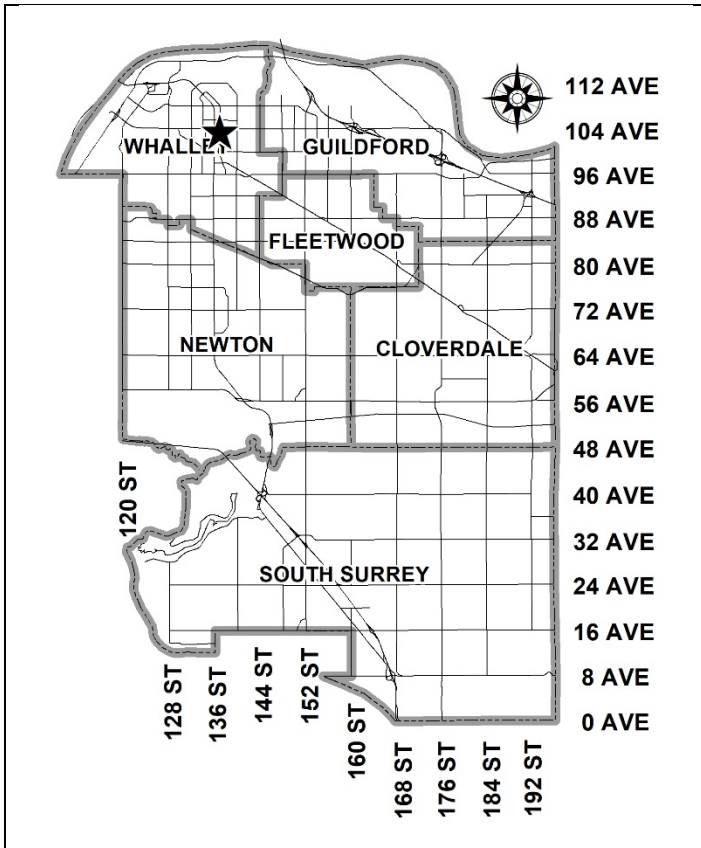


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0049-00

Planning Report Date: June 5, 2023



PROPOSAL:

- Development Permit
- Development Variance Permit

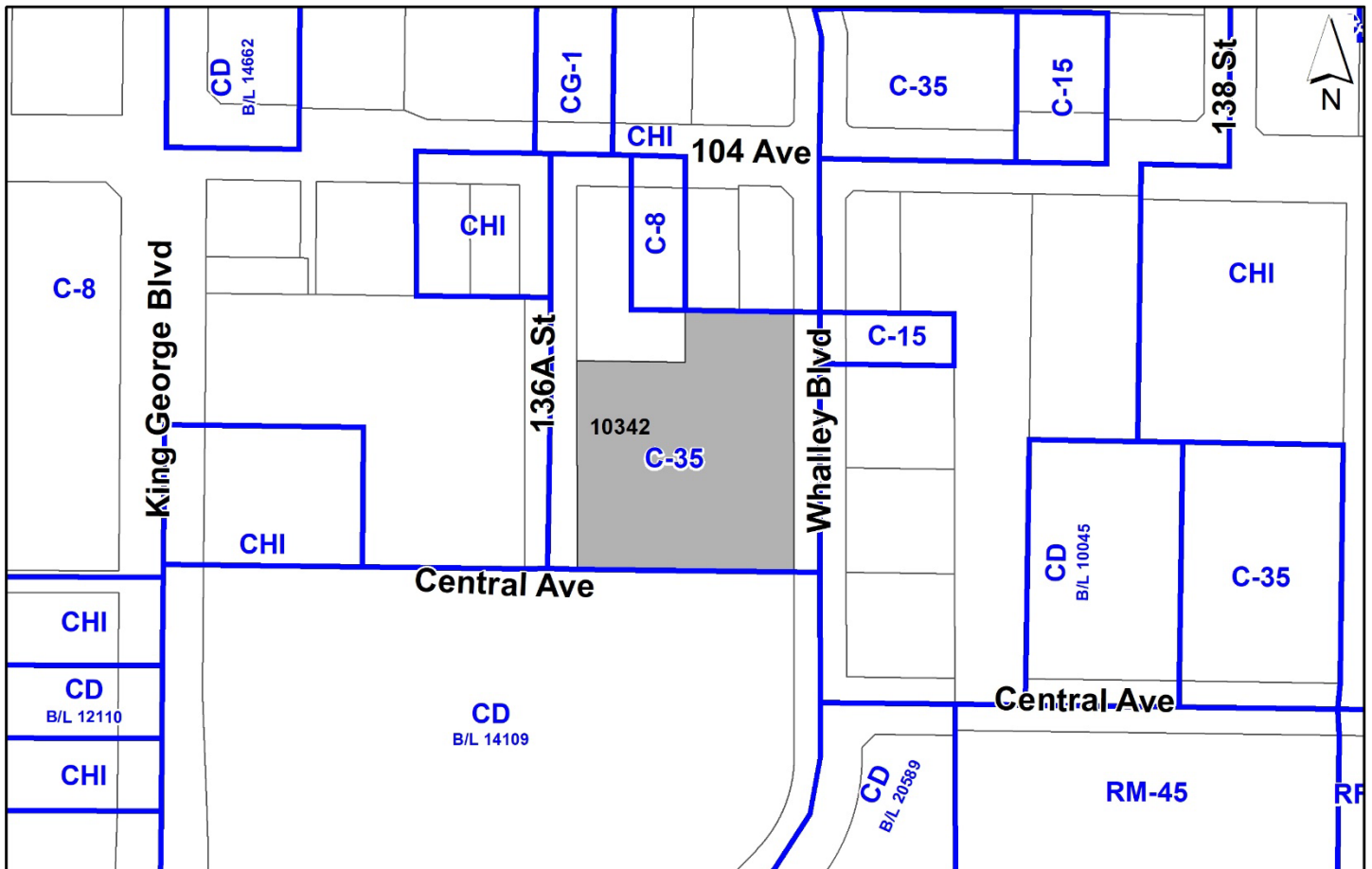
to permit the development of a temporary modular real estate sales centre and office building in the City Centre.

LOCATION: 10342 - 136A Street

ZONING: C-35

OCP DESIGNATION: Downtown

CCP DESIGNATION: Mid to High Rise Residential and Mid to High Rise Mixed Use



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to draft a Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing variances to front and side yard setback and height requirements of the CHI Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the “Downtown” designation in the Official Community Plan (OCP).
- The proposal complies with the “General Urban” designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal will allow construction of a temporary modular sales centre and office building in the northeast corner of the subject site (future proposed remnant Lot 2) from which the applicant will market units for a proposed residential high-rise and a mixed-use building.
- The requested setback and height variances will allow for an efficient temporary use of the site until such time as it is assembled and developed in accordance with its “Mid to High Rise Mixed Use” City Centre Plan designation.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP, and the proposed temporary building provides for an attractive interim use of the site.
- The related high-rise market residential tower and mixed-use building were granted Third Reading under Application No. 7918-0141-00 on May 31, 2021, and will be constructed south of the proposed temporary sales centre/office building, across the future lane on future proposed Lot 1.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7923-0049-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7923-0049-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side (north) yard setback, from 7.5 metres to 1.3 metres;
 - (b) to reduce the minimum front (east) yard setback, from 7.5 metres to 1.5 metres;
 - (c) to reduce the minimum side (south) yard setback, from 7.5 metres to 1.7 metres; and
 - (d) to vary the maximum principal building height, from 9 metres to 10.5 metres.
2. Council instruct staff to resolve the following issue prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) amend the Section 219 Restrictive Covenant for "No Build" on proposed Lot 2 required as a condition of Final Approval of Application No. 7918-0141-00 to permit a temporary modular real estate sales centre/office building; and
 - (c) completion of Application No. 7918-0141-00 including the subdivision and creation of the subject lot (remnant proposed Lot 2).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Vacant, 7,520 square metre lot (under Application No. 7918-0141-00. Third Reading has been granted for the development of a 36-storey mixed-use building).	Mid to High Rise Mixed-Use and Mid to High Rise Residential	C-35

Direction	Existing Use	CCP Designation	Existing Zone
North:	One-storey commercial and three-storey office buildings.	Mid to High Rise Mixed-Use	C-35, CHI
East (Across Whalley Boulevard):	One-storey commercial and three-storey office buildings.	Mid to High Rise Residential	C-8, C-15
South:	One-storey commercial retail (Canadian Tire).	Mid to High Rise Residential	CD (By-law No. 14109)
West (Across 136A Street):	One-storey commercial retail and three-storey office building (London Station).	Mid to High Rise Mixed-Use	C-8

Context & Background

- The subject property is located at 10342 – 136A Street in the Central Downtown District of City Centre. The site is designated "Downtown" in the Official Community Plan (OCP) and zoned "Downtown Commercial Zone (C-35)". The northeast portion of the site is designated "Mid to High Rise Mixed-Use" in the City Centre Plan, while the remaining southern portion is designated "Mid to High Rise Residential". Under Application No. 7918-0141-00, which received Third Reading on May 31, 2021, the southern portion will be amended to "Mid to High Rise Mixed-Use".
- Under Application No. 7918-0141-00, the subject property will be subdivided into two (2) lots to accommodate a 12.0-metre east/west lane. After the required road and lane dedication, proposed Lot 1 (tower site) will be approximately 5,140 square metres in size, while the proposed Lot 2 (remnant lot) will be approximately 707 square metres in size.
- The proposed temporary modular sales centre/office building is proposed to be in the northeastern corner of the property, which will be the future/proposed Lot 2 (remnant lot) when Application No. 7918-0141-00 is concluded.
- Future Lot 2, where the temporary building is proposed, will be rezoned to Highway Commercial Industrial Zone (CHI) to be consistent with the abutting properties to the north (13704/18 Whalley Boulevard), once Application No. 7918-0141-00 receives final approval.

DEVELOPMENT PROPOSAL

Planning Considerations

- The temporary modular sales centre/office building will be used primarily to market the proposed high-rise market residential tower and mixed-use development on future proposed Lot 1.

- The proposed temporary building is permitted in the CHI Zone in City Centre.
 - Should Council support the proposed Development Variance Permit and Development Permit, the proposed sales centre/office building is anticipated to be in full operation by early 2024.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Surrey Fire Department: No concerns.

Transportation Considerations

- The applicant is required to construct the Green Lane and access from Whalley Boulevard.

POLICY & BY-LAW CONSIDERATIONS

- The proposed temporary building supports a higher density development within City Centre by serving primarily as the real estate sales centre for a high-rise mixed-use building under Application No. 7918-0141-00.

Setback and Height Variances

- The applicant is requesting the following variances:
 - to reduce the minimum side (north) yard setback, from 7.5 metres to 1.3 metres;
 - to reduce the minimum front (east) yard setback, from 7.5 metres to 1.5 metres;
 - to reduce the minimum side (south) yard setback, from 7.5 metres to 1.7 metres; and
 - to vary the maximum principal building height, from 9 metres to 10.5 metres.
- The proposed setbacks allow for a more urban and active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines as well as the Development Permit (Form and Character) design guidelines in the Official Community Plan.
- The proposed front setback provides for an active engaged street frontage, noting that the actual setback to the existing sidewalk along Whalley Boulevard is 6.0 metres.
- The proposed building height variance allows for mechanical enclosures and stairway access to viewing platform on the roof, and is an appropriate height for a commercial use in City Centre.

- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 20, 2023 and the Development Proposal Signs were installed on March 24, 2023. Staff have received no responses to date.

DEVELOPMENT PERMITS

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The proposed building is sited close to Whalley Boulevard in order to provide an active street frontage. The front entrance to the proposed sales centre will be from Whalley Boulevard, allowing the building to engage with the street.
- The proposed modular design is intentionally simple to reflect the temporary nature of the building. The overall massing has some variation in height, with slightly higher massing along the front elevation.
- The modular form allows the construction to be affordable, allows the building to be removed in a simple and cost-effective manner once the sales centre/office use is no longer required, and allows it to be re-used in a different location, without generating significant construction waste.
- The exterior elevation is finished in metal cladding with contrasting colours (red, white and grey) to provide some visual interest and differentiation.
- The two-storey, approximately 412-square metre building will include a display area, offices, staff room, kitchen and washrooms. A viewing platform is located on the rooftop.
- The main floor of the proposed building will house the temporary sales centre for the adjacent high rise development, which is currently at Third Reading.
- The second floor is proposed to contain office space that will be occupied by the applicant for marketing, sales and construction management.
- A surface parking lot with spaces for 11 vehicles will be provided on-site for staff and potential purchasers.
- The applicant has agreed to address minor revisions related to the building siting prior to issuance of the Development Permit.
- Commercial signage will be reviewed as part of a separate, subsequent Development Permit application.

Landscaping

- The surface parking lot perimeter will include landscaping such as low shrubs and trees (Sweetgum).
- The applicant also proposes landscaping at the front of the building, along Whalley Boulevard. The finalized landscaping details will be confirmed prior to final issuance of the Development Permit.

TREES

- Under the previous Development Application No. 7918-0141-00, it was confirmed that there are no trees on the subject property. Therefore the applicant was not required to submit an Arborist Report.
- The applicant will be planting two new trees (Sweetgum) on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations and Renderings
Appendix II.	Engineering Summary
Appendix III.	Development Variance Permit No. 7923-0049-00
Appendix IV.	Aerial Photo

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

MS/ar



seal

No.	Description	Date
2	Issued for TDP application	Feb 16, 2023
3	Response to CoS comment	Apr 5, 2023

Janda Tower - PC/Office

address
10342 136A Street,
Surrey, BC

Project No.: 2205

phase

Issued for Temporary Use Permit

sheet title

Site Plan

drawn by checked by
Author Checker

scale date
As indicated February 16, 2023

sheet no.

A1.1

PROJECT DATA

Occupancy:
Temporary Proposed (Remnant Parcel Only):
Group D - Office / Presentation Centre

Civic Address:
10342 136A Street,
Surrey, BC, V3T 4H4

Legal Description:
LOT 8 BLOCK 3N SECTION 24 RANGE 2W PLAN
NWP61693 NWD (AD248694)

PID: 016-703-341

Zoning:
Design: C-35 (Downtown Commercial Zone)
Temporary Proposed: CD - Site Specific

OCF Designations: Downtown

Site Area: 707 m² | 2,610 ft² (Remnant Parcel Only)

Lot Coverage:
Proposed: 206m² / 707m² = 0.29

FSE: (see sheet AD.2 for detailed area)
Proposed: 412 / 707 = 0.58
main floor = 206.1 m²
upper floor = 206.1 m²

Siting of Buildings and Structures:

Front: 1.4 m
Side: 1.3 m
Rear: 21.5 m
Side/Lane: 1.77 m

Height Permitted:

Height Permitted:
Height Shown: 8.5m

Parking Spaces:

Per Part 5 of Surrey Zoning Bylaw
= 1.4 space per 100 m² of gta - offices (City Centre)
412m²/100m² x 1.4 = 6 spaces

Minimum required: 6 (max 35% of small car spaces)
Provided: 11 (including 3 small car stalls and 1 van-accessible parking space)

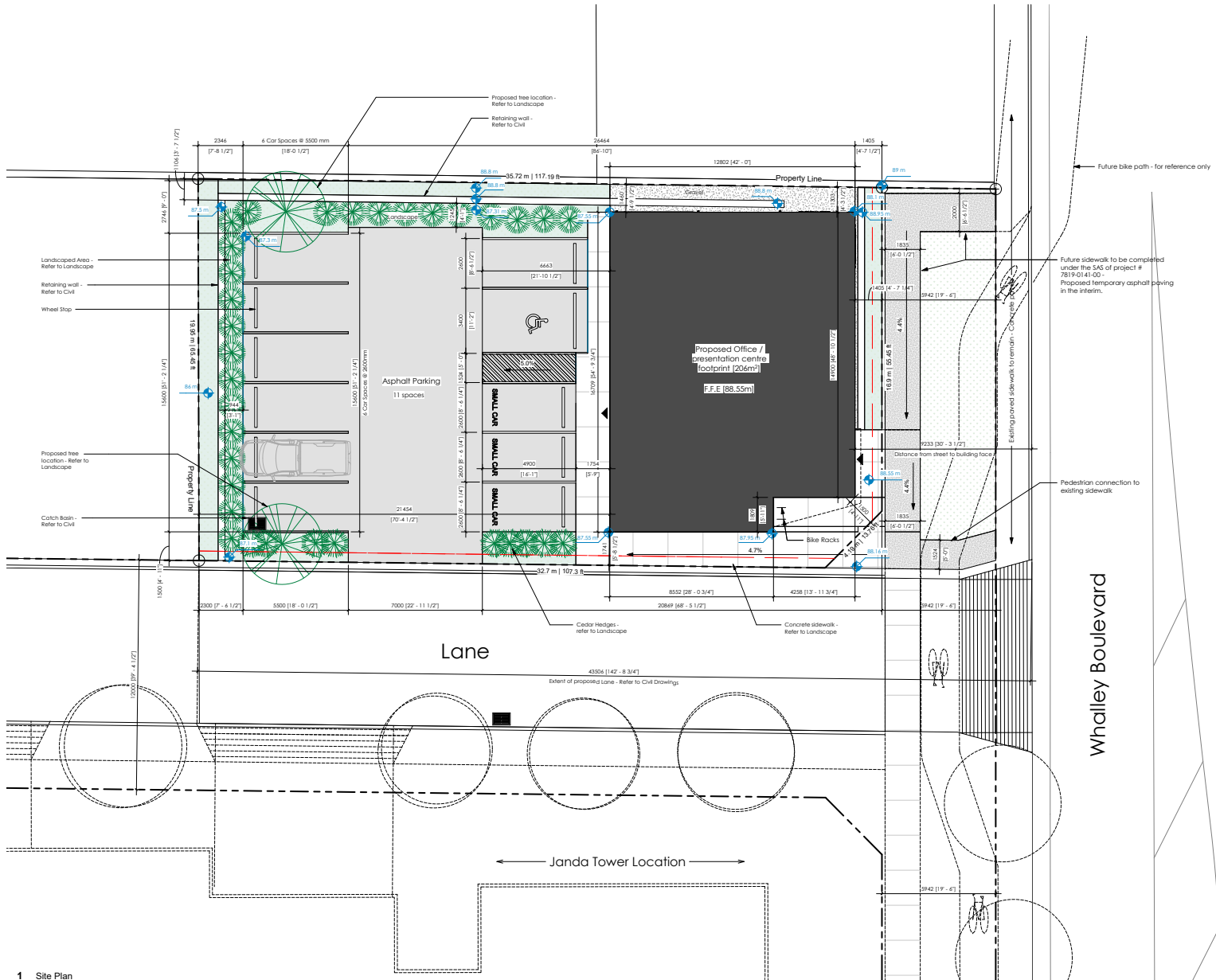
Designed Under Part 3 BC Building Code 2018

Site Area Summary

Total Site Area = 707 m² | 2,610 ft²
Proposed Bldg: 206 m² | 2,219 ft²
Parking: 285 m²
Sidewalk: 70 m²
Retaining wall: 11 m²
Total Hardscape = 572 m² | 6,157 ft²
Landscape: 133 m²
Gravel: 12 m²
Total Landscape = 135 m² | 1,453 ft²

Graphic Legend - Site Plan

- ENTRY / EXIT
- Building Outline
- Landscaped area - Refer to Landscape
- Parking - Asphalt
- Gravel - Refer to Landscape
- Sidewalk - Concrete
- Property Line
- Setback / SRW
- Proposed planting - Refer to Landscape Drawings
- Proposed Catch Basin - Refer to Civil Drawings
- Proposed Elevation - Refer to Civil Drawings



1 Site Plan
scale: 1:88" = 1'-0"

2023-02-16

No.	Description	Date
1	For Client Review	Jan 25, 2020
2	Issued for RFP application	Feb 16, 2023

Janda Tower - PC/Office

address
10342 136A Street,
Surrey, BC

Project No.: 2205

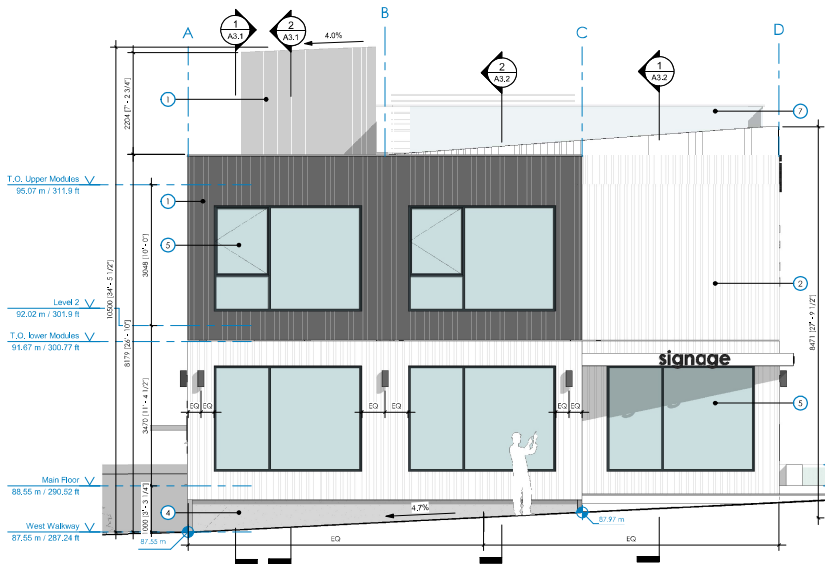
phase
Issued for Temporary Use Permit

sheet title
Elevations

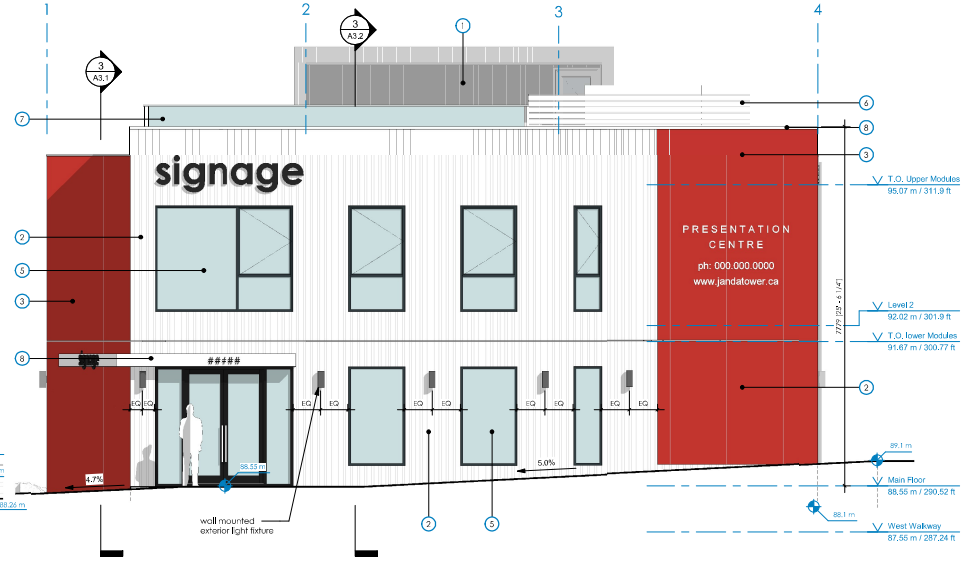
drawn by _____ checked by _____

author _____ checker _____

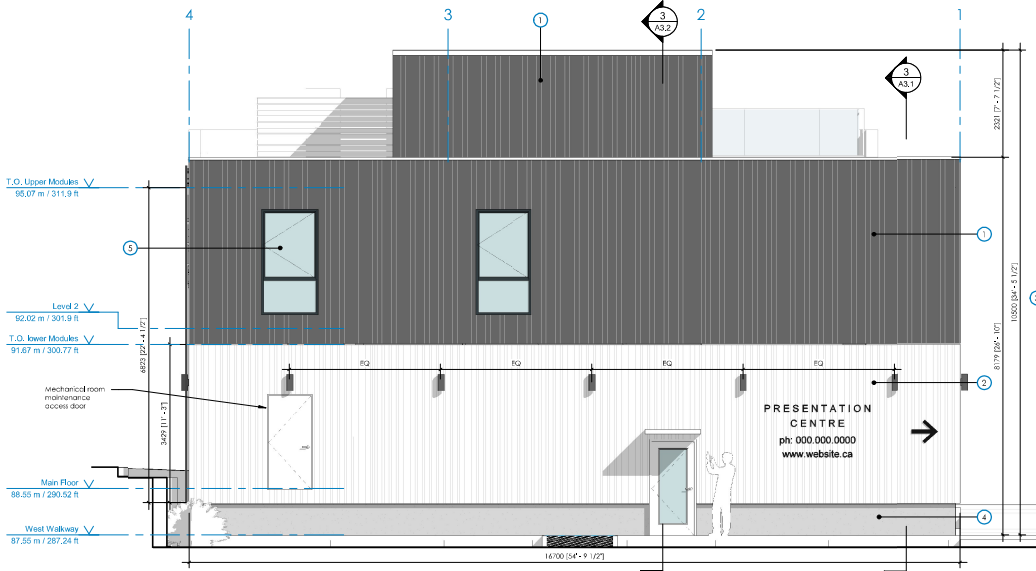
scale _____ date _____



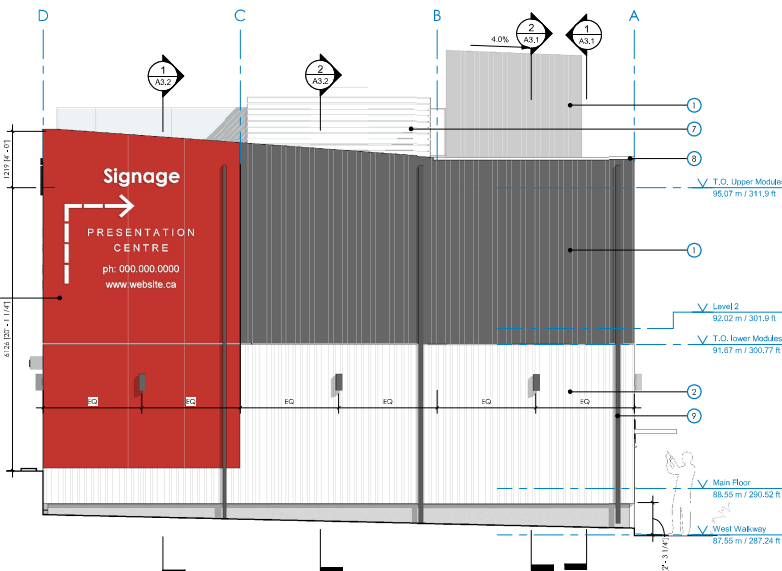
1 South Elevation (Along Lane)
scale: 1 : 50



2 East Elevation (Along Whalley Blvd)
scale: 1 : 50



3 West Elevation
scale: 1 : 50



4 North Elevation
A2.1 scale: 1 : 50

Exterior Finishes Legend

- ① Vertical Metal Siding - Dark Grey / Black
- ② Metal Siding - Light Grey / White
- ③ Double Glazed Window - Black Frame
- ④ Mechanical Unit Screen - Powder Coated Aluminum
- ⑤ Guardrail - Steel frame and safety glass



1. View from Southeast corner along Whalley Boulevard



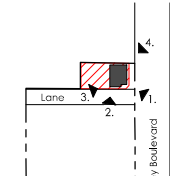
2. View from South (Lane)



3. View from West (Lane)



4. View from Northeast corner along Whalley Boulevard



seal



2023-02-16

No.	Description	Date
1	For Client Review	Jan 29, 2020
2	Issued for RFP application	Feb 16, 2023

**Janda Tower -
PC/Office**

address
10342 136A Street,
Surrey, BC

Project No.: 2205

phase
Issued for Temporary Use
Permit

sheet title
Exterior Perspectives

drawn by checked by

CP CP

scale date

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 25, 2023** PROJECT FILE: **7823-0049-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 10342 136A St**

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the subsequent Building Permit associated with the Temporary Use Permit:

- Construct Green Lane and access from Whalley blvd.
- Construct storm infrastructure upgrades to adequately capture increased road runoff.
- Construct on site water quality treatment features
- Register a restrictive covenant for the on-site storm water mitigation, water quality and system maintenance.
- Construct a new metered water service connection.
- Provide metered water, storm and sanitary service connection to the lot, as required.

A servicing agreement is required.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

RH/th

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0049-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 016-703-341

Lot A (AD2488694) Section 26 Block 5 North Range 2 West New Westminster District Plan 61693

10342 - 136A Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F. of Part 39 Highway Commercial Industrial Zone (CHI), the minimum side (north) yard setback is reduced from 7.5 metres to 1.3 metres.

- (b) In Section F. of Part 39 Highway Commercial Industrial Zone (CHI), the minimum front (east) yard setback is reduced from 7.5 metres to 1.5 metres.
 - (c) In Section F. of Part 39 Highway Commercial Industrial Zone (CHI), the minimum side (south) yard setback is reduced from 7.5 metres to 1.7 metres.
 - (d) In Section G. of Part 39 Highway Commercial Industrial Zone (CHI), the maximum principal building height is increased from 9 metres to 10.5 metres.
-
- 5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

 - 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

 - 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

 - 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

 - 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



Client

jandagroup

980

Schedule A

A.1.1

PROJECT DATA

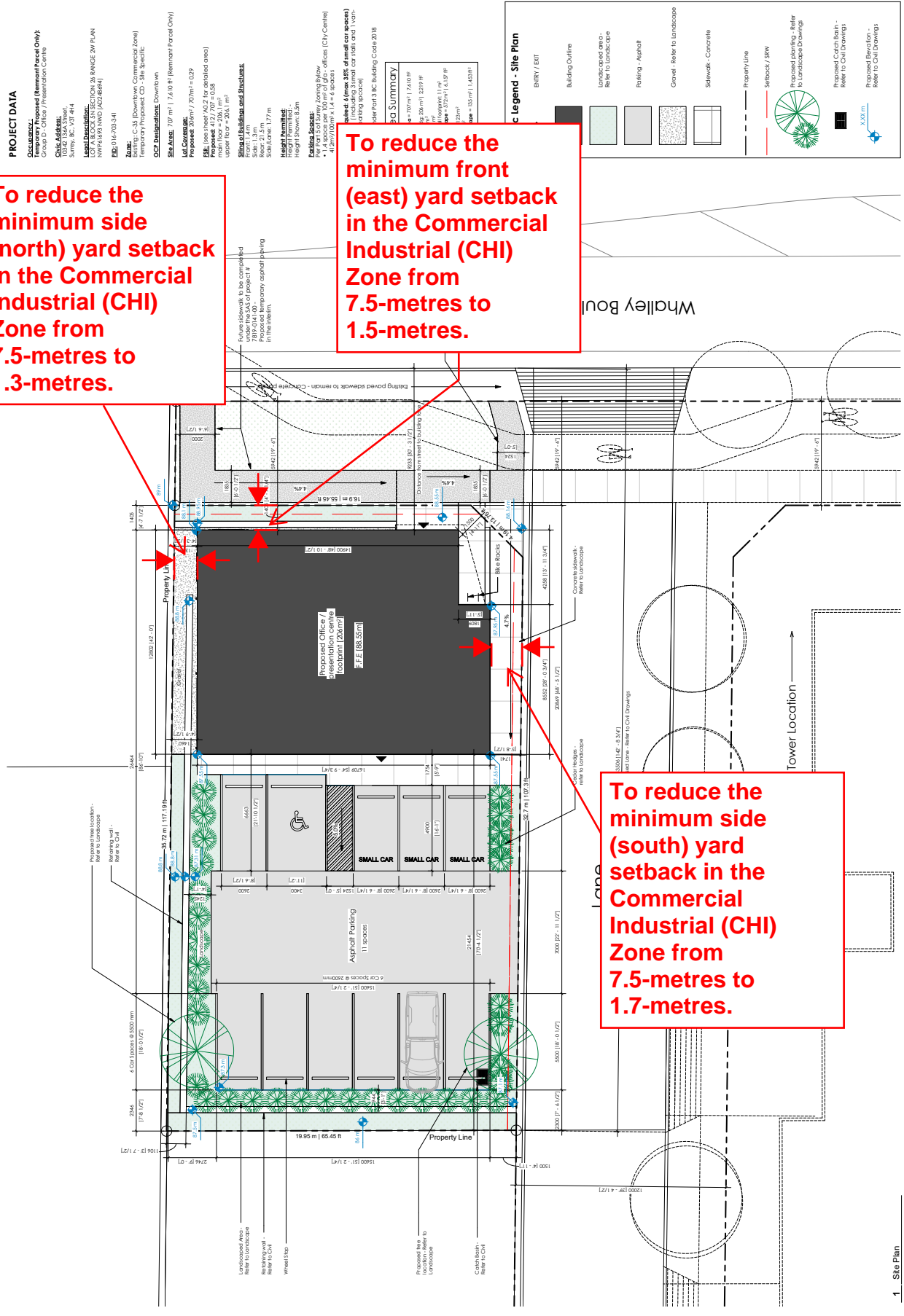
Occurrence: Proposed (Remain/Fence Only); Temporary Office / Presentation Centre
Site Address: 10342 136A Street, Surrey, BC, V3T 4H4
Lot/Block/Zone: ZONE 24 RANGE 2W PLAN WVP41933 MND (R204664)
Site Area: 707 m² (7.61 ha) (R Remnant Parcel Only)
DCP Designation: Downtown
Topic: Bidding, C-38 (Downtown Commercial Zone)
Temporary Proposed CD - Site Specific:
Site Area: 707 m² (7.61 ha) (R Remnant Parcel Only)
Lot Coverage: Proposed: 20m² / 707m² = 0.29
Proposed: 417 / 707 = 0.58
PS: (see sheet A0.2 for detailed notes)
Upper floor: 204.1 m²

Site of Building and Structures:
 Front: 1.4m
 Side: 21.5m
 Subjacent: 177m
Height Limiting:
 Height: 8.5m
Parking Spaces:
 Per Part 5.01 Survey, zoning below office (City-Carling) 412m² (10.00MP A, L4 & 6 spaces)
Height: 4 (max. 30% of small car spaces) (including 3 small car stalls and 1 van-pooling space)
 Refer Part 3.8C Building Code 2018

To reduce the minimum front (east) yard setback in the Commercial Industrial (CHI) Zone from 7.5-metres to 1.5-metres.

To reduce the minimum side (north) yard setback in the Commercial Industrial (CHI) Zone from 7.5-metres to 1.3-metres.

To reduce the minimum side (south) yard setback in the Commercial Industrial (CHI) Zone from 7.5-metres to 1.7-metres.



No.	Description	Date
1	REVISED ELEVATIONS	2023-02-16
2	REVISED ELEVATIONS	2023-02-16
3	REVISED ELEVATIONS	2023-02-16
4	REVISED ELEVATIONS	2023-02-16
5	REVISED ELEVATIONS	2023-02-16
6	REVISED ELEVATIONS	2023-02-16
7	REVISED ELEVATIONS	2023-02-16
8	REVISED ELEVATIONS	2023-02-16
9	REVISED ELEVATIONS	2023-02-16
10	REVISED ELEVATIONS	2023-02-16
11	REVISED ELEVATIONS	2023-02-16
12	REVISED ELEVATIONS	2023-02-16
13	REVISED ELEVATIONS	2023-02-16
14	REVISED ELEVATIONS	2023-02-16
15	REVISED ELEVATIONS	2023-02-16
16	REVISED ELEVATIONS	2023-02-16
17	REVISED ELEVATIONS	2023-02-16
18	REVISED ELEVATIONS	2023-02-16
19	REVISED ELEVATIONS	2023-02-16
20	REVISED ELEVATIONS	2023-02-16

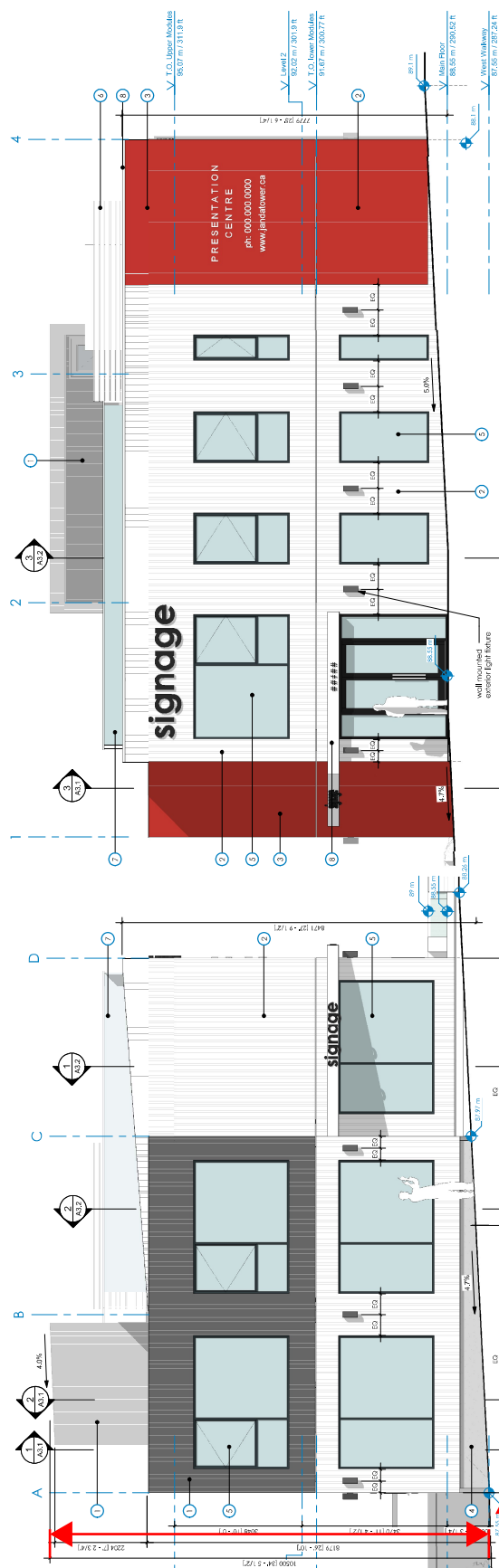
Janda Tower -
PC/Office

address
10342 136A Street,
Surrey, BC

Project No.: 2025
photo
Issued for Temporary Use
Permit

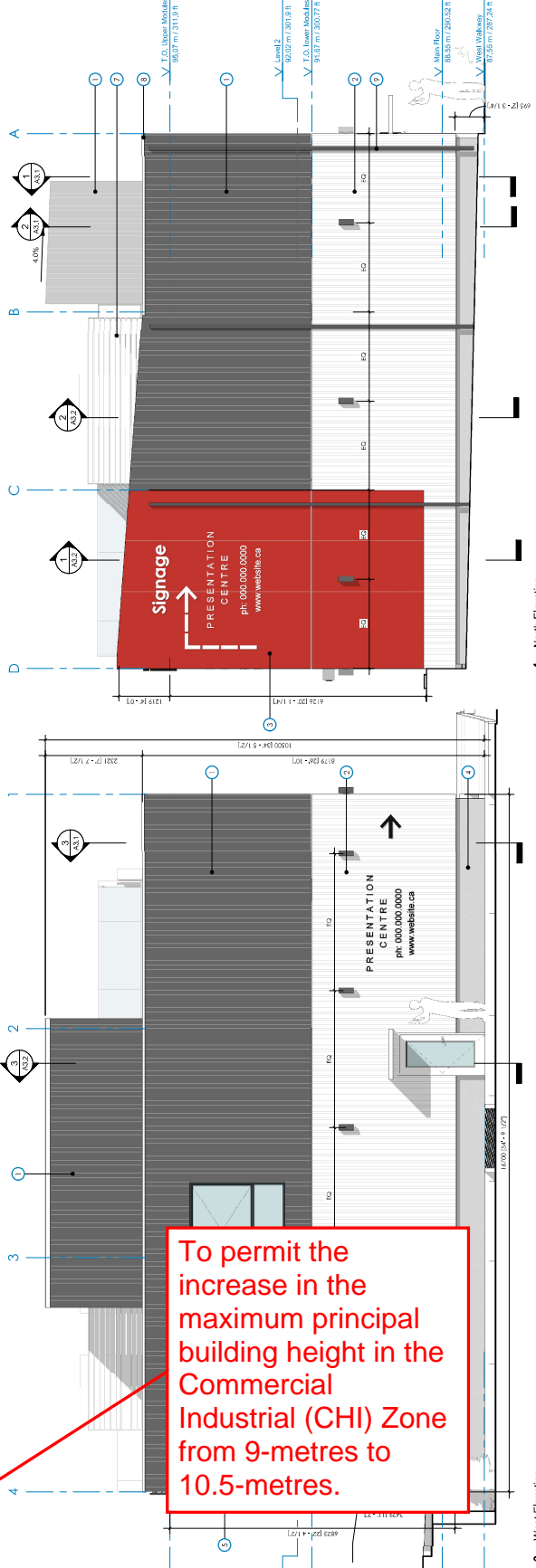
checked by
Author
Checker
date
scale

Elevations



2 East Elevation (Along Whalley Blvd)
scale: 1:50

1 South Elevation (Along Lane)
scale: 1:50



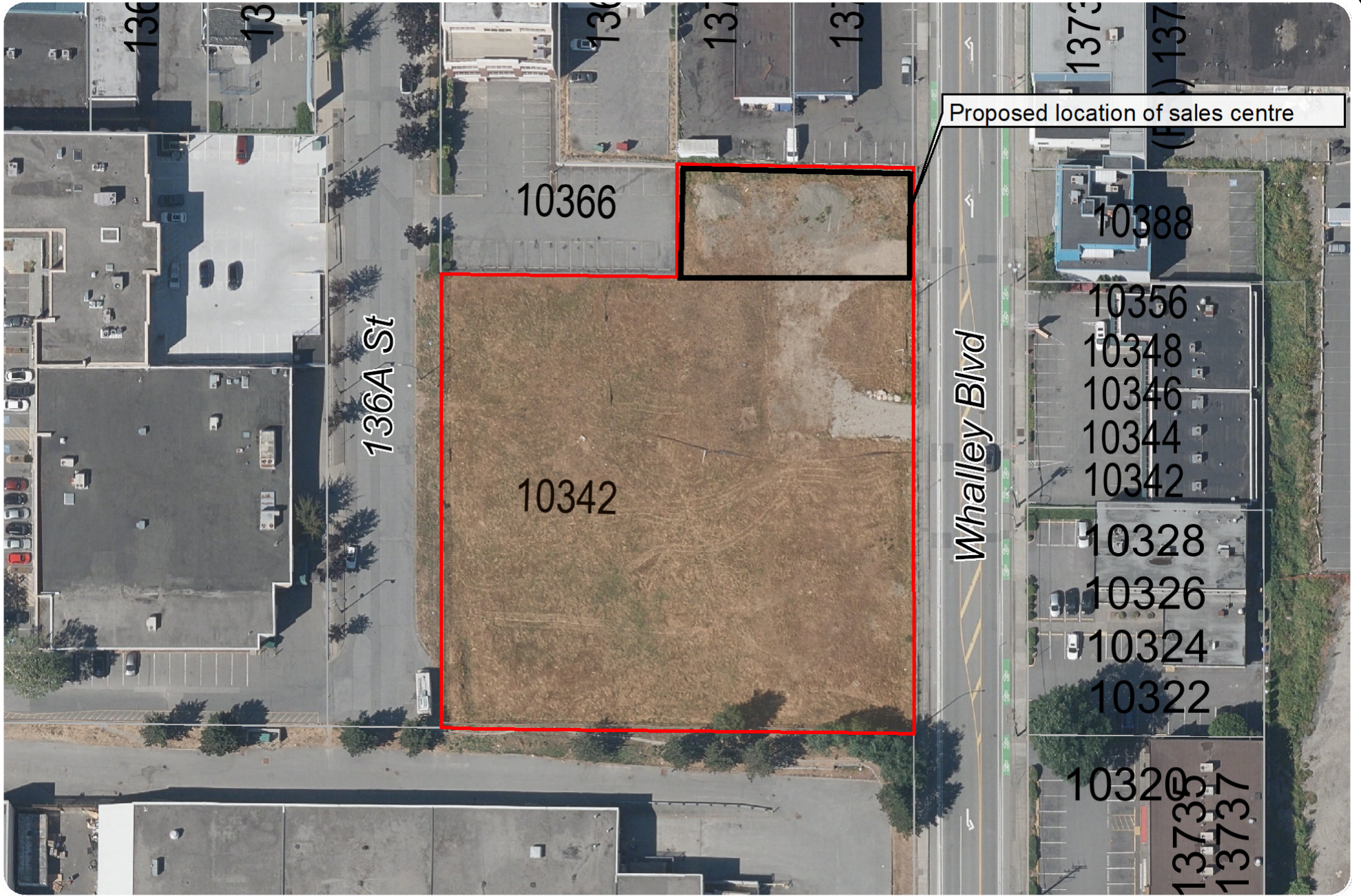
4 North Elevation
scale: 1:50

3 West Elevation
scale: 1:50

To permit the increase in the maximum principal building height in the Commercial Industrial (CHI) Zone from 9-metres to 10.5-metres.

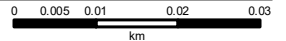
- Exterior Finishes Legend**
- 1 Vertical Metal Siding - Dark Grey / Black
 - 2 Vertical Metal Siding - Light Grey / White
 - 3 Glass - Clear
 - 4 Glass - Frosted
 - 5 Glass - Tinted
 - 6 Glass - Reflective
 - 7 Glass - Low-E
 - 8 Glass - Insulated
 - 9 Glass - Laminated
 - 10 Glass - Tempered
 - 11 Glass - Safety
 - 12 Glass - Acoustic
 - 13 Glass - Fire-Rated
 - 14 Glass - UV-Protective
 - 15 Glass - Energy-Efficient
 - 16 Glass - Low-Iron
 - 17 Glass - High-Performance
 - 18 Glass - Multi-Layered
 - 19 Glass - Self-Cleaning
 - 20 Glass - Anti-Static

- 1 Double Glazed Window - Black Frame
- 2 Triple Glazed Window - Black Frame
- 3 Triple Glazed Window - White Frame
- 4 Triple Glazed Window - Grey Frame
- 5 Triple Glazed Window - Bronze Frame
- 6 Triple Glazed Window - Silver Frame
- 7 Triple Glazed Window - Gold Frame
- 8 Triple Glazed Window - Copper Frame
- 9 Triple Glazed Window - Nickel Frame
- 10 Triple Glazed Window - Chrome Frame
- 11 Triple Glazed Window - Stainless Steel Frame
- 12 Triple Glazed Window - Aluminum Frame
- 13 Triple Glazed Window - Steel Frame
- 14 Triple Glazed Window - Iron Frame
- 15 Triple Glazed Window - Titanium Frame
- 16 Triple Glazed Window - Inconel Frame
- 17 Triple Glazed Window - Kevlar Frame
- 18 Triple Glazed Window - Carbon Fiber Frame
- 19 Triple Glazed Window - Fiberglass Frame
- 20 Triple Glazed Window - Composite Frame



Scale: 1:920

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2023-05-18