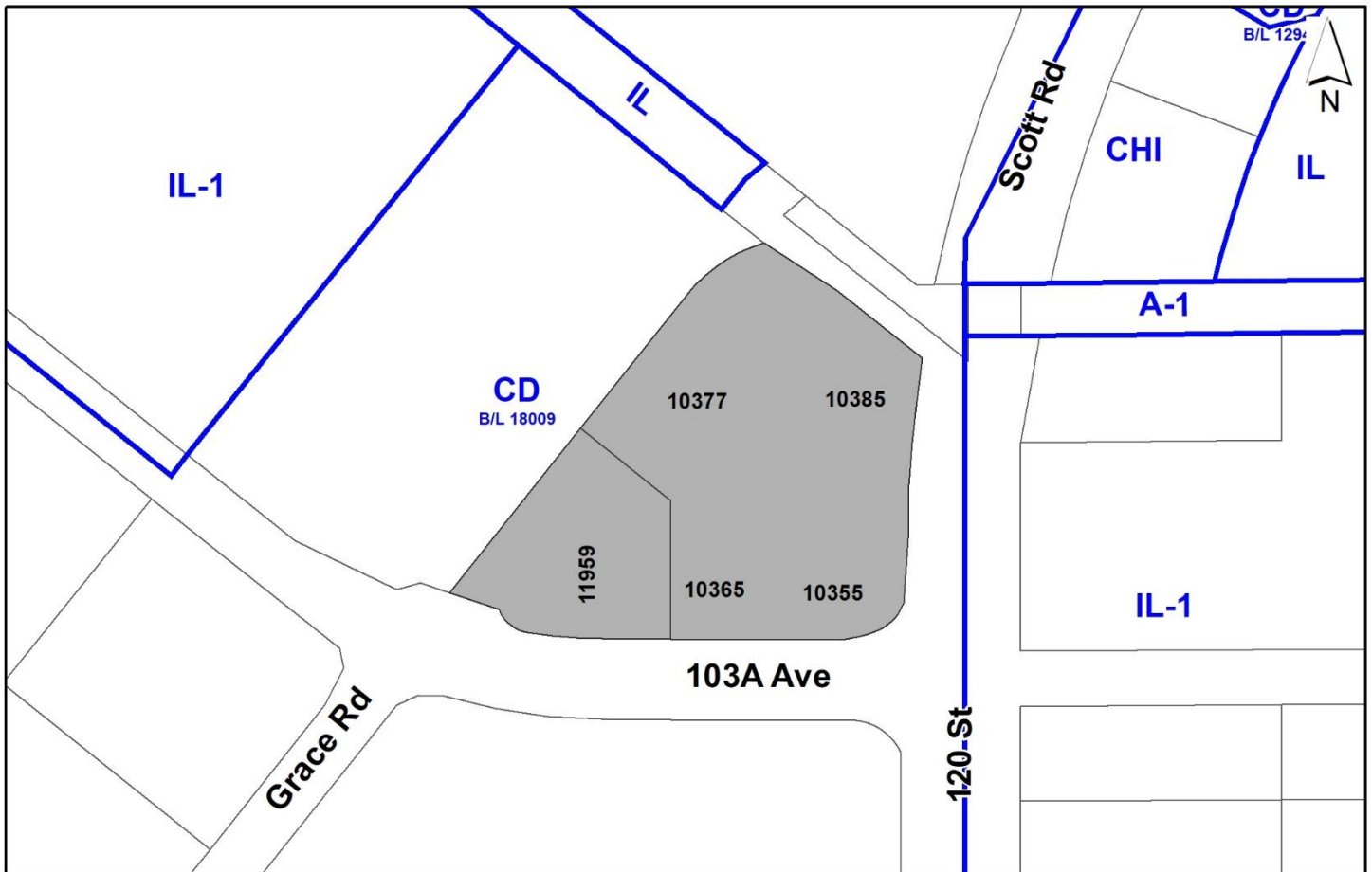
to permit the development of a light industrial building with ancillary office space.

LOCATION: 11959 - 103A Avenue
 10365 - 120 Street
 (10355 - 120 Street
 10377 - 120 Street
 10385 - 120 Street)

ZONING: CD

OCP DESIGNATION: Mixed Employment

NCP: Highway Commercial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the maximum number of risers for stairs located within the front (south) and west side yard setbacks on the site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the 'Mixed Employment' designation in the Official Community Plan (OCP).
- The proposal complies with the 'Highway Commercial' designation in the South Westminster Neighbourhood Concept Plan (NCP)
- The proposal complies with the 'Mixed Employment' designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of South Westminster.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed use and character of development is consistent with that initially approved under Development Application No. 7913-0070-00 and deals specifically with adjusting the lot line boundary for the subject site for improved access.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7922-0362-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to vary Part 4 General Provisions Section B.26(b) of the Zoning By-law No. 12000 to increase the maximum number of risers permitted within the setback area from 3 to 8 for stairs located within the front yard (south) setback of the principal building; and
 - (b) to vary Part 4 General Provisions Section B.26(b) of the Zoning By-law No. 12000 to increase the maximum number of risers permitted within the setback area from 3 to 7 for stairs located within the west side yard setback of the principal building.
2. Council authorize staff to draft Development Permit No. 7922-0362-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (g) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space permitted on-site given the parking allocation.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant Site.	<u>OCP</u> : Mixed Employment <u>NCP</u> : Highway Commercial	CD (Bylaw No. 18009)
North:	Commercial Retail Building.	<u>OCP</u> : Mixed Employment <u>NCP</u> : Highway Commercial	CD (Bylaw No. 18009)
East (across Grace Road):	Warehouse and Distribution Centre.	<u>OCP</u> : Industrial <u>NCP</u> : Light Impact Industrial	CD (Bylaw No. 18009)
South (across 103A Avenue):	Warehouse and Distribution Centre.	<u>OCP</u> : Mixed Employment <u>NCP</u> : Highway Commercial	CD (Bylaw No. 18009)
West:	Commercial Retail Buildings.	<u>OCP</u> : Mixed Employment <u>NCP</u> : Highway Commercial	CD (Bylaw No. 18009)

Context & Background

- The subject site is part of a larger land assembly comprising of 7 lots, totaling 20.28 hectares, which was originally rezoned in 2007 under Development Application No. 7907-0221-00 to “Comprehensive Development Zone (CD)” (CD By-law No. 16736) to permit the development of a mixed-use business park with supporting commercial uses and is called Pacific Link Business Park.
- Thereafter, as development gained momentum in this area, the applicant sought a way to modify the location of commercial uses in the land assembly which were needed to support the industrial portions of the business park. To avoid a series of CD By-law amendments to accommodate commercial uses in different areas, the site was rezoned in 2013 under Development Application No. 7913-0070-00 to “Comprehensive Development Zone (CD)” (CD By-law No. 18009).
- The existing subject site (11959 – 103A Avenue) is approximately 1.1 acres (4,463 sq. m.) in area and is bounded by Grace Road on the east and 103A Avenue on the south. As part of this application, the applicant has applied for subdivision (lot line adjustment) to increase the size of the subject site to allow for an optimal and efficient layout (Appendix I, Sheet A03). After subdivision, the new subject site will be approximately 5,988 square metres in gross area. The lot line adjustment is consistent with the existing zone.

- The subject site is fully within the 200-year flood plain of the Fraser River. Ordinarily this project would be subject to DP2 Hazard Land (Flood Prone) provisions which would require site assessment by a Qualified Professional and the registration of a Section 219 Restrictive Covenant to restrict habitable flood area below the Flood Construction Level (FCL). This assessment has already been undertaken as part of the original applications, 7907-0221-00 and 7908-0285-00 and a Restrictive Covenant is already registered on title. No further assessment in this regard is required.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a Development Permit to permit the construction of a two-storey commercial/industrial building with 2,310 square metres of floor area which will contain four units.

	Proposed
Lot Area	
Gross Site Area:	5,988 sq. m.
Road Dedication:	n/a
Undevelopable Area:	489 sq. m.
Net Site Area:	5499 sq. m.
Number of Lots:	2 existing to 2 new (lot line adjustment)
Building Height:	11-metres
Floor Area Ratio (FAR):	0.41
Floor Area	
Industrial:	1,803 sq. m.
Commercial:	507 sq. m.
Total:	2,310 sq m.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.

Transportation Considerations

Road Network & Infrastructure

- No improvements to the fronting roads are currently planned as part of the subject proposal.

Access and Parking

- The applicant is proposing to relocate the existing access on 103A Avenue to the east, in order to accommodate the proposed changes to the on-site parking configuration.
- The applicant is proposing to meet the parking requirements as per the Zoning Bylaw.

Transit and Cycling

- The subject site is located in close proximity to existing transit service on Scott Road and on 103A Avenue, as well as the planned R6 Scott Road RapidBus.
- The subject site is located along Scott Greenway, an existing off-street multi-use pathway, which connects to Scott Road Skytrain Station to the north.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the 'Mixed Employment' designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the 'Mixed Employment' designation in the Official Community Plan (OCP).

Themes/Policies

- The proposed development is consistent with the following OCP policy:
 - B6.4: Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites within neighbourhoods.

(The development is in-keeping with the general form and scale of industrial and commercial buildings in this part of South Westminster. The building provides for a two-storey expression. From the 103A Avenue public realm, each unit is expressed individually through

small breaks in the façade and through the use of colour. Ample glazing is provided on upper floors and at public realm corners mirroring the buildings on the opposite side of Grace Road. Overall, the development matches the buildings in the surrounding environment and is consistent with Policy B6.4).

- E1.5: Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare.

(The proposed development adds to the available employment lands in South Westminster).

Secondary Plans

Land Use Designation

- The proposal complies with the 'Highway Commercial' designation in the South Westminster Neighbourhood Concept Plan (NCP).

Themes/Objectives

- The proposed development is consistent with the following NCP policy:
 - All Light Impact Industrial and Business Park development will be of a high quality.

(As discussed above, the proposed development achieves a high quality of design).

CD By-law No. 18009

- The table below provides an analysis of the development proposal in relation to the requirements of CD By-law No. 18009, inclusive of parking requirements:

CD Zone (By-law No. 18009)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.4
Lot Coverage:	60%	34%
Yards and Setbacks		
North (Rear Yard):	7.5 m	21 m
East (Side Yard):	7.5 m	7.6 m
South (Front Yard):	6.0 m	6.5 m*
West (Side Yard):	7.5 m	7.6 m*
Height of Buildings		
Principal buildings:	11 m	11 m
Parking (Part 5)		
Number of Stalls		
Commercial:	14	14
Industrial:	17	17
Total:	31	31

**Variance requested.*

Setback Variance

- The applicant is requesting the following variances:
 - to vary Part 4 General Provisions Section B.26(b) of the Zoning By-law No. 12000 to increase the maximum number of risers permitted within the setback area from 3 to 8 for stairs located within the front yard (south) setback of the principal building; and
 - to vary Part 4 General Provisions Section B.26(b) of the Zoning By-law No. 12000 to increase the maximum number of risers permitted within the setback area from 3 to 7 for stairs located within the west side yard setback of the principal building.
- Stairways are required on the Grace Road and 103A Avenue frontage to accommodate servicing and fire egress purposes. The proposal sits within the 200-year flood plain of the Fraser River and is therefore subject to a mandatory minimum floor elevation of 4.4-metres. The ambient ground levels at the 103A Avenue property line are approximately 3.2-metres and are 3.3-metres along the edge of Grace Road. To avoid the excessive use of retaining walls around the building, the applicant has proposed battered slopes around the building. The additional risers result from the change in grade from the property line to the doorways.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on September 05, 2023. Staff received no responses from neighbours in the vicinity.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to improve the interface of the principal building with the 103A Avenue and Grace Road frontages. Initially, the building presented very little glazing towards the public realm. The applicant improved the design by increasing the amount of glazing at the southwest and southeast corner mirroring the general pattern of industrial buildings in this area.
- The principal building is proposed to have an overall contemporary appearance with a simple uniformly rectangular volume. Four units are proposed and are expressed individually on the exterior through the use of simple steps in the building façade and through the use of colour.
- The exterior of the building is comprised of concrete tilt-up panels finished in light, medium, and dark grey. This contemporary colour palette is broken using glazing and a rust red metal cladding.

- Unit entrances face northwards away from 103A Avenue towards the parking area. These entrances utilize storefront style glazing, and a sunshade. The orientation of the building is intended to screen vehicle loading bays from the public realm.
- The proposal currently shows a combination of free-standing and fascia signage which generally comply with the intent of the Surrey Sign By-law. At this time, a comprehensive sign design package has not been submitted. The applicant intends to submit a separate Development Permit for signage in the future.

On-Site Parking

- The applicant proposes 31 parking spaces on-site, which complies with the Zoning By-Law. Noting the current lack of surplus parking on the site, should this proposal change in future, the applicant will be required to register a Section 219 Restrictive Covenant on title to restrict the amount of mezzanine space permitted on-site unless additional parking is provided, per the minimum parking requirements under the Zoning By-Law No. 12000.

Landscaping

- The applicant is proposing landscaping within the parking area, and along the Grace Road and 103A Avenue frontages.
- The proposed landscaping will consist of a variety of trees, including River Birch, Raywood Ash, Columnar Hornbeam, Western Hemlock, Bosnian Pine, Douglas Fir, and Shore Pine. The proposed trees will be complemented by a variety of shrubs and groundcover.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues, which includes ensuring that all plan sets are fully coordinated prior to final adoption.

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Red Oak	5	0	5
Beech	1	1	0
Coniferous Trees			
Japanese Black Pine	1	0	1
Total (excluding Alder and Cottonwood Trees)	7	1	6

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	19
Total Retained and Replacement Trees Proposed	25
Estimated Contribution to the Green City Program	\$2,750

- The Arborist Assessment (Appendix III) states that there are a total of seven mature trees on the site, excluding Alder and Cottonwood trees. The applicant proposes to retain six trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement. This will require a proposed total of twenty-four replacement trees on the site. Since the proposed nineteen replacement trees can be accommodated on the site, the proposed deficit of five replacement trees will require an estimated cash-in-lieu payment of \$2,750, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including River Birch, Raywood Ash, Columnar Hornbeam, Western Hemlock, Bosnian Pine, Douglas Fir, and Shore Pine.
- In summary, a total of twenty-five trees are proposed to be retained or replaced on the site with an estimated contribution of \$2,750 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7922-0362-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

RO/ar



Pacific Link Industrial Park Block A / Lot 17

Issued for DP Resubmission 2 - May 26th, 2023

WESGROUP

TRA QUALITY CONSTRUCTION INC.

Pac Link Lot 17
11009 103A Ave., Surrey, BC

Cover
PLOT DATE: 20230523 9:25:48 PM

A00

Pacific Link Industrial Park

Wesgroup

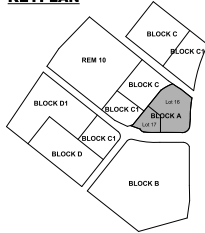
11959 103A Avenue, Surrey, BC



DRAWING INDEX:

ARCHITECTURAL	
A00	Cover
A01	Project Data
A02	Proposed Line Revision Plan
A03	Existing & Proposed Subdivision Layout
A04	Site Plan
A05	Lot Views
A10	Site Plan
A12	Site Plan Alternate
A13	Floor Plan Level 1
A14	Floor Plan Level 2
A15	Roof Plan
A16	Sign Plan and Details
A06	Sections
A08	Sections

KEYPLAN



LOCATION / CONTEXT PLAN



PACIFIC LINK INDUSTRIAL PARK, BLOCK A / LOT 17

ZONING SUMMARY

LEGAL ADDRESS:
11959 103A Ave, Surrey, BC
LEGAL DESCRIPTION:
LOT 17 SECTION 25 BLOCK 5N RANGE 3W
PLAN S8C03103 NWD

EASEMENTS:
EASEMENT PLAN BCP31504 covers 5,262.70 SF (485.82 sq m) of Lot 17 and is treated as undevelopable area.
- PLAN BCP31463 EASEMENT is retained on the existing entrance road to Lot 17 from 103A Avenue. The property line and road location changes proposed in this submission will require this easement to be re-delineated or relocated to the new road location proposed.

AUTHORITY: City of Surrey
ZONING: CD
PERMITTED USES:
Principal: Light Industrial / Warehouse
Accessory: Office

SITE AREA (LOT 17):
Gross: 64,455 SF (5,988 m²)
Undevelopable Area: 5,262.7 SF (485.8 m²)
Net: 59,192.7 SF (5,499 m²)

DENSITY (FAR): Proposed: 0.41
Allowed: 1.00
LOT COVERAGE: Proposed: 33.5%
Allowed: 60%
BUILDING HEIGHT: Proposed: 36 ft
Allowed: 38 ft (11 m)

BUILDING SETBACKS:
Front Yard Setback: Proposed: 6.5 - 6.6 m (103A Ave.)
Required: 6.0 m
Side Yard Setback: Proposed: 7.6 - 7.9 m (Grace Road)
Required: 7.5 m
Side Yard Setback: Proposed: 7.7 m (East)
Required: 0 m¹
Rear Yard Setback: Proposed: 21.41 m (North)
Required: 7.5 m

¹Setback measured from edge of Grace Road Easement as determined during initial discussions with City of Surrey.

² Bylaw No. 18009 notes that one (1) side yard setback shall be 7.5 metres (25 ft) or 0.0 metre.

LANDSCAPE SETBACKS

Front Yard Setback: Proposed: 6.0 m (103A Ave.)
Required: 6.0 m
Side Yard Setback: Proposed: 3.0 m (Grace Road)
Required: 3.0 m
Side Yard Setback: Proposed: 1.5 m (East)
Required: 1.5 m
Rear Yard Setback: Proposed: 1.5 m (North)
Required: 1.5 m

¹Along the developed sides of the lot which shall be Major Road, a continuous landscaping strip of not less than 0.9m in width shall be provided within the lot.

²A continuous landscaping strip of not less than 1.5 metres (5 ft) or width shall be provided along all sides lot that front a highway and 3.0 metres (10 ft) back from the front face of the closest principal building fronting a highway.

AREA SUMMARY

Area Summary - By Occupancy		
Occupancy	Area (SF)	Area (SQM)
Industrial	18438 SF	1713 m ²
Office	8058 SF	750 m ²
Service	370 SF	34 m ²
Industrial	24887 SF	2310 m ²

Area Summary - By Level		
Level	Area (SF)	Area (SQM)
Level 1	18438 SF	1703 m ²
Level 2	8458 SF	787 m ²
	24887 SF	2310 m ²

Area Summary - By Space			
Occupancy	Unit	Area (SQM)	
Industrial	101	4505 SF	420 m ²
Industrial	102	4458 SF	417 m ²
Industrial	104	4898 SF	453 m ²
Industrial	103	4395 SF	407 m ²
		18438 SF	1713 m ²

Level 1	Office	104	150 SF	14 m ²
Level 1	Office	101	150 SF	14 m ²
Level 1	Office	102	150 SF	14 m ²
Level 1	Office	103	150 SF	14 m ²
			600 SF	56 m ²
Level 2	Office	201	1562 SF	145 m ²
Level 2	Office	203	1289 SF	120 m ²
Level 2	Office	204	1318 SF	122 m ²
Level 2	Office	202	1289 SF	120 m ²
			5458 SF	507 m ²
Level 1	Service	116	237 SF	22 m ²
Level 1	Service	115	133 SF	12 m ²
			370 SF	34 m ²
			24887 SF	2310 m ²

PARKING REQUIREMENTS

Parking Required			
Occupancy	Area (SF)	Factor (1/Ave)	
Industrial	18,438	1.076	19.7
Office	8,058	430.8	14.1
Service	370	8.0	3.0
	24,876		31.2

ACCESSIBLE PARKING: Min 2%
Proposed: 5 space
Required: 1 space

SMALL CAR PARKING: Max 30%
Proposed: 8 space
Allowed: 10 spaces

EV CHARGING: Min 20% of Commercial Parking
Proposed: 6 spaces
Required: 8 spaces

EV CHARGING REQUIREMENTS:
20% of parking spaces in new commercial developments must each have an installed equipment electrical sub-panel capable of providing Level 2 charging for an electric vehicle.

- Owner/Developer to provide either a) Dedicated circuit and energized outlet to each EV parking space OR
b) Install an Energy Vehicle Management System (EVEMS) that meets a minimum performance standard to ensure a sufficient rate of electric vehicle charging.

PARKING PROVIDED

Parking Provided
Parking Col/Survey: 90' x 21m x 5.5m 12
Parking Col/Survey: 50' x 27m x 5.5m 14
Parking Space - ADA/1 WC Van Stall 1
¹ See Table 3 for standards to account for additional parking stalls required.

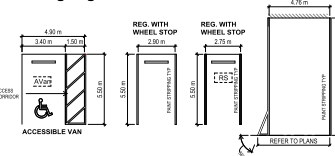
LOADING PROVIDED

Class B Loading
Loading Space: Loading 4 m (13') x 9.2 m 4
(90')

BICYCLE PARKING

Bike Parking Required: N/A for Light Industrial and Office Uses
- Per City of Surrey Requirement: Min. 6 bikes
Bike Parking Provided: 10 bikes
(Refer to Landscape Drawings for location)

Parking Legend



PROJECT TEAM

OWNER/DEVELOPER

Wesgroup
Suite 200 - 580 Burrard Street, Vancouver, BC
V 6Z 6M4
Darr Foy

ARCHITECT

TKA+D Architects + Design Inc.
200 West Pender Street, Vancouver, BC
V 6Z 6M4
709 West 7th Avenue, Suite 1000 - West Hill

CIVIL

TKA+D Architects + Design Inc.
Suite 200 - 580 Burrard Street, Vancouver, BC
V 6Z 6M4
709 West 7th Avenue, Suite 1000 - West Hill

LANDSCAPE

David Shupe Landscape Architect
200 West Pender Street, Vancouver, BC
V 6Z 6M4
709 West 7th Avenue, Suite 1000 - West Hill



2023-05-27
3 - 28 MAY 2023 Issue for Placement 2
2 - 01 MAY 2023 Issue for CP Placement 1
1 - 21 APR 2023 Issue for Placement 1

WESGROUP

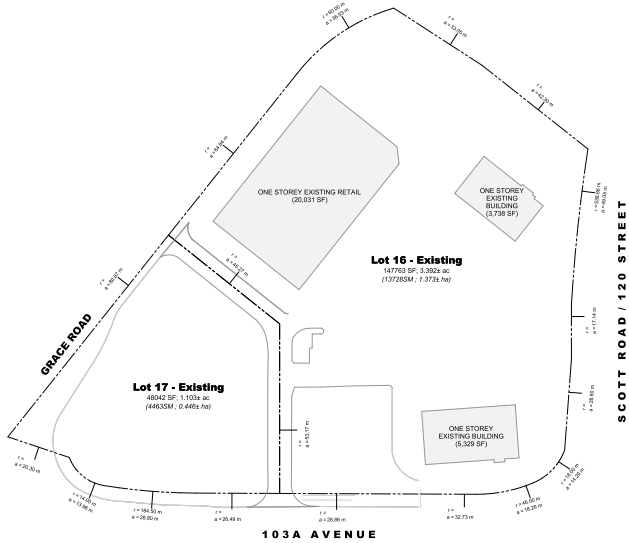
TKA+D ARCHITECTS + DESIGN INC.

Pac Link Lot 17

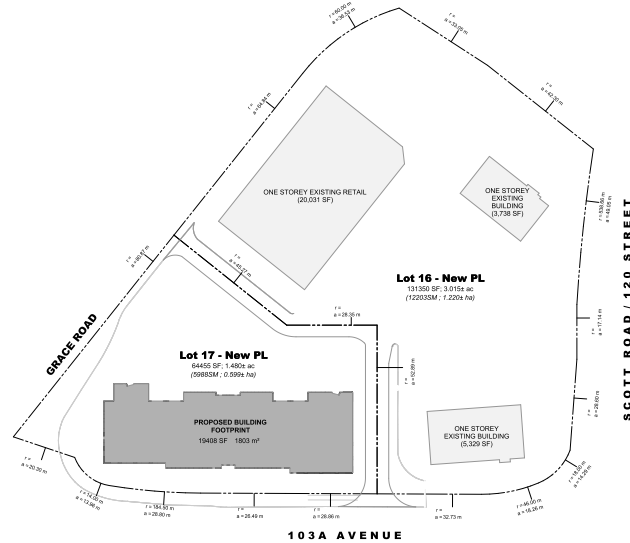
11959 103A Avenue, Surrey, BC
Project Data

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A01



① Existing Property Lines
 1" = 40'-0"



② Proposed New Property Lines
 1" = 40'-0"

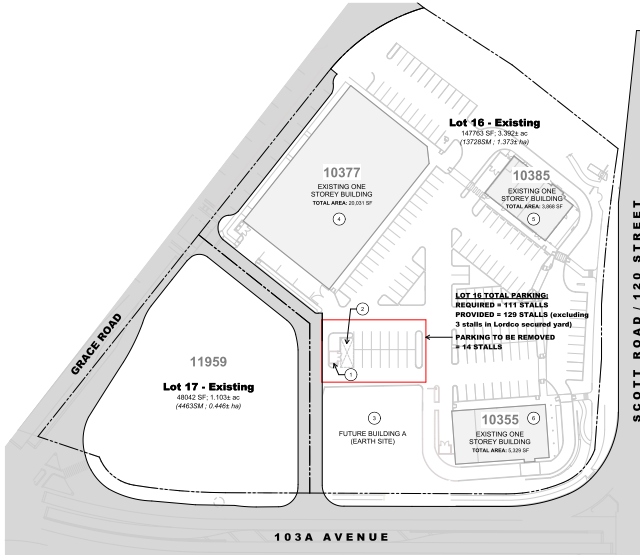
Subdivision Data

REQUIRED PROJECT DATA		PROPOSAL
GRAND SITE AREA		
Acres	Lot 16 - 3.392	
	Lot 17 - 1.103	
	Total - 4.495	
NUMBER OF LOTS		
Existing	2	
Proposed	2	
SIZE OF LOTS		
Range of Lot Width (feet/m)	80m - 100m	
Range of Lot Area (hectares/minutes)	3.068 - 12.203 ha	
GENERAL		
Lot/Block(s) & Lot/Acre (hectares)	0 (0) Lot/Acre(s)	
Lot/Block(s) & Lot/Acre (hectares)	2 (2) Lot/Acre(s)	
Lot/Block(s) & Lot/Acre (hectares)	0 (0) Lot/Acre(s)	
SITE COVERAGE (IN % OF GRAND SITE AREA)		
Max Coverage of Proposed & Existing Footprint	Lot 16: 60% max Lot 17: 25% max	
Detached Plant, Lawn & Driveway Coverage	Lot 16: 4% max Lot 17: 35% max	
Total Site Coverage	Lot 16: 60% max Lot 17: 25% (TBC)	

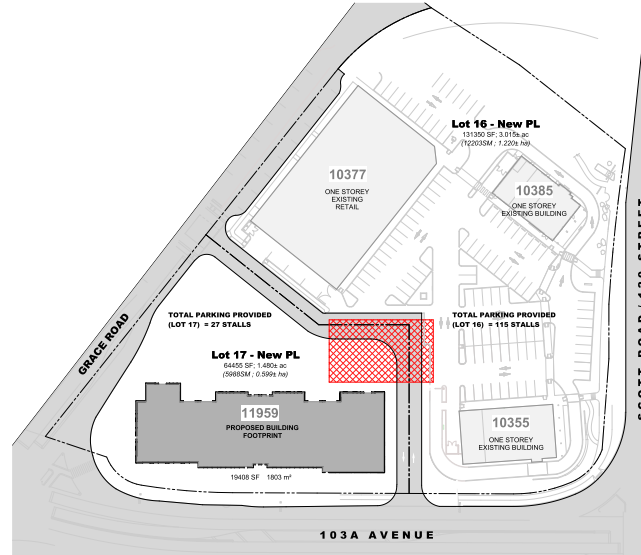


2020-05-27

- 3 28 MAY 2023 Issue for Pre-Application 2
- 2 01 MAY 2023 Issue for Pre-Application 1
- 1 23 MAY 2023 Issue for Development Permit



1 Existing Subdivision Plan
1" = 40'-0"



2 Proposed Subdivision Plan
1" = 40'-0"

Subdivision Keynotes

- 1 Existing Garbage Enclosure for Future Building A to be removed. Building A will not be constructed.
- 2 Existing Loading Space for Future Building A to be removed. Not required if Building A is not built.
- 3 Future Building A Site. Currently undeveloped eastern lot that will become part of Lot 17 and the relocated road with the property line changes to new Proposed Subdivision Plan.
- 4 Existing Building B: 10377 120 St.
Use: Light Industrial / Retail (Condos)
- 5 Existing Building C: 10385 120 St.
Use: Commercial / Food Service with Drive-thru (Starbucks)
- 6 Existing Building D: 10385 120 St.
Use: Commercial / Food Service with Drive-thru (Burger King)

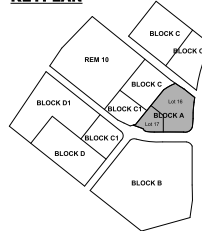
PARKING CHANGES TRIGGERED BY NEW SUBDIVISION PLAN:

THE PROPOSED LAYOUT FOR THE NEW SUBDIVISION WILL REQUIRE SOME REWORK OF THE EXISTING PARKING AND WILL RESULT IN THE REMOVAL OF 14 PARKING STALLS.
THIS BRINGS THE TOTAL NUMBER OF EXISTING PARKING STALLS PROVIDED DOWN TO 115 STALLS FOR THE USER OF LOT 16. THIS EXCEEDS THE REQUIRED PARKING COUNT FOR THIS LOT.

LOT 16 REVISED PARKING:

LOT 16 TOTAL PARKING REQUIRED = 111 STALLS*
*Refer to Parking Audit Letter provided by TPCA (dated May 13, 2023)
EXISTING PARKING PROVIDED = 129 STALLS
EXISTING PARKING TO BE REMOVED = 14 STALLS
TOTAL PARKING REMAINING = 115 STALLS**

KEYPLAN



LOT 16 ZONING ITEMS IMPACTED BY SUBDIVISION AND PROPERTY LINE CHANGE:

- **PERMITS:**
- FAR = 0.20 before Subdivision
- FAR = 0.22 after Subdivision
- Conclusion: Lot 16 still complies with CD Bylaw 19009
- **LOT COVERAGE:**
- Per Lot 16 Original Site Area = 19.8%
- After Site Area Change for Subdivision = 22.2%
- Permitted = 0.0%
- Conclusion: Lot 16 still complies with CD Bylaw 19009
- **SUBDIVISION LOT SIZE:**
- Requirements: Minimum Area = 1,800 sq.m. Min. Width = 30m. Min. Depth = 30m
- Both lots fulfill these minimum requirements before and after Subdivision changes.
- **PARKING:** See below.

LOT 17 PARKING:

LOT 17 TOTAL PARKING REQUIRED = 31.2 PARKING STALLS (ROUND DOWN TO 31 STALLS)
LOT 17 NEW PARKING PROVIDED = 27 STALLS

*SEE PARKING CALCULATIONS ON SHEET A01

BLOCK A PARKING (LOT 16 - 17):

LOT 16 REQUIRED PARKING = 111 STALLS
LOT 17 REQUIRED PARKING = 31 STALLS
TOTAL REQUIRED PARKING = 142 STALLS
LOT 16 PARKING PROVIDED = 115 STALLS
LOT 17 PARKING PROVIDED = 22 STALLS
TOTAL PARKING PROVIDED = 142 STALLS

ACCOUNTING FOR THE PROPOSED CHANGES TO THE PARKING LAYOUT, THE TOTAL PARKING PROVIDED ON LOT 16 WILL EXCEED THE REQUIRED PARKING FOR THIS LOT BY 4 STALLS.

SINCE LOT 17 HAS A DEFICIT OF 4 STALLS, WE ARE ASKING THAT THE PLANNING DEPARTMENT CONSIDER LOT 16 AS OVERFLOW PARKING FOR LOT 17 IN ORDER TO PROVIDE THE 4 ADDITIONAL PARKING STALLS LOT 17 REQUIRES.

SINCE ALL PARKING AREAS ON BLOCK A ARE CONNECTED AND ACCESS TO SITE IS VIA ROADS / DRIVEWAY ENTRANCES THAT ARE SHARED BETWEEN LOT 16 AND LOT 17, WE PROPOSE THIS A SIMPLE AND REASONABLE SOLUTION.

OVERALL, THE TOTAL REQUIRED PARKING FOR THE SITE IS EQUAL TO THE TOTAL PARKING PROVIDED. THIS ENSURING ALL EXISTING AND PROPOSED BUILDINGS WILL COMPLY WITH PART 5 OF THE ZONING BYLAW.



2023-05-07
3 28/08/2023 Issue for CP Placement 1
2 01/09/2023 Issue for CP Placement 1
1 23/05/2023 Issue for Development Permit

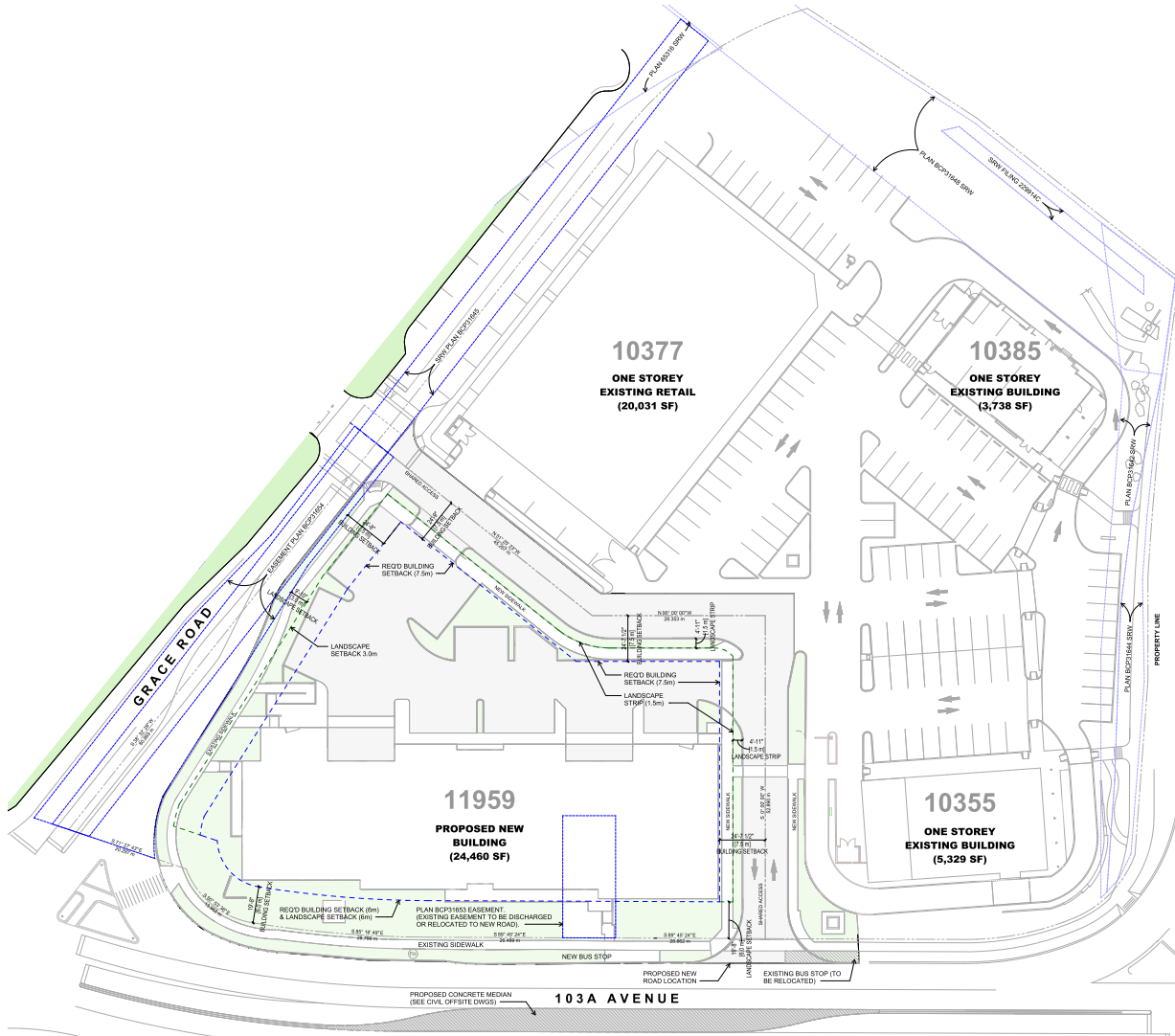
WESGROUP
TKA+D ARCHITECTURE & DESIGN INC.

Pac Link Lot 17

11959 103A Ave., Surrey, BC
Existing & Proposed
Subdivision Layout

PL01-0013 20230507 0.28.01.00

A03



PROPERTY LINE
 BUILDING SETBACK
 LANDSCAPE SETBACK
 SRW / EAS

2023-03-07

1 28 MAR 2023 Issues TO CP Placement 1
 2 01 MAY 2023 Issues TO CP Placement 1
 3 23 MAY 2023 Issues TO Development Permit

1 Base Plan
 1" = 20'-0"



① North East 3D View



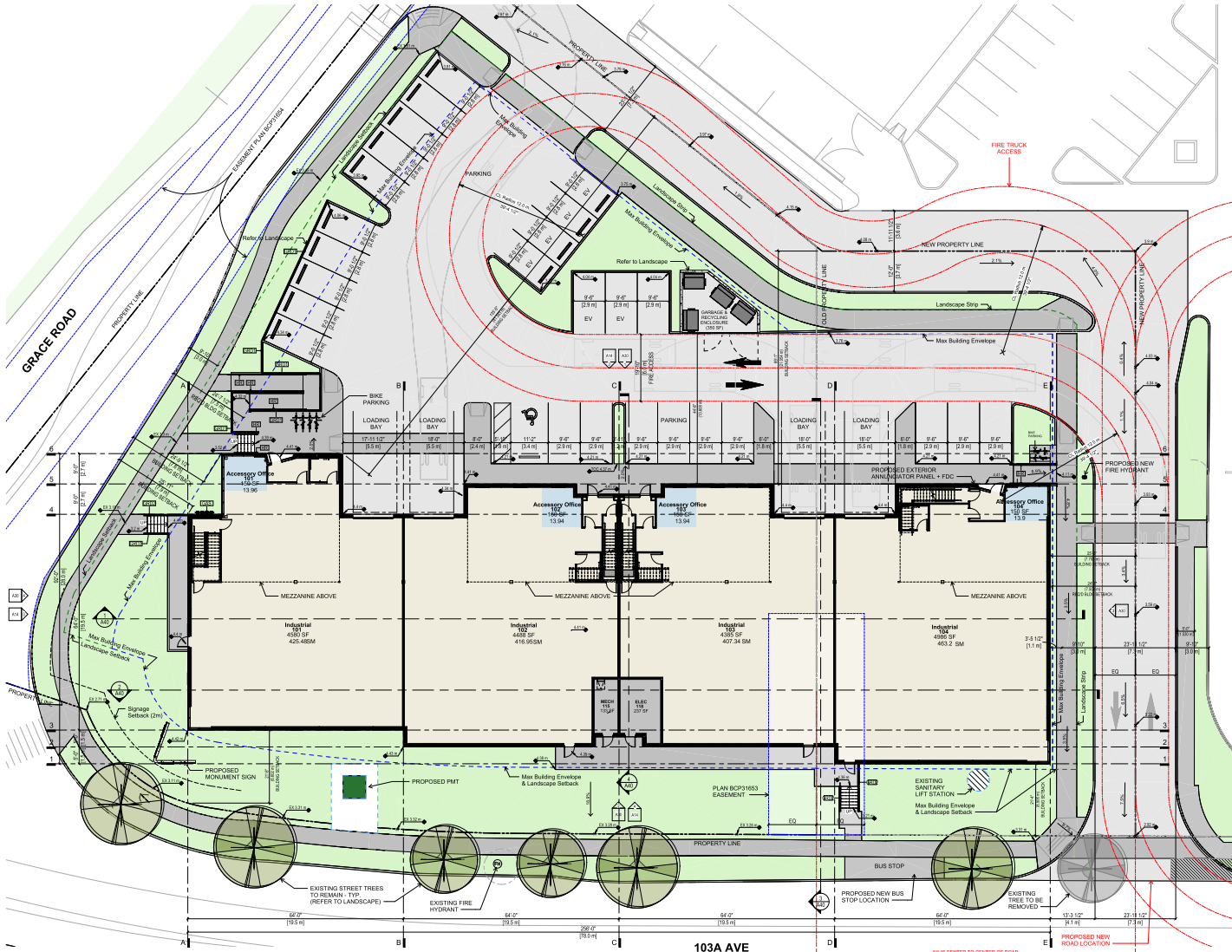
② North West 3D View



④ South East 3D View



③ South West 3D View



- KEY**
- GAS GAS METERS
 - GRD1 GALVANIZED STEEL GUARD RAIL TYPE 1
 - GRD2 GALVANIZED STEEL GUARD RAIL TYPE 2
 - HR GALVANIZED STEEL HAND RAIL

WESGROUP
 2023-02-07
 1 20/02/2023 Issue No. 1 of Preliminary
 2 01/04/2023 Issue No. 2 of Preliminary
 3 23/08/2023 Issue No. 3 of Preliminary

WESGROUP
TKA+D
Pac Link Lot 17

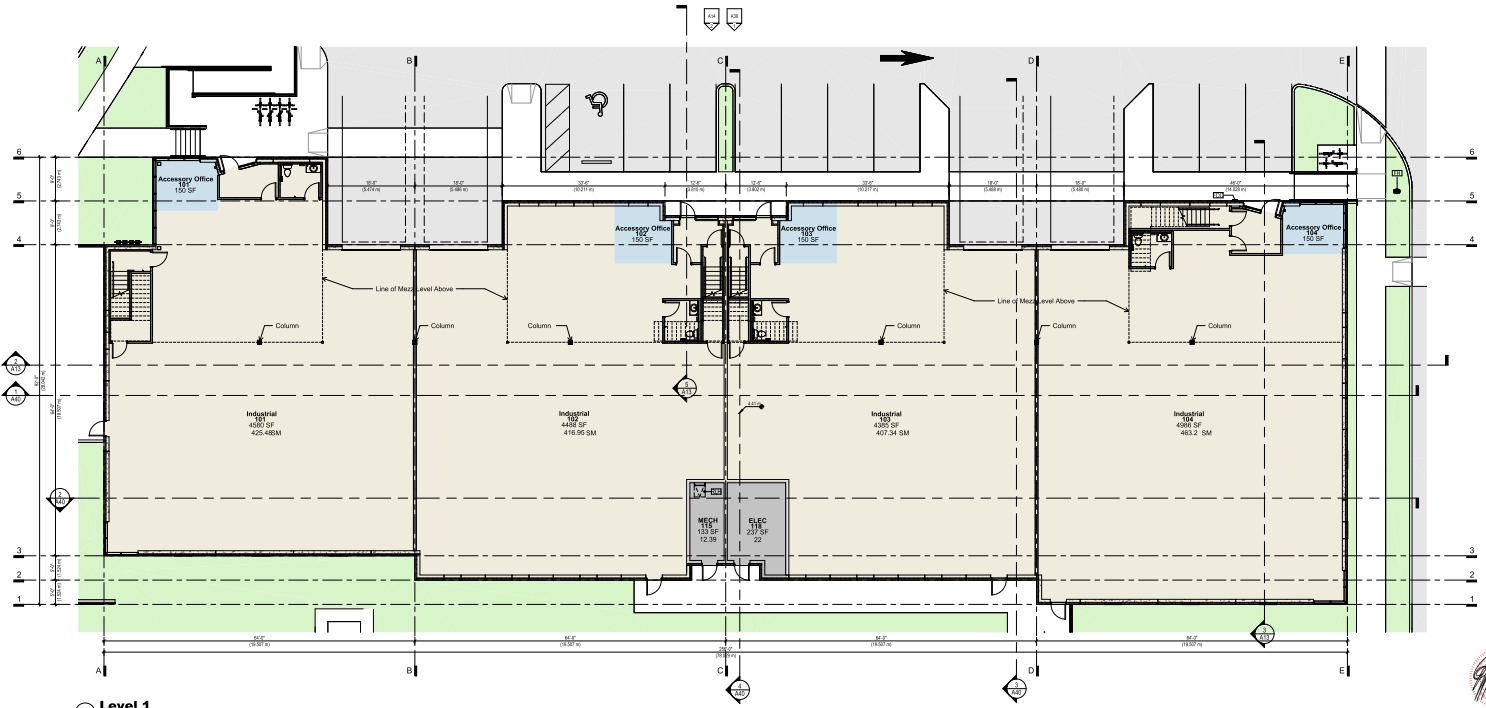
11859 105A Ave., Surrey, BC
Site Plan
 PLOT DATE: 09/02/2023 2:06:14 PM

A10

1 Site Plan
 1" = 10'-0"

103A AVE

86' 0" CENTER TO CENTER OF ROAD
 (26.176)



① **Level 1**
 1/8" = 1'-0"

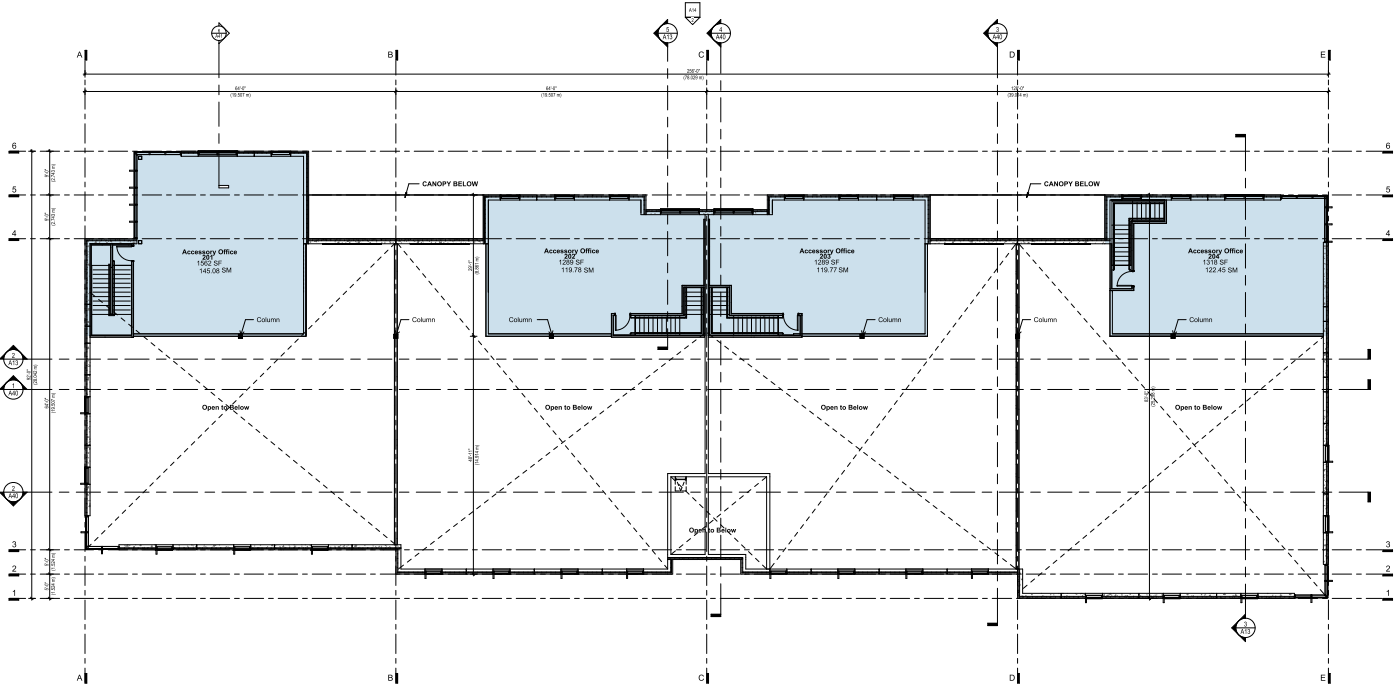


- 2020-05-27
- 3 28 MAY 2023 Issue No. CP Placement 2
- 2 01 MAY 2023 Issue No. CP Placement 1
- 1 23 MAY 2023 Issue No. Development Permit

WESGROUP
TKA+D ARCHITECTURE DESIGN INC.
Pac Link Lot 17

11959 105A Ave., Surrey, BC
Floor Plan Level 1
 PLOT DATE: 5/20/2023 9:36:18 AM

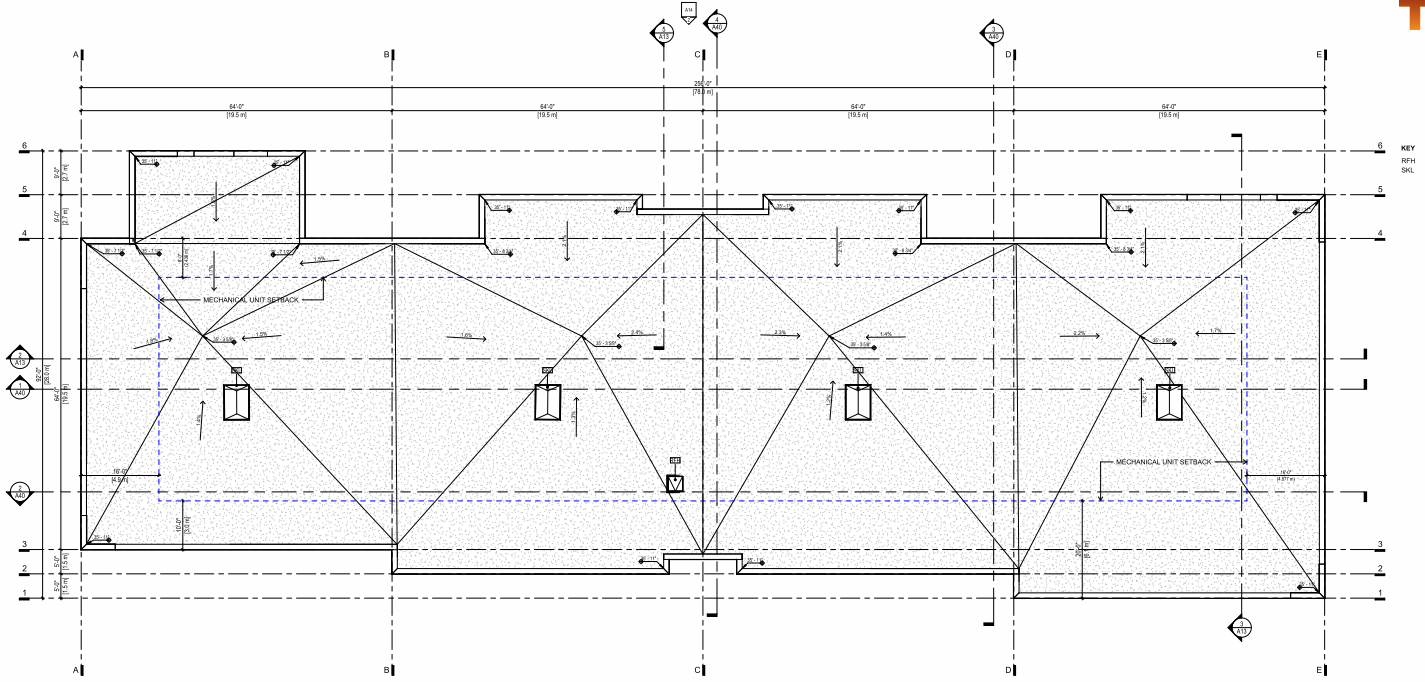
A11



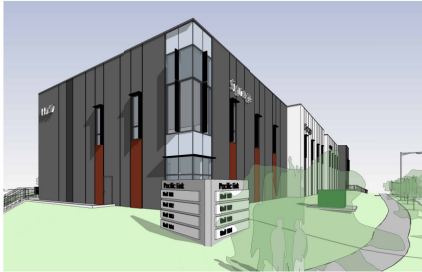
① **Level 2**
 1/8" = 1'-0"



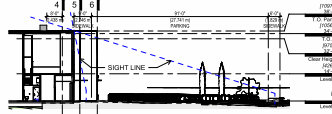
- 3 28 MAR 2023 Issue To CP Placement 2
- 2 01 MAR 2023 Issue To CP Placement 1
- 1 27 FEB 2023 Issue To CP Development Permit



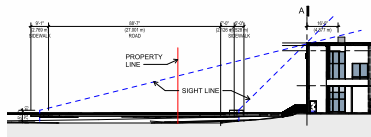
1 Roof Plan
 1/8" = 1'-0"



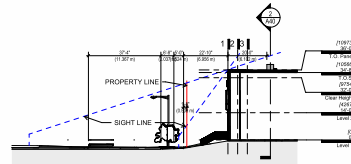
4 3D View South East



5 North East Section
 1" = 20'-0"



2 East Section Grace Road
 1" = 20'-0"



3 South Section 103A Ave
 1" = 20'-0"

KEY
 RFL
 SKL
 SKYLIGHT

2020-05-07
 3 28 MAY 2023 Issue No 02 Placement 2
 2 01 MAY 2023 Issue No 01 Placement 1
 1 23 MAY 2023 Issue No Development Permit

WESGROUP
 TKA+D ARCHITECTS & DESIGN INC.
 Pac Link Lot 17

11859 103A Ave., Surrey, BC
 Roof Plan
 PLOT DATE: 5/9/2023 @ 3:58:29 PM

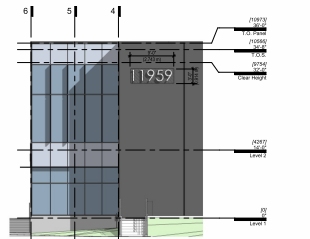
A13



① Signage 3D View

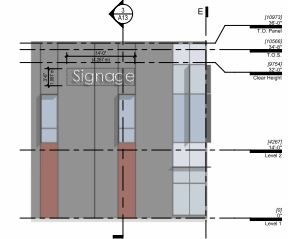
TYPICAL FASCIA SIGNAGE ON NORTH ELEVATION:
 TOTAL SIGN AREA PROVIDED:
 43,32 sq. ft. (4,000 sq. m)
 * 4 x 10.83 sq. ft. (1 sq. m) UNIT
 FASCIA SIGNS BELOW LEVEL 2

TYPICAL FASCIA SIGNAGE ON WEST ELEVATION SIGNAGE:
 A MAXIMUM OF ONE FASCIA SIGN PER LOT FRONTAGE MAY BE LOCATED ABOVE A FIRST STOREY TO IDENTIFY THE NAME AND/OR ADDRESS OF THE BUILDING TO WHICH IT IS ATTACHED. PROVIDED NO MORE THAN ONE SUCH SIGN SHALL BE PERMITTED ON ANY ONE FACADE OF THE BUILDING ABOVE THE FIRST STOREY.
 SIGNAGE BYLAW PART 5 PERMITS 3 sq. ft. PER LINEAR FOOT (1 sq. m PER LINEAR METER) OF PRESIDES FRONTAGE.
 GRACE ROAD LOT FRONTAGE:
 295'-4" (89.87 m)
 TOTAL PERMITTED FASCIA SIGNAGE AREA:
 796 sq. ft. (73.66 sq. m)
 TOTAL SIGN AREA PROPOSED @ WEST ELEVATION: 27 sq. ft. (2.5 sq. m)

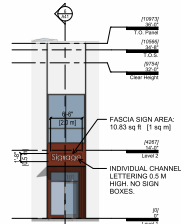


③ Address Signage (Grace Rd)
 1/8" = 1'-0"

TYPICAL FASCIA SIGNAGE ON SOUTH ELEVATION 103A AVENUE:
 SIGNAGE BYLAW PART 5 PERMITS 3 sq. ft. PER LINEAR FOOT (1 sq. m PER LINEAR METER) OF PRESIDES FRONTAGE.
 103A AVENUE LOT FRONTAGE:
 338'-0" (103.0 m)
 TOTAL PERMITTED FASCIA SIGNAGE AREA:
 1,015 sq. ft. OR 119 sq. m
 TOTAL SIGN AREA PROPOSED @ SOUTH ELEVATION: 60 sq. ft. (5.5 sq. m) PER TENANT
 * 4 TENANTS x 49 sq. ft. = 196 sq. ft. (18 sq. m)

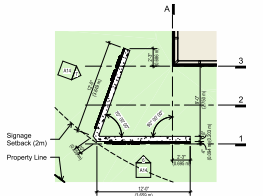


④ TYP. Street Signage (103A Ave)
 1/8" = 1'-0"

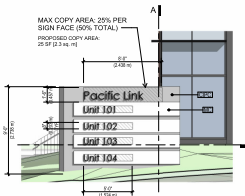


② TYP. Fascia Signage
 1/8" = 1'-0"

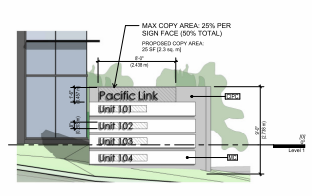
FREE-STANDING IDENTIFICATION SIGN:
 SIGNAGE BYLAW PART 5 PERMITS MAXIMUM SIGN AREA OF 29 sq. ft. (2.69 sq. m) FOR DOUBLE FACED FREE-STANDING SIGNS.
 COPY AREA SHALL NOT EXCEED 50% OF SIGN AREA.
 MAXIMUM HEIGHT OF FREE-STANDING SIGN PERMITTED TO BE 4.5 m (15 ft)
 SIGN SETBACK:
 Proposed: 2.0 m 6'-6"
 Required: 2.0 m 6'-6"
 SIGN HEIGHT:
 Proposed: 2.4 m 8'-0"
 Max. Permitted: 4.6 m 15'-0"
 SIGN AREA:
 Proposed: 22.3 sq. ft. 240 SF
 Max. Permitted: 29 sq. ft. 300 SF
 COPY AREA:
 Proposed: 8.93 sq. ft. 96 SF
 Max. Permitted: 11.1 sq. ft. 120 SF



⑤ Free Standing Sign Plan
 1/8" = 1'-0"

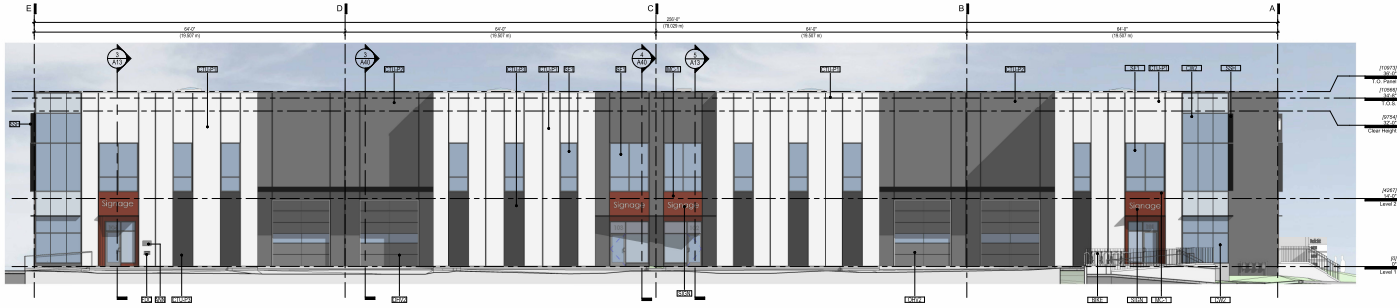


⑥ Free Standing Sign East Elev.
 1/4" = 1'-0"



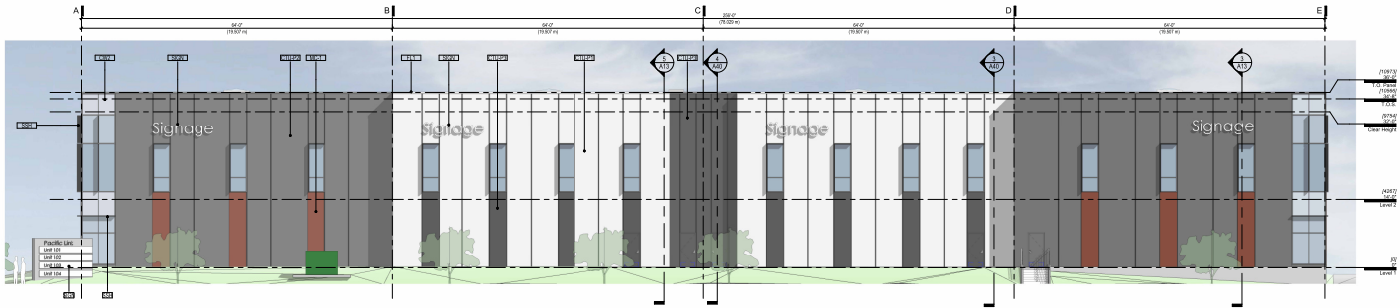
⑦ Free Standing Sign - West Elev.
 1/4" = 1'-0"



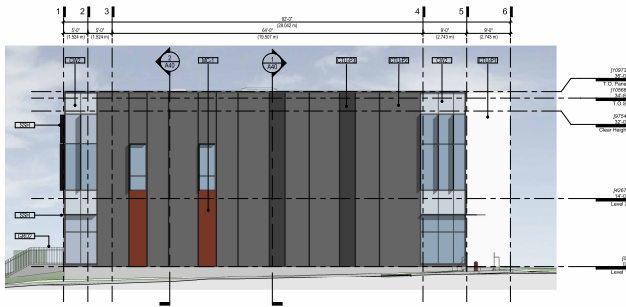


1 North Elevation
1/8" = 1'-0"

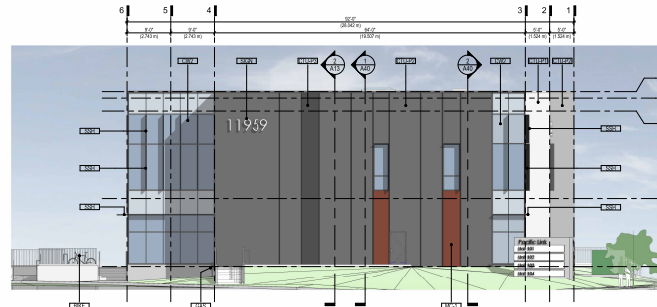
- KEY**
- ANN ANNUNCIATOR PANEL - FIRE ALARMS
 - BKE BIKE RACK
 - CTU-F1 CONCRETE TILT-UP, PAINT FINISH, F1-LIGHT GREY
 - CTU-F2 CONCRETE TILT-UP, PAINT FINISH, F2-MID GREY
 - CTU-F3 CONCRETE TILT-UP, PAINT FINISH, F3-DARK GREY
 - CHW2 CURTAIN WALL - TYPE 2
 - FDC FIRE DEPARTMENT CONNECTION
 - FL1 FLASHING - TYPE 1
 - GAS GAS METERS
 - GRD2 GALVANIZED STEEL GUARD RAIL - TYPE 2
 - NC-1 METAL GLAZING - TYPE 1
 - OHV2 OVERHEAD DOOR - 12' X 14'
 - SF1 SHOP FRONT GLAZING - TYPE 1
 - SSH SIGNAGE BY TENANT
 - SSH SIGNAGE



2 South Elevation (103A Ave)
1/8" = 1'-0"



3 East Elevation
1/8" = 1'-0"



4 West Elevation (Grace Road)
1/8" = 1'-0"



2020-05-07
 3 28 MAY 2021 Issue To Pre-Permit 2
 2 01 MAY 2021 Issue To CP Permittance 1
 1 23 APR 2021 Issue For Development Permit

WESGROUP

TKA+D ARCHITECTS CONSULTANTS INC.

Pac Link Lot 17

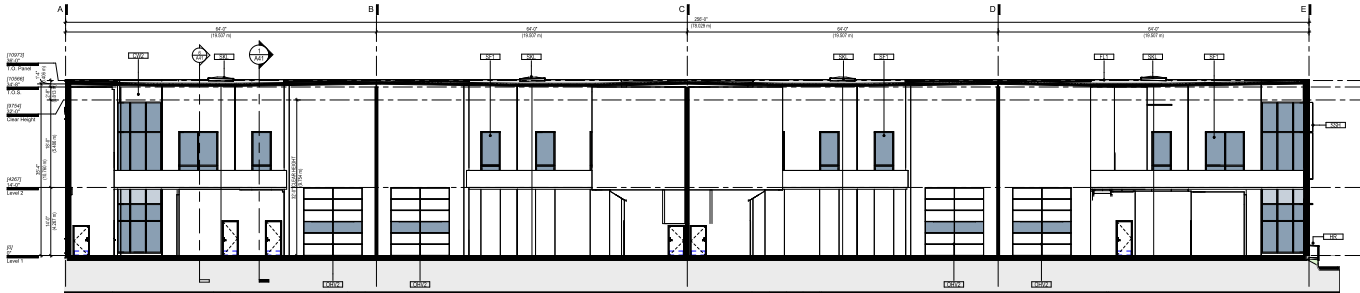
11939 103A Ave., Surrey, BC
 Elevations

PL01 DATE: 09/2020 @ 08:02 PM

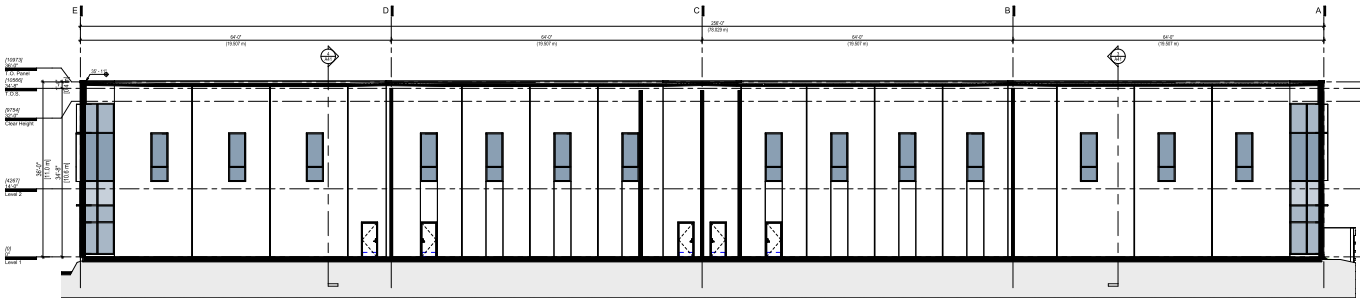
A30

KEY

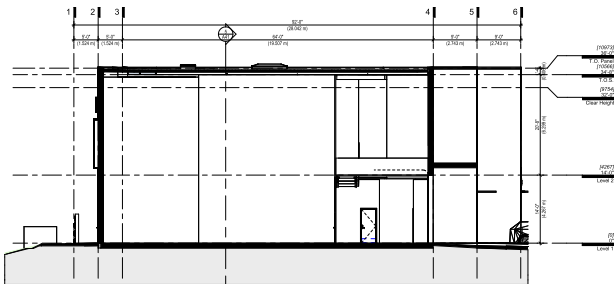
CV2	CURTAIN WALL - TYPE 2
FL1	FLASHING - TYPE 1
GWB	GYPSONUM WALL BOARD
HR	GALVANIZED STEEL HAND RAIL
OH12	OVERHEAD DOOR - 12' X 14'
SF1	SHOP FRONT GLAZING - TYPE 1
SKL	SKYLIGHT
SSH	SUNSHADE



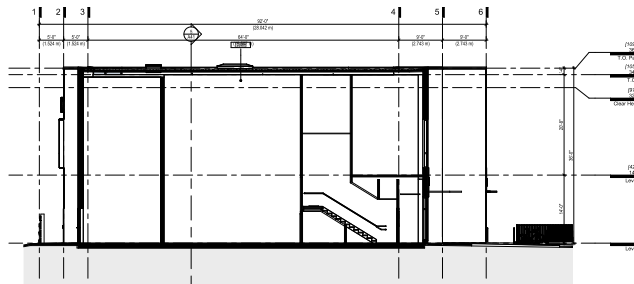
① Building Section 1
1/8" = 1'-0"



② Building Section 2
1/8" = 1'-0"



③ Building Section 3
1/8" = 1'-0"



④ Building Section 4
1/8" = 1'-0"



2020-05-27
3 28 MAY 2023 Issue for CP Placement 2
2 01 MAY 2023 Issue for CP Placement 1
1 23 MAR 2023 Issue for Development Permit

PACIFIC LINK INDUSTRIAL PARK

Pacific Link Lot 17
11959 103A Avenue, Surrey, BC

Landscape Set: Re-Issued for Development Permit Application
May 29, 2023

LANDSCAPE DRAWING INDEX

L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LANDSCAPE PLAN
L1.1	GRADING PLAN
L2.0	PLANTING PALETTE
L2.1	PLANTING PLAN - TREES
L2.2	PLANTING PLAN - SOUTH / WEST
L2.3	PLANTING PLAN - NORTH
L2.4	PLANTING PLAN - EAST
L3.0	LANDSCAPE LIGHTING
L4.0	SECTIONS
L5.0	DETAILS
L5.1	DETAILS
L5.2	DETAILS
L5.3	DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVISE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SPACING, SELECTION, TREE SPECIES TO THE SATISFACTION OF THE CITY OF SURREY.

ALL PUBLIC REALM DETAILS TO THE CITY OF SURREY STANDARDS.

David Stoyko
Landscape Architect

2886 6TH AVENUE EAST
VANCOUVER BC V6M 1E3
P 604.720.0048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY EQUIPMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND /OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT, AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.

12	
11	
10	
9	ISSUED FOR DP RE-SUBMISSION 23-05-29
8	ISSUED FOR DP RE-SUBMISSION 23-05-02
7	ISSUED FOR DEVELOPMENT PERMIT 23-03-24
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR DP REVIEW 23-03-16
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% DP COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-02-08

REVISIONS

WESGROUP

**PACIFIC LINK
INDUSTRIAL PARK**

Pac Link Lot 17

11959 103A Avenue,
Surrey, British Columbia

Scale: N/A

Drawn: _____

Reviewed: _____

Project No. 22-027

COVER PAGE

L0.0

TREE MANAGEMENT PLAN

TREE RETENTION / REMOVAL LEGEND

DESCRIPTION

EXISTING TREE TO BE REMOVED
TO BE CONFIRMED PER ARBORIST ON-SITE WITH CITY OF SURREY ARBORIST PRIOR TO REMOVAL.

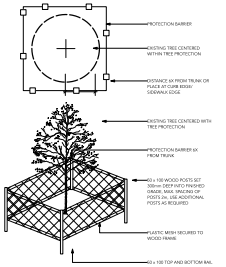


EXISTING TREE TO BE RETAINED



TREE PROTECTION FENCING

TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF SURREY STANDARDS AND INSPECTED BY ARBORIST PRIOR TO CONSTRUCTION ACTIVITY.



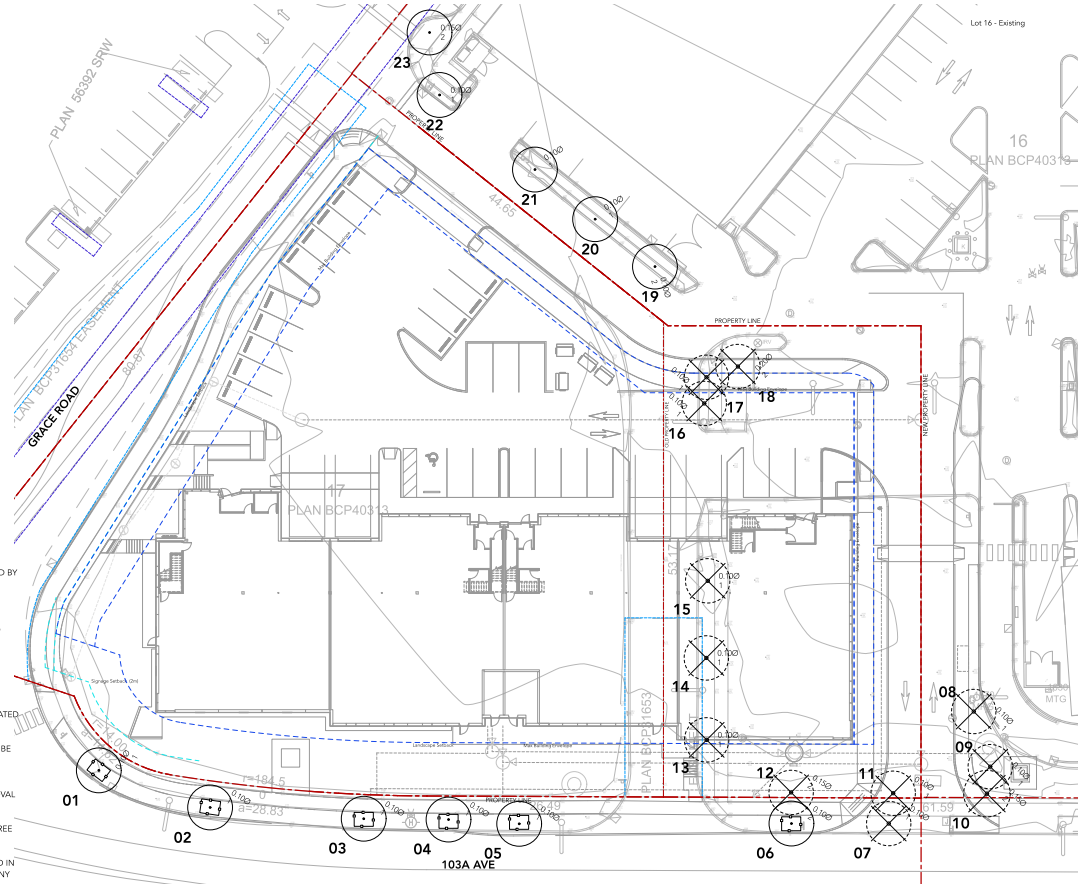
NOTES

1. THIS PLAN HAS BEEN PREPARED WITH INFORMATION SUPPLIED BY THE PROJECT SURVEYOR, ARCHITECT, PLANNER, LANDSCAPE ARCHITECT, ARBORIST, AND CIVIL ENGINEER AND HAS BEEN REVIEWED AND SIGNED OFF BY EACH CONSULTANT AS BEING ACCURATE AND COMPLETE WITH RESPECT TO EXISTING AND ULTIMATE SITE CONDITIONS RELATED TO TREE RETENTION AND PROTECTION MATTERS.

2. ELEVATIONS SHOWN ARE IN METRIC

TREE PROTECTION NOTES

- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- INSTALL TREE PROTECTION BARRIERS AROUND ALL TREES TO BE PRESERVED. REMOVE ALL TREE PROTECTION BARRIERS AFTER CONSTRUCTION.
- CONSULTANT TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS BEFORE CONSTRUCTION BEGINS.
- LANDSCAPE ARCHITECT TO BE ON-SITE FOR WORK WITHIN TREE PROTECTION ZONES OR EXISTING TREE ROOTS.
- ALL TREE PROTECTION FENCING MUST REMAIN IN PLACE AND IN GOOD ORDER THROUGHOUT THE CONSTRUCTION PROCESS. ANY ALTERATION OF THE FENCES MUST BE PRE-APPROVED BY THE ARBORIST.
- ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED TO THE SATISFACTION OF THE CONSULTANT AT CONTRACTOR EXPENSE.



David Stoyko
Landscape Architect

2866 8TH AVENUE EAST
VANCOUVER BC V6N 1E3
P: 604.720.0048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTING LOCATION, MEASUREMENT OR ANY DIMENSION AT THE PROJECT SITE, INCLUDING UTILITIES AND /OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM THE CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THEIR PROJECT AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITHOUT ERROR BY MEASURING OFF OF THESE DRAWINGS.

12	
11	
10	
9	ISSUED FOR DP RE-SUBMISSION 23-05-29
8	ISSUED FOR DP RE-SUBMISSION 23-02-02
7	ISSUED FOR DEVELOPMENT PERMIT 23-03-24
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR DP REVIEW 23-03-16
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-03-08

REVISIONS

WESGROUP

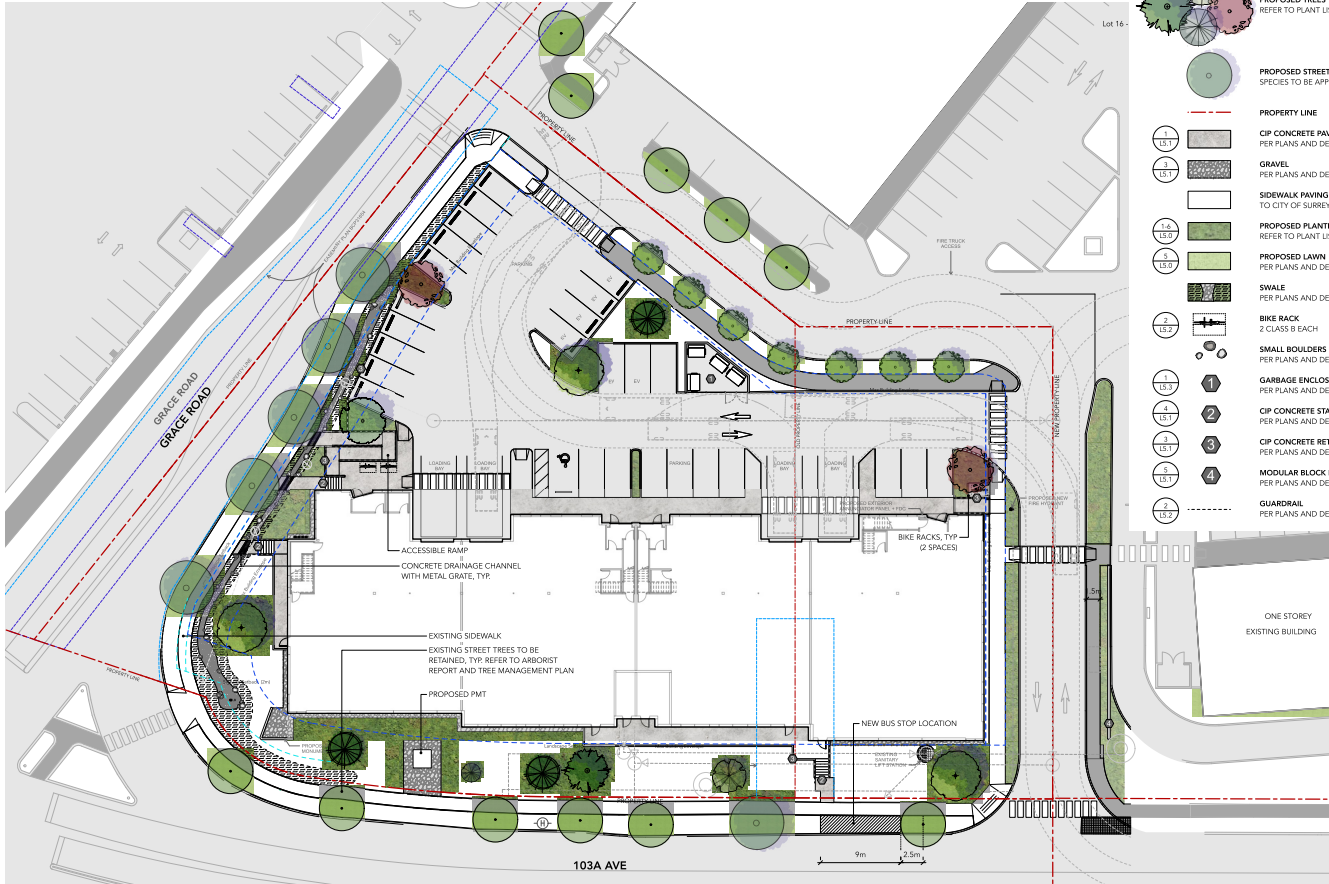
PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale: 1:200
Drawn: MISC
Reviewed: PM / DS
Project No: 22-027

TREE MANAGEMENT PLAN

L0.1



1 LAYOUT PLAN
Scale: 1:200

LAYOUT AND MATERIALS LEGEND

- PROPOSED TREES**
REFER TO PLANT LIST
- PROPOSED STREET TREES**
SPECIES TO BE APPROVED BY CITY
- PROPERTY LINE**
- CIP CONCRETE PAVING**
PER PLANS AND DETAILS
- GRAVEL**
PER PLANS AND DETAILS
- SIDEWALK PAVING**
TO CITY OF SURREY STANDARDS
- PROPOSED PLANTING**
REFER TO PLANT LIST
- PROPOSED LAWN**
PER PLANS AND DETAILS
- SWALE**
PER PLANS AND DETAILS
- BIKE RACK**
2 CLASS B EACH
- SMALL BOULDERS**
PER PLANS AND DETAILS
- GARBAGE ENCLOSURE**
PER PLANS AND DETAILS
- CIP CONCRETE STAIRS**
PER PLANS AND DETAILS
- CIP CONCRETE RETAINING WALL**
PER PLANS AND DETAILS
- MODULAR BLOCK RETAINING WALL**
PER PLANS AND DETAILS
- GUARDRAIL**
PER PLANS AND DETAILS

David Stoyko
Landscape Architect

2866 8TH AVENUE EAST
VANCOUVER BC V6M 1E3
P 604.720.0048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTING CONDITIONS OR DIMENSIONS OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND /OR CONCEALED STRUCTURES, ON THE ACCOMPANY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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12	
11	
10	
9	ISSUED FOR DP RE-SUBMISSION 23-05-29
8	ISSUED FOR DP RE-SUBMISSION 23-05-02
7	ISSUED FOR DEVELOPMENT PERMIT 23-03-04
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR DP REVIEW 23-03-16
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-02-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

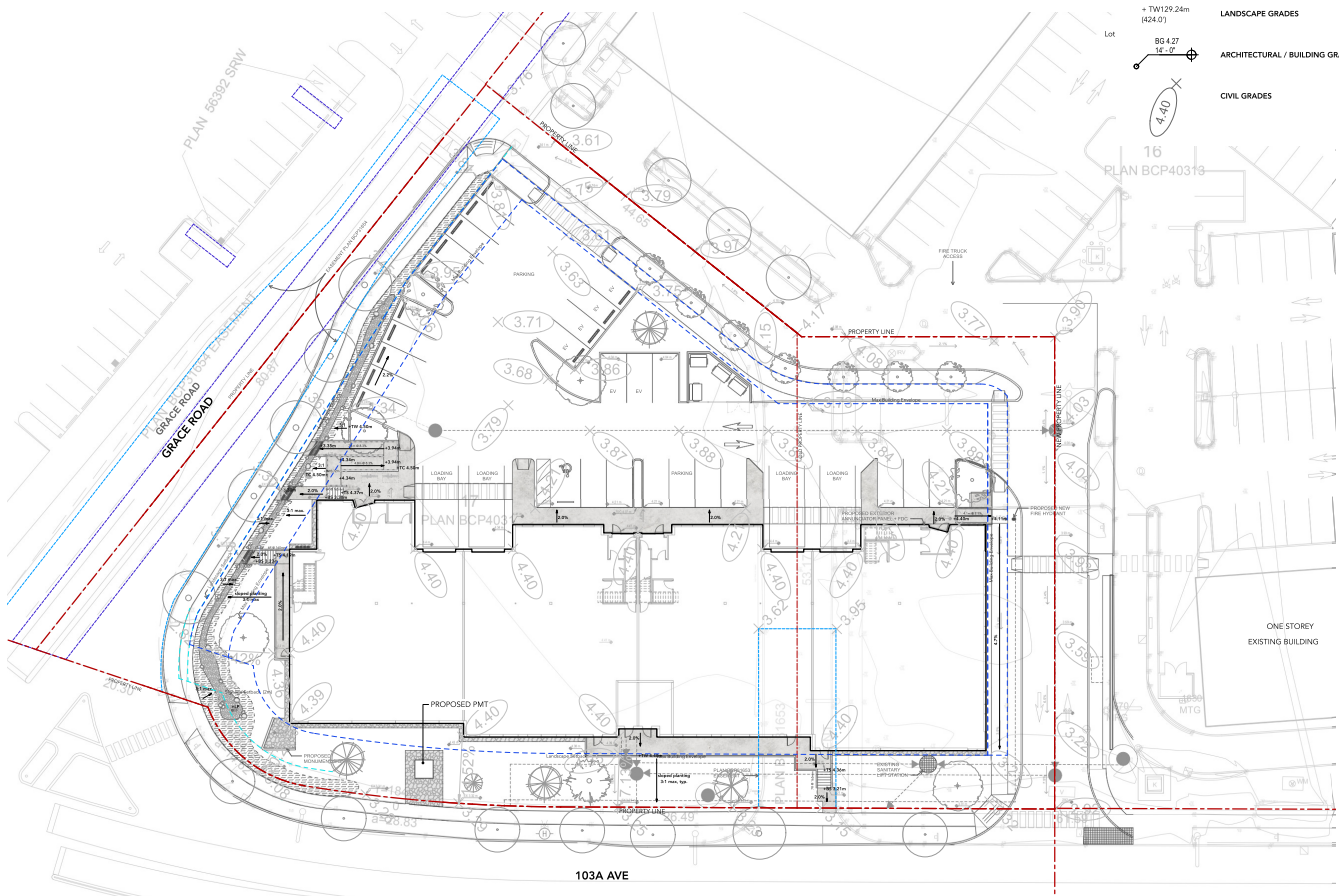
Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale: 1:200
Drawn: MGC / PM
Reviewed: PM / DS
Project No. 22-027

LANDSCAPE LAYOUT PLAN



L1.0



GRADING LEGEND

SYMBOL	DESCRIPTION
\pm TW129.24m (524.01)	LANDSCAPE GRADES
BG 4.27 (14.02)	ARCHITECTURAL / BUILDING GRADES
4.40	CIVIL GRADES

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12	
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9	ISSUED FOR DP RE-SUBMISSION 23-05-29
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7	ISSUED FOR DEVELOPMENT PERMIT 23-03-24
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR REVIEW 23-03-08
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-03-08

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale:	1:200
Drawn:	PM
Reviewed:	DS
Project No.:	22-027

GRADING PLAN

1 GRADING PLAN
Scale: 1:200



TREES



BETULA NIGRA FRAXINUS ANGSTIFOLIA 'RAYWOOD' ACER CIRCINNAEUM CERCEIS CANADENSIS 'FOREST PANSY' TSUGA HETEROPHYLLA PINUS LEUCODERMIS PSEUDOTSUGA MENZIESII

TALL SHRUBS



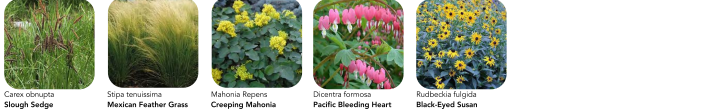
RUBUS SPECTABILIS Salmonberry PHYSOCARPUS CAPITATUS Pacific Ninebark VACCINIUM OVATUM Evergreen Huckleberry PIERS JAPONICA 'Forest Flame' Forest Flame Piers RHODODENDRON MACROPHYLLUM Pacific Rhododendron LONICERA INVOLUCRATA Twinberry KALMIA LATIFOLIA Mountain Laurel

LOW SHRUBS



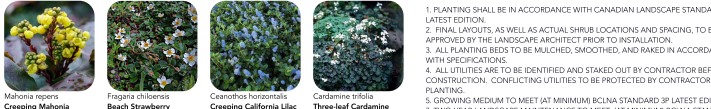
SYMPHORICARPOS ALBUS Snowberry BLECHNUM SPICATUM Deer Fern POLYSTICHUM MUNIUM Western Sword Fern LAVANDULA ANGSTIFOLIA English Lavender JUNIPERUS HORIZONTALIS Andorra Juniper CRYPTOMERIA JAPONICA 'TANSU' Dwarf Japanese Cedar

PERENNIALS



CAREX OBNUPTA Slough Sedge STIPA TENUISSIMA Mexican Feather Grass MAHONIA REPENS Creeping Mahonia DICENTRA FORMOSA Pacific Bleeding Heart RUBROECA FULGIDA Black-Eyed Susan

GROUND COVER



MAHONIA REPENS Creeping Mahonia FRAGARIA CHILOENSIS Beach Strawberry CAREX OBOVATA Creeping California Lilac CARDAMINE TRIFOLIA Three-leaf Cardamine

PLANTING NOTES

1. PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. FINAL LAYOUTS, AS WELL AS ACTUAL SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. ALL PLANTING BEDS TO BE MULCHED, SMOOTHED, AND RAKED IN ACCORDANCE WITH SPECIFICATIONS.
4. ALL UTILITIES ARE TO BE IDENTIFIED AND STAKED OUT BY CONTRACTOR BEFORE CONSTRUCTION. CONFLICTING UTILITIES TO BE PROTECTED BY CONTRACTOR PRIOR TO PLANTING.
5. GROWING MEDIUM TO MEET AT MINIMUM ICLNA STANDARD 3P LATEST EDITION.
6. TWO-YEAR LANDSCAPE MAINTENANCE TO MEET AT MINIMUM ICLNA STANDARD LEVEL 5 - BACKGROUND AND NATURAL AREAS LATEST EDITION.
7. AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED FOR THE ENTIRE PROJECT EXTENTS. GATOR BAGS TO BE EMPLOYED FOR ALL TREE PLANTINGS.

BIO SWALE PLANT SCHEDULE

	CAREX OBNUPTA	SLOUGH SEDGE	4"100m) POT, 18" OC
	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED OSIER DOGWOOD	#3 POT 24" OC
	IRIS VERSICOLOR	BLUE FLAG IRIS	4"100m) POT, 15" OC
	NEPETA FAASSENI 'WALKERS LOW'	WALKER'S LOW CATMINT	4"100m) POT, 15" OC
	PETASITES PALMATUS 'GOLDEN PALMS'	GOLDEN COLTSFOOT	4"100m) POT, 18" OC
	SALIX HOOKERIANA	HOOKE'S WILLOW	#2 POT, 24" OC

PLANTING SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
TREES				
DECIDUOUS				
	1	BETULA NIGRA	RIVER BIRCH	6CM CAL, B&B
	3	FRAXINUS ANGSTIFOLIA 'RAYWOOD'	RAYWOOD ASH	7CM CAL, B&B
	2	CERCEIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL, B&B
	7	CARPINUS BETULUS 'FASTIGIATA'	COLUMNAR HORNBEAM	6CM CAL, B&B
CONIFERS				
	3	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	MIN. 2.5m HT., B&B
	1	PINUS LEUCODERMIS	BOSNIAN PINE	3.5m HT., B&B
	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	4.5m HT., B&B
	1	PINUS CONTORTA VAR. CONTORTA	SHORE PINE	3.5m HT., B&B
PLANTING				
TALL SHRUBS				
	44	RUBUS SPECTABILIS	SALMONBERRY	#5 POT, 36" OC
	29	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	#5 POT, 36" OC
	115	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT, 24" OC
	18	PIERS JAPONICA 'FOREST FLAME'	FOREST FLAME PIERS	#3 POT, 24" OC
	19	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#5 POT, 36" OC
	25	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDEN SPIRAEA	#3 POT, 36" OC
	27	KALMA LATIFOLIA	MOUNTAIN LAUREL	#3 POT, 36" OC
LOW SHRUBS				
	59	SYMPHORICARPOS ALBUS	SNOWBERRY	#2 POT, 24" OC
	188	BLECHNUM SPICATUM	DEER FERN	#2 POT, 18" OC
	187	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	#2 POT, 24" OC
	71	LAVANDULA ANGSTIFOLIA	ENGLISH LAVENDER	#2 POT, 24" OC
	27	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	#2 POT, 24" OC
	84	CRYPTOMERIA JAPONICA 'TANSU'	DWARF JAPANESE CEDAR	#3 POT, 24" OC
PERENNIALS				
	101	CAREX OBNUPTA	SLOUGH SLEDGE	#1 POT, 24" OC
	306	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#3 POT, 24" OC
	167	DICENTRA FORMOSA	PACIFIC BLEEDING HEART	#1 POT, 12" OC
	122	RUBROECA FULGIDA	BLACK-EYED SUSAN	#1 POT, 18" OC
GROUNDCOVERS				
	350	MAHONIA REPENS	CREeping MAHONIA	#1 POT, 18" OC
	352	FRAGARIA CHILDENSIS	BEACH STRAWBERRY	4"100m) POT, 18" OC
	172	CAREX OBOVATA	CREeping CALIFORNIA LILAC	#1 POT, 18" OC
	219	CARDAMINE TRIFOLIA	THREE-LEAF CARDAMINE	#1 POT, 15" OC
SOD LAWN				
		SQ.M.		

NATIVE PLANTS
 DROUGHT TOLERANT PLANTS
 POLLINATOR FRIENDLY PLANTS
 SEASONAL INTEREST PLANTS
 FOOD RESOURCE PLANTS
 HABITAT VALUE PLANTS
 EVERGREEN PLANTS

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3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-03-08

REVIEWS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale: NTS
Drawn: MGC / PM
Reviewed: PM / DS
Project No. 22-027

PLANTING PALETTE

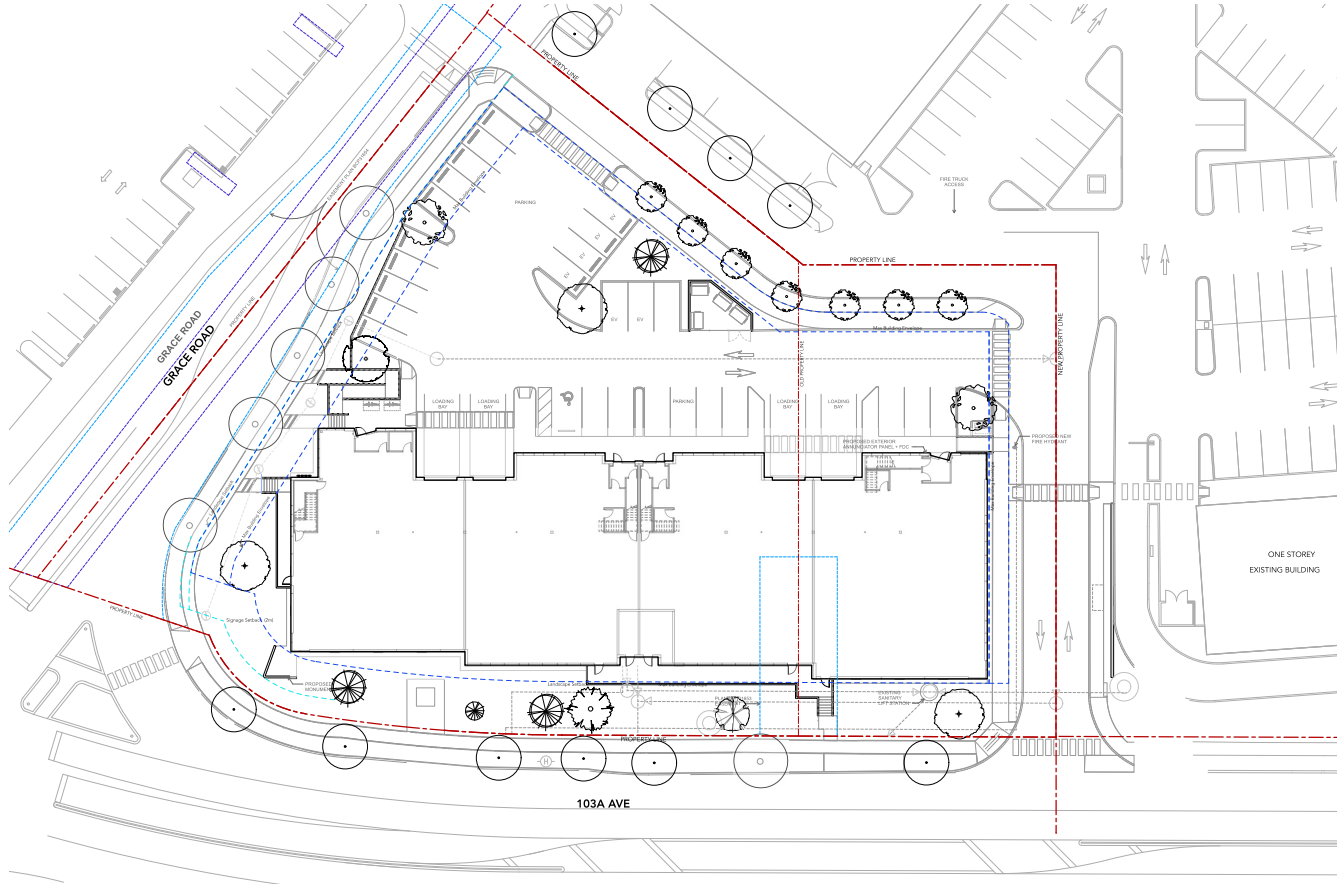
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3	ISSUED FOR REVIEW	23-03-08
2	ISSUED FOR SOI/P OF COORDINATION	23-03-07
1	ISSUED FOR REVIEW	23-02-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17

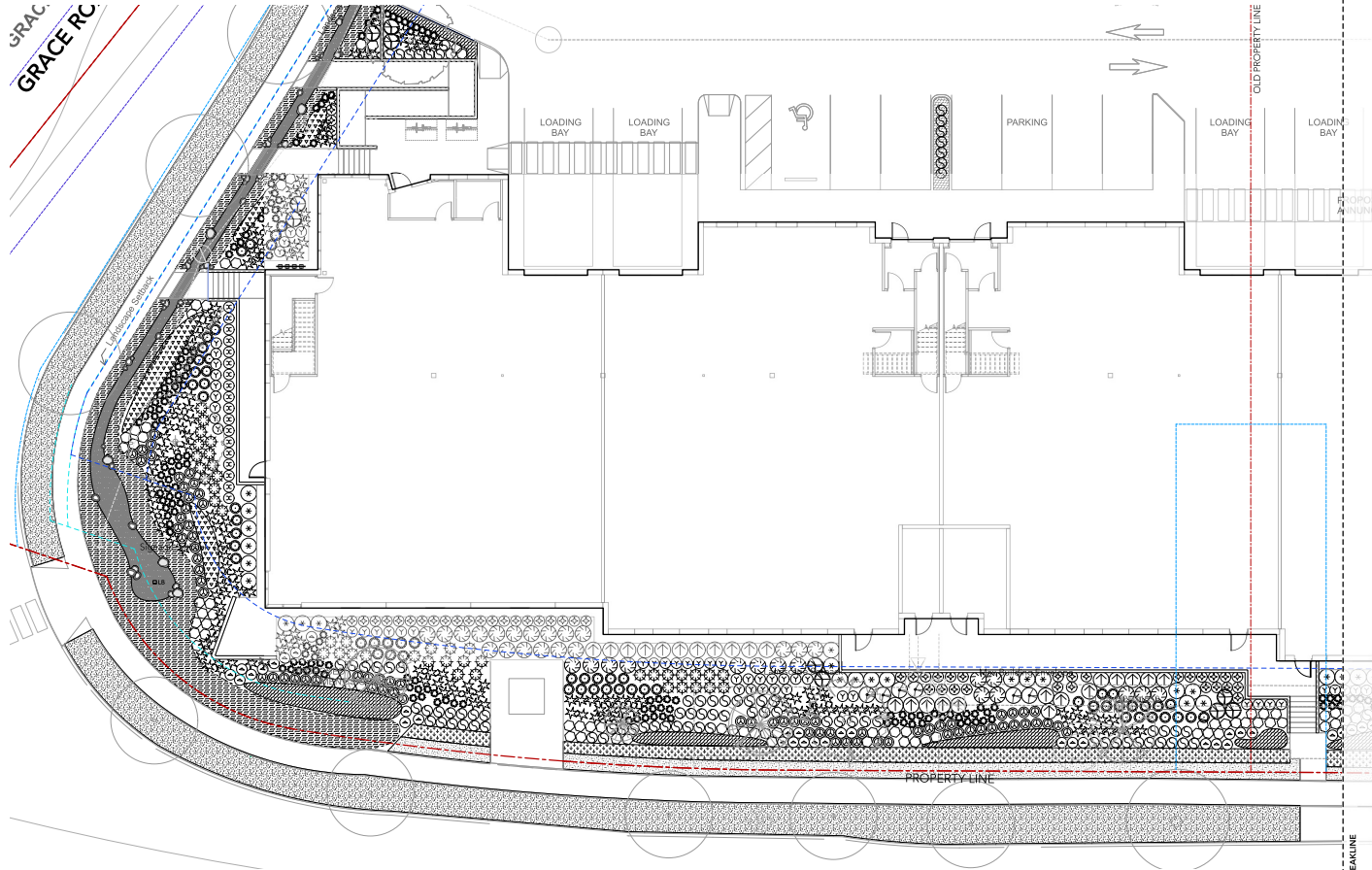
11959 103A Avenue,
Surrey, British Columbia

Scale:	1:200
Drawn:	MGC / PM
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PLANTING PLAN - TREES



GRAC.
GRACE RC.



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1	ISSUED FOR REVIEW 23-02-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale: 1:100
Drawn: MGC / PM
Reviewed: PM / DS
Project No. 22-027

PLANTING PLAN -
SOUTH / WEST

L2.2

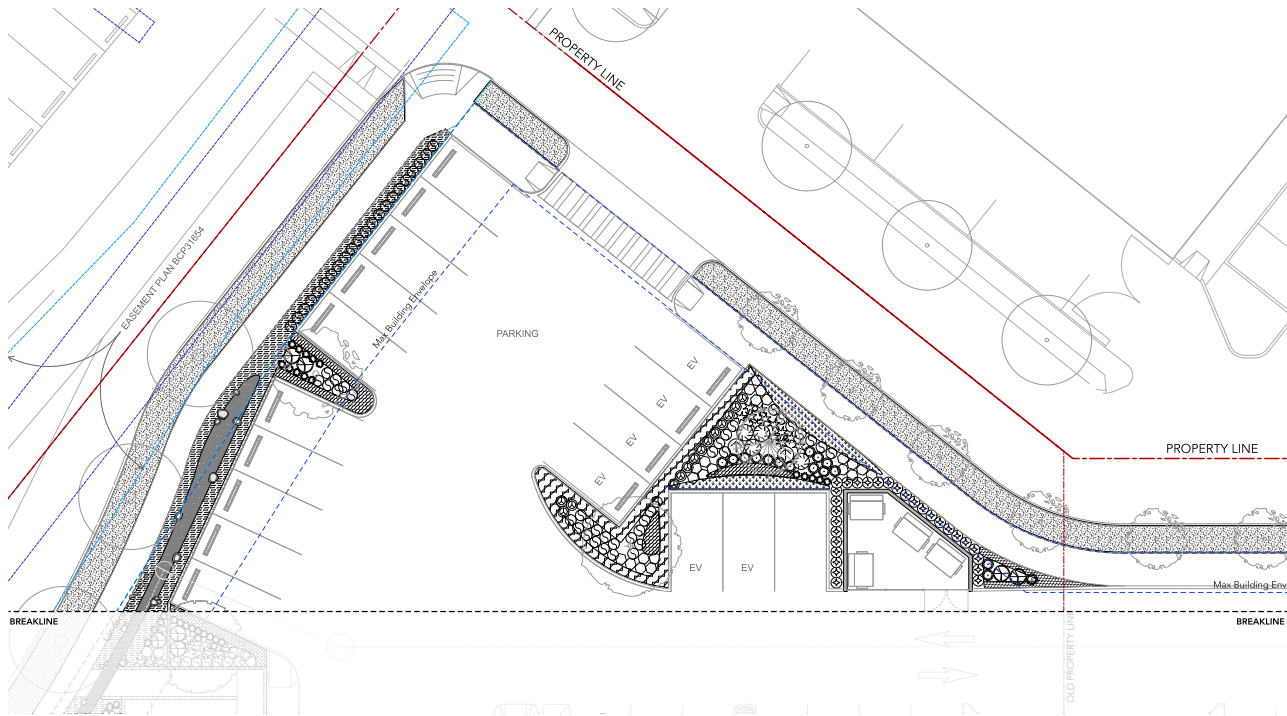
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3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR SOI OF COORDINATION 23-02-17
1	ISSUED FOR REVIEW 23-02-08
REVISIONS	

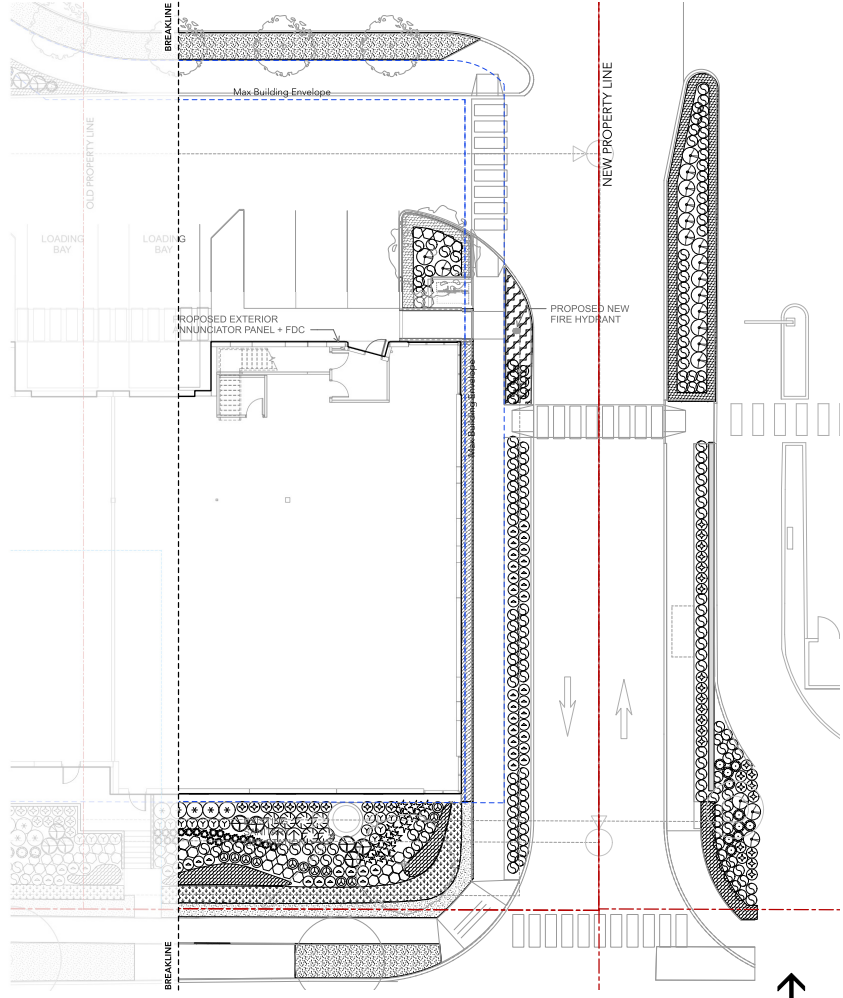
WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale: 1:100
Drawn: MGC / PM
Reviewed: PM / DS
Project No. 22-027

PLANTING PLAN - NORTH



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P 604.720.0048

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3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR SOI OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-02-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
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Drawn: MGC / PM
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PLANTING PLAN - EAST

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LIGHTING LEGEND

SYMBOL	DESCRIPTION
	UPLIGHT
	BOLLARD LIGHT
	WALL / STEP LIGHT

NOTE:
LIGHTING PLAN PROVIDED FOR INFORMATION ONLY. ELECTRICAL ENGINEER TO DESIGN SITE LIGHTING AND PROVIDE SPECS AND QUANTITIES DURING BUILDING PERMIT APPLICATION.



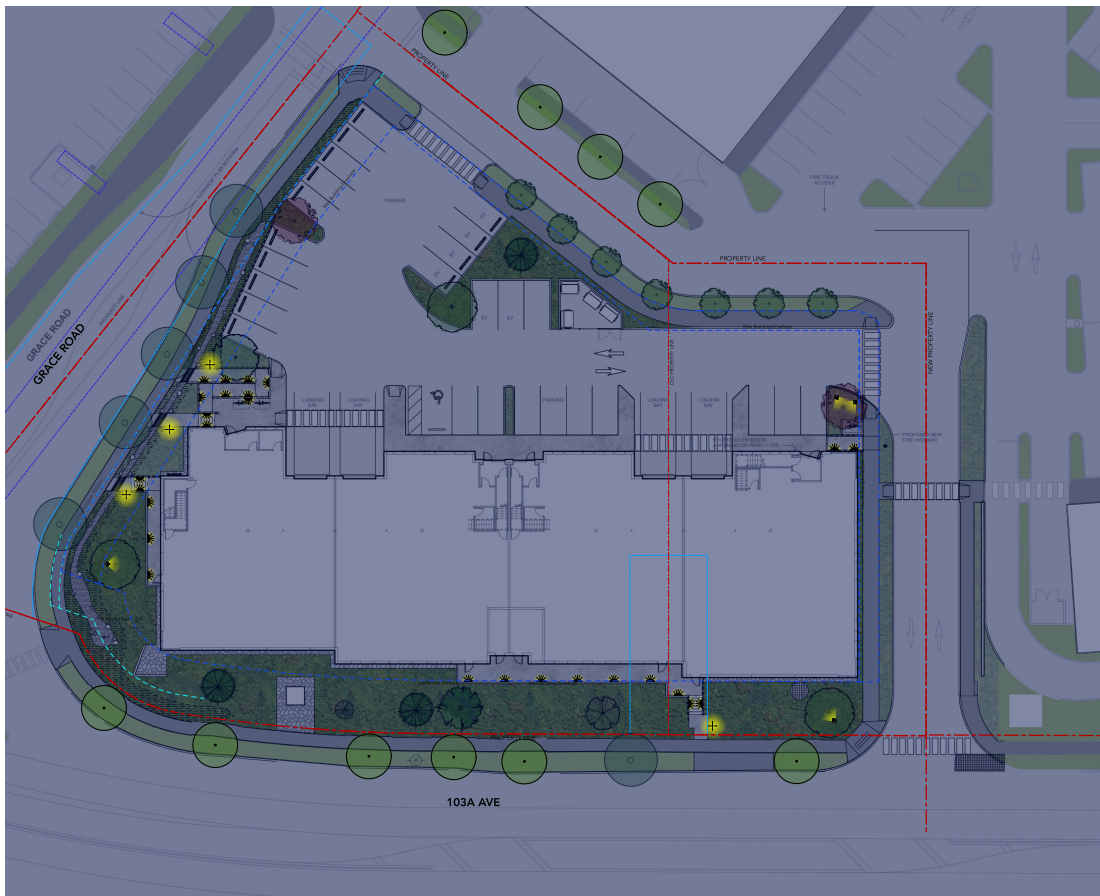
UPLIGHT



BOLLARD LIGHT



WALL LIGHT



12	
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1	ISSUED FOR REVIEW	23-02-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17

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LANDSCAPE LIGHTING

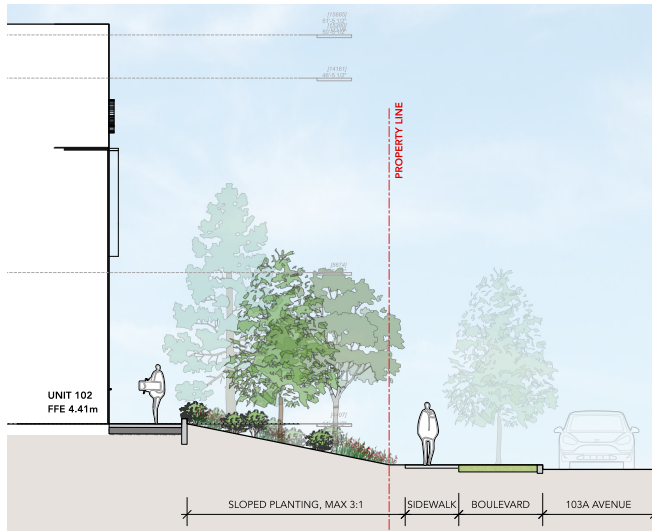
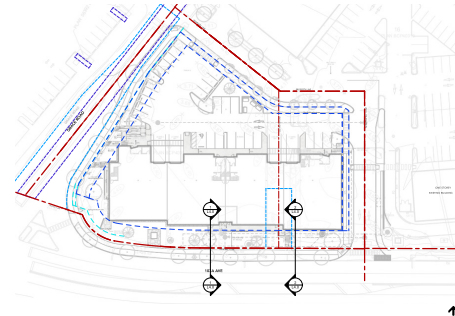
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2466 8TH AVENUE EAST
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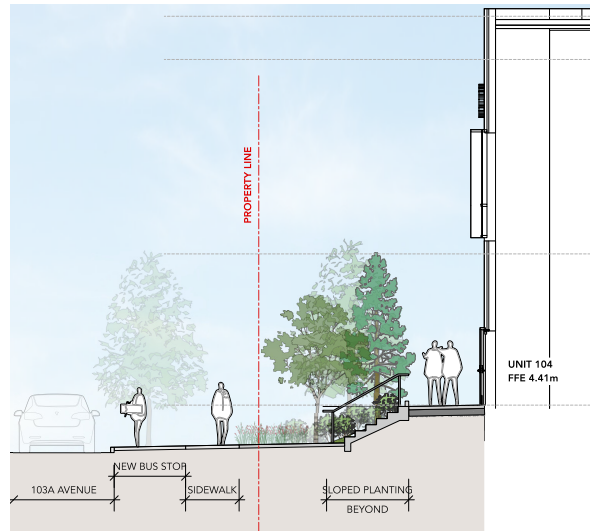
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1 SECTION 1
Scale: 1:50



2 SECTION 2
Scale: 1:50

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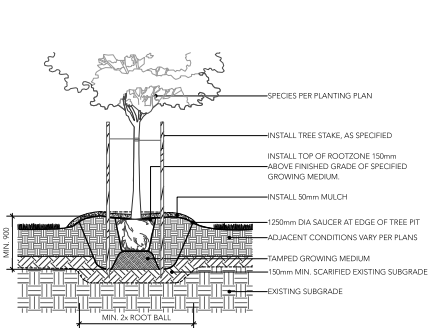
WESGROUP

PACIFIC LINK INDUSTRIAL PARK

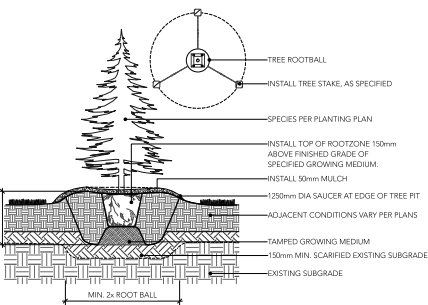
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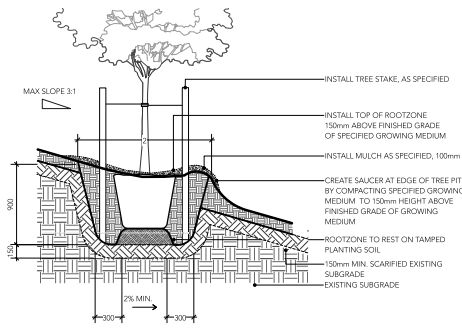
LANDSCAPE SECTIONS



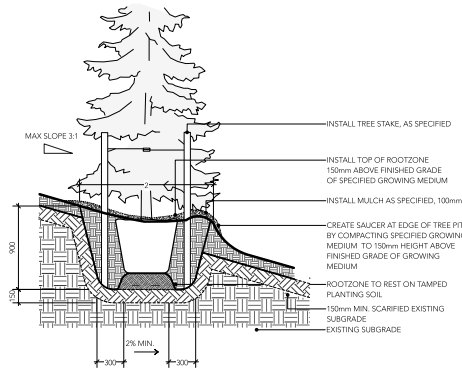
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



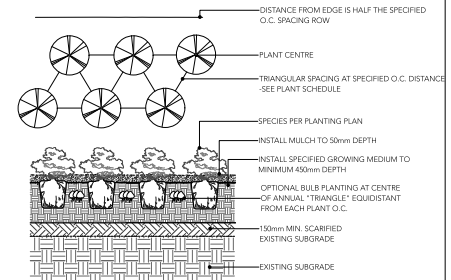
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



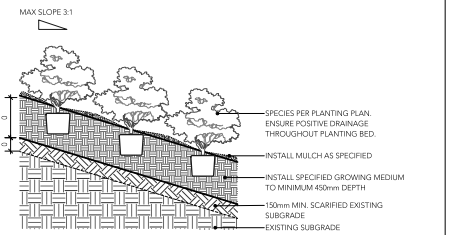
3 DECIDUOUS TREE PLANTING ON SLOPE (TYPICAL)
Scale: 1:20



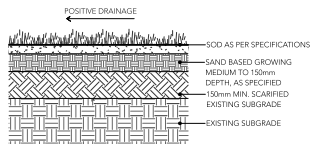
4 CONIFEROUS TREE PLANTING ON SLOPE (TYPICAL)
Scale: 1:20



5 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)
Scale: 1:20



6 PLANTING ON SLOPE (TYPICAL)
Scale: 1:20



7 SOD LAWN (TYPICAL)
Scale: 1:10

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REVISIONS

WESGROUP

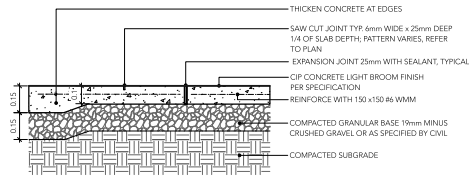
PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17

11959 103A Avenue,
Surrey, British Columbia

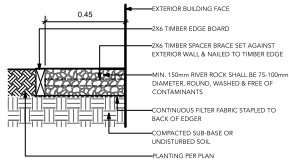
Scale:
Drawn: MGC / PM
Reviewed: DS
Project No. 22-027

DETAILS - SOFTSCAPE



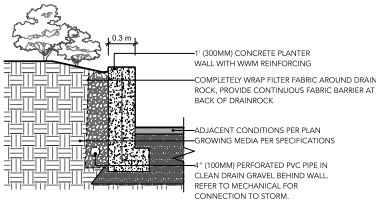
- NOTES:
 1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE
 Scale: 1:10



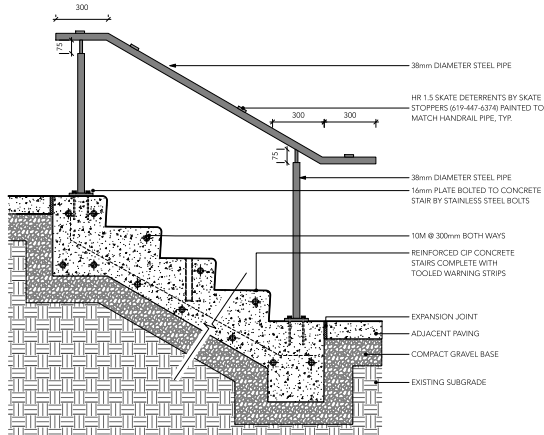
NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

2 GRAVEL DRAIN STRIP ON GRADE
 Scale: 1:10



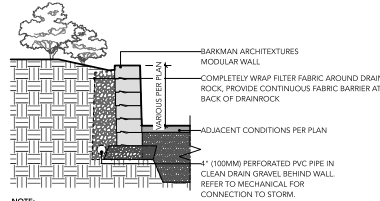
NOTE:
 GUARDRAIL REQUIRED WHERE WALL HEIGHTS EXCEED 600MM.

3 CIP CONCRETE RETAINING WALL ON GRADE
 Scale: 1:20



- NOTE:
 1. ALL METAL COMPONENTS TO BE STEEL, POWDERCOATED DARK GREY
 2. PROVIDE ISOLATION MATERIAL FOR FASTENERS TO AVOID ELECTROLYSIS.

4 CIP CONCRETE STAIRS
 Scale: 1:10



NOTE:
 GUARDRAIL REQUIRED WHERE WALL HEIGHTS EXCEED 600MM.

5 MODULAR BLOCK RETAINING WALL ON GRADE
 Scale: 1:20



MODULAR BLOCK WALL
 SUPPLIER: BARBARA
 PRODUCT: ARCHITECTURES MODULAR BLOCK WALL
 DIMENSION: 150MM x 900MM x 285MM
 COLOUR: A5H

David Stoyko
 Landscape Architect

2866 8TH AVENUE EAST
 VANCOUVER, BC V6N 1E3
 P: 604.730.0048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTING LOCATION, MEASUREMENT OR ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THEIR PROJECT AND SHOULD NOT BE USED WITHOUT THE WRITTEN PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITHOUT ERROR BY MEASURING OFF OF THESE DRAWINGS.

12	
11	
10	

9	ISSUED FOR DP RE SUBMISSION	23-05-29
8	ISSUED FOR DP RE SUBMISSION	23-05-02
7	ISSUED FOR DEVELOPMENT PERMIT	23-03-24
6	ISSUED FOR DP REVIEW	23-03-17
5	ISSUED FOR DP REVIEW	23-03-17
4	ISSUED FOR DP REVIEW	23-03-16
3	ISSUED FOR REVIEW	23-03-08
2	ISSUED FOR 50% OF COORDINATION	23-03-17
1	ISSUED FOR REVIEW	23-03-08

REVIEWS

WESGROUP

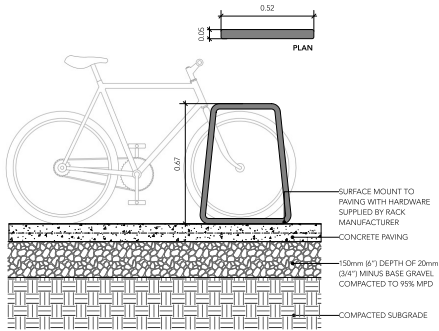
PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17

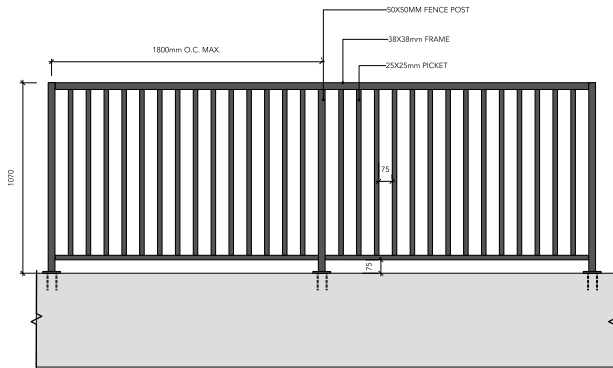
11959 103A Avenue,
 Surrey, British Columbia

Scale:
 Drawn: MGC / PM
 Reviewed: DS
 Project No. 22-027

**DETAILS -
 HARDSCAPE**



1 BIKE RACK
Scale: 1:10



- NOTE:
1. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
 2. ALL METAL COMPONENTS TO BE STEEL POWDERCOATED TO MATCH HANDRAILS.
 3. PROVIDE SOLUTION MATERIAL FOR FASTENERS TO AVOID ELECTROLYSIS.

2 METAL GUARD MOUNTED TO RETAINING WALL
Scale: 1:10

David Stoyko
Landscape Architect

2886 6TH AVENUE EAST
VANCOUVER BC V6N 1E3
P 604.720.0048

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12	
11	
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9	ISSUED FOR DP RE-SUBMISSION 23-05-29
8	ISSUED FOR DP RE-SUBMISSION 23-05-02
7	ISSUED FOR DEVELOPMENT PERMIT 23-03-24
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR DP REVIEW 23-03-16
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-02-08
REVISIONS	

WESGROUP

PACIFIC LINK
INDUSTRIAL PARK

Pac Link Lot 17

11959 103A Avenue,
Surrey, British Columbia

Scale: MGC / PM
Drawn: MGC / PM
Reviewed: DS
Project No. 22-027

DETAILS -
FURNISHINGS

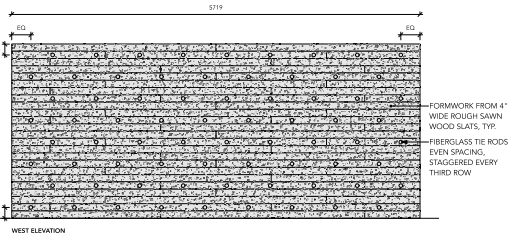
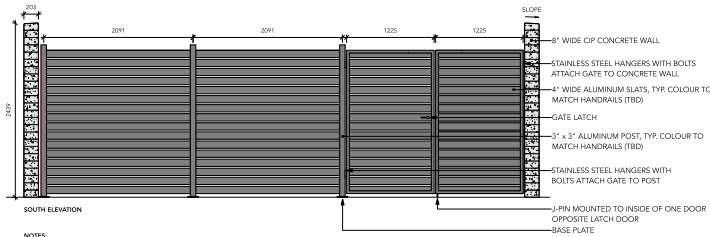
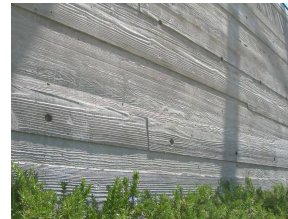
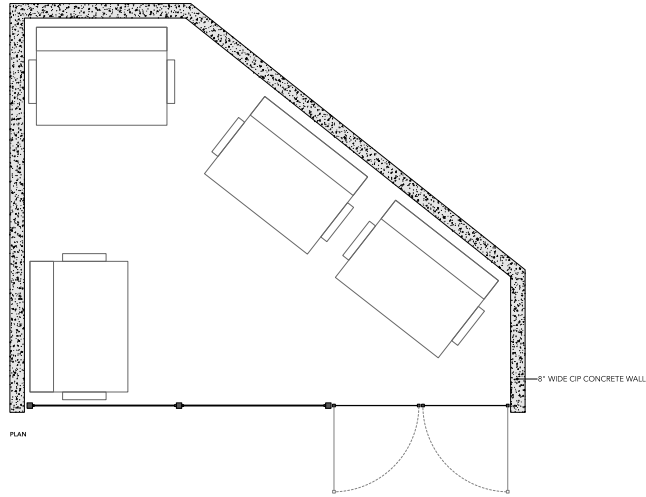
David Stoyko
Landscape Architect

2466 8TH AVENUE EAST
VANCOUVER BC V6M 1E3
P 604.720.0048

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- NOTES:
1. METAL MEMBERS TO BE POWDERCOATED COLOUR TO MATCH RAILINGS, COLOUR TBD.
 2. MOCK-UP OF BOARD-FORM PATTERN TO BE PROVIDED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

1 GARBAGE ENCLOSURE DETAILS
Scale: 1:25

12	
11	
10	
9	ISSUED FOR DP RE-SUBMISSION 23-05-29
8	ISSUED FOR DP RE-SUBMISSION 23-05-02
7	ISSUED FOR DEVELOPMENT PERMIT 23-03-24
6	ISSUED FOR DP REVIEW 23-03-17
5	ISSUED FOR DP REVIEW 23-03-17
4	ISSUED FOR DP REVIEW 23-03-16
3	ISSUED FOR REVIEW 23-03-08
2	ISSUED FOR 50% OF COORDINATION 23-03-17
1	ISSUED FOR REVIEW 23-03-08

REVISIONS

WESGROUP

PACIFIC LINK INDUSTRIAL PARK

Pac Link Lot 17
11959 103A Avenue,
Surrey, British Columbia

Scale:
Drawn: PM
Reviewed: DS
Project No. 22-027

DETAILS -
FURNISHINGS

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 15, 2023** PROJECT FILE: **7822-0362-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 11959 103A Ave**

SUBDIVISION

Works and Services

- Construct sanitary sewer along 103A Avenue.
- Construct 7.3m curb return driveway for site access.
- Provide water storm and sanitary service connections to support the development.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

BD

Tree Preservation Summary

Surrey Project No:

Address: 11959 103A Avenue Surrey

Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	7
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	6
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 1 </u> X two (2) = 2	2
Replacement Trees Proposed	
Replacement Trees in Deficit	2
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	11
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 11 </u> X two (2) = 22	22
Replacement Trees Proposed	
Replacement Trees in Deficit	22

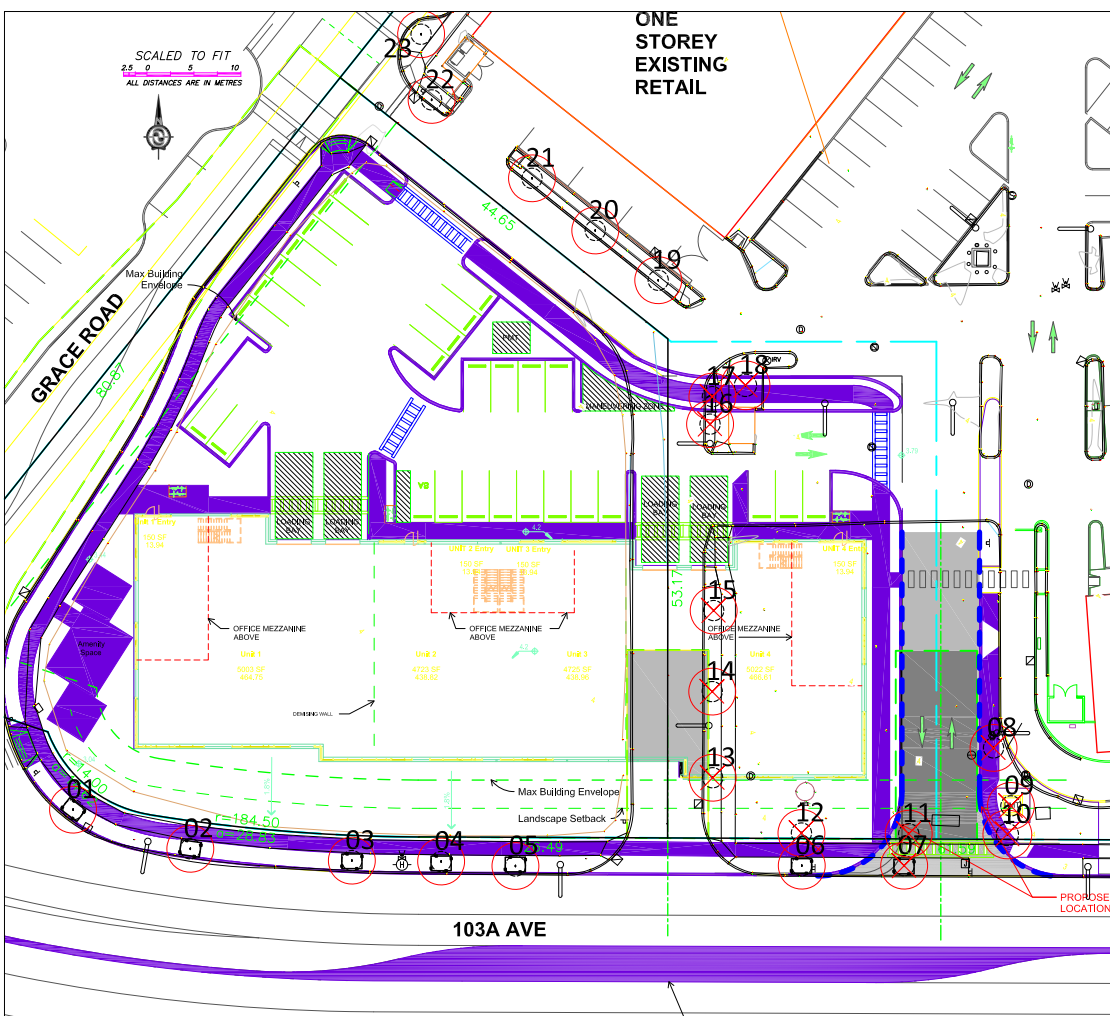
Summary, report and plan prepared and submitted by:



(Signature of Arborist)

17-Nov-22

Date

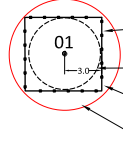


TREE INVENTORY

#	Type	Action	DBH	TPZ
1	Red Oak	Retain	11cm	1.0m
2	Red Oak	Retain	9cm	1.0m
3	Red Oak	Retain	8cm	1.0m
4	Red Oak	Retain	8cm	1.0m
5	Japanese B. Pine	Retain	12cm	1.0m
6	Red Oak	Retain	11cm	1.0m
7	Beech	Remove	5cm	1.0m
8	Cherry	Remove	8cm	1.0m
9	Magnolia	Remove	12cm	1.0m
10	Katsura	Remove	18cm	1.1m
11	Katsura	Remove	13cm	1.0m
12	Katsura	Remove	14cm	1.0m
13	Red Oak	Remove	10cm	1.0m
14	Red Oak	Remove	13cm	1.0m
15	Red Oak	Remove	13cm	1.0m
16	Cherry	Remove	10cm	1.0m
17	Cherry	Remove	10cm	1.0m
18	Cherry	Remove	18cm	1.1m
19	Red Oak	Retain	11cm	1.0m
20	Red Oak	Retain	11cm	1.0m
21	Red Oak	Retain	11cm	1.0m
22	Red Oak	Retain	10cm	1.0m
23	Red Oak	Retain	11cm	1.0m

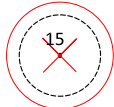
DBH=trunk diameter, TPZ=protection zone

TREE PROPOSED FOR RETENTION



PROTECTION ZONE (TPZ) FROM OUTSIDE OF TRUNK
FENCING DIMENSIONS IN METRES
PROTECTION FENCING
NO BUILD ZONE (NBZ)

TREE PROPOSED FOR REMOVAL



- NOTES:
1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
 2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
 3. ALL MEASUREMENTS ARE METRIC

Froglers Creek
Tree Consultants Ltd

7763 McCrae Avenue Burnaby BC V5J 4W4
Telephone: 604-721-6002 Fax: 604-437-0970

11959 103 Avenue SURREY, BC

TREE REMOVAL AND RETENTION PLAN
THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT

November 17, 2022

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0362-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-885-151

Lot 17 Section 25 Block 5 North Range 3 West New Westminster District Plan BCP40313

11959 - 103A Avenue

Parcel Identifier: 027-885-143

Lot 16 Section 25 Block 5 North Range 3 West New Westminster District Plan BCP40313

10355, 10365, 10377 & 10385 - 120 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

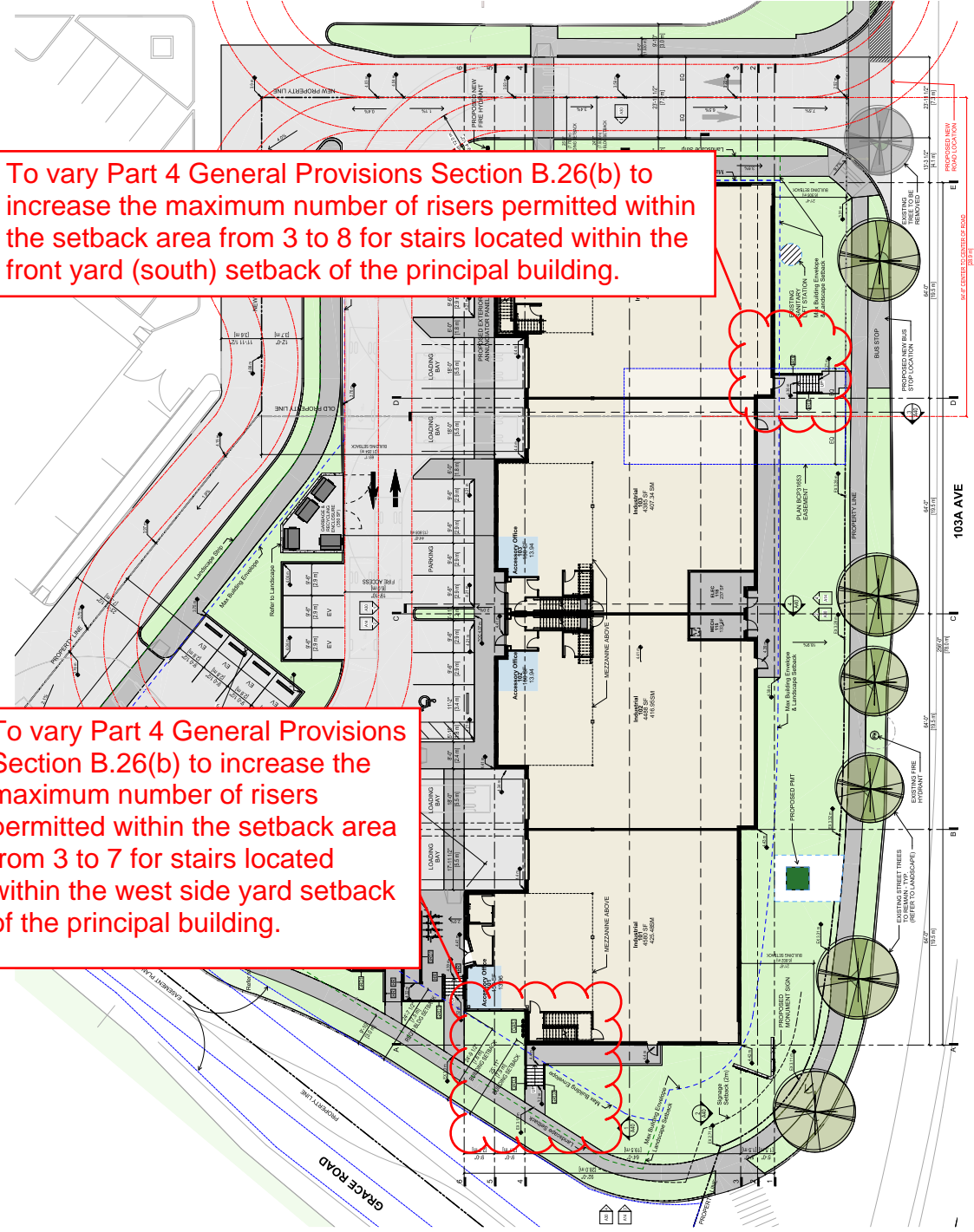
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to vary Part 4 General Provisions Section B.26(b) to increase the maximum number of risers permitted within the setback area from 3 to 8 for stairs located within the front yard (south) setback of the principal building; and
 - (b) to vary Part 4 General Provisions Section B.26(b) to increase the maximum number of risers permitted within the setback area from 3 to 7 for stairs located within the west side yard setback of the principal building.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



To vary Part 4 General Provisions Section B.26(b) to increase the maximum number of risers permitted within the setback area from 3 to 8 for stairs located within the front yard (south) setback of the principal building.

To vary Part 4 General Provisions Section B.26(b) to increase the maximum number of risers permitted within the setback area from 3 to 7 for stairs located within the west side yard setback of the principal building.