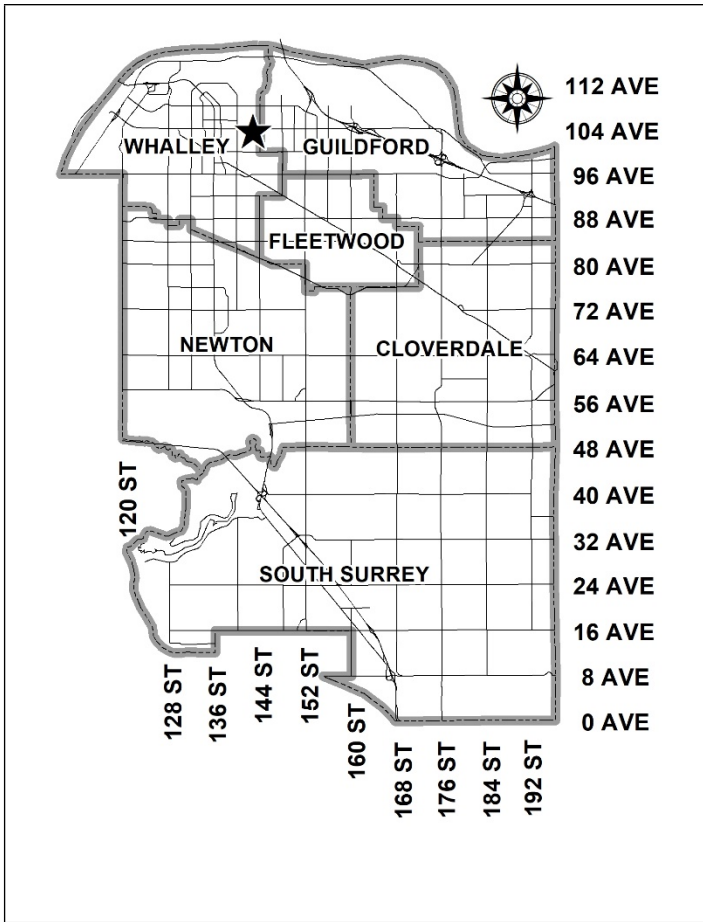


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0001-00

Planning Report Date: December 4, 2023



PROPOSAL:

- **OCP Text Amendment** to allow a higher density in the Multiple Residential designation
- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**

to permit the development of a 6-storey apartment building with approximately 66 dwelling units and underground parking on a consolidated site in Guildford.

LOCATION:

14275 - 103A Avenue
 14297 - 103A Avenue
 10365 - 143 Street

ZONING:

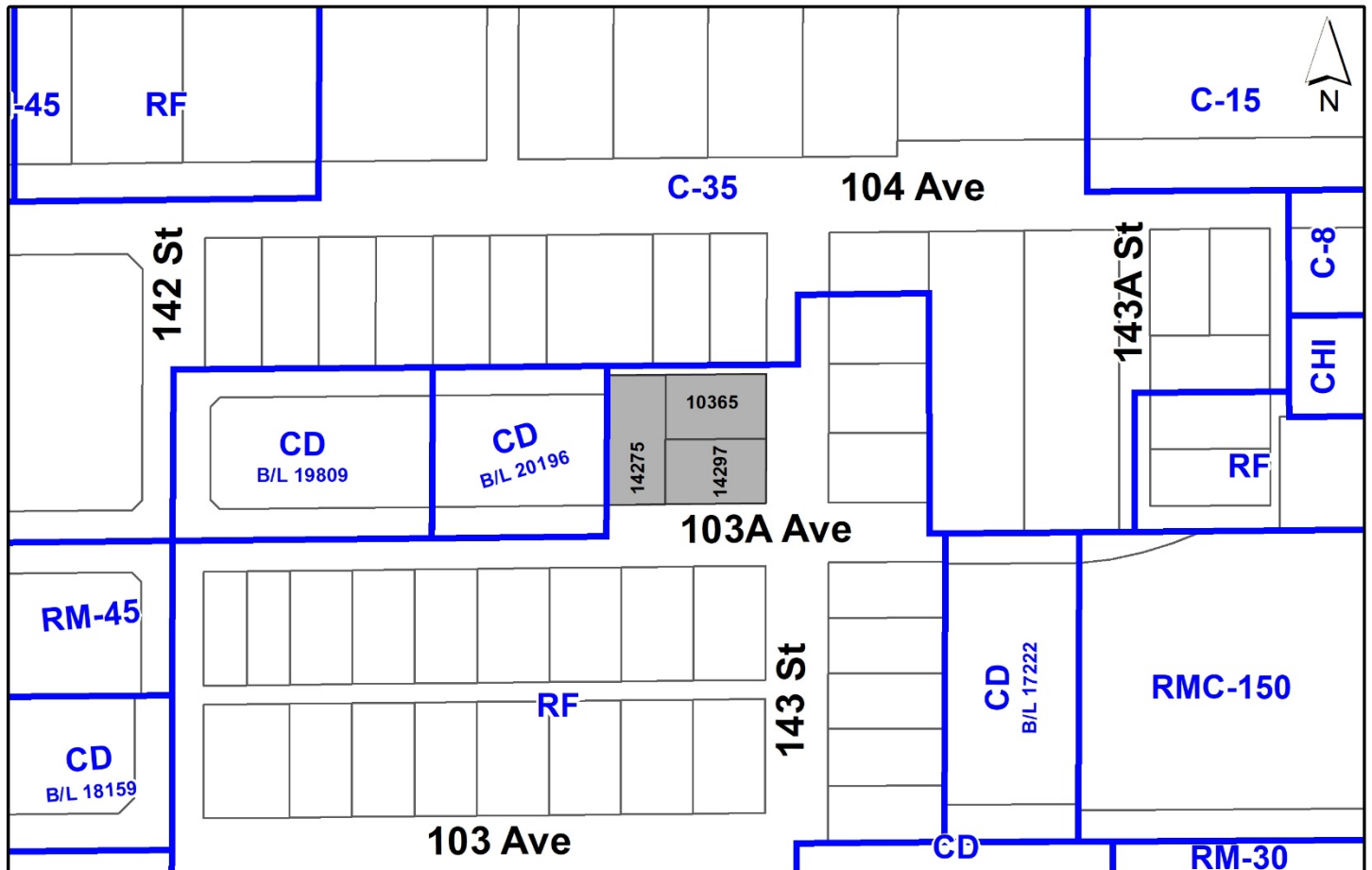
RF

OCP DESIGNATION:

Multiple Residential

TCP DESIGNATION:

Low to Mid Rise Residential and Lane



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Text Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed text amendment to the Official Community Plan (OCP) to increase the maximum density permitted in the Multiple Residential designation.

RATIONALE OF RECOMMENDATION

- The proposed apartment form is anticipated under the “Multiple Residential” designation in the Official Community Plan (OCP).
- The proposal complies with the “Low to Mid Rise Residential” and “Lane” designation in the Guildford Plan.
- The development proposal is located within the 104 Avenue Frequent Transit Development Area (FTDA) and conforms with the goal of achieving higher density developments within close proximity to transit corridors.
- The proposed building is of high-quality design, appropriate for a site located within a FTDA and the proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Form and Character Development Permit (DP) guidelines in the OCP.
- The proposed apartment building is attractive, well-designed and utilizes high-quality materials as well as contemporary lines. The applicant is proposing reduced building setbacks that benefit the streetscape by providing connectivity to the street. Appropriate landscaping is provided along the street frontages which helps to promote a pedestrian friendly environment and positive urban experience between the proposed building and public realm.
- A text amendment to the OCP is required in order to achieve the proposed 6-storey apartment building at a density higher than currently permitted in the Multiple Residential designation. The proposed text amendment is considered to have merit given that the apartment building is located within the 104 Avenue Frequent Transit Development Area (FTDA) and within close proximity to rapid bus service on 104 Avenue (a Frequent Transit Network [FTN]).

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP Bylaw be introduced to amend Table 7a: Land Use Designation Exceptions by adding the following site specific notation:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx"	Multiple Residential	14275 – 103A Avenue Lot 3 Section 25 Block 5 North Range 2 West New Westminster District Plan 20860 14297 – 103A Avenue Lot 1 Section 25 Block 5 North Range 2 West New Westminster District Plan 20860 10365 – 143 Street Lot 2 Section 25 Block 5 North Range 2 West New Westminster District Plan 20860	Density permitted up to 2.5 FAR"

and a date be set for Public Hearing.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0001-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issued prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
- (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
- (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single family residential dwellings	Multiple Residential/Low to Mid Rise Residential	RF
North:	Single family residential dwelling and vacant properties	Multiple Residential/Low to Mid Rise Residential and Road	C-35
East (Across 143 Street):	Single family residential dwellings	Multiple Residential/Low to Mid Rise Mixed Use	RF
South (Across 103A Avenue):	Single family residential dwellings	Multiple Residential/Low Rise Transition Residential	RF
West:	5-storey apartment building currently under construction	Multiple Residential/Low to Mid Rise Residential	CD (Bylaw No. 20196)

Context & Background

- The subject properties are located on the north side of 103A Avenue, just west of 143 Street.
- The properties are approximately 0.2 hectare in total combined area and presently occupied by single family dwellings.

- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), “Low to Mid Rise Residential” as well as “Lane” in the Guildford Plan and zoned “Single Family Residential Zone (RF)”.
- Council previously approved a 5-storey apartment building to the immediate west under Development Application No. 7919-0248-00 and a 6-storey apartment building on the east side of 142 Street under Development Application No. 7916-0653-00.
- The current proposal on the subject site will complete the redevelopment of the block on the north side of 103A Avenue between 142 Street and 143 Street with a total of three 5- to 6-storey apartment buildings providing approximately 211 dwelling units combined.

Guildford Plan

- After an extensive public consultation process, Stage 2 of the Guildford Plan was approved by Council on October 30, 2023. The Stage 2 Plan outlines the expected land-use and densities in the Plan Area as well as includes detailed Design Guidelines that will help inform all in-stream and future development applications.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey residential building consisting of 66 dwelling units with underground parking on a consolidated site, the applicant proposes the following:
 - OCP Text Amendment to allow a higher density above 2.0 FAR (gross density) in the Multiple Residential designation;
 - Rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based on the “Multiple Residential 70 Zone [RM-70]”);
 - Development Permit for Form and Character; and
 - Consolidation of three (3) lots into one (1) lot.
- Development data is provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	2,130.5 sq. m.
Road Dedication:	311.86 sq. m.
Undevelopable Area:	N/A
Net Site Area:	1,818.64 sq. m.
Number of Lots:	3 (existing) 1 (proposed)
Building Height:	21 metres
Unit Density:	N/A
Floor Area Ratio (FAR):	2.5 (Gross)/2.9 (Net)
Floor Area	
Residential:	5,320.75 sq. m.
Commercial:	N/A

Proposed	
Total:	5,320.75 sq. m.
Residential Units:	
Studio:	7 dwelling units
1-Bedroom:	20 dwelling units
2-Bedroom:	31 dwelling units
3-Bedroom:	8 dwelling units
Total:	66 dwelling units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 8 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

- 5 Elementary students at Lena Shaw Elementary School
- 2 Secondary students at Guildford Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Summer, 2026.

Parks, Recreation & Culture: No concerns.

The closest active park with amenities that include playgrounds, a spray park, walking trails as well as dog off-leash area is Hawthorne Rotary Park. The park also contains natural areas and is 270 metres walking distance from the proposed development.

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Public Hearing on October 30, 2023, Council passed a motion that allows multi-family proposals that are 6-storeys or less to proceed to Council for bylaw introduction without first proceeding to Advisory Design Panel (ADP) for review and/or comment, provided the proposal is generally supported by City staff.

The proposed development on the subject site is generally supported by staff and the applicant has agreed to resolve any outstanding items identified through the ADP review process to the satisfaction of the Planning and Development Department before Final Approval of the associated Development Permit.

Transportation Considerations

Road Network and Infrastructure

- As part of the subject development, the applicant will be required to provide the following improvements:
 - Dedication and construction of 103A Avenue;
 - Dedication and construction of 143 Street; and
 - Dedication and construction of the 6.0 metre wide east-west lane located along the northern boundary of the subject site.

Traffic Impacts

- As part of the Stage 2 Plan process, a transportation impact analysis (TIA) was conducted to evaluate the overall traffic impacts of redevelopment throughout the Plan area. This process, as opposed to a piecemeal evaluation approach, is preferred to better inform the required infrastructure improvements to support the projected overall growth within the Plan.
- According to industry standard rates, the proposal is anticipated to generate approximately one vehicle trip every one to two minutes in the peak hour. A site-specific transportation impact analysis was not required as the proposal is below the City's minimum threshold and complies with the Stage 1 Plan designation, with the anticipated land-use and density on the subject site having been taken into account as part of the Stage 2 transportation impact analysis for the overall Plan area.

Transit

- The subject site is located within close proximity to frequent transit along 104 Avenue and is approximately 200 metres from an existing bus stop (#320 – Fleetwood/Langley Centre to Surrey Central Station) and 315 metres from an existing Rapid Bus stop (R1 – King George to Guildford).
- The proposed development is appropriate for this part of the Guildford Plan and conforms with the goal of achieving higher density development in locations that benefit from access to frequent transit service.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The applicant is proposing a green roof on Level 6.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated “General Urban” in the Regional Growth Strategy (RGS).
- The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP).
- The proposed development generally complies with the Multiple Residential OCP designation, but a Text Amendment is proposed to seek a higher density (floor area ratio).

Amendment Rationale

- The subject property is located within Guildford Town Centre, within close proximity to a Frequent Transit Network (104 Avenue) and within a 315-metre walking distance of existing rapid bus transit service (R1 – King George to Guildford).
- In the OCP, the “Multiple Residential” designation allows a maximum gross density of 2.0 FAR for sites located within a FTDA or Urban Centre, that abut a FTN or where specifically allowed in a Secondary Land-Use Plan.
- In order to accommodate the development, the applicant proposes a Text Amendment to the OCP to increase the maximum allowable gross density under the “Multiple Residential” land-use designation from 2.0 FAR to 2.5 FAR.
- Given the subject site is located within a FTDA, within close proximity to a FTN and within 315 metres of an existing rapid bus stop, a higher density multiple residential development is supported on the subject site. A higher density development will promote walkability, allows for greater housing choice and complies with OCP principles that encourage higher-density development within areas served by FTNs.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The development proposal supports transit-oriented development, focused growth and increased density along frequent transit corridors, which supports transit service expansion and rapid transit infrastructure investment.
- The proposal supports directing higher-density residential land uses to locations within walking distance of neighbourhood centres, along main roads, near transit routes and/or adjacent to major parks or civic amenities.
- The dwelling units front onto 103A Avenue and 143 Street with urban design features (e.g. ground-floor patio space, upper-storey balconies, internal sidewalks, etc.) that promote a welcoming public streetscape and urban public realm.

Secondary Plans

Land Use Designation

- The subject site is designated “Low to Mid Rise Residential” and “Lane” in the Guildford Plan.
- The proposed development complies with the Town Centre Plan (TCP) designation.

Themes/Objectives

- The proposed apartment building supports the gradual transition of heights and densities between higher-density areas (i.e. the “core”) and existing single-family areas that will be retained at the periphery of the plan area.
- The development encourages a greater diversity of housing options for different family sizes, types and compositions.
- The proposal complies with the 6-storey maximum building height allowed under the “Low to Mid Rise Residential” designation in the Guildford Plan.
- The Guildford Plan includes a number of family-oriented and affordable housing policies intended to encourage a greater diversity of housing options for different family sizes, types and compositions. These policies include providing a minimum of thirty percent (30%) of all new dwelling units as two or more bedroom and ten percent (10%) of all new units as three or more bedroom.
- Staff note that the proposal complies with the family-oriented housing policies in the Town Centre Plan (TCP) by providing approximately fifty-nine percent (59%) of the dwelling units as two or more bedroom (39 dwelling units in total) and twelve percent (12%) of the dwelling units as three or more bedroom (8 units in total).

- In addition, the applicant is proposing to provide all dwelling units as adaptable units and fifteen percent (15%) of dwelling units as fully accessible units.

Proposed CD Bylaw

- The applicant proposes to rezone the subject site from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based upon the “Multiple Residential 70 Zone [RM-70]”) in order to accommodate the proposed 6-storey apartment building. The proposed CD Bylaw for the subject site identifies the uses, densities and setbacks proposed.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	2.0	2.5 (Gross)/2.9 (Net)
Lot Coverage:	33%	45%
Yards and Setbacks		
North Yard	7.5 m.	4.5 m.
East Yard	7.5 m.	5.5 m.
South Yard	7.5 m.	4.5 m.
West Yard	7.5 m.	4.5 m.
Principal Building Height:	50 m.	21 m.
Permitted Uses:	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres
Amenity Space		
Indoor Amenity:	198 sq. m.	The proposed 204 m ² exceeds the Zoning By-law requirement.
Outdoor Amenity:	198 sq. m.	The proposed 219 m ² exceeds the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	72 parking spaces	73 parking spaces
Residential Visitor:	7 parking spaces	7 parking spaces
Total:	79 parking spaces	80 parking spaces
Bicycle Spaces		
Residential Secure Parking:	79 bicycle spaces	80 bicycle spaces
Residential Visitor:	6 bicycle spaces	6 bicycle spaces

- The proposed CD Bylaw is based upon the RM-70 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height, off-street parking requirements and location of the underground parkade relative to the lot lines.

- If calculated based on gross site area, the proposed 6-storey apartment building on the subject site would have a floor area ratio (FAR) of 2.5. As the subject site is located within an FTDA, in close proximity to an existing FTN (104 Avenue) and within close proximity to a rapid bus stop, the proposal to increase the density from 2.0 FAR to 2.9 FAR (Net) in the CD Zone is supported by staff.
- As the Stage 2 Plan allows a maximum gross density of 2.25 FAR, the applicant will be required to provide a Tier 2 Capital Plan Project Community Amenity Contribution (CAC) in support of the proposed increase in density beyond the maximum density allowed under the “Low to Mid Rise Residential” designation in the Stage 2 Plan.
- The maximum lot coverage has been increased from 33% under the RM-70 Zone to a maximum of 45% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for 6-storey apartment buildings on a site of this size.
- The reduced setbacks proposed on the subject site will allow for better connectivity to the street and enlarge the outdoor amenity space for future residents while providing a more pedestrian-friendly urban streetscape.
- Given the subject site is located within the 104 Avenue Frequent Transit Development Area (FTDA), in close proximity to a FTN and within walking distance of public transit, staff are supportive of reducing the parking rate on the subject site (see discussion below).

On-Site Parking and Bicycle Storage

- The proposed development includes a total of 80 parking stalls consisting of 73 resident parking spaces and 7 parking spaces for visitors. In addition, the applicant will provide 5 accessible parking stalls. All parking spaces are provided within an enclosed underground parkade that will be accessed from the east-west rear lane.
- The applicant is proposing to provide a rate of 1.1 parking space per dwelling unit for residents and 0.1 parking space per dwelling unit for visitors (1.2 per unit in total). The proposed parking reduction is supportable given the subject site is located within a Rapid Transit Area (RTA) and complies with the reduced parking rates, previously endorsed by Council, as part of Corporate Report No. R15;2021 (“Parking Update: Rapid Transit Corridors and Rental Housing”).
- Of the 80 parking spaces provided, 18 small car spaces are proposed or 23% of the total number of parking spaces. The Surrey Zoning Bylaw allows for a maximum of 35% of the total parking spaces on-site to be provided for small cars.
- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metre of the street frontage. As a result, the proposed CD Zone will permit the underground parking facility to extend to 0.5 metre from all the east and south lot lines.
- The development will provide a total of 80 secure bicycle parking spaces in the underground parkade. This will meet the minimum bicycle parking spaces required under the Zoning Bylaw. In addition, the applicant will provide 6 at-grade bicycle parking stalls, which complies with the Zoning By-law requirement.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs and will be required to provide a financial contribution of \$2,136 per dwelling unit. The contributions are payable at the rate applicable at the time of Building Permit issuance.
- As noted above, the proposed development will be subject to Capital Project CACs (Tier 2) for the proposed increase in density beyond the maximum gross floor area ratio (FAR) of 2.25 that is permitted under the "Low to Mid Rise Residential" designation in the Guildford Town Centre – 104 Avenue Corridor Plan, to a maximum allowable density of 2.5 FAR (Gross).
- The applicant will be required to provide the flat rate (per square foot) for the bonus density achieved which exceeds the maximum approved density under the current Town Centre Plan (TCP) designation in order to satisfy the proposed amendment. The financial contribution is payable at the rate applicable at the time of Rezoning Final Adoption. The current flat rate for Guildford is \$459.85 per square metre for apartment developments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 3, 2023, and the Development Proposal Signs were installed on November 3, 2023. Staff received one response from neighbouring residents (*staff comments in italics*):

- One resident contacted the City to request clarification on the location of the subject site.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposal generally complies with the Form and Character Development Permit guidelines in the OCP and the applicant has worked with staff to ensure the proposed landscaping as well as building massing encourage an attractive streetscape and reflect an urban public realm.

Building Design

- The applicant is proposing to construct a 6-storey apartment building consisting of 66 dwelling units with underground parking on a consolidated site.
- The unit mix is comprised of 7 studio, 20 one-bedroom, 31 two-bedroom and 8 three-bedroom dwelling units.
- The dwelling units range in size from 39 square metres for a studio to 105 square metres for the largest three-bedroom apartment.
- The applicant proposes that all dwelling units (66 in total) are fully Adaptable and fifteen percent (15%) of the dwelling units provided on-site will be fully Accessible units (10 units in total).
- The design of the building is contemporary, comprised of rectilinear forms framed with horizontal ledges and vertical fins that outline key volumes in its massing composition. The top of the building has a flat roof with a combination of parapet and deep eaves and is programmed with outdoor amenity space up top that has covered outdoor areas.
- The building facade is articulated with a palette of residential materials and muted colours, which modulates the façades into the appearance of an assembly of smaller buildings to keep the streetscape pedestrian friendly.
- The eastern and southern façades, fronting onto 143 Street and 103A Avenue, include a variety of materials including fibre cement panel siding, faux wood metal panel soffits, and black vinyl windows. Two-storey townhouse expression at-grade with brick veneer cladding and laminate glass canopies above individual unit entrances provide individual unit identity and greater pedestrian interest. On the upper stories, the balconies are defined by aluminum guardrails with clear glass panels for a light appearance.
- The building orientation ensures the units will provide strong observation of the public realm with active rooms facing toward the street and pedestrian walkways which helps to address Crime Prevention Through Environmental Design (CPTED) concerns.

- The proposed building achieves an attractive architectural form, using a contemporary character with high-quality materials. The street interface has been designed to a high standard in order to achieve a positive urban experience between the proposed building and the public realm.
- All ground-floor units have front door access and usable, private/semi-private outdoor space.
- The applicant will continue to work with staff on the proposed on-site signage to ensure it is coordinated with the building design and complies with the Surrey Sign By-law. The signage, as currently presented, is subject to further review by City staff and will be finalized before the proposal proceeds to Council for Final Adoption.

Public Realm Interface

- The applicant is proposing a reduced building setback on the south lot line which does not comply with the minimum 5.5 metre building setback recommended along street frontages for new multi-family developments in the Design Guidelines for the Stage 2 Plan.
- In this circumstance, staff are willing to support the reduced setbacks given that:
 - The applicant will provide a 5.5 metre building setback along 143 Street; and
 - A 4.5 metre building setback on the north side of 103A Avenue was previously established by the adjacent westerly development applications (Nos. 7916-0653-00 and 7919-0248-00). The adjacent westerly developments are currently under construction. As such, a reduced building setback along the south lot line of 4.5 metres can be supported as it matches the setbacks approved for these 5- and 6-storey buildings which proceeded to Final Adoption shortly before Council approved the Stage 2 Plan and Design Guidelines for the Guildford Plan Area.

As such, allowing a reduced building setback of 4.5 metres on the subject site will provide for greater consistency in terms of the public realm interface and streetscape along the north side of 103A Avenue.

Indoor Amenity Space

- The proposed indoor amenity space is centrally located on the main floor and provides for greater pedestrian connectivity with the outdoor amenity space located along the northern building façade.
- The indoor amenity space consists of a multi-purpose room, community hall and exercise gym.
- The proposed indoor amenity space is approximately 204 square metres in total area which exceeds the 198 square metres required under the Zoning Bylaw based on a total of 3 square metres per dwelling unit.

Outdoor Amenity Space and Proposed Landscaping

- The at-grade outdoor amenity space is centrally located and directly adjacent to the indoor amenity space. The at-grade outdoor amenity space consists of raised concrete planters with bench and patio seating.
- In addition, the applicant is proposing rooftop outdoor amenity space that consists of bench seating, outdoor patio furniture, decorative pots for seasonal planting and raised planter beds. A washroom facility will be provided, at the rooftop level, for the benefit of residents using the outdoor amenity space while the remainder of the rooftop will become a green roof.
- The proposed outdoor amenity space is roughly 220 square metres which exceeds the minimum outdoor amenity space requirement, per the Zoning Bylaw, based on a total of 3 square metres per dwelling unit.
- Each individual ground-oriented unit will have a small private patio or front yard enclosed by an aluminum rail fence and privacy gate with layered planting that consists of a by-law sized tree, small shrubs and low-lying groundcover.
- The dwelling units fronting onto the street (103A Avenue and 143 Street) will have semi-private patio space and direct access to the adjacent sidewalk through a separate entryway.
- Each apartment unit that faces onto the street frontage will provide an “eyes-on-the street” function with active rooms facing toward the public realm.
- Exterior lighting is designed to reduce light pollution as well as provide adequate lighting to ensure community safety, in keeping with CPTED principles.
- The applicant further proposes to provide two plazas that consists of unit pavers, low-level planting and bench seating, one where 143 Street intersects with the new east-west lane and the other, where 143 Street intersects with 103A Avenue. There is also a bench seating feature at the southwest corner of the site facing 103A Avenue.

Advisory Design Panel

At the Regular Council – Public Hearing on October 30, 2023, Council passed a motion that allows multi-family developments that are 6-storeys or less to proceed to Council for bylaw introduction without first proceeding to Advisory Design Panel (ADP) for review and/or comment, provided the proposal is generally supported by City staff.

At present, in response to the Council motion, staff are preparing a report to Council that will outline potential changes to the Advisory Design Panel Review process. In the interim, in keeping with Council’s motion, staff have advised the applicant that the ADP review will likely take place within three months of this proposal achieving Third Reading.

The applicant agrees to resolve any outstanding items identified through the ADP review to the satisfaction of the Planning and Development Department before Final Approval of the associated Development Permit, should the application be supported by Council.

Outstanding Items

- City staff will continue to work with the applicant to resolve the following outstanding design-related issues as well as any future Advisory Design Panel Comments, as follows:
 - Refine the building and landscape ground plane grading relationship according to the OCP DP1.1. along the public realm interfaces; and
 - Clarify the rooftop outdoor amenity weather protection design.
- The applicant was provided with the list of items, noted above, and agreed to work with staff to resolve these issues to the satisfaction of the General Manager, Planning and Development Department.

TREES

- Terry Thrall, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Cottonwood Trees			
Cottonwood	1	1	0
Deciduous Trees (excluding Cottonwood Trees)			
Dogwood	1	1	0
Horse Chestnut	1	1	0
Cherry	1	1	0
Coniferous Trees			
Blue Spruce	1	1	0
Total (excluding Cottonwood Trees)	4	4	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	73		
Total Retained and Replacement Trees Proposed	73		
Estimated Contribution to the Green City Program	N/A		

- The Arborist Assessment states that there are a total of four (4) mature trees on the site, excluding Cottonwood trees. One (1) existing tree, approximately twenty percent (20%) of the total trees on the site, is a Cottonwood tree. The applicant is not proposing to retain any of the on-site trees, as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a total of nine (9) replacement trees on the subject site. The applicant is proposing seventy-three (73) replacement trees, thereby exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 143 Street and 103A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Vine Maple, Japanese Maple, Scarlet Sentinel Maple, Canoe Birch, Red Bud, Shrubby Althea, Raywood Ash, Red Oak, Serbian Spruce and Emerald Green Cedar.
- In summary, a total of seventy-three (73) trees are proposed to be replaced on the subject site with no contribution required to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations Drawings, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

MJ/ar

6 STOREY APARTMENT DEVELOPMENT

10365 143 STREET, 14275,14297 103A AVENUE, SURREY B.C.

PROJECT INFORMATION

CIVIC ADDRESS :

10365 143 STREET,
14275,14297 103A AVENUE,
SURREY, B.C.

LEGAL DESCRIPTION :

LOTS 1 TO 3 ALL OF
SECTION 25 BLOCK 5
NORTH RANGE 2,
WESTMINSTER DISTRICT
PLAN 20860



CONTACT LIST:

OWNER :

1336514 BC LTD.
5536 127 STREET,
SURREY, B.C. V3W 1R1
TEL : 604 518 0070

LANDSCAPE ARCHITECT:

MARUYAMA & ASSOCIATES
680 C LEG IN BOOT SQUARE
VANCOUVER, B.C. V5Z 4B4
PH: 604 874 9967

ARCHITECT :

F. ADAB ARCHITECTS INC.
130 - 1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, B.C. V7P 3R4
TEL : 604 987 3003

ELECTRICAL ENGINEER :

NEMETZ & ASSOCIATES
2009 WEST 4TH AVENUE
VANCOUVER, B.C. V6J 1N3
TEL : 604 736 6562

SURVEYOR:

ELEVATE LAND SURVEYING LTD
18249 98 AVENUE,
SURREY BC V4N 5A9
TEL : 604 385 5571

CODE CONSULTANT :

PSQUARE ENGINEERING & CONSTRUCTION LTD.
2015 MAIN STREET
VANCOUVER, B.C. V5T 3C2
TEL : 778 882 7720

CIVIL ENGINEER :

CENTRAS ENGINEERING LTD.
#218-2630 Croydon Drive,
Surrey, BC V3S 6T3
TEL: 604 782 6927

ARBORIST :

WOODRIDGE TREE CONSULTING
201-14377 64 AVENUE,
SURREY, B.C. V3W 1T1
TEL : 778 847 0669

LIST OF DRAWINGS

- A-1.0 PROJECT INDEX - CONTACTS LIST
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- A-1.2 PROJECT STATISTICS
- A-1.3 CONTEXT PLAN/AERIAL MAP
- A-1.4 AERIAL MAP - CONTEXT PHOTOS
- A-1.5 SURVEY PLAN
- A-1.6 CIVIL BASE PLAN
- A-1.7 CIVIL GRADING PLAN
- A-1.8 SITE PLAN
- A-1.9 PERSPECTIVE VIEW
- A-1.10 PERSPECTIVE VIEW
- A-1.11 PERSPECTIVE VIEW
- A-1.12 COLOR ELEVATION
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- A-2.2 FLOOR PLAN - P1 PARKING
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- A-2.4 FLOOR PLAN - 2ND FLOOR
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- A-2.7 FLOOR PLAN - 6TH FLOOR
- A-2.8 ROOF PLAN
- A-2.9 F.D. ACCESS ROUTE
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- A-3.2 EAST(143 ST.) ELEVATION
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- L-05 LANDSCAPE DETAILS
- L-06 MATERIALS BOARD
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- C - 2 CIVIL GRADING PLAN



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4	NOV 14-23	ISSUED FOR ADP
3	AUG 25-21	ISSUED FOR ADP REVIEW
2	NOV 22-22	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16-22	ISSUED FOR REZONING/DP

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14273 103A AVENUE
SURREY, B.C.

FOR:
1336514 BC Ltd
5536 127 ST.
SURREY, B.C.

DRAWING TITLE:
**COVER PAGE
INDEX AND CONTACT LIST**

DATE:	MAY 2022	SHEET NO:
SCALE:	N/A	A-1.0
DESIGN:	A. FRAD	
DRAWN:	KXW	
PROJECT NO:		

PROJECT STATISTICS

LEGAL DESCRIPTION :

LOTS 1 TO 3 ALL OF SECTION 25 BLOCK 5 NORTH RANGE 2, WESTMINSTER DISTRICT PLAN 20860

CIVIC ADDRESS :

10365 143 STREET, 14275,14297 103A AVENUE, SURREY, B.C.

ZONING :

EXISTING : RF (SINGLE FAMILY)
PROPOSED : CD (BASED ON RM70)

SITE AREA :

GROSS SITE AREA : 22,933 S.F.(2,130.50 M2)
DEDICATIONS : 3,357 S.F.(311.86 M2)
NET SITE AREA : 19,585 S.F.(1,818.64 M2)

DEDICATION :

- 6.0M FROM NORTH P.L.
- 1MX1M CORNER CUT 143/LANE
- 3MX3M CORNER CUT 103A/143
ROW: - 0.5M ROW ALONG 103A/143

DENSITY :

GROSS FAR PROPOSED : 2.50
NET FAR PROPOSED : 2.92

UNITS/HECTARE : 310
UNITS/ACRE : 125

LOT COVERAGE : 44.8%

BUILDING HEIGHT : 6 STOREY (20.4M)

PARKING CLACULATION		
RESIDENTIAL	REQUIRED	1.1 STALL/STUDIO UNITS (1.1*7=7.7 STALLS) 1.1 STALL/1-BED UNITS (1.1*20=22.0 STALLS) 1.1 STALL/2-BED UNITS (1.1*31=34.1 STALLS) 1.1 STALL/3-BED UNITS (1.1*8=8.8 STALLS) 72.6 STALLS
	PROVIDED	73 STALLS (16 SMALL CARS)
ELECTRIC CAR CHARGING STATIONS	REQUIRED	-
	PROVIDED	15 (23% , 2 SMALL CARS)
RESIDENTIAL VISITORS	REQUIRED	0.1/PER UNITS (0.1*66=6.6 STALLS)
	PROVIDED	7 STALLS(2 SMALL CARS)
ACCESSIBLE STALLS	REQUIRED	2% *(72.6+6.6) = 1.6 STALLS
	PROVIDED	2 (2 VAN ACCESSIBLE)

BICYCLE STALLS		
REQUIRED	1.2 STALL/UNIT (1.2*66=79.2TALLS)	6 STALLS FOR VISITOR
PROVIDED	80 STALLS	6 STALLS
INDOOR AMENITY		
REQUIRED	3 SQM/UNIT *66 = 198 SQM	
PROVIDED	204.0 SQM	
OUTDOOR AMENITY		
REQUIRED	3 SQM/UNIT *66 = 198 SQM	
PROVIDED	56 + 176 = 232 SQM	
STORAGE LOCKERS		
REQUIRED		
PROVIDED	1 PER UNIT	66

	SETBACKS			
	FIRST FLOOR	SECOND FLOOR	THIRD-FIFTH FLOOR	SIXTH FLOOR
	PROVIDED	PROVIDED	PROVIDED	PROVIDED
EAST (143 STREET)	5.5 M	5.5 M	5.5 M	7.5 M
SOUTH (103A AVE.)	4.5 M	4.5 M	4.5 M	6.5 M
WEST (NEIGHBOUR)	4.5 M	4.5 M	4.5 M	4.5 M
NORTH (LANE)	4.5M	4.5M	4.5M	4.5M



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EMAIL: info@fjadab.com

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3	AUG 25-23	ISSUED FOR ADP REVIEW	
2	NOV 22-22	INCORPORATED DRG AND URBAN DESIGN COMMENTS	
1	MAY 16-22	ISSUED REZONING/ADP	
NO.	DATE	REVISION/ISSUED	

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14273 103A AVENUE
SURREY, B.C.

FOR:
1336514 BC Ltd
5536 127 ST.
SURREY, B.C.

DRAWING TITLE:
PROJECT STATISTICS

DATE:	MAY 2022	SHEET NO:	
SCALE:	N/A		
DESIGN:	A. FRAD		A-1.1
DRAWN:	KKW		
PROJECT NO:			

AREA AND FAR. CALCULATION				
RESIDENTIAL	NET FLOOR AREA (SQ.FT.)	EXCLUSIONS (INDOOR AMENITY)	GROSS FLOOR AREA (SQ.FT.)	FSR AREA (SQ.FT.)
1ST FLOOR	7,262	2,195	9,457	7,262
2ND FLOOR	10,081	0	10,081	10,081
3RD FLOOR	10,060	0	10,060	10,060
4TH FLOOR	10,092	0	10,092	10,092
5TH FLOOR	10,092	0	10,092	10,092
6TH FLOOR	9,042	0	9,042	9,042
ROOF TOP	645	0	645	645
TOTAL	57,274	2,195	59,469	57,274 (5,326 SQ.M.)
FLOOR AREA RATIO (FAR):		5,326 SQM/2130.50 SQM = 2.50		

UNIT MIX							
UNIT TYPE	NO. OF BED RM.	AREA	1ST FLOOR	2ND-5TH FLOOR	6TH FLOOR	TOTAL NO. OF UNITS	TOAL AREA (SQ.FT.)
S1	STUDIO	419	2			2	838
S2	STUDIO	443		4	1	5	2215
A1	1+ DEN	631		4		4	2524
A1a	1+ DEN	615	2	2		4	2460
A2	1	608	2	8		10	6080
A3	1	481	1			1	481
A4	1	553	1			1	553
B1*	2+ DEN	987		8	2	10	9870
B2	2	749	2	8		10	7490
B3	2	934		4		4	3736
B3a	2	818	1			1	818
B4	2	579		4		4	2316
B5	2	740			1	1	740
B6	2	729			1	1	729
C1	3	1034		4	1	5	5170
C2	3	948			2	2	1896
C3	3	1134			1	1	1134
TOTAL AREA			9	48	9	66	49050
NOTE:	100% ARE ADAPTABL UNITS, INCLUDING 15.15% FULLY ACCESSIBLE UNITS(UNIT B1)						
	TOTAL 8 3-BEDROOM UNITS 12.1% OF TATAL 66 UNITS						

TYPE OF UNIT	NUMBER OF UNITS	% OF UNITS
STUDIO	7	11%
1-BED ROOM	20	30%
2-BED ROOM	31	47%
3-BED ROOM	8	12%
TOTAL NUMBER OF UNITS	TOTAL 66 UNITS	100%



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1	MAY 16-22	ISSUED REZONING/ADP

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14273 103A AVENUE
SURREY, B.C.

FOR:
1336514 BC Ltd
5536 127 ST.
SURREY, B.C.

DRAWING TITLE:
PROJECT STATISTICS

DATE:	MAY 2022	SHEET NO:
SCALE:	N/A	A-1.2
DESIGN:	A. FRAD	
DRAWN:	KKW	
PROJECT NO:		



F. ADAB ARCHITECTS INC.

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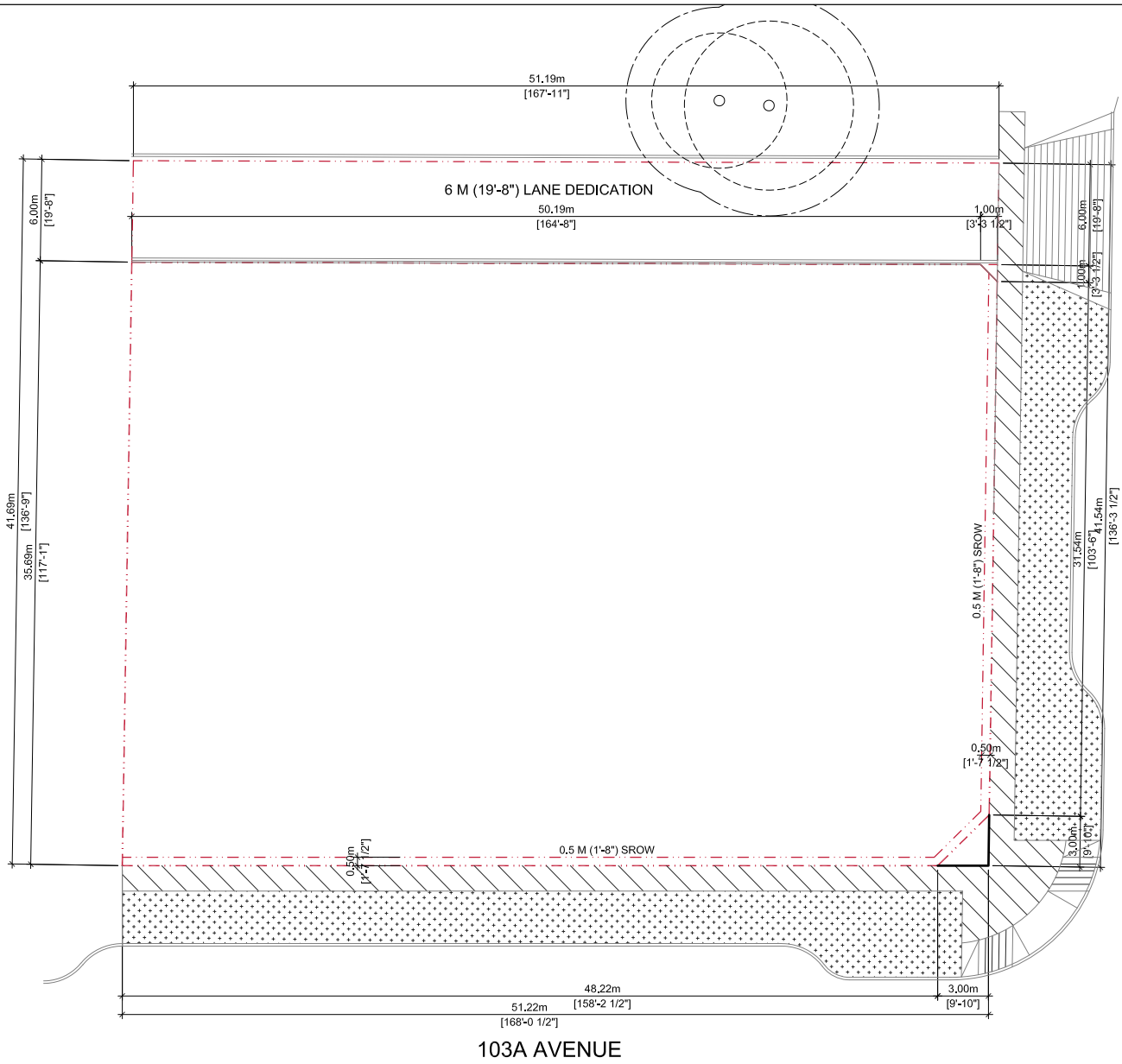
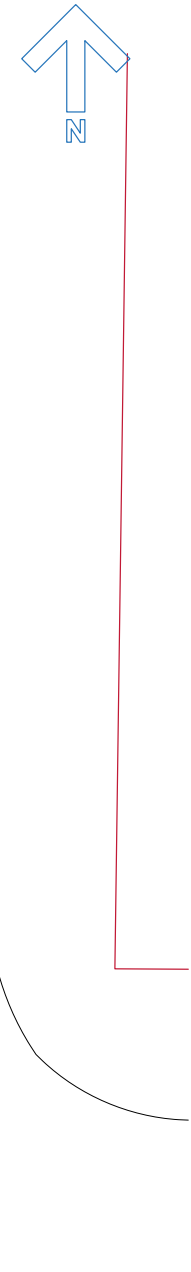
4	NOV 14, 2023	REISSUED FOR ADP
3	AUG 29, 2023	ISSUED FOR ADP REVIEW
2	NOV 22, 2022	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16, 2022	ISSUED FOR CITY'S REVIEW
NO.	DATE	REVISION ISSUED

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST,
SURREY, B.C

DRAWING TITLE:
BASE PLAN ESTABLISHED BY CIVIL

DATE:	MAY, 2022	SHEET NO:
SCALE:	1"=10'-0"	A-1.6
DESIGN:	F. ADAB	
DRAWN:	KXW	
PROJECT NO:		



103A AVENUE

143 STREET



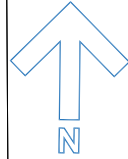
F. ADAB ARCHITECTS INC.

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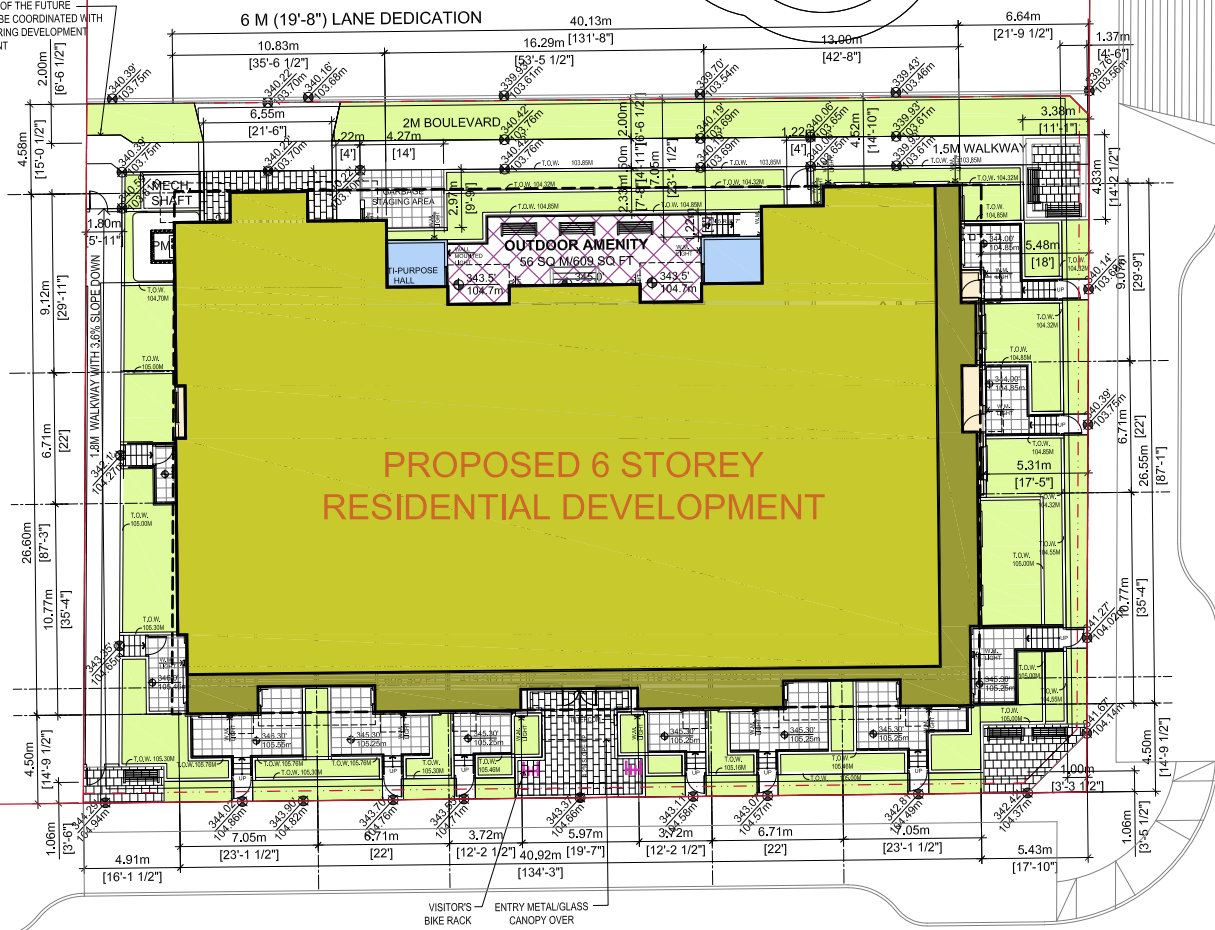


143 STREET



INSTALLATION OF THE FUTURE SIDEWALK TO BE COORDINATED WITH THE NEIGHBORING DEVELOPMENT FOR ALIGNMENT

ADJACENT PROPERTY



103A AVENUE

NO.	DATE	REVISION/ISSUED
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3	AUG 25 - 2023	ISSUED FOR ADP REVIEW
2	NOV 22 - 2022	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16 - 2022	ISSUED FOR REZONING DP

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVENUE,
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST.
SURREY, B.C.

DRAWING TITLE:
SITE PLAN

DATE: MAY, 2022	SHEET NO.:
SCALE: 1"=10'-0"	A-1.8
DESIGN: F. ADAB	
DRAWN: KXW	
PROJECT NO.:	



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PERSPECTIVE VIEW FROM SOUTH-EAST CORNER(103A AVE. AND 143 ST.)

NO.	DATE	REVISION/ISSUED
3	NOV 14-23	REISSUED FOR ADP
2	AUG 25-23	ISSUED FOR ADP REVIEW
1	MAY 18-21	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE.,
SURREY, BC

FOR:
1336514 BC LTD
5636 127 ST.,
SURREY B.C.

DRAWING TITLE:
PERSPECTIVE VIEW
TITLE

DATE:	DATE: 2022	SHEET NO:
SCALE:	SCALE:	SHEET
DESIGN:	DESIGN:	
DRAWN:	DRAWN:	
PROJECT NO:	PROJECT	



PERSPECTIVE VIEW FROM NORTH-EAST CORNER ON 143 STREET



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2	AUG 25-23	ISSUED FOR ADP REVIEW
1	MAY 16-21	ISSUED FOR CITY'S REVIEW
NO.	DATE	REVISION/ ISSUED

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD
5636 127 ST,
SURREY B.C.

DRAWING TITLE:
PERSPECTIVE VIEW

DATE:	MAY 2022	SHEET NO:
SCALE:	NTS	A-1.10
DESIGN:	A. FRAD	
DRAWN:	KKW	
PROJECT NO:		



BIRD-EYE VIEW FROM NORTH-WEST CORNER OVER LANEWAY



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2	AUG 25-23	ISSUED FOR ADP REVIEW
1	MAY 16-21	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
 DEVELOPMENT**
 14275 103A AVE,
 SURREY, BC

FOR:
1336514 BC LTD
 5636 127 ST.
 SURREY B.C.

DRAWING TITLE:

 PERSPECTIVE VIEW

DATE:	MAY 2022	SHEET NO:
SCALE:	NTS	A-1.11
DESIGN:	A. FRAD	
DRAWN:	KKW	
PROJECT NO:		



SOUTH ELEVATION (103A AVENUE)



NORTH ELEVATION



**F. ADAB
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2	AUG 25-23	ISSUED FOR ADP REVIEW
1	MAY 16-21	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE.,
SURREY, BC

FOR:
1336514 BC LTD
5636 127 ST.,
SURREY B.C.

DRAWING TITLE:
COLOR ELEVATION

DATE:	MAY 2022	SHEET NO:	A-1.12
SCALE:	NTS		
DESIGN:	A. FRAD		
DRAWN:	KKW		
PROJECT NO:			



EAST ELEVATION (143 STREET)



WEST ELEVATION



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
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EMAIL: mfa@mfgadab.com

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NO.	DATE	REVISION/ ISSUED
3	NOV 14-23	REISSUED FOR ADP
2	AUG 25-23	ISSUED FOR ADP REVIEW
1	MAY 16-21	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD
5636 127 ST.
SURREY B.C.

DRAWING TITLE:
COLOR ELEVATION

DATE:	MAY 2022	SHEET NO:	A-1.13
SCALE:	NTS		
DESIGN:	A. FRAD		
DRAWN:	KKW		
PROJECT NO:			

Material and Colour

The selection of exterior finishes incorporates enhanced durability/longevity of construction materials and envisions a sustainable approach.

Colours and materials have been organized in a manner to create harmony and connectivity throughout the building.

Brick, prefabricated panels and Hardy siding are used on all facades. The colours are selected, emphasizing dark and light grey panels, off-white siding, and natural wood colour in selected areas.

Windows and railings are black, further contrasting the exterior finishing materials.



SOUTH ELEVATION(103A AVE.)

Exterior Finishes



1 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - IXL)



2 FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(DOVETAIL - SW 7018)



3 FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(REPOSE GREY - SW 7015)



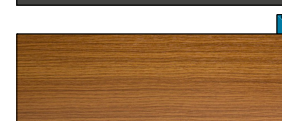
4 WOOD BAND BOARD/WIN. TRIM:
PAINTED GREY
(DOVETAIL - SW 7018)



5 WOOD BAND BOARD/WIN. TRIM:
PAINTED GREY
(REPOSE GREY - SW 7015)



6 ALUMINUM CLADDING
MATT BLACK



7 VINYL SOFFITS:
NATURAL WOOD COLOR



8 ARCHITECTURAL CONCRETE:
PAINTED GREY
(POLISHED CONC. - SW 9167)



**F. ADAB
ARCHITECTS
INC.**

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2	MAR 14-22	ISSUED FOR REZONING/DP
1	DEC 05-21	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE.,
SURREY, BC

FOR:
1336514 BC LTD
5636 127 ST.
SURREY, BC

DRAWING TITLE:
MATERIAL AND COLOR

DATE:	MAY 2022	SHEET NO:
SCALE:	N/A	A-1.16
DESIGN:	A. FRAD	
DRAWN:	KKW	
PROJECT NO:		

142 STREET

143 STREET



14227-14235 103A AVE.

14245-14265 103A AVE.

PROPOSED 6 STOREY APARTMENT

STREETSCAPE - 103A AVENUE



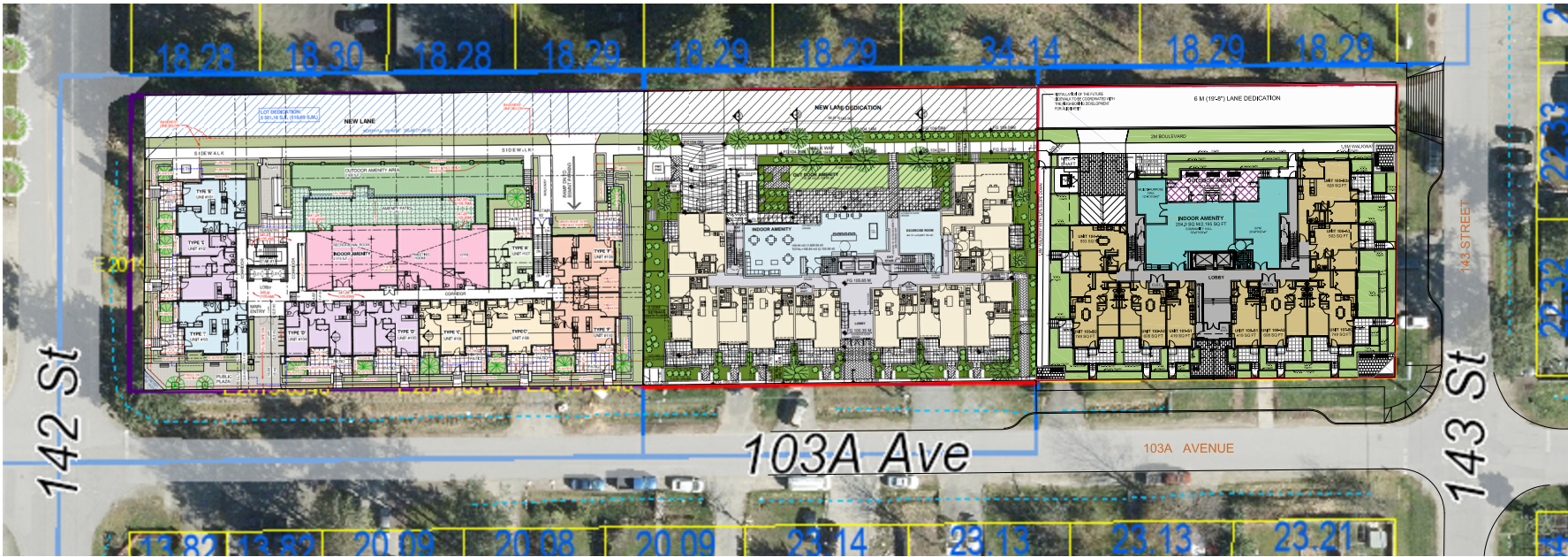
F. ADAB ARCHITECTS INC.

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2	NOV 22-2022	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16-2022	ISSUED TO CITY'S REVIEW

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE.
SURREY, BC

FOR:
1336514 BC LTD
5536 127 ST.
SURREY, BC

DRAWING TITLE:
STREETSCAPE (103A AVENUE)

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1/8" = 1'-0"	
DESIGN:	F. ADAB	A-1.18
DRAWN:	KXW	
PROJECT NO.:		



CONTEXT PLAN



F. ADAB ARCHITECTS INC.

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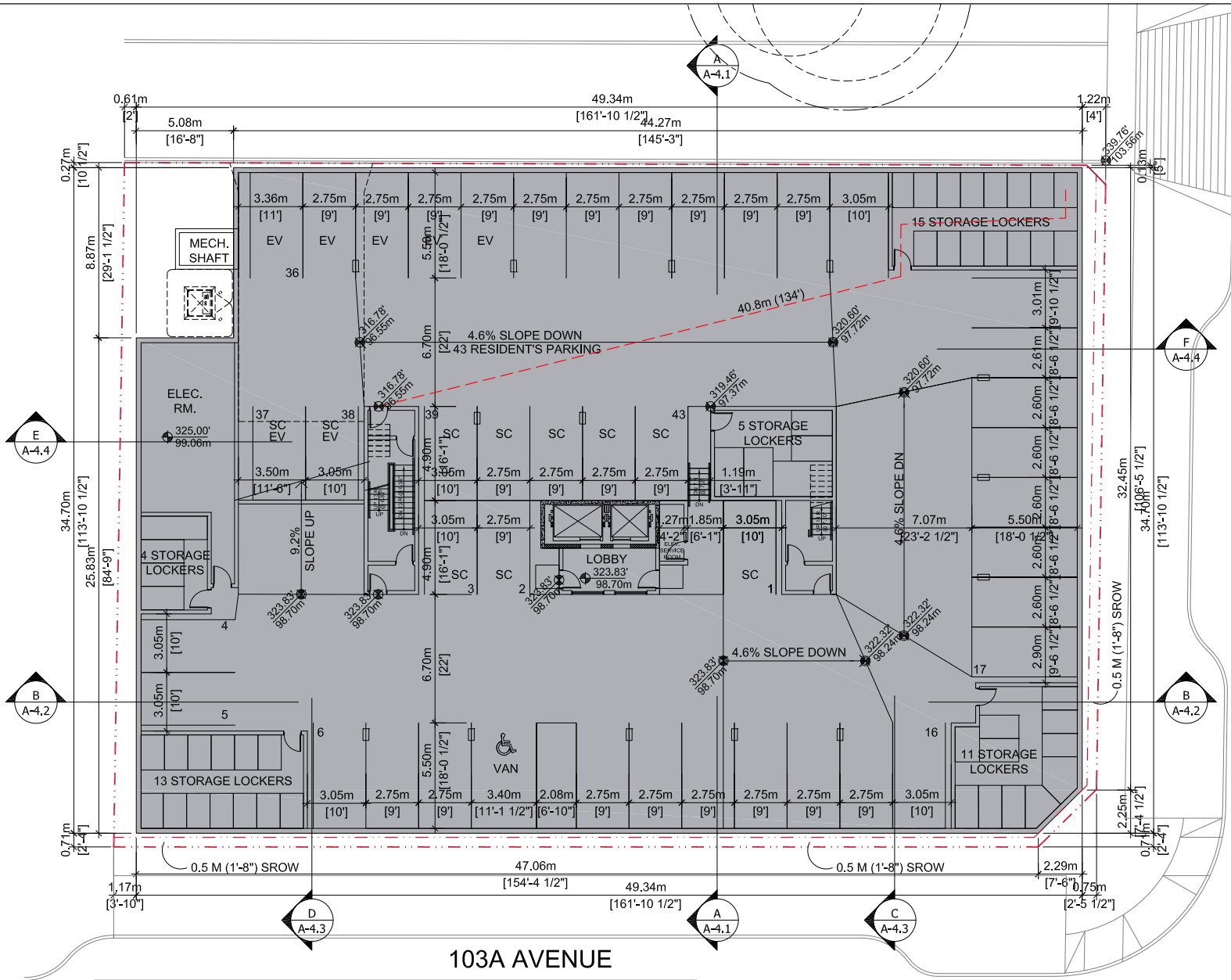
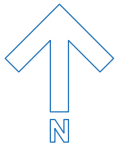
NO.	DATE	REVISION ISSUED
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1	MAY 16, 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST,
SURREY, B.C

DRAWING TITLE:
P2 PARKING PLAN

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1"=10'-0"	A-2.1
DESIGN:	F. ADAB	
DRAWN:	KXW	
PROJECT NO.:		



43 RESIDENT'S PARKING (10 SMALL CARS, 1 VAN ACCESSIBLE)
7 ELECTRICAL CHARGERS (2 SMALL CARS)

103A AVENUE

P2 PARKING LEVEL



F. ADAB ARCHITECTS INC.

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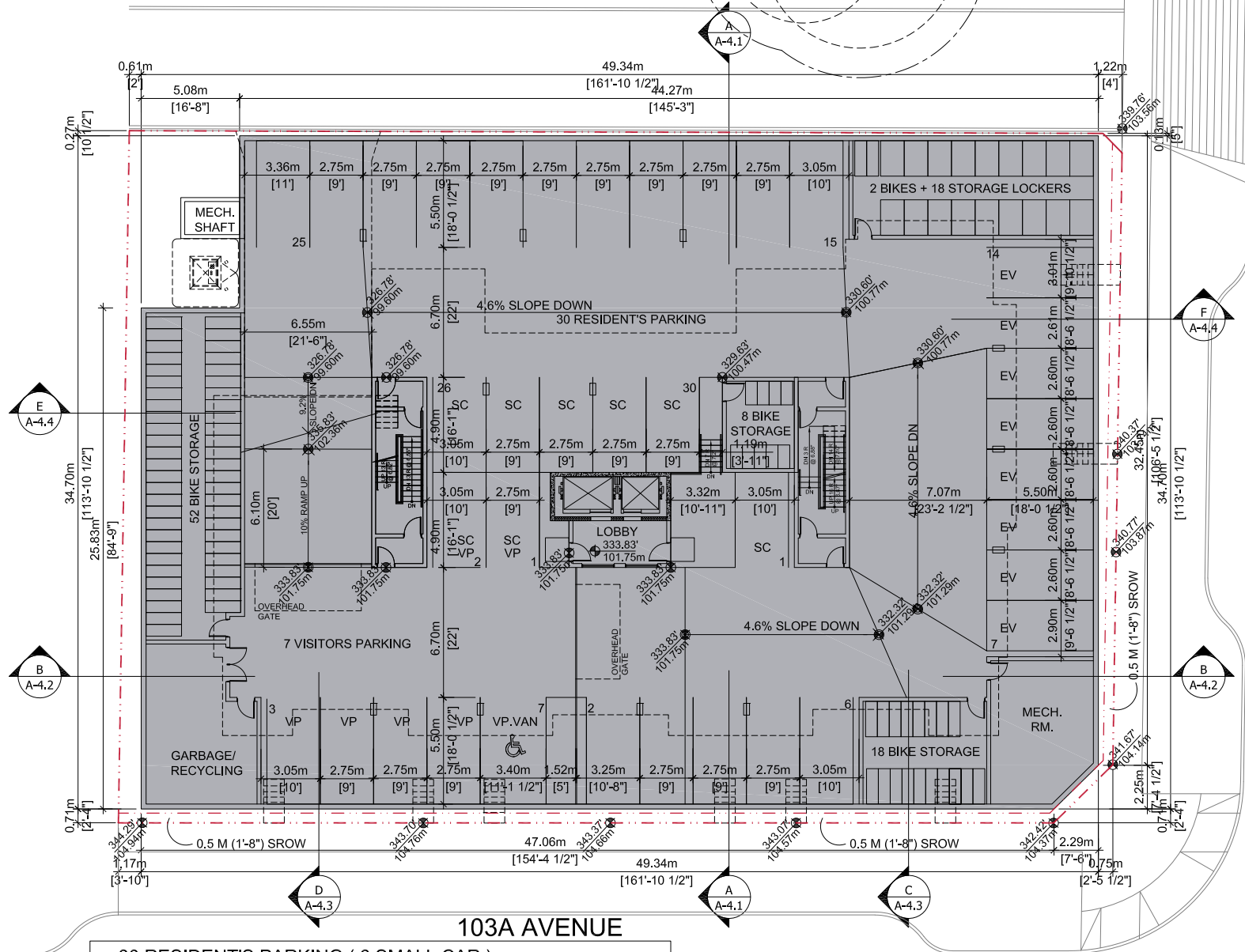
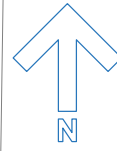
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1	MAY 16, 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST.
SURREY, B.C

DRAWING TITLE:
P1 PARKING PLAN

DATE	MAY, 2022	SHEET NO.:
SCALE:	1"=10'-0"	A-2.2
DESIGN:	F. ADAB	
DRAWN:	KXW	
PROJECT NO.:		

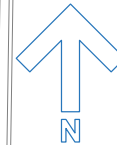


103A AVENUE

30 RESIDENT'S PARKING (6 SMALL CAR)
7 VISITOR PARKING (2 SMALL CAR, 1 VAN ACCESSIBLE)
8 ELECTRICAL CHARGERS

P1 PARKING LEVEL

INSTALLATION OF THE FUTURE SIDEWALK TO BE COORDINATED WITH THE NEIGHBORING DEVELOPMENT FOR ALIGNMENT



F. ADAB ARCHITECTS INC.

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PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE.
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST.
SURREY, B.C

DRAWING TITLE:
GROUND FLOOR PLAN

DATE	MAY, 2022	SHEET NO.:
SCALE:	1"=10'-0"	A-2.3
DESIGN:	F. ADAB	
DRAWN:	KXKW	
PROJECT NO.:		

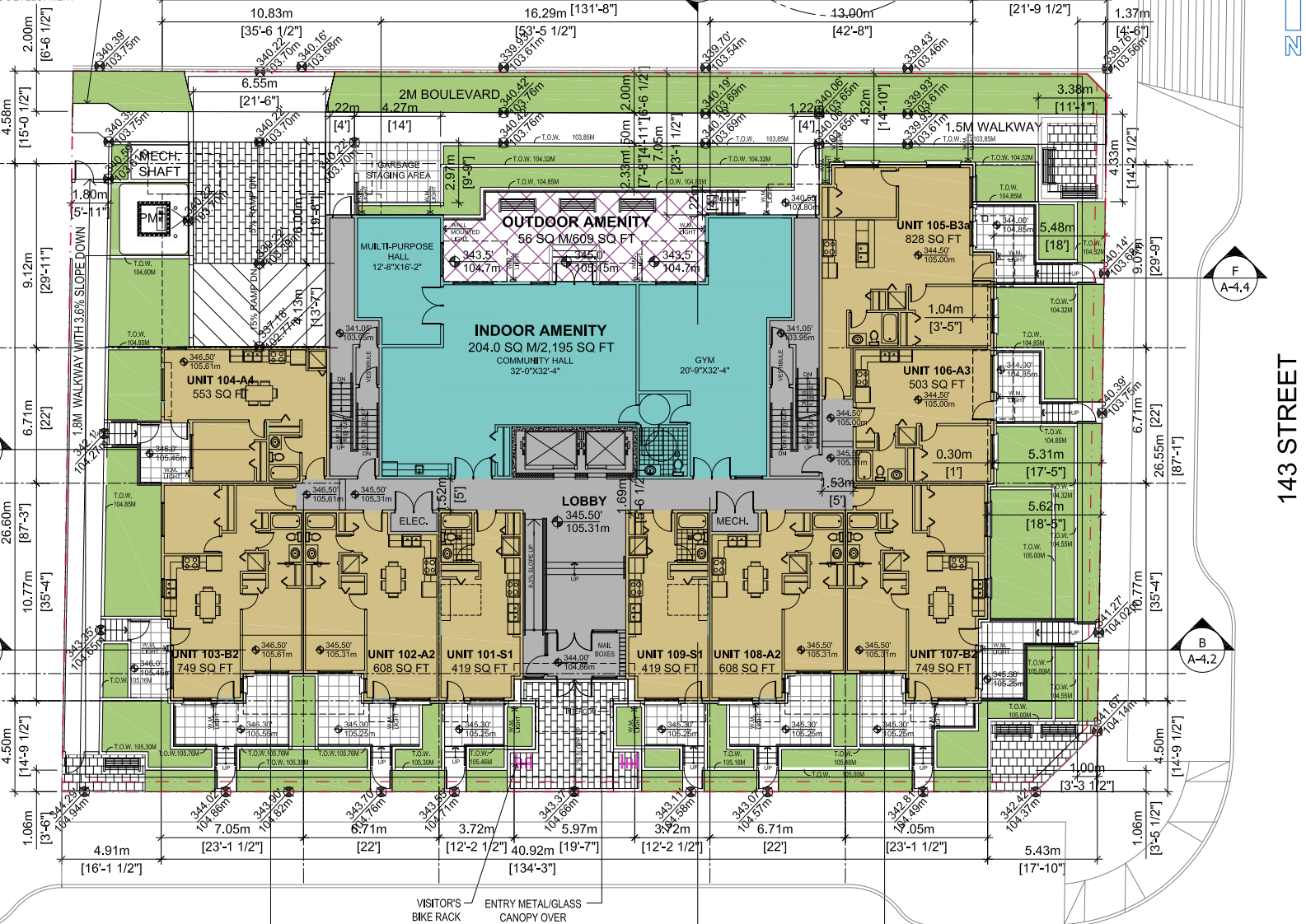
ADJACENT PROPERTY

143 STREET

6 M (19'-8") LANE DEDICATION

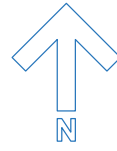
40.13m

6.64m



103A AVENUE

GROUND FLOOR PLAN
INDOOR AMENITY AREA: 204 SQ M
OUTDOOR AMENITY AREA(SHADED): 56 SQ M



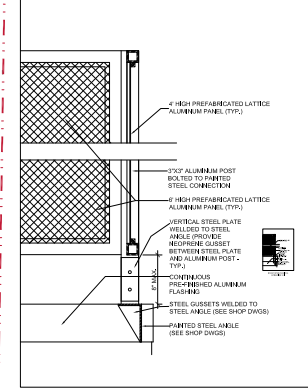
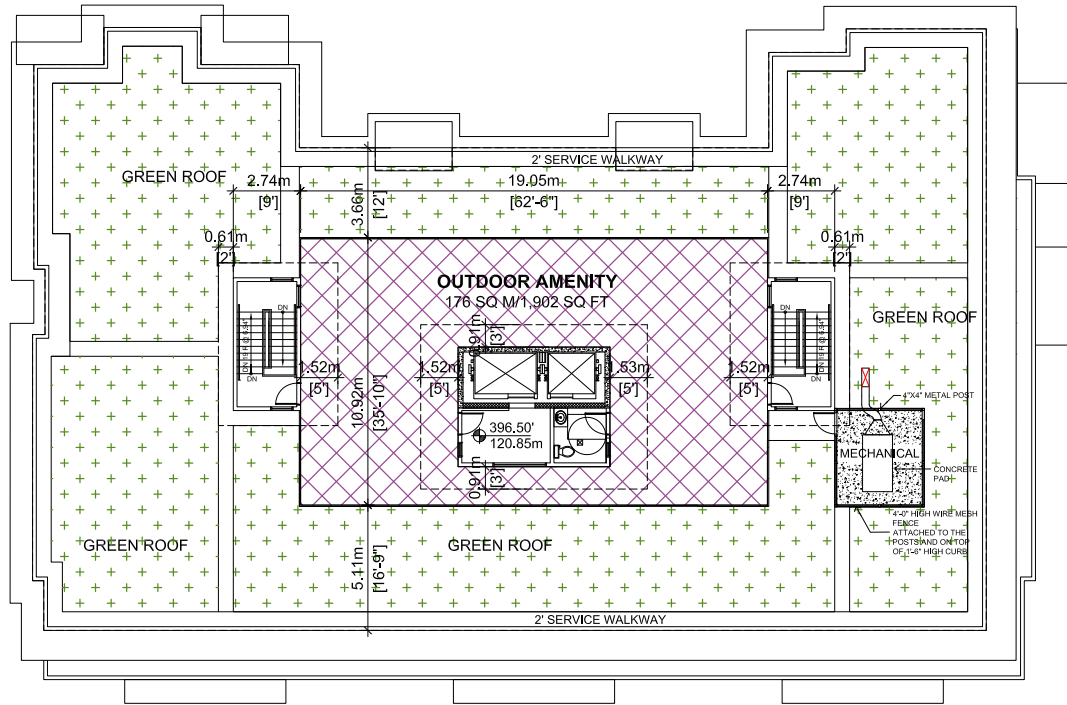
**F. ADAB
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ROOFTOP MECHANICAL
SCREEN DETAIL

NO.	DATE	REVISION/ISSUED
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1	MAY 16, 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD.
5536 127 ST,
SURREY, B.C

DRAWING TITLE:
**ROOF PLAN/
OUTDOOR AMENITY
(AREA CALCULATION)**

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1"=10'-0"	A-2.8
DESIGN:	F. ADAB	
DRAWN:	KXW	
PROJECT NO.:		

ROOF PLAN/OUTDOOR AMENITY AREA
OUTDOOR AMENITY AREA(SHADED): 176 SQ M (TOTAL 232 SQ M)



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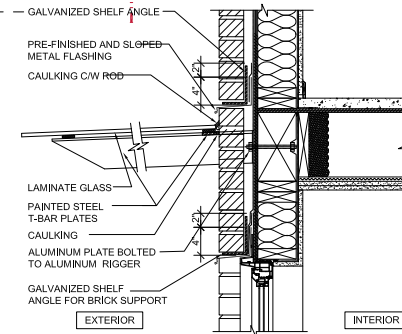
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EAST ELEVATION(143 STREET)

- | EXTERIOR FINISHES | |
|--|---|
| 1 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - IXL) | 5 WOOD BAND BOARD/WINDOW TRIM:
PAINTED GREY
(DOVETAIL - SW 7018) |
| 2 ARCHITECTURAL CONCRETE:
PAINTED GREY
(POLISHED CONCRETE - SW 9167) | 6 VINYL WINDOWS AND SPANDREL :
MATT BLACK |
| 3 FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(DOVETAIL - SW 7018) | 7 WOOD FASCIA BOARD :
PAINTED GREY
(DOVETAIL - SW 7018) |
| 4 FIBER CEMENT PANEL:
PAINTED GREY
(REPOSE GREY - SW 7015) | 8 ALUMINUM CLADDING AT ENTRY
MATT BLACK |
| | 9 ALUMINUM RAILING :
MATT BLACK, CLEAR GLASS |
| | 10 CONCRETE WINDOW SILL:
PAINTED GREY
(POLISHED CONCRETE - SW 9167) |
| | 11 VINYL SOFFITS:
NATURAL WOOD COLOR |
| | 12 GLASS/METAL CANOPY:
MATT BLACK, CLEAR GLASS |



1 UNIT ENTRY CANOPY DETAIL
Scale: NTS

NO.	DATE	REVISION ISSUED
5	NOV 21 - 2023	REISSUED FOR ADP
4	NOV 14 - 2023	REISSUED FOR ADP
3	AUG 26 - 2023	ISSUED FOR ADP RE-BID
2	NOV 22 - 2022	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16 - 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
**103A/143 ST. APARTMENT
DEVELOPMENT**
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD
5536 127 ST,
SURREY, BC

DRAWING TITLE:
**EAST ELEVATION
(143 STREET)**

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1/8" = 1'-0"	A-3.1
DESIGN:	F. ADAB	
DRAWN:	KKW	
PROJECT NO.:		



F. ADAB ARCHITECTS INC.

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 E-MAIL: info@mhjgarfadao.com

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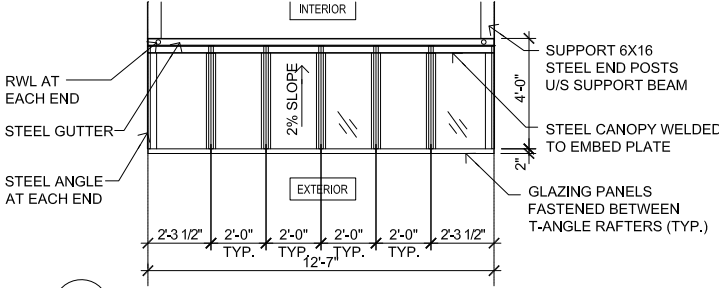
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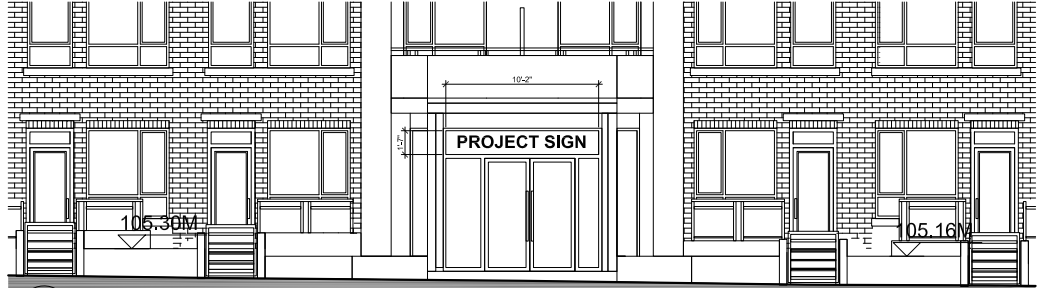


SOUTH ELEVATION(103A AVENUE)

- EXTERIOR FINISHES**
- 1 2" WIDE SOLID BRICK : BEIGE COLOR (CHAMPAGNE VELOUR - IXL)
 - 2 ARCHITECTURAL CONCRETE: PAINTED GREY (POLISHED CONCRETE - SW 9167)
 - 3 FIBER CEMENT PANEL/SIDING: PAINTED GREY (DOVETAIL - SW 7018)
 - 4 FIBER CEMENT PANEL: PAINTED GREY (REPOSE GREY - SW 7015)
 - 5 WOOD BAND BOARD/WINDOW TRIM: PAINTED GREY (DOVETAIL - SW 7018)
 - 6 VINYL WINDOWS AND SPANDREL : MATT BLACK
 - 7 WOOD FASCIA BOARD : PAINTED GREY (DOVETAIL - SW 7018)
 - 8 ALUMINUM CLADDING AT ENTRY MATT BLACK
 - 9 ALUMINUM RAILING : MATT BLACK, CLEAR GLASS
 - 10 CONCRETE WINDOW SILL: PAINTED GREY (POLISHED CONCRETE - SW 9167)
 - 11 VINYL SOFFITS: NATURAL WOOD COLOR
 - 12 GLASS/METAL CANOPY: MATT BLACK, CLEAR GLASS



1 METAL/GLASS CANOPY AT ENTRANCE
 Scale: NTS



2 BUILDING ENTRY
 Scale: NTS

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1	MAY 16 - 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
 14275 103A AVE,
 SURREY, BC

FOR:
1336514 BC LTD
 5536 127 ST.
 SURREY, BC

DRAWING TITLE:
SOUTH ELEVATION (103A AVENUE)

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1/8" = 1'-0"	
DESIGN:	F. ADAB	
DRAWN:	KKW	
PROJECT NO.:		

A-3.2



F. ADAB ARCHITECTS INC.

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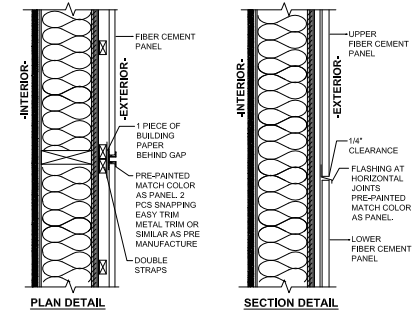
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WEST ELEVATION

EXTERIOR FINISHES		
1 2" WIDE SOLID BRICK : BEIGE COLOR (CHAMPAGNE VELOUR - BX)	5 WOOD BAND BOARD/WINDOW TRIM: PAINTED GREY (DOVETAIL - SW 7018)	9 ALUMINUM RAILING : MATT BLACK, CLEAR GLASS
2 ARCHITECTURAL CONCRETE: PAINTED GREY (POLISHED CONCRETE - SW 9167)	6 VINYL WINDOWS AND SPANREL : MATT BLACK	10 CONCRETE WINDOW SILL: PAINTED GREY (POLISHED CONCRETE - SW 9167)
3 FIBER CEMENT PANEL/SIDING: PAINTED GREY (DOVETAIL - SW 7018)	7 WOOD FASCIA BOARD : PAINTED GREY (DOVETAIL - SW 7018)	11 VINYL SOFFITS: NATURAL WOOD COLOR
4 FIBER CEMENT PANEL: PAINTED GREY (REPOSE GREY - SW 7015)	8 ALUMINUM CLADDING AT ENTRY MATT BLACK	12 GLASS/METAL CANOPY: MATT BLACK, CLEAR GLASS



NOTE: ALL EXPOSED METAL PARTS TO MATCH FIBER CEMENT PANEL COLOR

1 A-3.3 Scale: NTS

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103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE,
SURREY, BC

FOR:
1336514 BC LTD
5536 127 ST,
SURREY, BC

DRAWING TITLE:
WEST ELEVATION

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1/8" = 1'-0"	
DESIGN:	F. ADAB	
DRAWN:	KXW	
PROJECT NO.:		

A-3.3



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E-MAIL: mia@muljgofadab.com

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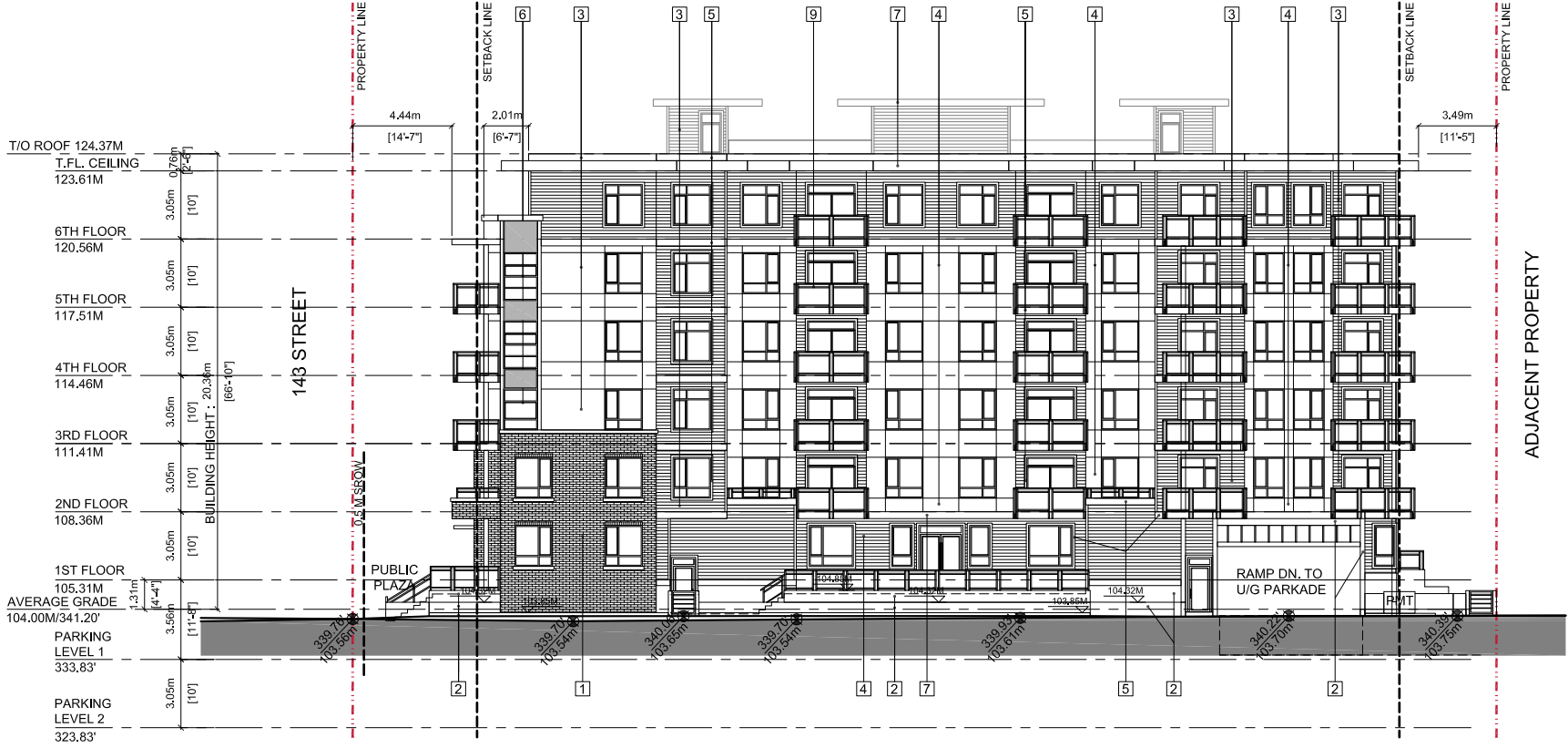
NO.	DATE	REVISION ISSUED
5	NOV 21 - 2023	REISSUED FOR ADP
4	NOV 14 - 2023	REISSUED FOR ADP
3	AUG 25 - 2023	ISSUED FOR ADP REVIEW
2	NOV 22 - 2022	INCORPORATED DRG AND URBAN DESIGN COMMENTS
1	MAY 16 - 2022	ISSUED FOR CITY'S REVIEW

PROJECT TITLE:
103A/143 ST. APARTMENT DEVELOPMENT
14275 103A AVE.
SURREY, BC

FOR:
1336514 BC LTD
5536 127 ST.
SURREY, BC

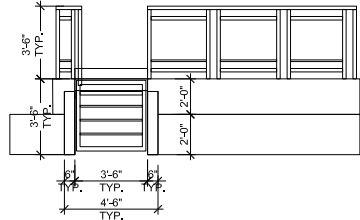
DRAWING TITLE:
NORTH ELEVATION

DATE:	MAY, 2022	SHEET NO.:
SCALE:	1/8" = 1'-0"	
DESIGN:	F. ADAB	A-3.4
DRAWN:	KXW	
PROJECT NO.:		



NORTH ELEVATION

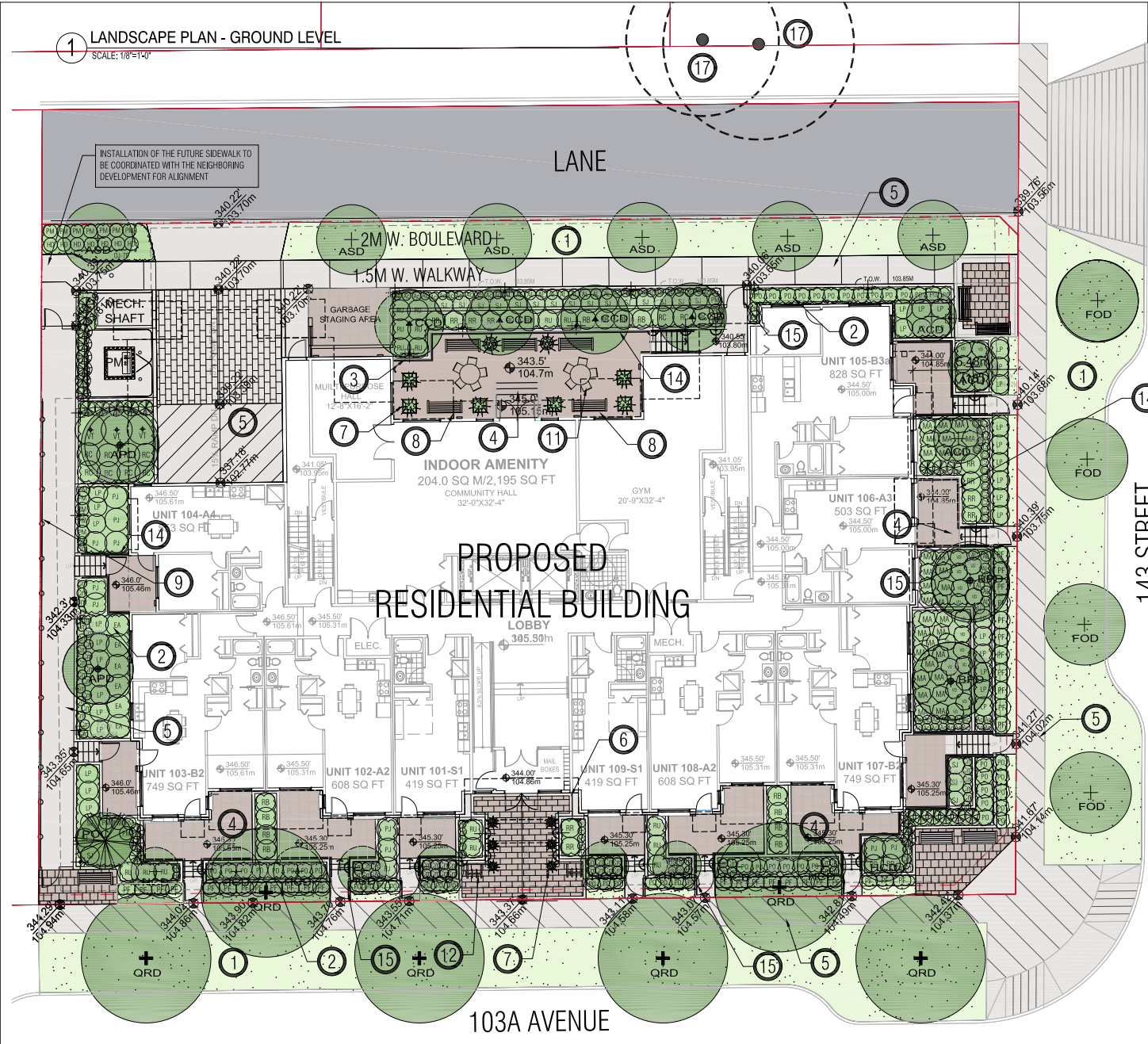
- | EXTERIOR FINISHES | | | | | |
|-------------------|--|---|---|----|---|
| 1 | 2" WIDE SOLID BRICK :
BEIGE COLOR
(CHAMPAGNE VELOUR - DL) | 5 | WOOD BAND BOARD/WINDOW TRIM :
PAINTED GREY
(DOVETAIL - SW 7018) | 10 | ALUMINUM RAILING :
MATT BLACK, CLEAR GLASS |
| 2 | ARCHITECTURAL CONCRETE:
PAINTED GREY
(POLISHED CONCRETE - SW 9167) | 6 | VINYL WINDOWS AND SPANDREL :
MATT BLACK | 11 | CONCRETE WINDOW SILL :
PAINTED GREY
(POLISHED CONCRETE - SW 9167) |
| 3 | FIBER CEMENT PANEL/SIDING:
PAINTED GREY
(DOVETAIL - SW 7018) | 7 | WOOD FASCIA BOARD :
PAINTED GREY
(DOVETAIL - SW 7018) | 12 | VINYL SOFFITS:
NATURAL WOOD COLOR |
| 4 | FIBER CEMENT PANEL:
PAINTED GREY
(REPOSE GREY - SW 7015) | 8 | ALUMINUM CLADDING AT ENTRY
MATT BLACK | 13 | GLASS/METAL CANOPY:
MATT BLACK, CLEAR GLASS |



1 UNIT ENTRY GATE/RAILING
Scale: NTS

1 LANDSCAPE PLAN - GROUND LEVEL

SCALE: 1/8"=1'-0"



- NOTES:**
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCMA OR BCCLA GUIDELINES.
 2. TOPSOIL SUPPLIER SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 3. AMENDED TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
 4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A) GRASSED AREAS: 450MM
 - B) GROUND COVERS: 450MM
 - C) SHRUBS: 450MM
 - D) TREE PITS: 1000MM WITH 500MM BELOW ROOT BALL
 - E) ROOT BED PLANTERS: MINIMUM DEPTH OF 800 TO MAXIMUM DEPTH OF 800 SOIL DEPTHS
 5. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD.
 6. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" O.C.
 7. #2 DEPTH OF PAVING COMPOST MIXTURE TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
 8. IRRIGATION SYSTEM - (AUTOMATIC) DESIGN BUILT BY IRRIGATION CONTRACTOR FOR ALL LANDSCAPED AREAS ON THIS DEVELOPMENT. GROUND LEVEL AND ABOVE.
 9. LANDSCAPE MAINTENANCE TO BE ASSIGNED TO A QUALIFIED LANDSCAPE CONTRACTOR BY THE STRATA CORPORATION TO ENSURE ONGOING LANDSCAPE MAINTENANCE FOR THE LANDSCAPE WORKS COMMENCING THE UPON THE EXPIRY OF THE LANDSCAPE ESTABLISHMENT PERIOD.
 10. ROOF BALLAST MATERIAL: ALL GRANULAR BALLAST SHALL BE SMOOTH FINISH 1" DIAMETER, DOUBLE WASHED, LOCATE AS SHOWN ON THE DRAWINGS.
 11. PAVING TYPES AND MATERIALS SEE DRAWING.
 12. BENCHES - PRE MANUFACTURED WITH PERMANENT ANCHORS.
 13. DECORATIVE POTS SHALL BE POLY-RESIN OR METAL.
 14. FINAL SELECTION OF STREET TREES SHALL BE MADE BY THE CITY OF SURREY PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR TO CONTACT CITY ARBORIST TO COORDINATE FINAL LAYOUT OF STREET TREES. INSTALL TO CITY OF SUREY LANDSCAPE REQUIREMENTS.

PLANT LIST:

1. REFER TO DRAWING L-2 FOR PLANT LIST.

LANDSCAPE KEY:

- | | |
|---------------------------------------|--|
| 1 LAWN | 10 METAL FENCE 3FT. HEIGHT |
| 2 PLANTING BED | 11 PAINTED FURNITURE BY STRATA CORP. |
| 3 RAISED PLANTER | 12 BIRCH RACKS QTY: 6 |
| 4 UNIT PAVING 25/2 HYDRA PRESSED SLAB | 13 ACTIVE OUTDOOR AREA MULT-USE SPACE |
| 5 CONCRETE PAVING | 14 GLASS GUARDRAIL REFER TO ARCH. DWGS. |
| 6 EXP. AGG. CONCRETE BAND | 15 ACCESS GATE ALUMINUM |
| 7 DECORATIVE POT W/ SEASONAL ANNUALS | 16 GREEN ROOF |
| 8 BENCHES | 17 EXISTING TREES TO REMAIN REFER TO ARBORISONS REPORT |
| 9 WOOD FENCE 6FT. HEIGHT | 18 FIRE PIT |

LEGEND:

- | | |
|---------------------------------|---|
| PROPOSED TREES | UNIT PAVING 25/2 HYDRA PRESSED SLAB ON PEDESTAL |
| SHRUB PLANTING | CONCRETE SIDEWALK |
| LAWN | PAINTED FURNITURE BY STRATA, I.L.E.C. FOR D.P. |
| RAISED CONC. PLANTER | BENCH |
| GREEN ROOF | 6FT HT. WOOD FENCE |
| EXPOSED AGGREGATE CONCRETE BAND | BIRCH RACKS STALL: 2" X 8" |
| UNIT PAVERS RUNNING BAND | SEASONAL ANNUALS |

REVISIONS/ISSUED NOVEMBER 10, 2023

ISSUED FOR DP NOVEMBER 10, 2023

PROJECT: MULTI FAMILY RESIDENTIAL DEVELOPMENT 14275 - 103A AVENUE, SURREY, BC.

DEVELOPER: DANIEL ROONEY ARCHITECT: FADAB ARCHITECTS INC.

PROJECT: MARUYAMA LANDSCAPE ARCHITECTS

DATE: MAY 13, 2023

DESIGN: MM

DRAWN: MM

CHECKED: MM

SCALE: AS SHOWN

JOB NO.: M0009

SHEET TITLE: LANDSCAPE PLAN GROUND LEVEL

SHEET NO.: L-01

2023-11-24



REVISIONS/ISSUED
 1. 11/13/2022 FOR PERMITS
 2. 11/13/2022 FOR PERMITS
 3. 11/13/2022 FOR PERMITS
 4. 11/13/2022 FOR PERMITS

ISSUED FOR DP
 NOVEMBER 10, 2023

PROJECT
MULTI FAMILY RESIDENTIAL DEVELOPMENT
 14275 - 103A AVENUE, SURREY, BC.
 DEVELOPER: DANIEL ROONEY
 ARCHITECT: FADAB ARCHITECTS INC.
 FADAB ARCHITECTS INC. - 6050 LEEDS ROAD SUITE 100, VANCOUVER, BC, CANADA. PH: 604-471-0997 FX: 604-471-0997



DATE: MAY 13, 2023
 DESIGN: RMM
 DRAWN: RMM
 CHECKED: RMM
 SCALE: AS SHOWN
 JOB NO.: M0009

SHEET TITLE
LANDSCAPE PLAN
ROOF LEVEL
 SHEET NO.
L - 02



NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCISA GUIDELINES. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- ANNIATED TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PER TO BREAKING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 A. GRASSED AREAS: 450MM B. GROUND COVERS: 450MM C. SHRUBS: 450MM
 D. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 ROOF DECK PLANTERS: MINIMUM DEPTH OF 20" TO MAXIMUM DEPTH OF 30" SOIL DEPTHS
- LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" O.C.
- 2" DEPTH OF 1" PLUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION SYSTEM - AUTOMATIC DESIGN SHALL BE PROVIDED BY IRRIGATION CONTRACTOR FOR ALL LANDSCAPED AREAS ON THIS DEVELOPMENT. GROUND LEVEL AND ABOVE.
- LANDSCAPE MAINTENANCE TO BE ASSIGNED TO A QUALIFIED LANDSCAPE CONTRACTOR BY THE STRATA CORPORATION TO ENSURE ONGOING LANDSCAPE MAINTENANCE FOR THE LANDSCAPE WORKS COMMENCING THE UPON THE EXPIRY OF THE LANDSCAPE ESTABLISHMENT PERIOD.
- ROCK BALLAST MATERIAL:
 ALL GRANULAR BALLAST SHALL BE SMOOTH FINISH #1 QUARTER, DOUBLE WASHED, LOCATE AS SHOWN ON THE DRAWINGS.
- PAVING TYPES AND MATERIALS SEE DRAWING.
- BENCHES - PRE MANUFACTURED WITH PERMANENT ANCHORS.
- DECORATIVE POTS SHALL BE POLY-CARBON OR METAL.
- FINAL SELECTION OF STREET TREES SHALL BE MADE BY THE CITY OF SURREY PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR TO CONTACT CITY ARBORIST TO COORDINATE FINAL LAYOUT OF STREET TREES. INSTALL TO CITY OF SURREY LANDSCAPE REQUIREMENTS.

LANDSCAPE KEY:

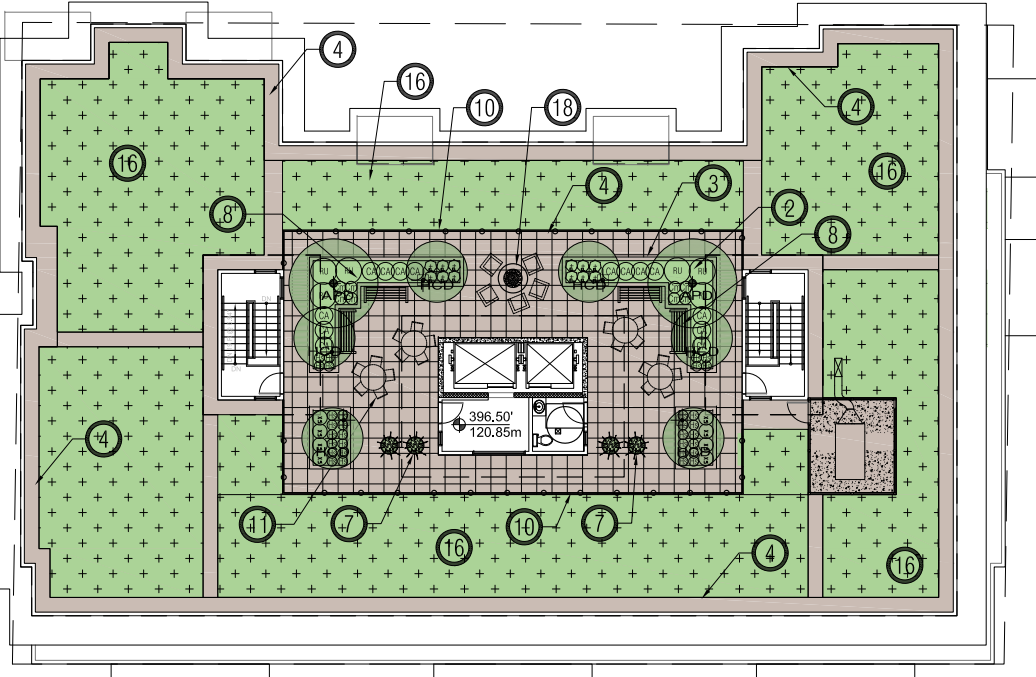
- | | | |
|--|--------------------------------------|---|
| ① LAWN | ⑦ DECORATIVE POT W/ SEASONAL ANNUALS | ⑬ ACTIVE OUTDOOR AREA MULTIPLE USE SPACE |
| ② PLANTING BED | ⑧ BENCHES | ⑭ GLASS GUARDRAIL REFER TO ARCH. DWGS. |
| ③ RAISED PLANTER | ⑨ METAL FENCE 6FT. HEIGHT | ⑮ ACCESS GATE ALUMINIUM |
| ④ UNIT PAVING 2"x2" HYDRA PRESSED SLAB | ⑩ METAL FENCE 3FT. HEIGHT | ⑯ GREEN ROOF |
| ⑤ CONCRETE PAVING | ⑪ PATIO FURNITURE BY STRATA CORP. | ⑰ EXISTING TREES TO REMAIN REFER TO ARBORIST'S REPORT |
| ⑥ EXP. AGG. CONCRETE BAND | ⑫ BIKE RACKS QTY: 6 | ⑱ FIRE PIT |

PLANT LIST:

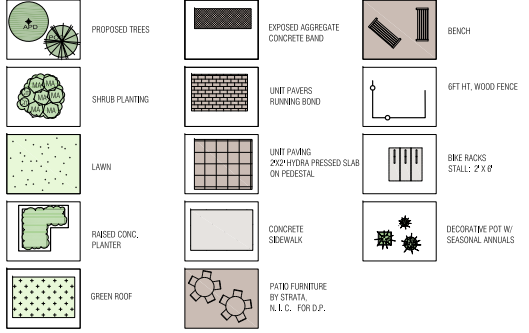
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	BF
ACD	3	ACER CIRCINATUM	VINE MAPLE	2.75M HT.	8 & 8	BF
APD	4	ACER PALMATUM	JAPANESE MAPLE	2.75M HT.	8 & 8	BF
ASD	6	ACER RUBRUM SCARLET SENTINEL	SCARLET SENTINEL MAPLE	5.0M CAL.	8 & 8	BF
BPD	2	BETULA PAPERBARK	CANOE BIRCH	6.0M CAL.	8 & 8	BF
CCD	4	CERISE CANADENSIS	RED BUD	5.0M CAL.	8 & 8	BF
HCD	16	HEBICUS COELESTIS	SHRUBBY ALTHEA	2.5M HT.	8 & 8	BF
FOU	4	FRAXINUS CORYMBOSA RAYWOOD	RAYWOOD OSH	2.5M HT.	8 & 8	BF
GRD	6	QUERCUS RUBRUM	RED OAK	6.0M CAL.	8 & 8	BF
POC	1	PRUNUS SP.	SERRAVAL SPRUCE	3.0M HT.	8 & 8	BF
TOC	27	TRILIUM OCCIDENTALE SERRAVAL	SERRAVAL GREEN CEDAR	1.75M HT.	8 & 8	BF
EA	6	EUONYMUS ALATUS COMPACTUS	DWARF BURNING BUSH	#3	CONTAINER	BF
VT	3	VEBURNUM TINUS ROBUSTUM	ROUND LEAF VEBURNUM	#3	CONTAINER	BF
MA	33	MANISIA RUBROBILUM	OREGON GRAPE	#3	CONTAINER	BF
NT	6	NASSELLA TENUESOLIDA	MEDICAN FEATHER GRASS	#3	CONTAINER	BF
PJ	11	PERIS JAPONICA FOREST FLAME	JAPANESE TREES	#3	CONTAINER	BF
PM	23	POLYSTICHUM MUNITZEM	WESTERN SIKKARD FERN	#3	CONTAINER	BF
PO	52	PRUNUS L. OTTO LUYKENS	OTTO LUYKEN LAUREL	#3	CONTAINER	BF
PF	34	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	#3	CONTAINER	BF
RC	11	RHOODOENDRON CHEER	CHEER RHODO.	#3	CONTAINER	BF
RB	12	RHOODOENDRON BOW BELLS	BOW BELLS RHODO.	#3	CONTAINER	BF
RR	12	RHOODO. ROYAL PRIN	ROYAL PRIN RHODO.	#3	CONTAINER	BF
RJ	24	RHOODOENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER	BF
LP	44	LEONARDA PLATA	PIRETE HONEY-SUCKLE	#3	CONTAINER	BF
SI	21	SKIMMIA JAPONICA REEVESIANA	JAPANESE SKIMMIA	#3	CONTAINER	BF
VD	22	VEBURNUM DANIEBI	DANIEBI VEBURNUM	#3	CONTAINER	BF
PA	10	ASTILBE CHINENSIS 'MIDONS'	ASTILBE	#1	CONTAINER	BF
CZ	16	CORDEPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER	BF
CM	72	CORDEPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1	CONTAINER	BF
EC	12	ERYSIMUM STROLES MAURE	WALLFLOWER	#1	CONTAINER	BF
CA	14	CALAMAGROSTE ACUTILEPORA OVERDAM	WARCEATE FEATHER BEED GRASS	#2	CONTAINER	BF
AC	42	ASTILBE CHINENSIS 'MIDONS'	ASTILBE	#1	CONTAINER	BF
AL	18	ALCHEMILLA ADULIS	LADYS MANTLE	#1	CONTAINER	BF
GS	3	GAILTHERIA SHARON	SALAL	#1	CONTAINER	BF
HS	50	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	CONTAINER	BF
HD	7	HOSTA DREAM QUEEN	DREAM QUEEN HOSTA	#1	CONTAINER	BF
LA	8	LAVANDULA ANGIUSTIPIDA	ENGLISH LAVENDER	#1	CONTAINER	BF
RF	18	RUBRO-CAMPAULNA 'SOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER	BF
OJ	70	OPHIPOGON JAPONICA NANA	DWARF MONDO GRASS	100M POT	CONTAINER	BF

NOTE: BF - BIRD FRIENDLY PLANT

1 LANDSCAPE PLAN - ROOF TOP
 SCALE: 3/32" = 1'-0"

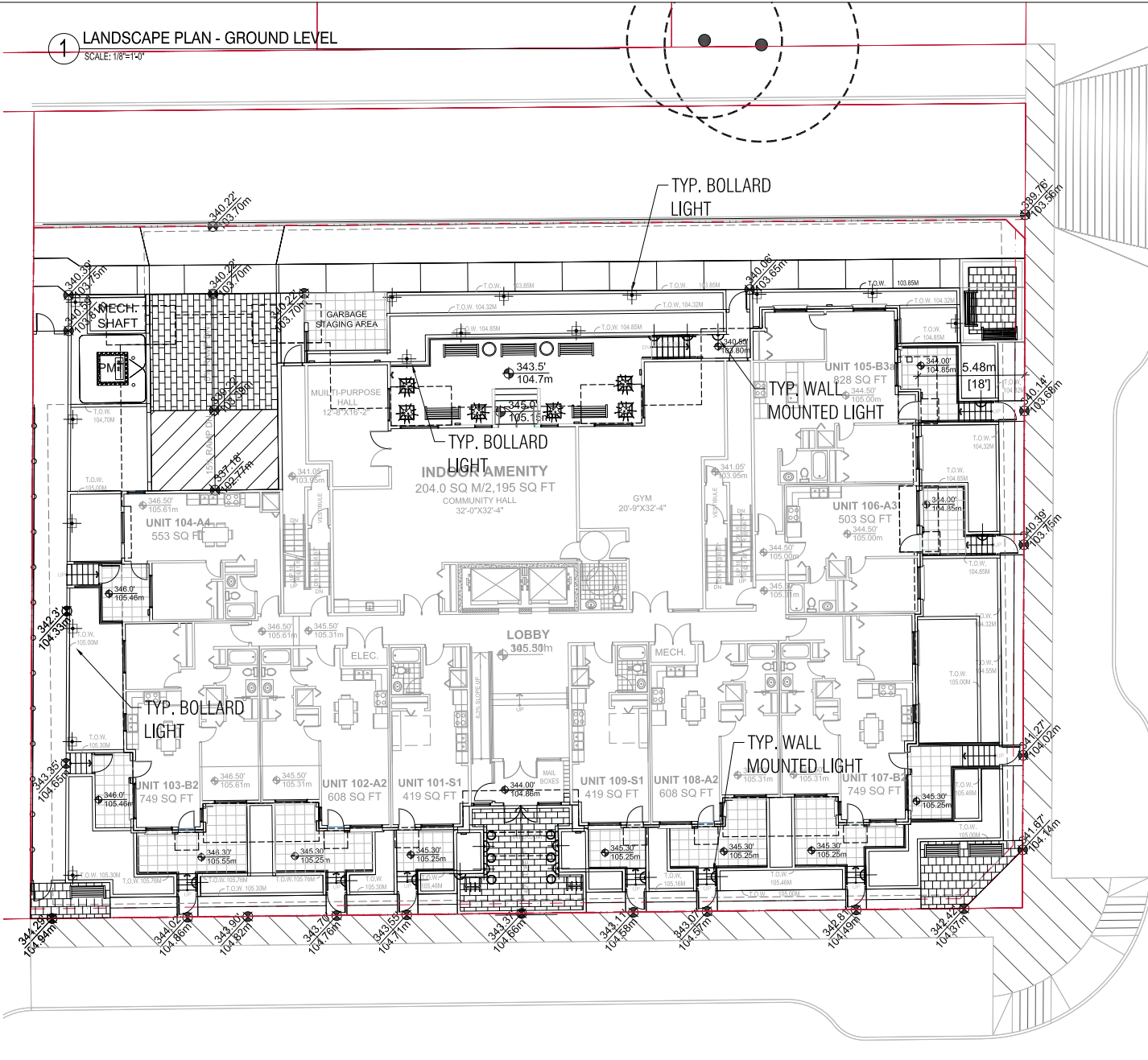


LEGEND:



1 LANDSCAPE PLAN - GROUND LEVEL

SCALE: 1/8"=1'-0"



LIGHTING NOTES:

1. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY PHOTOCELL AND TIMELOCK. LIGHTING ZONE CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT/ELECTRICAL ENGINEER.
2. ELECTRICAL WIRE TO BE 18 AWG WATERPROOF WIRE, 1/16" CONDUIT TO BE REQUIRED WITHIN THE PLANTER OR UNDERGIRTH FINISH SURFACE.
3. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.

LANDSCAPE LIGHTING:

LIGHT TYPE	LEGEND	QTY.	MODEL No.	GENERAL REQUIREMENTS
WALL MOUNTED LIGHT	⊕	16	DELTA LIGHT LOGIC-W S 930	COLOR: DARK GREY SIZE: 4-3/4" X 4-1/2" SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS
BOLLARD LIGHT	⊕	21	LUMERE 303-B1-LEDB1 EON LED	COLOR: BRUSH BRONZE - B2 SIZE: 24" HT. SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS

REVISIONS/ISSUED
 1. 11/13/2022: REVISION FOR 2023
 2. 11/13/2022: REVISION FOR 2023
 3. 11/13/2022: REVISION FOR 2023
 4. 11/13/2022: REVISION FOR 2023

ISSUED FOR DP
 NOVEMBER 10, 2023



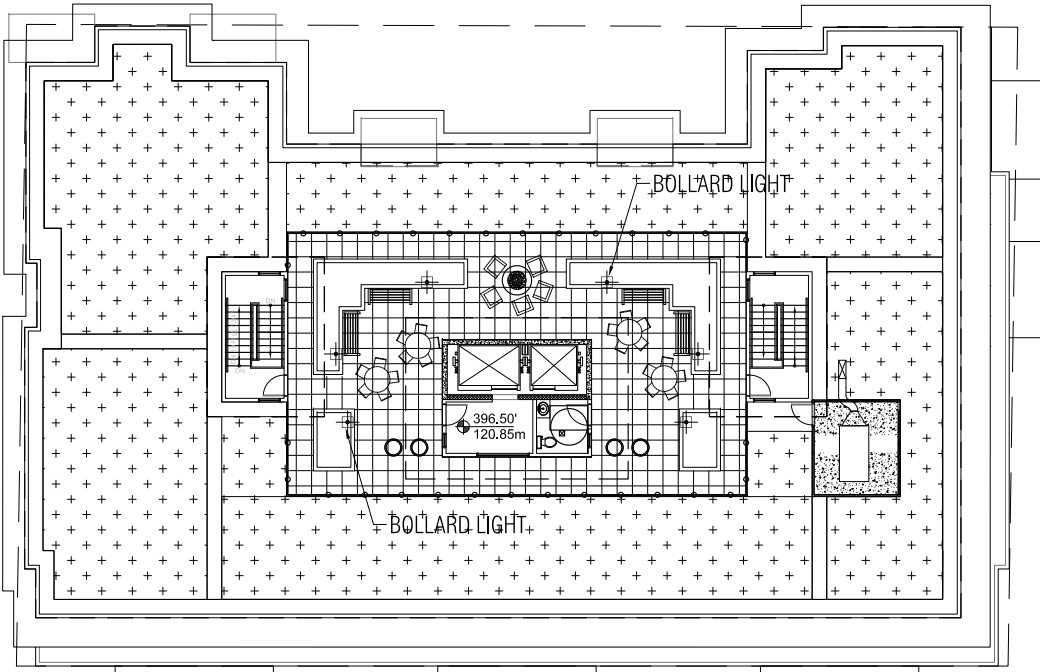
PROJECT
MULTI FAMILY RESIDENTIAL DEVELOPMENT
 14275 - 103A AVENUE, SURREY, BC.
 DEVELOPER: DANIEL ROMNEY
 ARCHITECT: FADAB ARCHITECTS INC.
 550 MARUYAMA ASSOCIATES INC. - BRIC LED IN FOOT SQUARE, LANDSCAPER, E.C. 02-24-26, P.H. 02-24-26-01, E.E. 02-24-26-01



DATE: MAY 13, 2022
 DESIGN: RMM
 DRAWN: RMM
 CHECKED: RMM
 SCALE: AS SHOWN
 JOB NO.: M0009



SHEET TITLE
LIGHTING PLAN
GROUND LEVEL
 SHEET NO.
L - 03



1 LANDSCAPE PLAN - ROOF TOP
SCALE: 3/32" = 1'-0"

LIGHTING NOTES:

1. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY PHOTOCELL AND TIMELOCK. LIGHTING ZONE CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT/ELECTRICAL ENGINEER.
2. ELECTRICAL WIRE TO BE 18 AWG WATERPROOF WIRE. MIN. CONDUIT TO BE REQUIRED WITHIN THE PLANTER OR UNDERNEATH PAVING SURFACE.
3. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.

LANDSCAPE LIGHTING:

LIGHT TYPE	LEGEND	QTY.	MODEL No.	GENERAL REQUIREMENTS
WALL MOUNTED LIGHT	⬆	16	DELTA LIGHT LOGIC W S 930	COLOR: DARK GREY SEE: 4-3/4" X 4-3/4" SEE ELECTRICAL ENL. DWGS FOR COMPLETE DETAILS
BOLLARD LIGHT	⊕	21	LUMISEE 303-B1-LED181 EON LED	COLOR: FINISH BRONZE - BZ SEE: 24" HT. SEE ELECTRICAL ENL. DWGS FOR COMPLETE DETAILS



REVISIONS/ISSUED
NOVEMBER 10, 2023
1. AS NOTED
2. AS NOTED
3. AS NOTED
4. AS NOTED

ISSUED FOR DP
NOVEMBER 10, 2023

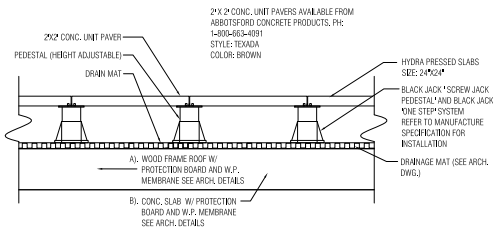
PROJECT
MULTI FAMILY RESIDENTIAL DEVELOPMENT
14275 - 103A AVENUE, SURREY, BC.
DEVELOPER: DANIEL ROOMEY
ARCHITECT: FADAM ARCHITECTS INC.
FADAM ARCHITECTS INC. - BRIC LED IN ROOT SQUARE, LANCKOVER, B.C. 024266, PH: 604-474-9997, FX: 604-474-9997, E-MAIL: info@fadam.ca



DATE	MAY 13, 2023
DESIGN	MM
DRAWN	MM
CHECKED	MM
SCALE	AS SHOWN
JOB NO.	M009

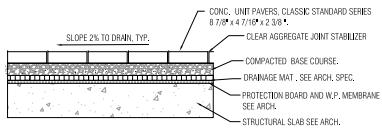


SHEET TITLE
LIGHTING PLAN
ROOF LEVEL
SHEET NO.
L - 04

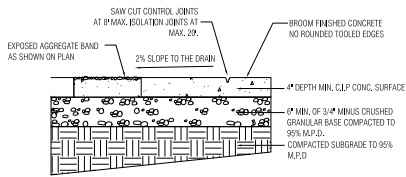


1 2X2 UNIT PAVERS ON SLAB OR WOOD FRAME
SCALE: 1" = 1'-0"

NOTE: SUBMIT SHOP DWGS. TO THE LANDSCAPE ARCHITECT FOR APPROVAL. INSTALLATION TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND PROCEDURES. ALL MATERIALS TO BE IN COMPLIANCE TO THE MANUFACTURER'S SPECIFICATIONS.

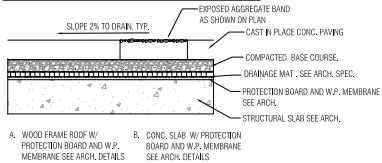


2 UNIT PAVERS ON SLAB
SCALE: 1" = 1'-0"

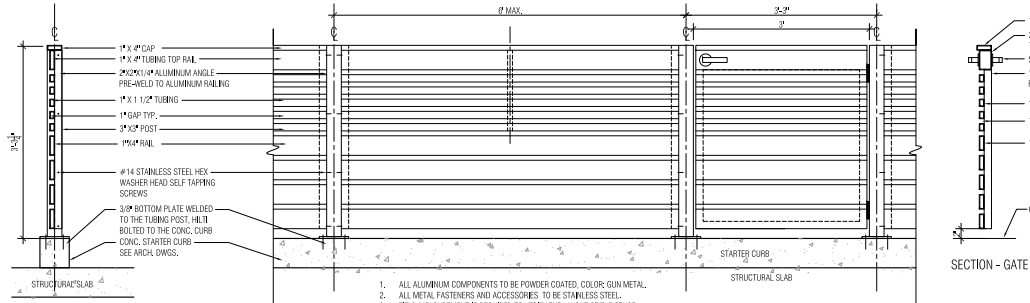


3 CONCRETE PAVING ON GRADE
SCALE: 1" = 1'-0"

NOTE: SHOULD DROPPED SLAB DEPTH CONDITIONS REQUIRE, VOUCHER CONTRACTOR TO PROVIDE STYREFOAM MOULDING THAT WILL STRUCTURALLY CARRY WEIGHT AND APPLICATION OF THE UPPER PROFILE OF CONCRETE AND SUBBASE ASSEMBLY.

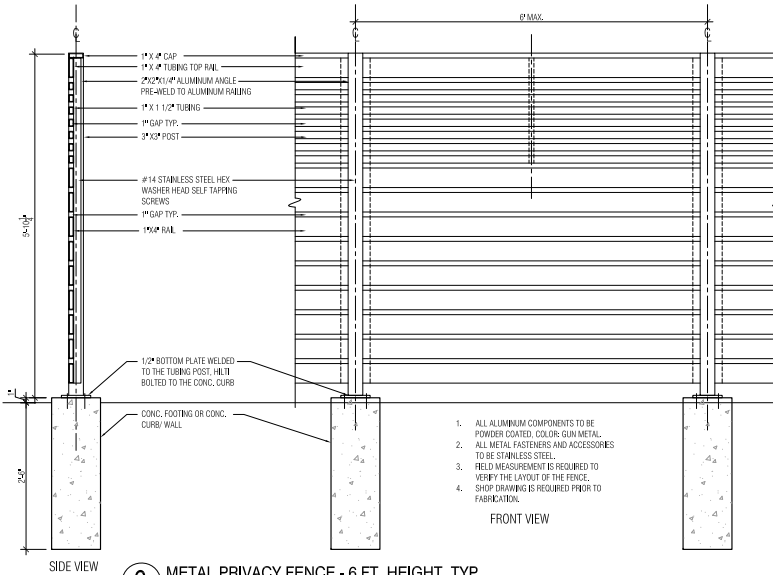


4 CONCRETE PAVING ON SLAB
SCALE: 1" = 1'-0"



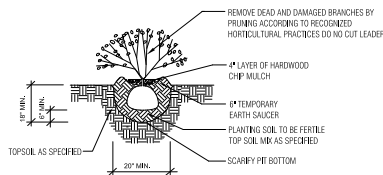
5 METAL FENCE - 3 FT. HEIGHT TYP.
SCALE: 1" = 1'-0"

1. ALL ALUMINUM COMPONENTS TO BE POWDER COATED, COLOR: GUN METAL.
2. ALL METAL FASTENERS AND ACCESSORIES TO BE STAINLESS STEEL.
3. FIELD MEASUREMENT IS REQUIRED TO VERIFY THE LAYOUT OF THE FENCE.
4. SHOP DRAWING IS REQUIRED PRIOR TO FABRICATION.

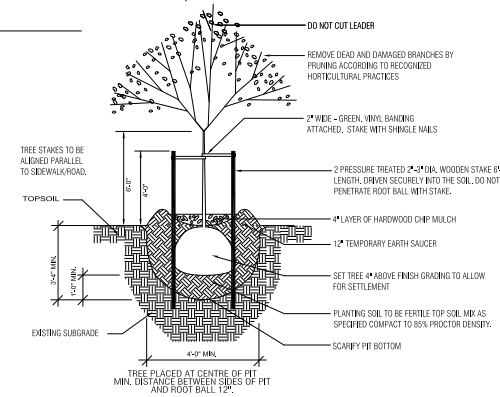


6 METAL PRIVACY FENCE - 6 FT. HEIGHT TYP.
SCALE: 1" = 1'-0"

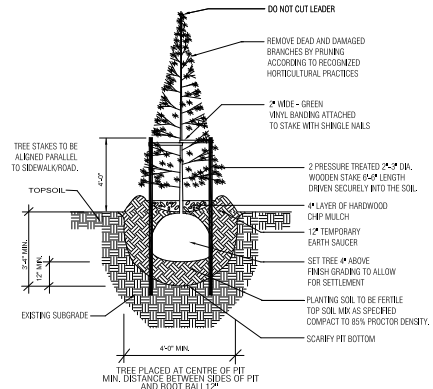
1. ALL ALUMINUM COMPONENTS TO BE POWDER COATED, COLOR: GUN METAL.
2. ALL METAL FASTENERS AND ACCESSORIES TO BE STAINLESS STEEL.
3. FIELD MEASUREMENT IS REQUIRED TO VERIFY THE LAYOUT OF THE FENCE.
4. SHOP DRAWING IS REQUIRED PRIOR TO FABRICATION.



7 SHRUB PLANTING
SCALE: n ts



8 DECIDUOUS TREE PLANTING
SCALE: n ts



9 CONIFEROUS TREE PLANTING
SCALE: n ts

REVISIONS/ISSUED
NOVEMBER 10, 2023
1. REVISED PER COMMENTS FROM CLIENT.
2. REVISED PER COMMENTS FROM CLIENT.
3. REVISED PER COMMENTS FROM CLIENT.
4. REVISED PER COMMENTS FROM CLIENT.

ISSUED FOR DP
NOVEMBER 10, 2023

PROJECT
MULTI FAMILY RESIDENTIAL DEVELOPMENT
14275 - 103A AVENUE, SURREY, BC.
DEVELOPER: DANIEL ROONEY
ARCHITECT: PADAM ARCHITECTS INC.
EOD: MARIYAMA ASSOCIATES INC. - ONIC LEO IN FOOT COURSE, VANCOUVER, B.C. (2024) - PH: 604-474-0997, FX: 604-474-0997, E: EOD@MARIYAMA.COM



DATE: MAY 13, 2023
DESIGN: RMM
DRAWN: RMM
CHECKED: RMM
SCALE: AS SHOWN
JOB NO.: M0009



SHEET TITLE
LANDSCAPE DETAILS
SHEET NO.
L - 05

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 27, 2023** PROJECT FILE: **7823-0001-00**

RE: **Engineering Requirements
Location: 14297 103A Ave**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 3.0 m x 3.0 m corner cut at 143 Street and 103A Avenue;
- Dedicate 1.0 m x 1.0 m corner cut at intersection of lane and 143 Street;
- Dedicate 6.0 m road allowance for Lane; and
- Register 0.50 m statutory right-of-way (SRW) along property line for maintenance.

Works and Services

- Construct the west side of 143 Street.
- Construct the north side of 103A Avenue.
- Construct Lane.
- Construct adequate servicing, including all service connections and fronting mains, required to service the site with water, sanitary, and drainage.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Services Manager

M51

Department: **Planning and Demographics**
Date: **November 2, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0001 00**

The proposed development of 66 Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	8
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Projected Number of Students From This Development In:	
Elementary School =	5
Secondary School =	2
Total Students =	7

Current Enrolment and Capacities:	
Lena Shaw Elementary	
Enrolment	664
Operating Capacity	569
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

Summary of Impact and Commentary

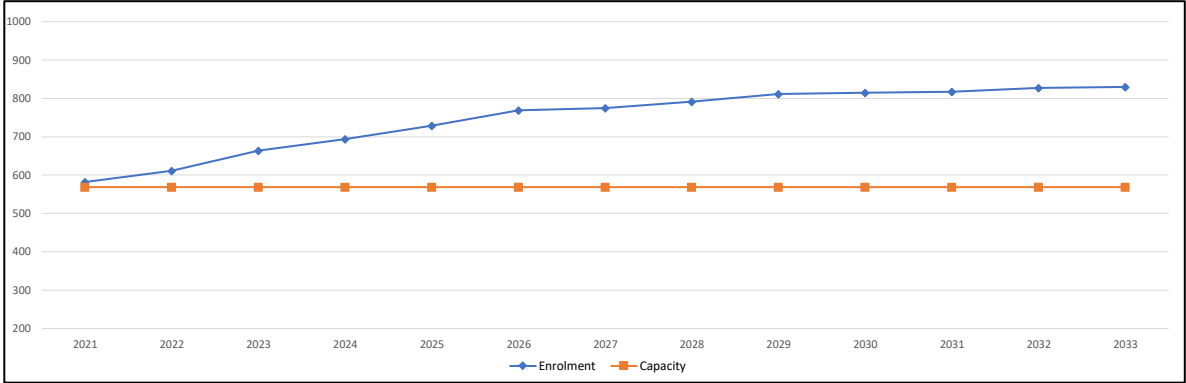
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 830 students. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested an 8-classroom addition. The Ministry of Education and Child Care has not approved funding for this project.

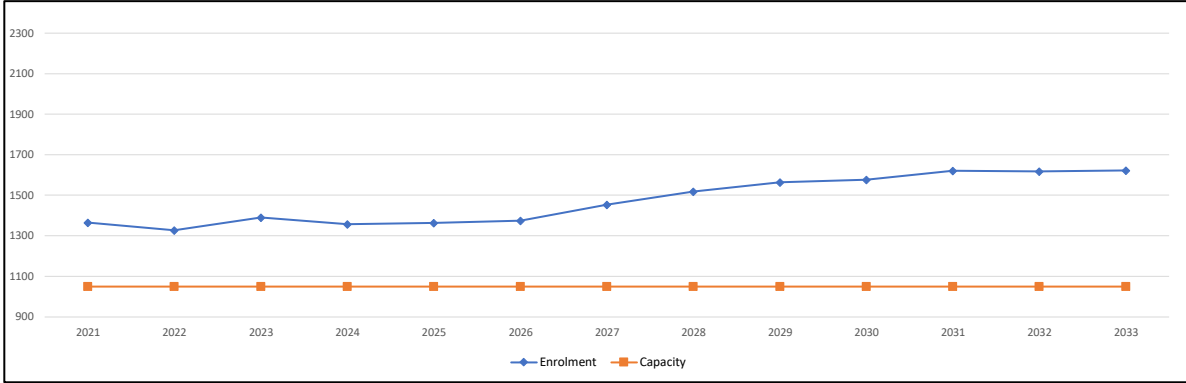
Guildford Park Secondary is currently operating at 132% and is projected to minimally grow. This school will be impacted by development along the Guildford 104th Ave Corridor when that NCP has been adopted. The impact of this plan will not be included in this projection until the plan has been approved. In May 2023, the District received capital funding approval from the Ministry to build a 450-capacity addition, targeted to open in the spring of 2028.

Lena Shaw Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

Surrey Project No: 18-0162

Address: 10113 173 Street

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Terry Thrale- PN6766A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	5	Protected Trees Identified	2
Protected Trees to be Removed	5	Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0	Protected Trees to be Retained	2
Total Replacement Trees Required:		Total Replacement Trees Required:	
<ul style="list-style-type: none"> - Alder & Cottonwoods to be removed (1:1) 1 X one (1) = 1 - All other species to be removed (2:1) 4 X two (2) = 8 	9	<ul style="list-style-type: none"> - Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0 - All other species to be removed (2:1) 0 X two (2) = 0 	0
Replacement Trees Proposed	7	Replacement Trees Proposed	0
Replacement Trees in Deficit	2	Replacement Trees in Deficit	-
Protected Trees to be Retained in Proposed Open Space or Riparian Areas	-		
*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas			

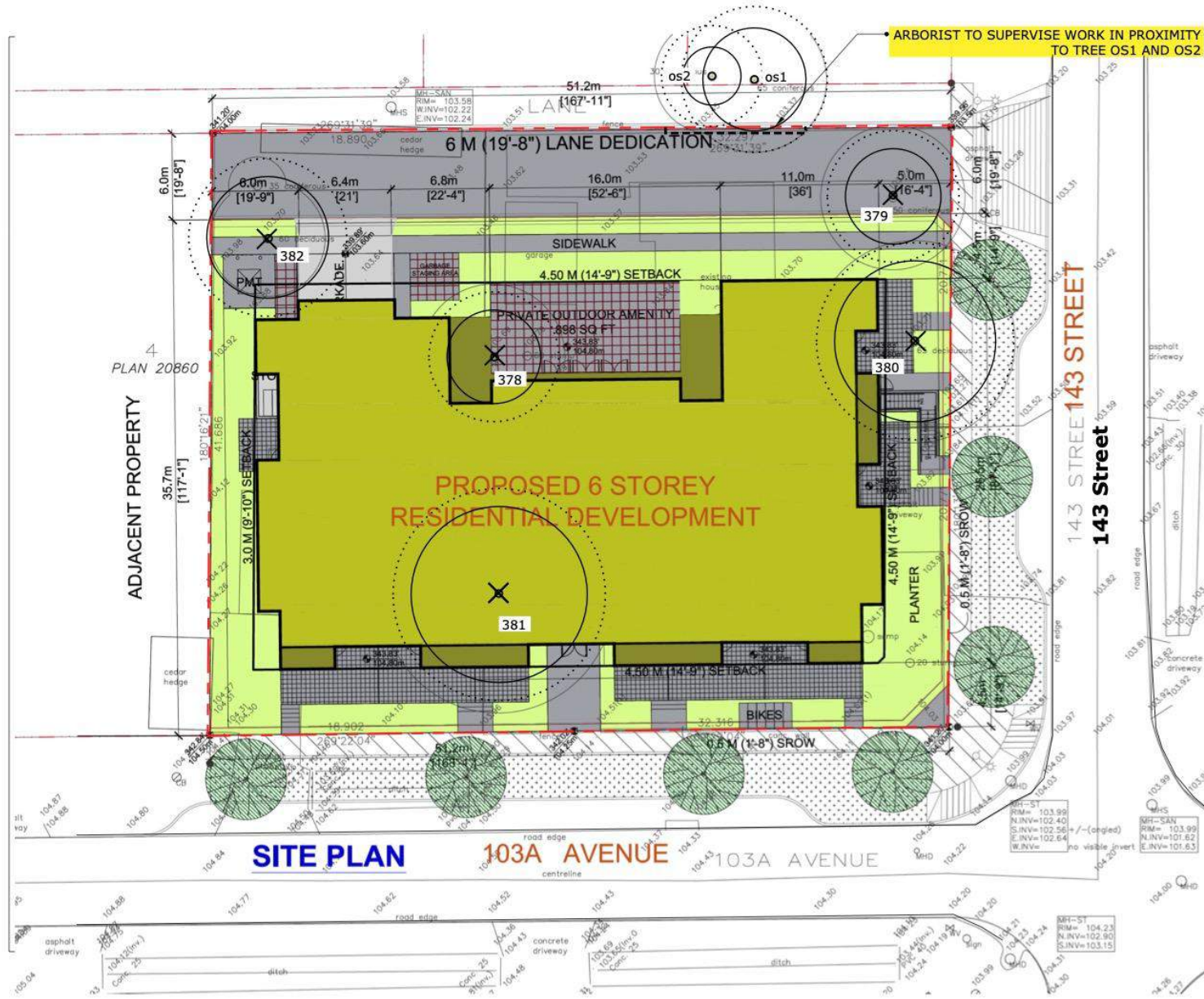
Summary, report and plan prepared and submitted by:



(Signature of Arborist)

May 9, 2022

Date



Tree Plan for Development at
10365 143 Street and 14275,
14297 103A Avenue, Surrey
May 9, 2022

Tree Inventory

Tag	Species	DBH (cm)	TPZ (m)
378	Cottonwood	50	3.00
379	Blue Spruce	51	3.06
380	Dogwood	86	5.16
381	Horsechestnut	94	5.64
382	Cherry	65	3.90
os1	Western Red Cedar	55	3.30
os2	Western Red Cedar	31	1.86

Legend

x = remove tree
 (tree barrier)

1m for 1:250 10m

N