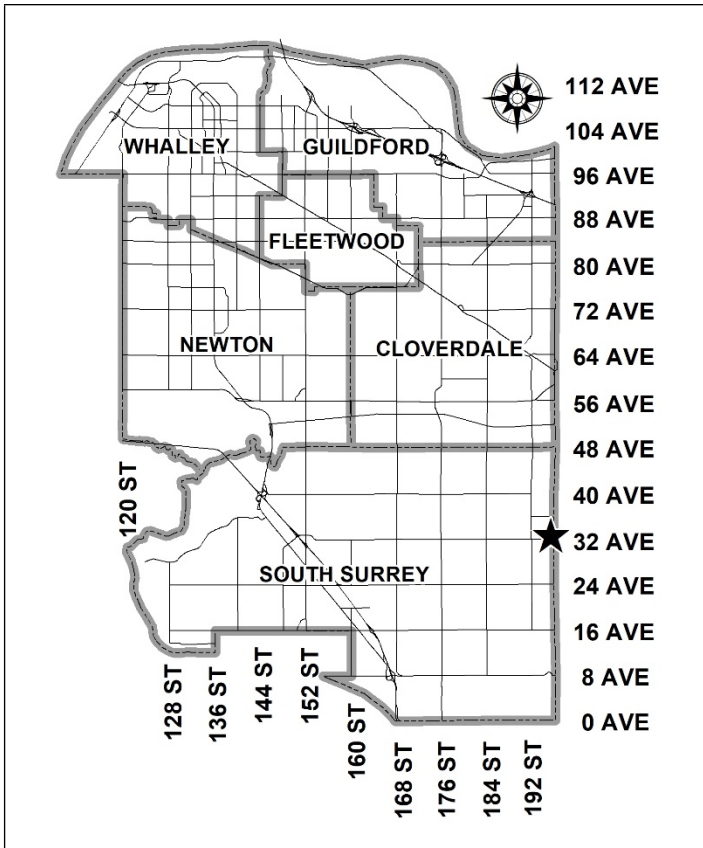


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**  
 Application No.: 7923-0166-00  
 Planning Report Date: September 25, 2023



**PROPOSAL:**

- **Rezoning** from A-1 to IB-1
- **Development Permit**
- **Development Variance Permit**

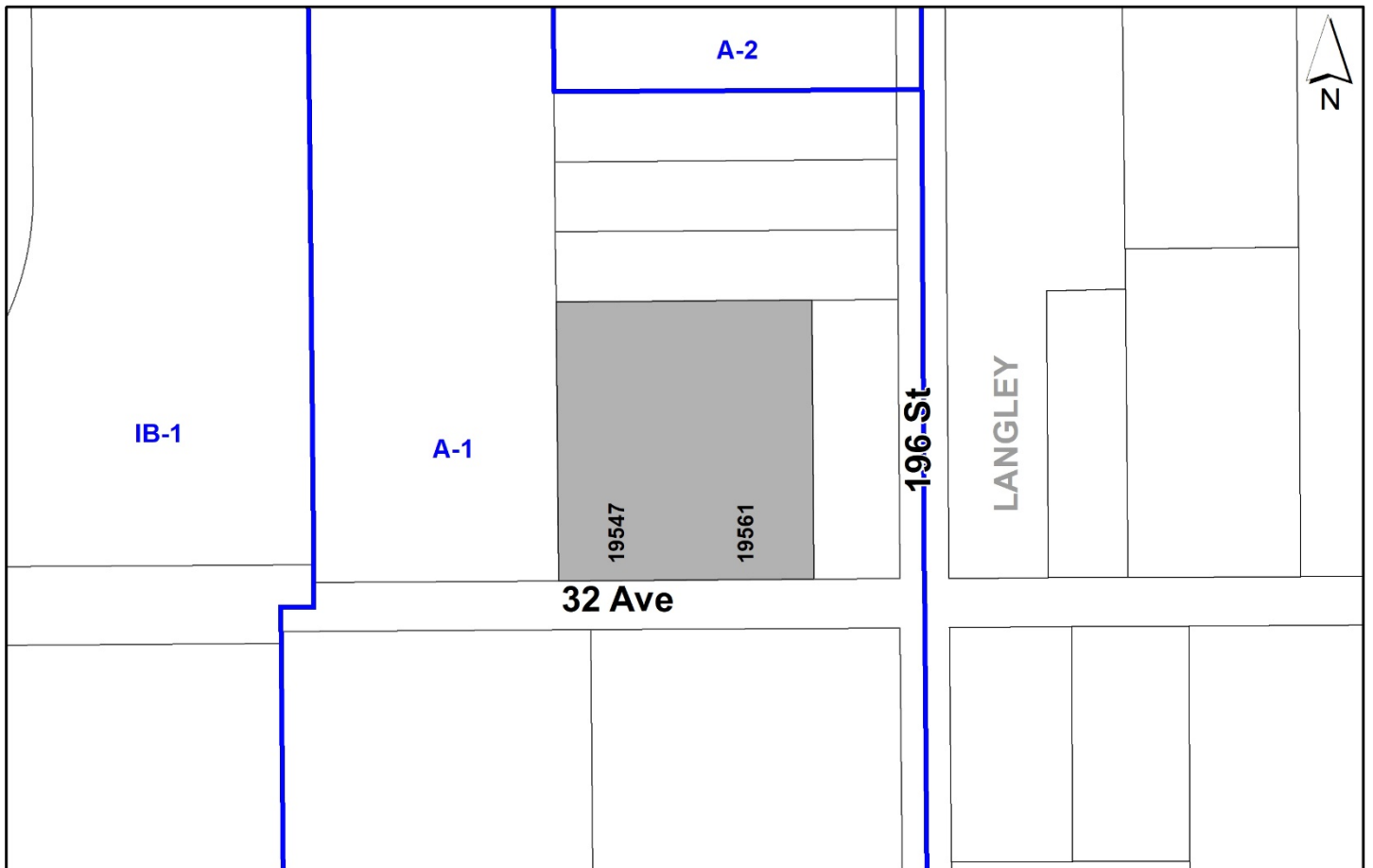
to permit the development of a multi-tenant industrial building in Campbell Heights.

**LOCATION:** 19547 - 32 Avenue  
 19561 - 32 Avenue

**ZONING:** A-1

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** "Business Park," "Open Space Corridors/Buffers," and "Landscaping Strips"



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the setback and parking requirements of the IB-1 Zone.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal generally complies with the land use designations in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed two light industrial buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed reduced building setbacks are consistent with the reduced building setbacks supported under the adjacent development application No. 7919-0035-00 and will not have a negative impact on the adjacent properties or the public realm. The reduced setbacks will also allow for a more efficient use of industrial lands.
- The proposed vehicle parking variance is supportable as the applicant has demonstrated that the number of parking spaces provided is sufficient to meet the peak demand. The applicant is proposing to construct the multi-use pathway on 32 Avenue fully at the applicant's cost (without typical arterial road upsizing reimbursement), which can support sustainable modes of transportation (e.g. biking). The applicant is also proposing to provide bicycle parking on-site to further support the proposed parking reduction.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7923-0166-00, generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7923-0166-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear yard setback of the IB-1 Zone from 7.5 metres to 1.2 metres to the principal building face; and
  - (b) to reduce the minimum number of on-site parking spaces from 92 to 88.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site; and
  - (j) registration of a Section 219 Restrictive Covenant for installation and maintenance of the landscape buffer.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Single detached dwelling on acreage agricultural property (outside ALR)	“Business Park,” “Open Space Corridors/Buffers,” and “Landscaping Strips”	A-1
North:	Single family dwellings	“Business Park,” “Open Space Corridors/Buffers,” and “Landscaping Strips”	A-1
East (Across 196 Street):	Single detached residential	Township of Langley	Township of Langley
South:	Single detached dwelling on acreage agricultural property (outside ALR)	“Business Park” and “Open Space Corridors/Buffers,”	A-1
West:	Single detached dwelling on acreage agricultural property (outside ALR)	“Business Park” and “Landscaping Strips”	A-1

**Context & Background**

- The subject site is approximately 2.98 acres in size and is located at the eastern boundary of Campbell Heights near 196 Street adjacent to the Township of Langley. The site is designated “Mixed Employment” in the Official Community Plan (OCP), “Business Park,” and “Open Space Corridors/Buffers,” in the Campbell Heights Local Area Plan (LAP). The property is zoned “General Agriculture Zone (A-1)”.

**DEVELOPMENT PROPOSAL**

**Planning Considerations**

- The applicant proposes to rezone the site from “General Agriculture Zone (A-1)” to “Business Park 1 Zone (IB-1),” a Development Permit for Form and Character, and a Development Variance Permit to permit the development of two 4,541 square metres (total) multi-tenant light impact industrial buildings with a shared loading bay area located in between.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	12,070 square metres
Road Dedication:	1,849 square metres
Undevelopable Area:	n/a
Net Site Area:	10,221 square metres

	Proposed
<b>Number of Lots:</b>	1
<b>Building Height:</b>	11.0 metres
<b>Floor Area Ratio (FAR):</b>	0.62
<b>Floor Area</b>	
Industrial:	4,541 square metres
Office:	1,876 square metres
Total:	6,417 square metres

## Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	The Parks Department has no concerns.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

## Transportation Considerations

### Road Network & Infrastructure

- As part of the subject proposal, the applicant will be providing the following road improvements:
  - Construction of a multi-use pathway on 32 Avenue and dedication towards the future arterial road widening; and
  - Dedication and construction of a new 195 Street along the western property line to the City's industrial local road standard.

### Traffic Impacts

- The subject proposal is anticipated to generate approximately one vehicle every one to two minutes, according to industry standard rates.
- A traffic impact analysis was not required as the traffic anticipated to be generated by the subject proposal was below the City's standard threshold.

### Access and Parking

- There are two accesses to the subject site proposed via 195 Street to the west. The southern access is for passenger vehicles and the northern is for trucks to enter the shared loading bay area.

- The Zoning Bylaw requires a total of 92 parking stalls to be provided on site. The applicant is proposing to provide 88 parking stalls, equivalent to a 4% reduction. The applicant is proposing to construct the multi-use pathway on 32 Avenue fully at the applicant's cost (without typical arterial road upsizing reimbursement), which can foster sustainable modes of transportation (biking etc.). The applicant is also proposing to provide bicycle parking on-site to further support the proposed reduction.

### **Sustainability Considerations**

- The applicant has met the majority of the sustainable development criteria, as indicated in the Sustainable Development Checklist; however, the applicant does not propose to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 75.
- The purpose of a high-albedo roof is to reduce the internal building temperatures by reflecting the sun and also to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.
- Instead, the applicant proposes an EPDM roof system with light grey washed river worn rock, with a Solar Radiance Index value of between 50 and 65.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

### **Official Community Plan**

#### Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan (OCP).

#### Themes/Policies

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

*(The proposed development is compatible with the Mixed Employment designation and adds a significant number of employment opportunities in Campbell Heights. The subject site is also located near major arterial transportation corridors of 196 Street and 32 Avenue, which provide important connections into and out of Campbell Heights.)*

- E1.31 – Support and encourage the high quality, environmentally responsible, sustainable development of employment lands.

*(The development proposes bioswales within the landscape buffer along 32 Avenue for stormwater management.)*

**Secondary Plans**

Land Use Designation

- The proposal complies with the "Business Park", and "Landscaping Strips" land use designation in the Campbell Heights Local Area Plan (LAP).

Themes/Objectives

- The proposed development is supported by the following guidelines in the Campbell Heights Local Area Plan:
- 6.5.1.4 – Design Guidelines – Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

*(The proposed development incorporates spandrel glazing over two-storeys as well as storefront glass along the 32 Avenue frontage. Each unit is delineated with detailed storefront glazing and coloured concrete tilt-up panels to differentiate the unit entrances from the remainder of the building.)*

- 6.5.1.4 – Design Guidelines – Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

*(The proposed building is architecturally coordinated with a modern appearance that promotes harmony through the use of consistent cladding materials, glazing, and landscaping.)*

**Zoning By-law**

- The applicant proposes to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
----------------------	---------------------------	----------

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
<b>Floor Area Ratio:</b>	1.0	0.63
<b>Lot Coverage:</b>	60%	43%
<b>Yards and Setbacks</b>		
North:	7.5 m	1.2 m
East:	3.6 m	6.0 m
South:	16.0 m	25.0 m
West (195 Street):	7.5 m	7.5 m
<b>Height of Buildings</b>		
Principal buildings:	14.0 m	11.0 m
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Industrial:	43	45
Office:	45	47
Total:	88	92

#### Setback/Parking Variances

- The applicant is requesting the following variances:
  - (a) to reduce the minimum rear yard setback of the IB-1 Zone from 7.5 metres to 1.2 metres to the principal building face; and
  - (b) to reduce the minimum number of on-site parking spaces from 92 to 88.
- The proposed reduced building setbacks are consistent with the reduced building setbacks supported under the adjacent development application No. 7919-0035-00 and will not have a negative impact on the adjacent properties. The reduced setbacks will also allow for a more efficient use of industrial lands.
- The Zoning Bylaw requires a total of 92 parking stalls to be provided on site. The applicant is proposing to provide 88 parking stalls, equivalent to a 4% reduction. The applicant is proposing to construct the multi-use pathway on 32 Avenue fully at the applicant's cost (without typical arterial road upsizing reimbursement), which can support sustainable modes of transportation (e.g. biking). The applicant is also proposing to provide bicycle parking on-site to further support the proposed parking reduction.

#### Sign By-law

- The applicant proposes individual unit tenant fascia signage in channel lettering for both buildings. All proposed signage will require a separate Sign Permit and need to comply with the provisions of the Sign By-law.



## Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 12, 2023 and the Development Proposal Signs were installed on July 18, 2023. Staff received no responses from neighbouring properties.

## Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- Overall, the buildings are proposed to have a modern, linear appearance with architectural emphasis placed along the street facing facades through the use of storefront glazing and concrete tilt-up panels in an accent colour, along with a mix of materials and complimentary colours.
- The buildings are proposed to be constructed of tilt-up concrete panels painted in the colours grayish, caviar, polished concrete and daisy.
- The applicant proposes individual unit fascia signage in channel lettering mounted to the tilt-up panel.
- Several employee amenity areas are proposed on the site, with a main amenity area/plaza provided along the west side of Building 2, with bench seating and landscaping.

## Landscaping

- The proposed landscaping consists of a 6.0 metre-wide landscape buffer on 32 Avenue, a 7.5 metre wide landscape buffer on 195 Street, and a 5.6 metre-wide landscape buffer on the east property line.
- The proposed landscaping consists of a variety of trees, including Sun Valley Red Maple, Raywood Ash, Gold Spire Gingko, White Wonder Dogwood, Fastigiata and Douglas Fir. The tree plantings are complimented by a variety of shrubs and groundcover.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor drafting errors.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### **TREES**

- Alexander Groenewold, ISA Certified Arborist of KD Planning & Design Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Norway Maple	1	1	0
Cherry Sp	1	1	0
Apple	1	1	0
Japanese Maple	1	1	0
Hazelnut	1	1	0
Sweet Chestnut	1	1	0
Pear Sp	1	1	0
Undersize Deciduous	10	1	9
<b>Coniferous Trees</b>			
Gian Sequoia	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>18</b>	<b>9</b>	<b>9</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>66</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>75</b>	
<b>Estimated Contribution to the Green City Program</b>		<b>NA</b>	

- The Arborist Assessment states that there are a total of 18 mature trees on the site and no Alder and Cottonwood trees. The applicant proposes to retain 9 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- There are 13 off site trees located along the north property line and east property that are proposed to be removed. The removal is proposed to accommodate building construction, as the proposed buildings are located within the tree protection zone of these trees.
- For those 9 on-site and 13 off-site trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 44 replacement trees on the site. The applicant is proposing 66 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees, including Sun Valley Red Maple, Raywood Ash, Gold Spire Ginkgo, White Wonder Dogwood, Fastigate and Douglas Fir. The tree plantings are complimented by a variety of shrubs and groundcover.
- In summary, a total of 75 trees are proposed to be retained or replaced on the site. As this exceeds the City's requirement for tree replacement, the applicant will not be contributing to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	Development Variance Permit No. 7923-0166-00

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

HS/ar

PROPOSED INDUSTRIAL BUILDING FOR:  
**195 BUSINESS CENTRE**  
 ADDRESS: 19547 32nd AVENUE, SURREY, B.C.



BUILDING 100 RENDERING



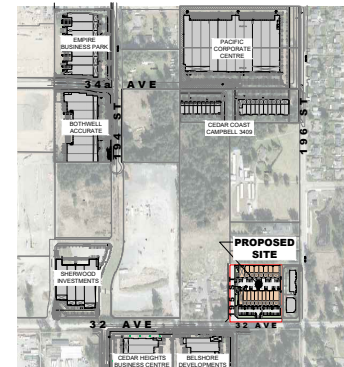
BUILDING 200 RENDERING



SHARED LOADING COURT RENDERING

**ARCHITECTURAL DRAWING LIST**

COVER SHEET	A-00
OVERALL SITE PLAN	A-01
BASE PLAN	A-01
SITE DETAILS	A-02
FIRE ACCESS PLAN	A-03
BUILDING 100 MAIN FLOOR PLAN	A-03
BUILDING 100 UPPER FLOOR PLAN	A-03
BUILDING 100 ROOF PLAN	A-03
BUILDING 100 COLOURED ELEVATIONS	A-03
BUILDING 200 MAIN FLOOR PLAN	A-03
BUILDING 200 UPPER FLOOR PLAN	A-03
BUILDING 200 ROOF PLAN	A-03
BUILDING 200 COLOURED ELEVATIONS	A-03
BUILDING 200 SECTIONS	A-03



CONTEXT PLAN


**ARCHITECTURE PANEL INC.**  
 ARCHITECTURE, INTERIOR DESIGN, ENGINEERING  
 200-18150178 STREET, WHITE ROCK, B.C. V2B 3J9  
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 WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
 2008 ALLIANCE WAY, ABERTSFORD, B.C. V2B 3J9  
 TEL: (604) 867-8838 FAX: (604) 867-8838  
 WWW.DFORCEDESIGN.COM

PROJECT MANAGERS / CONTRACTORS  

**ORION CONSTRUCTION**  
 ORION CONSTRUCTION  
 UNIT 105 19623 80A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-2904

NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	MAY 18 23	ISSUED FOR O.P.	13			25		
2			14			26		
3			15			27		
4			16			28		
5			17			29		
6			18			30		
7			19			31		
8			20			32		
9			21			33		
10			22			34		
11			23			35		
12			24			36		
13			25					
14			26					

PROJECT: PROPOSED BUILDING FOR  
**195 BUSINESS CENTRE**  
 ADDRESS: 19547 32nd Avenue, Surrey, B.C.  
 DRAWING: **COVER SHEET** REV: **1**

DRAWN: VCP  
 CHECKED: P.L.D.  
 JOB NO: 23-008  
 DATE PLOTTED: MAY 18 23  
 DRAWING NUMBER: **A-00**

**SITE DATA - BUILDING 100 & 200**  
 1547 32ND AVENUE, SURREY, BC  
 LEGAL DESCRIPTION: LOT 1 SECTION 21 TOWNSHIP 14N  
 EXISTING ZONING: A-1  
 PROPOSED ZONING: B-1  
 GROSS LOT AREA: 12 070 sq.m. / 29 641 sq.ft.  
 NET LOT AREA: 10 222 sq.m. / 25 052 sq.ft.  
 BLDG 100 BUILDING AREA (FOOTPRINT): 2 461 m<sup>2</sup> [27 145 sq.ft.]  
 BLDG 200 BUILDING AREA (FOOTPRINT): 2 018 m<sup>2</sup> [21 843 sq.ft.]  
 TOTAL BUILDING AREA (FOOTPRINT): 4 479 m<sup>2</sup> [48 988 sq.ft.]  
 NET SITE COVERAGE: 80% MAX. 40,889 / 102,222 = 44.8%  
 NET PARKING: 10 MAX. 40,889 + 20122 / 102,222 = 0.42  
 OVERALL PROJECT PARKING (SEE BELOW FOR INDIVIDUAL BUILDINGS)  
 BUILDING 1000 PARKING REQUIRED: 51 (9.0)  
 BUILDING 2000 PARKING PROVIDED: 41 (4.2)  
 TOTAL PARKING REQUIRED: 42 (9.2)  
 TOTAL PARKING PROVIDED: 86 \*

**SITE DATA - BUILDING 100**

SETBACKS:	MIN.	PROPOSED:
FRONT (SOUTH):	6.0m [19.68']	28.24m [92.64']
SIDE (EAST):	5.0m [16.40']	8.20m [26.90']
SIDE (WEST):	7.5m [24.60']	7.5m [24.60']
REAR (NORTH):	7.5m [24.60']	1.25m [4.10']

HEIGHT: 49' [14m] MAX. 56' [10.47m]

PARKING REQUIRED:  
 HARDWARE: 1 STALL PER 1700 S.F.  
 OFFICE: 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 16,006 / 1076 = 14.8  
 1ST FLR. OFFICE: 10,044 / 291 = 34.5  
 2ND FLR. INDUSTRIAL: 10,044 / 1076 = 9.3

BUILDING 1000 PARKING REQUIRED: 51 (9.0)  
 BUILDING 1000 PARKING PROVIDED: 56

ACCESSIBLE PARKING REQUIRED: 2% OR 10  
 ACCESSIBLE PARKING PROVIDED: 1

SMALL CAR PARKING ALLOWED: 55% OR 17.8  
 SMALL CAR PARKING PROVIDED: 5

BICYCLE PARKING PROVIDED: 2 RACKS

**SITE DATA - BUILDING 200**

SETBACKS:	MIN.	PROPOSED:
FRONT (SOUTH):	6.0m [19.68']	8.20m [26.90']
SIDE (EAST):	5.0m [16.40']	7.5m [24.60']
SIDE (WEST):	7.5m [24.60']	7.5m [24.60']
REAR (NORTH):	7.5m [24.60']	1.25m [4.10']

HEIGHT: 49' [14m] MAX. 56' [10.47m]

PARKING REQUIRED:  
 HARDWARE: 1 STALL PER 1700 S.F.  
 OFFICE: 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 21,642 / 1076 = 20.1  
 2ND FLR. OFFICE: 4,100 / 451 = 9.1

BUILDING 2000 PARKING REQUIRED: 41 (4.2)  
 BUILDING 2000 PARKING PROVIDED: 52

ACCESSIBLE PARKING REQUIRED: 2% OR 0.85  
 ACCESSIBLE PARKING PROVIDED: 1

SMALL CAR PARKING ALLOWED: 55% OR 14.4  
 SMALL CAR PARKING PROVIDED: 1

BICYCLE PARKING PROVIDED: 2 RACKS

**KEYED SITE PLAN NOTES**

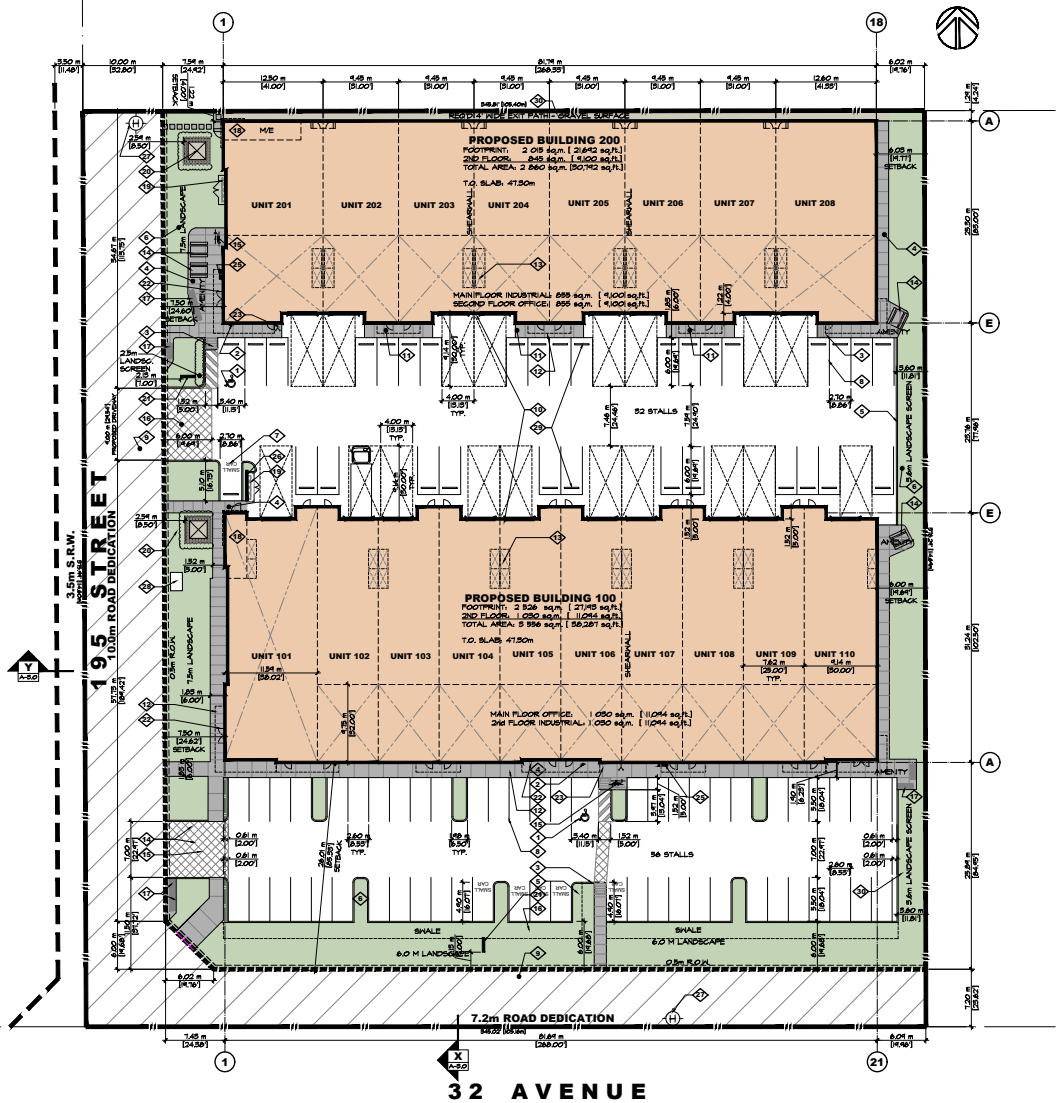
- 1. INTERIORS, SYMBOLS OF ACCESS PAINTED ON ASPHALT PER DETAIL 10A-1
- 2. HALL MOUNTED H.C. SIGN PER DETAIL 8A-2
- 3. 8" x 8" SQUARE TYPICAL PROVIDE MINIMUM 8" x 8" PER DETAIL 10A-1
- 4. CONCRETE SIDEWALK 6" x ABOVE ADJACENT ASPHALT LIGHT BROOK FINISH
- 5. 8" x 8" EXTENDED CONCRETE CURB AT EDGE OF LANDSCAPING PER DETAIL 37A-2
- 6. LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS
- 7. PAINT ON ASPHALT
- 8. 4" PAINT STRIPE TYPICAL
- 9. ASPHALT CROSSING TO MANHOLE SPECS
- 10. 8" x 8" TYPICAL CONCRETE PAVEMENT POLISHED SIDE OF GRADE LEVEL. DOOR TYPICAL AT ALL GRADE DOORS. SEE DETAIL 10A-2
- 11. FLUSH CONCRETE SIDEWALK LIGHT BROOK FINISH
- 12. LINE OF CANOPY ABOVE. SEE PLANS AND DETAILS FOR MORE INFORMATION
- 13. GARBAGE LOCATION INSIDE BUILDING. TYPICAL. SEE DETAIL 9A-2
- 14. PICNIC TABLE PER LANDSCAPE ARCHITECT
- 15. BICYCLE PARKING (2 UNITS) PER DETAIL 8A-2
- 16. SANDWICH CONCRETE
- 17. BENCH PER LANDSCAPE ARCHITECT
- 18. ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
- 19. GAS METER PER MECHANICAL DRAWINGS WITH PROVISIONS AS REQUIRED BY BC HYDRO AND MUNICIPALITY. SEE DETAIL 6A-2
- 20. ELECTRICAL ROOM. SEE ELECTRICAL DRAWINGS. SEE DETAIL 7A-2
- 21. FREE STANDING SIGNAGE LOCATED MIN. 2.0M FROM PL. SEE DETAIL 10A-2
- 22. TYPICAL ACCESSIBLE ENTRANCE
- 23. FIRE DEPARTMENT CONNECTION. SEE MECHANICAL DRAWINGS
- 24. TRAVEL DISTANCE HYDRANT TO FDC 0.47 [1.4m] MAX. CONFORM ON SITE
- 25. ANNUNCIATOR PANEL. SEE ELECTRICAL DRAWINGS
- 26. SCREEN WALL
- 27. FIRE HYDRANT
- 28. WATER ENTRY CHAMBER 0.3m x 2.3m. SEE CIVIL DWG FOR DETAILS
- 29. HAZELOP. SEE DETAIL 5A-1
- 30. TREE PROTECTION FENCING PER ARBORIST REPORT

**LEGEND**

EXISTING GRADE (E)

PROPOSED GRADE (P)

SELECT GRADES SHOWN  
 REFER TO CIVIL PLANS AND TOPOGRAPHY PLAN FOR GRADES



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 WWW.DFORCEDSIGN.COM

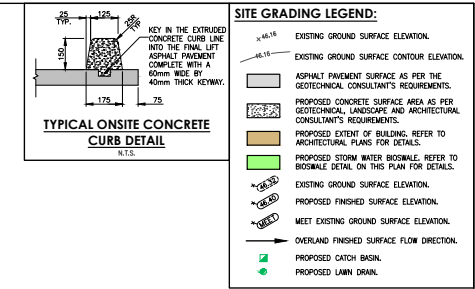
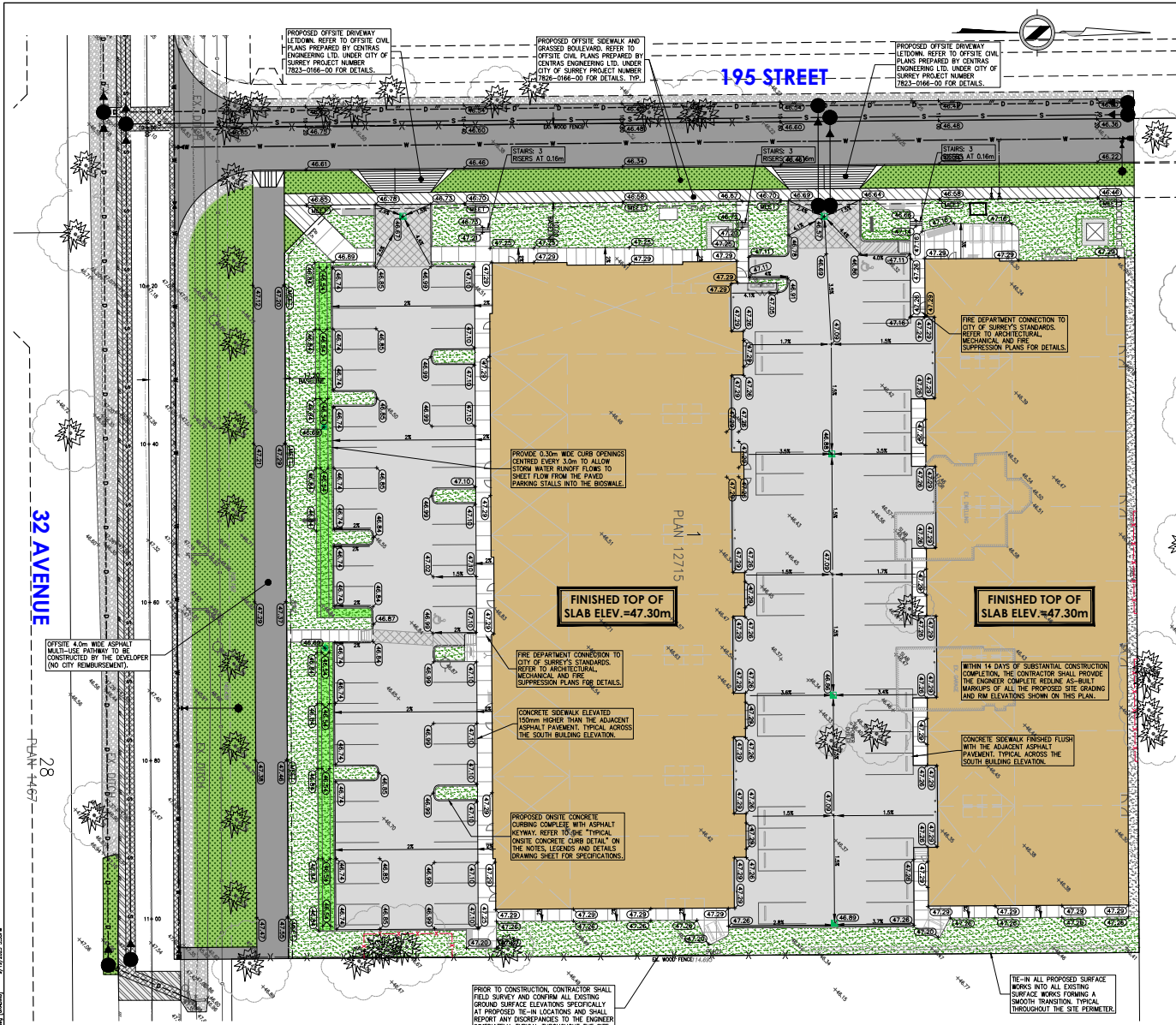
**ORION CONSTRUCTION**

ORION CONSTRUCTION  
 UNIT 100 19522 30A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-2994

NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	2024-08-20	ISSUED FOR PERMITTING USE	1	2024-08-20	ISSUED FOR PERMITTING USE	1	2024-08-20	ISSUED FOR PERMITTING USE
2	2024-08-20	CLIENT REVIEW	2	2024-08-20	CLIENT REVIEW	2	2024-08-20	CLIENT REVIEW
3	2024-08-20	ISSUED FOR CONSULTANT USE	3	2024-08-20	ISSUED FOR CONSULTANT USE	3	2024-08-20	ISSUED FOR CONSULTANT USE
4	2024-08-20	ISSUED FOR CP	4	2024-08-20	ISSUED FOR CP	4	2024-08-20	ISSUED FOR CP
5	2024-08-20	REVISED DRAWINGS	5	2024-08-20	REVISED DRAWINGS	5	2024-08-20	REVISED DRAWINGS
6	2024-08-20	REVISED DRAWINGS	6	2024-08-20	REVISED DRAWINGS	6	2024-08-20	REVISED DRAWINGS
7	2024-08-20	REVISED DRAWINGS	7	2024-08-20	REVISED DRAWINGS	7	2024-08-20	REVISED DRAWINGS
8	2024-08-20	REVISED DRAWINGS	8	2024-08-20	REVISED DRAWINGS	8	2024-08-20	REVISED DRAWINGS
9	2024-08-20	CLIENT REVIEW	9	2024-08-20	CLIENT REVIEW	9	2024-08-20	CLIENT REVIEW
10	2024-08-20	CLIENT REVIEW	10	2024-08-20	CLIENT REVIEW	10	2024-08-20	CLIENT REVIEW
11	2024-08-20	CLIENT REVIEW	11	2024-08-20	CLIENT REVIEW	11	2024-08-20	CLIENT REVIEW
12	2024-08-20	CLIENT REVIEW	12	2024-08-20	CLIENT REVIEW	12	2024-08-20	CLIENT REVIEW
13	2024-08-20	CLIENT REVIEW	13	2024-08-20	CLIENT REVIEW	13	2024-08-20	CLIENT REVIEW
14	2024-08-20	CLIENT REVIEW	14	2024-08-20	CLIENT REVIEW	14	2024-08-20	CLIENT REVIEW
15	2024-08-20	CLIENT REVIEW	15	2024-08-20	CLIENT REVIEW	15	2024-08-20	CLIENT REVIEW

PROJECT: PROPOSED BUILDING FOR  
**195 BUSINESS CENTRE**  
 ADDRESS: 19547 32nd Avenue, Surrey, B.C.  
 DRAWING: SITE PLAN  
 DATE PLOTTED: 14-03-2025  
 DRAWING NUMBER: A-1.0

REV: 8



- SITE GRADING LEGEND:**
- EXISTING GROUND SURFACE ELEVATION.
  - EXISTING GROUND SURFACE CONTOUR ELEVATION.
  - ASPHALT PAVEMENT SURFACE AS PER THE GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
  - PROPOSED CONCRETE SURFACE AREA AS PER GEOTECHNICAL, LANDSCAPE AND ARCHITECTURAL CONSULTANT'S REQUIREMENTS.
  - PROPOSED EXISTING BUILDINGS REFER TO ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED STORM WATER BIOSWALE. REFER TO BIOSWALE DETAIL ON THIS PLAN FOR DETAILS.
  - EXISTING GROUND SURFACE ELEVATION.
  - PROPOSED FINISHED SURFACE ELEVATION.
  - MEET EXISTING GROUND SURFACE ELEVATION.
  - OVERLAND FINISHED SURFACE FLOW DIRECTION.
  - PROPOSED CATCH BASIN.
  - PROPOSED LAWN DRAIN.
- GENERAL NOTES:**
- A TREE CUTTING PERMIT AND AN EROSION & SEDIMENT CONTROL PERMIT SHALL BE OBTAINED PRIOR TO ANY WORKS COMMENCING ON-SITE.
  - TEMPORARY TREE PROTECTION BARRIERS/FENCES SHALL BE CONSTRUCTED AND INSPECTED BY THE CITY OF SURREY'S PARKS DEPARTMENT AS PER THE LOCATIONS AND INSTRUCTIONS IN THE ARBORIST REPORT AND LANDSCAPING DRAWINGS PRIOR TO ANY WORKS COMMENCING ON-SITE.
  - A PLUMBING PERMIT AND ALL OTHER APPLICABLE APPROVALS AND PERMITS SHALL BE OBTAINED PRIOR TO ANY UNDERGROUND CIVIL WORKS COMMENCING ON-SITE. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMIT FEES FOR OBTAINING THE REQUIRED PERMITS.
  - PRIOR TO CIVIL SERVICES CONSTRUCTION THE CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING ON-SITE WITH CENTRAS ENGINEERING LTD. TO REVIEW AND DISCUSS THE ISSUES FOR CONSTRUCTION CIVIL DRAWINGS, CONSTRUCTION CONTROL, SCHEDULING COORDINATION BETWEEN TRADES, SCHEDULE, TIMING, SITE REVIEWS, TESTING PROCEDURES, TESTING RESULTS, ETC.
  - ALL CONSTRUCTION WORKS SHALL BE COMPLETED IN SUCH A MANNER SO AS TO PREVENT THE RELEASE OF ANY CONSTRUCTION WATER, SILT, CONCRETE LEACHATE AND ANY OTHER DELETERIOUS SUBSTANCES SHALL BE DISPOSED OF OR PLACED IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO ANY STORM SEWER SYSTEM OR WATER COURSE.
  - THE DEVELOPER AND CONTRACTOR ARE RESPONSIBLE FOR SWEEPING OF THE EXISTING ROADWAYS FREE OF ANY DIRT AND SEDIMENT CAUSED BY CONSTRUCTION ACTIVITY ON A DAILY BASIS.
  - THE CONTRACTOR SHALL RENESTATE ALL DISBURSED WORKS TO PRE-CONSTRUCTION CONDITIONS OR BETTER AND TO CURRENT IMCD AND CITY OF SURREY'S STANDARDS AND TO THE SATISFACTION OF CENTRAS ENGINEERING LTD.
  - ALL NEW ON-SITE ELECTRICAL AND TELECOMMUNICATIONS SERVICES AND CONNECTIONS SHALL BE LOCATED UNDERGROUND. REFER TO THE ELECTRICAL SITE PLAN AND BC HYDRO DRAWINGS FOR DETAILS.
  - A MINIMUM OF 48 HOURS NOTICE SHALL BE PROVIDED BY THE CONTRACTOR TO CENTRAS ENGINEERING LTD. PRIOR TO CIVIL CONSTRUCTION COMMENCEMENT.
  - THE CONTRACTOR SHALL COMPLY WITH ALL THE ARBORIST RECOMMENDATIONS IN THE ARBORIST REPORT AND GEOTECHNICAL REPORT.
  - UPON SUBSTANTIAL CONSTRUCTION COMPLETION (WITHIN 30 DAYS), THE CONTRACTOR SHALL PROVIDE CENTRAS ENGINEERING LTD. WITH COMPLETE AS-CONSTRUCTED REDLINE INFORMATION (B.C.L.S. OR P.E.N.G. CERTIFIED) FOR ALL THE PROPOSED CIVIL WORKS SHOWN ON THESE PLANS.

- SITE GRADING NOTES:**
- ALL ON-SITE CIVIL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH COLUMBIA'S BUILDING CODES AND PLUMBING CODES, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATFORM EDITION, THE CITY OF SURREY'S DESIGN CRITERIA MANUAL, THE CITY OF SURREY'S STANDARD CONSTRUCTION DOCUMENTS (CONSTRUCTION CONTROL), SUPPLEMENTARY SPECIFICATIONS AND SUPPLEMENTARY STANDARDS (DRAWINGS) AND ALL OTHER APPLICABLE MUNICIPAL BYLAWS AND POLICES, UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS, OFFSETS, SIZES AND ELEVATIONS ARE METRIC AND TO GEODETIC DATUM, UNLESS NOTED OTHERWISE.
  - ALL BUBBLED ELEVATIONS ARE FINISHED SURFACE ELEVATIONS.
  - CHANGES IN GRADE LINES SHALL BE FORMED BY SMOOTH CURVES.
  - ADJUST ALL EXISTING AND PROPOSED RIMS, L.C.'s AND COVERS FLUSH WITH FINISHED SURFACE GRADES (UNLESS NOTED OTHERWISE).
  - TIE-IN ALL PROPOSED SURFACE WORKS TO EXISTING SURFACE WORKS WITH A SMOOTH TRANSITION.
  - FINISHED SURFACE ELEVATIONS SHALL BE INSTALLED WITHIN A VERTICAL AND HORIZONTAL TOLERANCE OF 10mm OR THEY ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
  - REFER TO ARCHITECTURAL PLANS FOR CONCRETE CURBING DETAILS.
  - EXISTING SUB-GRADE SHALL BE PREPARED AS PER GEOTECHNICAL RECOMMENDATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF IMPROVED SUB-BASE AND BASE MATERIALS. SUB-BASE AND BASE MATERIALS SHALL BE PREPARED AND PLACED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCING ASPHALT PAVING.
  - ALL LOOSE AND/OR ORGANIC MATERIAL WITHIN THE ROADWAY SHALL BE OVER EXCAVATED AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND SHALL BE REPLACED WITH APPROVED ENGINEERED FILL AS PER GEOTECHNICAL RECOMMENDATIONS AND APPROVAL.
  - REFER TO THE GEOTECHNICAL REPORT AND MMCD SECTION 32.12.16 FOR HOT-MIX ASPHALT PAVEMENT RECOMMENDATIONS SUCH AS MIX DESIGN AND MINIMUM FINISHED PAVEMENT THICKNESS.
  - SURFACE WATER PONDING IS NOT PERMITTED AND IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
  - IF REQUIRED, ASPHALT PAVEMENT OUTS AND PATCHES SHALL CONFORM TO MMCD STANDARD DRAWING NUMBER QS AND TO CURRENT CITY OF SURREY'S STANDARDS.
  - REFER TO LANDSCAPE DRAWINGS FOR VEGETATIVE SURFACE TREATMENT DETAILS AND SPECIFICATIONS. SURFACE TREATMENT DETAILS SHALL MEET HCO TRAFFIC LOADING SPECIFICATIONS.
  - PRIOR TO INSTALLATION OF CONCRETE CURBING AND HOT-MIX ASPHALT PAVING, THE CONTRACTOR SHALL OBTAIN WRITTEN SIGN OFF APPROVAL FROM THE ELECTRICAL CONSULTANT AND BC HYDRO THAT ALL UNDERGROUND ELECTRICAL AND TELECOMMUNICATIONS SERVICES HAVE BEEN INSTALLED AND ARE ACCEPTABLE TO THE ELECTRICAL CONSULTANT AND BC HYDRO.
  - THE DEVELOPER SHALL EMPLOY THE SERVICES OF A GEOTECHNICAL ENGINEER FOR FIELD REVIEWS AND OBSERVATIONS REL TO THE EXISTING EXISTING SUB-GRADE EXCAVATION, SUB-GRADE PREPARATION, ENGINEERED FILL, BACKFILL MATERIALS WITHIN TRENCHES, SHORING, ROAD STRUCTURE MATERIALS, COMPACTON, ASPHALT MIX DESIGN, ASPHALT CORE TESTING, ASPHALT COMPACTION TESTING, ETC.

SCALE: 1:250

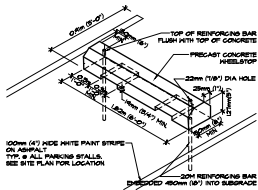
ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY MONUMENT NUMBER: 5099  
 LOCATED AT: 32 AVE & 196 ST  
 AND HAVING ELEVATION OF: 46.913m  
 LOT 1, SEC 22, TP 7, NWD PLAN 12715

No.	REVISIONS / SUBMISSIONS	DATE	CLIENT	ENGINEER-OF-RECORD	PROJECT NAME	ENGINEER'S SEAL	CITY OF SURREY
▲			<b>ORION CONSTRUCTION</b> #105 - 19923 80A AVENUE, LANGLEY, BC V2Y 0E2	<b>CENTRAS Engineering Ltd</b> #218-2630 CROYDON DRIVE SURREY, BC V3S 4T3 PH: 604-283-2240 (EMAIL: info@centras.ca EGBC PERMIT TO PRACTICE # 1003934	<b>195 BUSINESS CENTRE</b> <b>PROJECT SITE ADDRESS</b> 19547 - 32 AVENUE, SURREY BC	<b>September 19, 2023</b>	<b>CITY OF SURREY</b> <b>SITE GRADING PLAN</b> DESIGN: 580 DRAWING NUMBER: <b>23014-C2</b> CHECKED: 580 HOR. SCALE: 1:250 ENGINEER: 580 VER. SCALE:
▲							
▲							
▲							
▲	ISSUED TO SUPPORT DP APPLICATION	MAY 19, 2023					

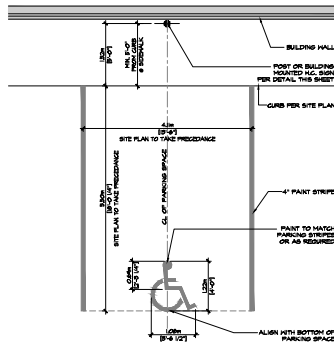
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 DRAWING NUMBER: **23014-C2**  
 CHECKED: 580  
 HOR. SCALE: 1:250  
 ENGINEER: 580  
 VER. SCALE: **0**

DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER

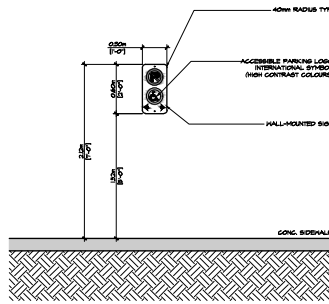
19/09/2023 10:51 AM - Centras\23014-C2 - Site Grading Plan [Drawing] [Download] [Print]



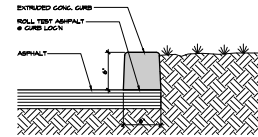
**5 WHEEL STOP DETAIL**  
SCALE: 1/4" = 1'-0"



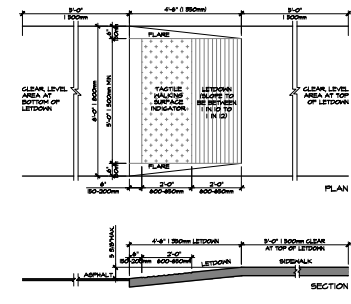
**4 HANDICAP PARKING STALL DETAIL**  
SCALE: 1/4" = 1'-0"



**3 HANDICAP PARKING SIGN DETAIL**  
SCALE: 1/2" = 1'-0"

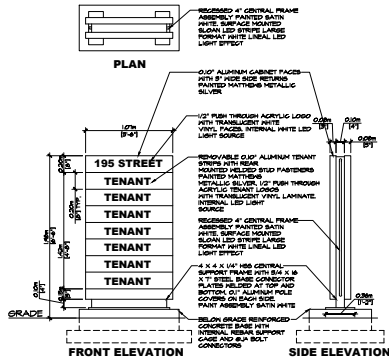


**2 CURB DETAIL**  
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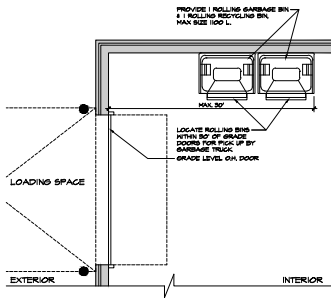


**1 LETDOWN DETAIL**  
SCALE: 1/2" = 1'-0"

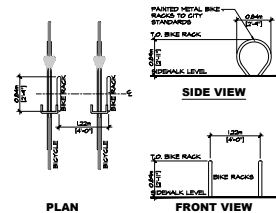
SIGN SUPPLIER TO PROVIDE SEALED ENGINEERED SHOP DRAWINGS FOR ALL ASPECTS OF SIGNAGE INCLUDING FOOTINGS



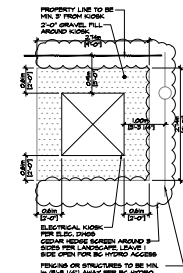
**10 FREE-STANDING SIGNAGE DETAIL**  
SCALE: 1/2" = 1'-0"



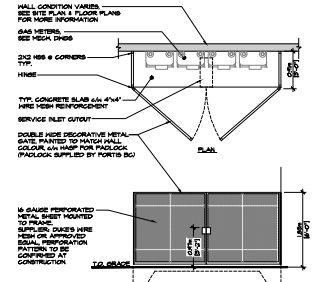
**9 INTERIOR GARBAGE DETAIL**  
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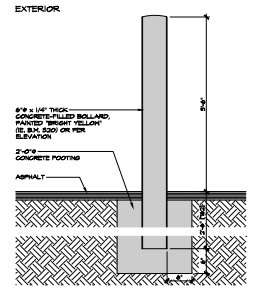
**8 BIKE RACK DETAIL**  
SCALE: 1/4" = 1'-0"



**7 ELECTRICAL KIOSK DETAIL**  
SCALE: 1/4" = 1'-0"



**6 GAS METER DETAIL**  
SCALE: 1/4" = 1'-0"



**11 TYP. BOLLARD DETAIL**  
SCALE: 1" = 1'-0"

ORION CONSTRUCTION  
**ORION CONSTRUCTION**  
 UNIT 105, 15923 80A AVE  
 LANGLEY, BC V3Y 0E2  
 PHONE: (604) 362-2094

IN ASSOCIATION WITH  
**D-FORCE DESIGN INC.**  
 ARCHITECTURE PANEL INC.  
 1501-1505 STREET, VANCOUVER, BC V6L 2M9  
 TEL: (604) 681-8888 FAX: (604) 681-8888  
 WWW.DFORCEDSIGN.COM

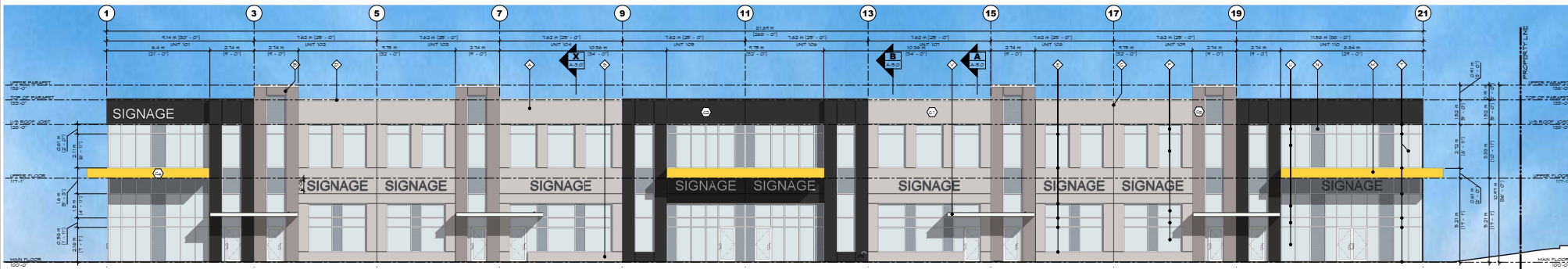
NO.	DATE	REVISION
1	MAY 18, 23	ISSUED FOR CP
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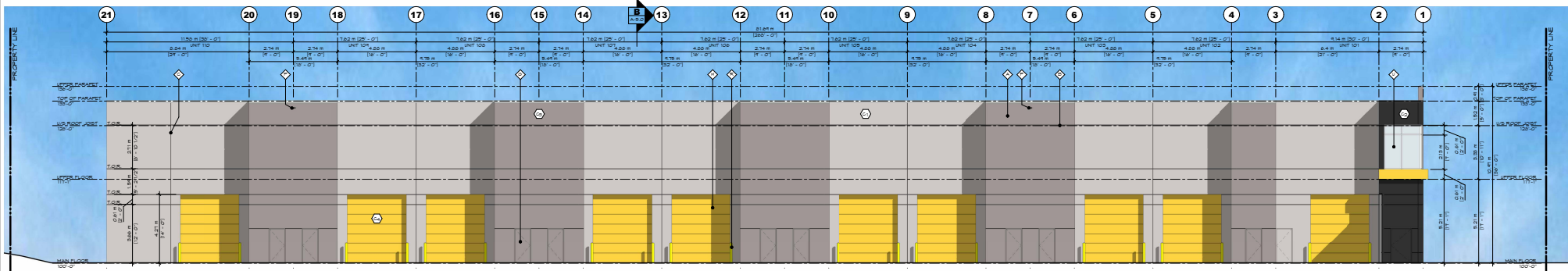
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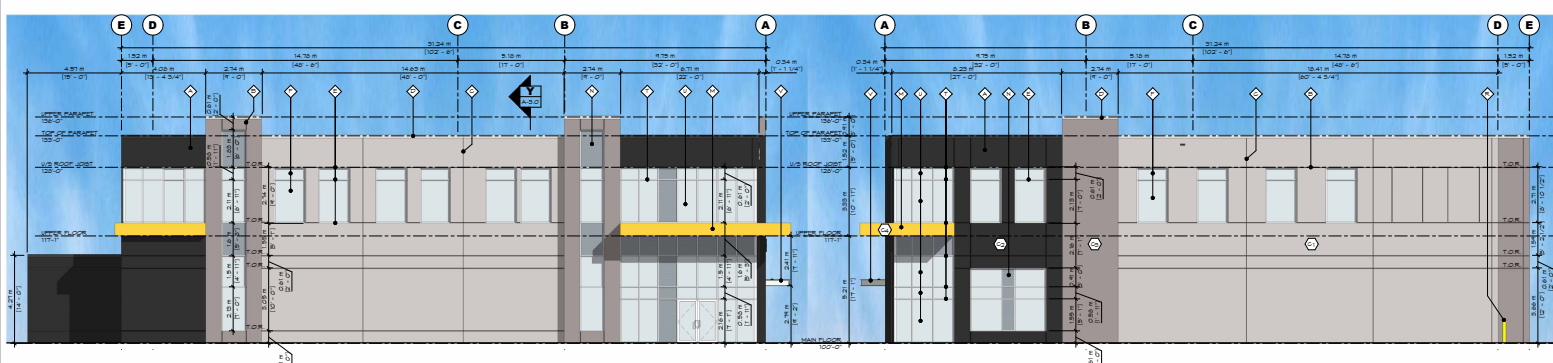
PROJECT: PROPOSED BUILDING FOR  
**195 BUSINESS CENTRE**  
 ADDRESS: 19547 32nd Avenue, Surrey, B.C.  
 DRAWING: SITE DETAILS  
 DRAWN: VCF  
 CHECKED: R.C.D.  
 JOB NO.: 21046  
 DATE PLOTTED: MAY 18, 23  
 DRAWING NUMBER:  
 REV: 1  
**A-1.2**



1 SOUTH ELEVATION (FACING 32 AVE.)  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION (FACING 194 ST.)  
SCALE: 1/8" = 1'-0"

4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

5 TYP. REVEAL DETAIL  
SCALE: 12" = 1'-0"

**MATERIAL LEGEND**

- CONCRETE TILT-UP PANEL TYP. - PAINTED
- REVEAL IN CONCRETE - PAINTED
- PANEL JOINT
- TYP. FINISHED METAL CAP FLASHING
- STOREFRONT GLASS - CLEAR
- STEEL HANDDOORS - PAINTED
- STEEL SECTIONAL OVERHEAD DOORS
- STEEL GUARDRAILS - PAINTED
- CONCRETE RETAINING WALLS - PAINTED, TYP.
- LIGHT FIXTURE - SEE ELECTRICAL DWGS
- ACH GANTRY
- SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
- BOLLWERK
- METAL GLAD GANTRY
- STEEL BOLLARD - PAINTED
- CONCRETE CURB UNDER
- CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- CURTAIN WALL GLASS - CLEAR
- C-CHANNEL STEEL FRAMED GANTRY - PAINTED

NOTE: NOT ALL MATERIALS INDICATED ARE APPLICABLE.

**PROJECT COLOURS**

ALL PAINT COLOURS TO BE SHERWIN WILLIAMS UNO.

■	MAIN FIELD COLOUR 1	GRAYISH (SW 6031)
■	FIELD ACCENT COLOUR 1	CAVARI (SW 6193)
■	FIELD ACCENT COLOUR 2	POLISHED CONCRETE (SW 1912)
■	FIELD ACCENT COLOUR 3	CHASTY (SW 6190)
■	STEEL HANDDOOR COLOUR EXTERIOR GUARDRAILS	TO MATCH PANEL COLOUR BLACK
■	ALUMINUM STOREFRONT MULLIONS TYPICAL GLAZING	CLEAR ANODIZED CLEAR ANODIZED
■	SPANDREL GLAZING COLOUR	20% TRANSPARENT GREY REFLECTIVE
■	TYPICAL METAL CAP FLASHING METAL CAP FLASHING & C2 PANELS	PETFORM METALS WHITE PRITE PETFORM METALS BLACK

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IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2B 3J9  
TEL: 604-857-9655 EMAIL: INFO@DFORCE.COM

ORION CONSTRUCTION  
UNIT 105 19623 BVA AVE  
LANGLEY BC V1V 6E9  
PHONE: (604) 362-2994

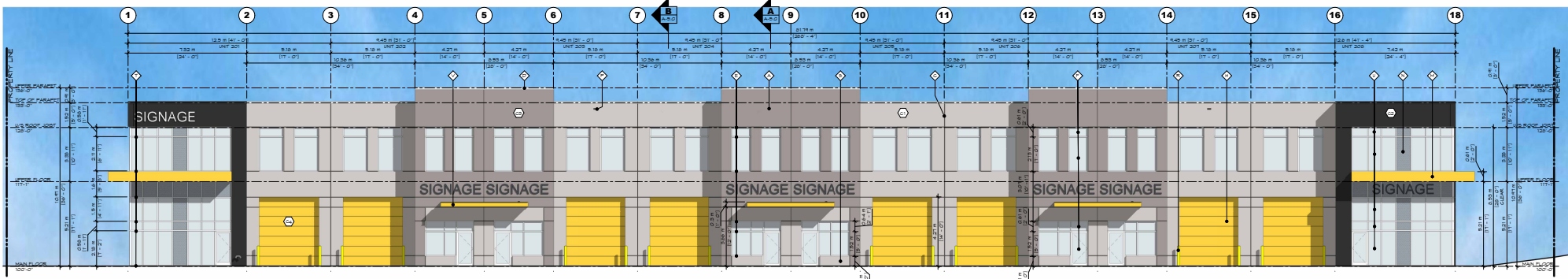
NO.	DATE	ISSUED	DESCRIPTION

NO.	DATE	ISSUED	DESCRIPTION

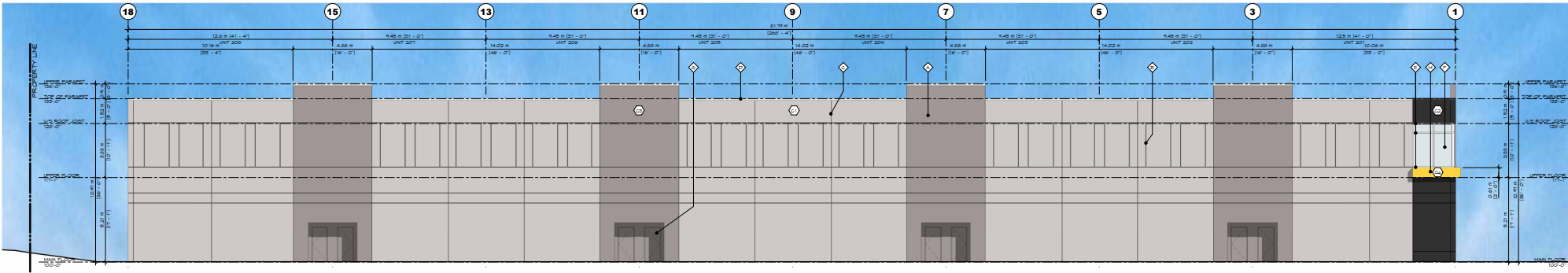
NO.	DATE	ISSUED	DESCRIPTION

PROJECT: 195 BUSINESS CENTRE  
DRAWING: BUILDING 100 ELEVATIONS  
REV: 1  
DRAWN: VSP  
CHECKED: R.D.  
DATE: 2016  
DATE: 2016  
DRAWING NUMBER: A-4.0

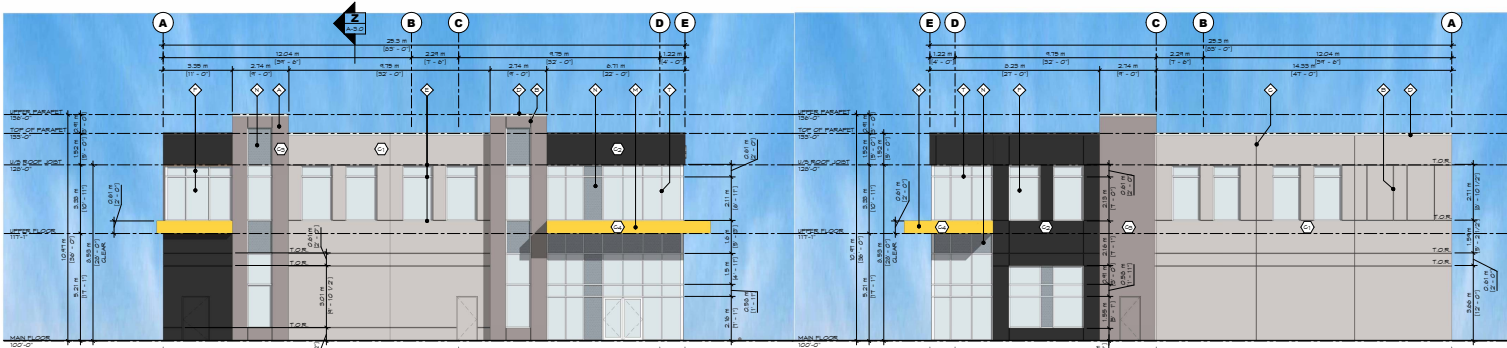




**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION (FACING 194 ST.)**  
SCALE: 1/8" = 1'-0"

**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**5 TYP. REVEAL DETAIL**  
SCALE: 12" = 1'-0"

- MATERIAL LEGEND**
- CONCRETE TILT-UP PALL TYP. - PAINTED
  - ◇ REVEAL IN CONCRETE - PAINTED
  - ◆ PANEL JOINT
  - ◆ PRE-FINISHED METAL CAP FLASHING
  - ◆ STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
  - ◆ STOREFRONT GLASS - CLEAR
  - ◆ STEEL HANDS/DOORS - PAINTED
  - ◆ STEEL SECTIONAL OVERHEAD DOORS
  - ◆ STEEL GUARDRAILS - PAINTED
  - ◆ CONCRETE RETAINING WALLS - PAINTED, TYP.
  - ◆ LIGHT FIXTURE - SEE ELECTRICAL DWGS
  - ◆ ACHD GANTRY
  - ◆ SPANDREL GLAZING (CECURE, TO MATCH VISION GLASS)
  - ◆ SCUPPER
  - ◆ METAL GLAD GANTRY
  - ◆ STEEL BOLLARD - PAINTED
  - ◆ CONCRETE CURB UNDER PAINTED
  - ◆ CURTAIN PALL FRAMES - CLEAR ANODIZED ALUMINUM
  - ◆ CURTAIN PALL GLASS - CLEAR
  - ◆ C-CHANNEL STEEL FRAMED GANTRY - PAINTED
- NOTE: NOT ALL MATERIALS INDICATED ARE APPLICABLE.

- PROJECT COLOURS**
- ALL PAINT COLOURS TO BE SHERWIN WILLIAMS UNO.
- ◆ MAIN FIELD COLOUR 1: GRAYSK (SW 6001)
  - ◆ FIELD ACCENT COLOUR 1: CAVALRY (SW 6900)
  - ◆ FIELD ACCENT COLOUR 2: POLISHED CONCRETE (SW 6910)
  - ◆ FIELD ACCENT COLOUR 3: DASHY (SW 6912)
  - ◆ STEEL HAND/DOOR COLOUR: TO MATCH VISION GLASS
  - ◆ EXTERIOR GUARDRAILS: BLACK
  - ◆ ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED
  - ◆ TYPICAL GLAZING: CLEAR GLN 2 AND / OR SURINE 80.1
  - ◆ SPANDREL GLAZING COLOUR: GREY REFLECTIVE
  - ◆ TYPICAL METAL CAP FLASHING: PESTORMETALS WHITE WHITE
  - ◆ METAL CAP FLASHING # C2 PANELS: PESTORMETALS BLACK

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IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C., V2B 3J9  
TEL: (604) 857-9455 | WWW.DFORCEDSIGN.COM



NO.	DATE	ISSUED	DESCRIPTION

NO.	DATE	ISSUED	DESCRIPTION

NO.	DATE	ISSUED	DESCRIPTION

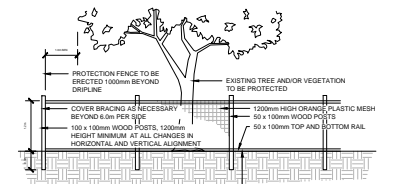
PROJECT: PROPOSED SUBDIVISION  
**195 BUSINESS CENTRE**  
ADDRESS: 195 BUSINESS CENTRE  
DRAWING: **BUILDING 200 ELEVATIONS**

DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
DATE: [Signature]  
PLotted DATE: [Signature]

PROJECT NUMBER: **1**  
DRAWING NUMBER: **A-4.0**

**LEGEND**

	SOD
	CONCRETE SIDEWALK PAVING
	BIKE RACK (SINGLE)
	PICNIC TABLE
	BENCH
	PRIVACY FENCE
	POCKET FENCE
	WIRE STREAMSIDE FENCE
	PROPERTY LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED



- NOTES:**
- ATTACHMENT OF FENCE TO TREES WILL NOT BE PERMITTED.
  - ANY EXPOSED ROOTS ARE TO BE HAND PRUNED USING PROPER ARBORICULTURAL PRACTICES. UNDER NO CIRCUMSTANCES SHALL ANY CONSTRUCTION MATERIALS, EQUIPMENT OR VEHICLES BE PLACED WITHIN THE TREE PROTECTION ZONE.
  - ALL TREE PROTECTION TO BE ERECTED PRIOR TO ANY CONSTRUCTION ACTIVITY AND IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED. OBTAIN WRITTEN APPROVAL FROM CONTRACT ADMINISTRATOR PRIOR TO REMOVAL OF FENCING.

- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  - TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
  - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  - SOIL DEPTH** IN ALL PLANTING AREAS IS TO BE MINIMUM 450mm
  - SOIL ANALYSIS** FOR PROPOSED GROWING MEDIAS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - PLANTING MEDIUM** TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
  - ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARDS AND MINIMAL LANDSCAPE STANDARDS FOR SIZE, VARIETY AND LOCATION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL WETLAND SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANT IN HEALTHY CONDITION THROUGHOUT THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of when required by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or Backlog and/or recovered from the Contractor.
    - Maintenance and additional installation of mulch.
    - Weed removal.
    - Disease control.

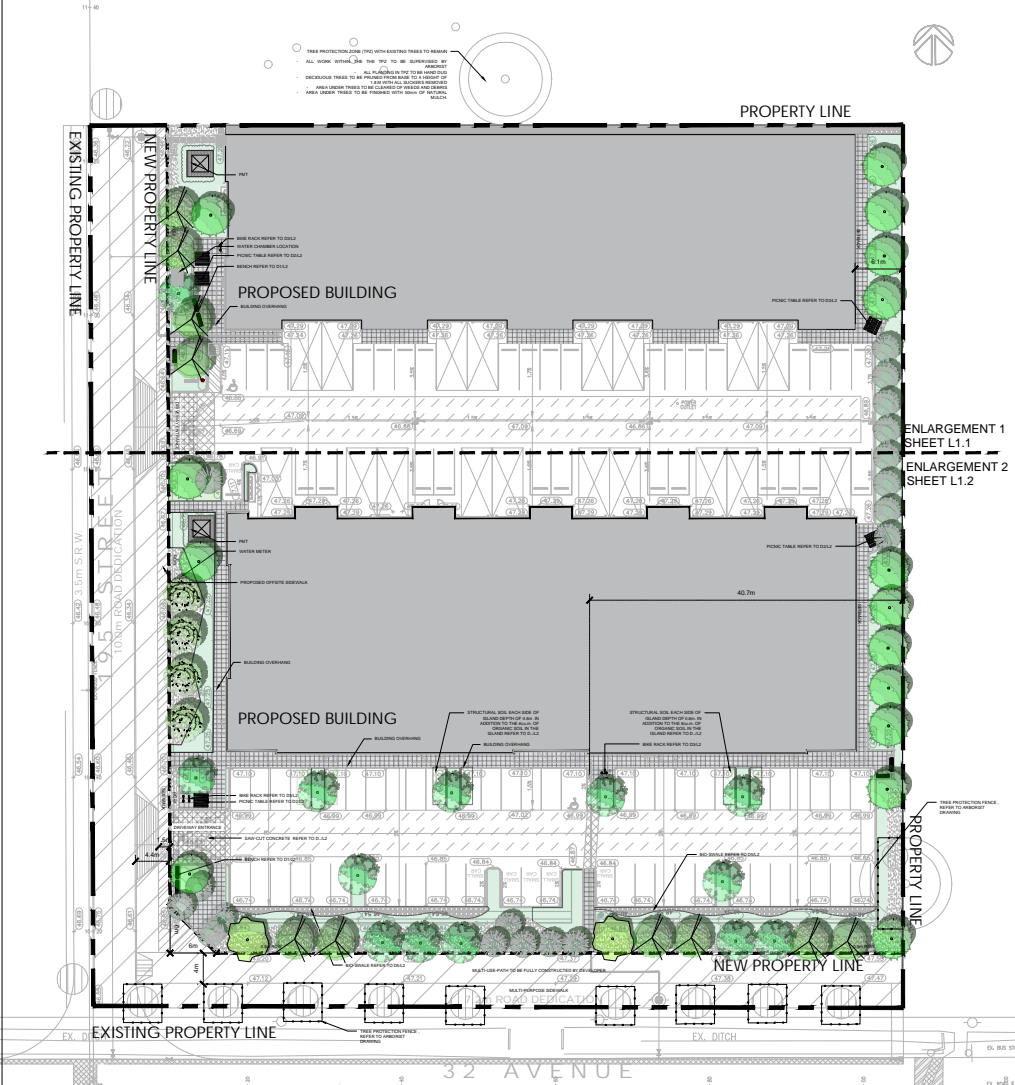
**BIOSTABLE SOIL SPECIFICATION:**

COARSE GRAVEL:	0-7%
ALL GRAVEL:	0-5%
SAND:	70-80%
Larger than 0.075mm	
Smaller than 20mm	
SILT:	5-15%
Larger than 0.075mm	
Smaller than 0.075mm	10-20%
CLAY:	15%
Smaller than 0.075mm	MAX 20%
CLAY AND SILT COMBINED:	15%
ORGANIC CONTENT (By weight):	
Organic not to be derived from food waste	6.0-6.5
ACIDITY(pH):	

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY LAW REQUIREMENTS. OBTAIN NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - OBTAIN UTILITY AND SERVICES LOCATED PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. REPAIR OR REPLACE AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
  - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE FOR A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORK, RECREATION, PUBLIC AND ROAD AREAS ARE TO BE SWIFT AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- SODDING NOTES:**
- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF 18 VARIETIES OF KENTUCKY BLUEGRASS
    - 40% CREEPING RED FESCUE
    - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
  - AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
  - LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVE TO LOOSE.
  - PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  - DELIVER SOO TO SITE WITHIN 48 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING, AND WATER SOO AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOO WILL BE REJECTED.
  - LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULARS ON THIS SECTIONS WITH SHARP APRILMENTS.
  - WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SUB-OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
  - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  - USE POP-UP SPRINKLER HEADS.
  - DO NOT SPRAY WATER ONTO TREE TRUNKS.





**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	10	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	6cm Cal.	As Shown	
	13	Fraxinus oxyacarpa 'Raywood'	Raywood Ash	6cm Cal.	As Shown	
	2	Ginkgo Biloba (Gold spine)	Gold spine Ginkgo	6cm Cal.	As shown	
	4	Cornus masall 'White Wonder'	White Wonder Dogwood	6cm Cal.	As Shown	
	18	Fagus sylvatica 'Dawyck'	Faстиgare or Dawyck Beech	6cm Cal.	As Shown	
<b>CONIFEROUS TREES</b>						
	15	Pseudotsuga menziesii	Douglas Fir	3m H.	As Shown	
<b>SHRUBS</b>						
	166	Thuja occidentalis 'Emerald'	Emerald Green Cedar	1.5m Hc.	1m	#2 pot
	101	Viburnum davidi	David's Viburnum	30cm Hc.	0.8m	#2 pot
	148	Pinus Mugo	Mugo pine	75 cm	As shown	#3 pot
	58	Lonicera sarda	Sardian Honeysuckle	30cm Hc.	0.75m	#2 Pot
	193	Calluna vulgaris 'Spring Touch'	Heather	30cm Hc.	0.75m	#2 Pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
	232	Panicum virgatum 'Prairie Wind'	Cheyenne Sky Switch Grass	1 Gallon		Potted
	184	Hamamelis fulva	Day Lily	1 Gallon		Potted
	187	Erica carnea (December Red)	Winter heath	1 Gal	As shown	Potted

**KD Planning**  
 CONSULTING LTD.

ABBOTSFORD OFFICE  
 400-3477 GLADYS AVE. ABBOTSFORD, BC V3B 2E9  
 T: 604.853.8871 F: 604.853.1586 www.kdplanning.com

VANCOUVER OFFICE  
 110-2600 VICTORIA HWY. VANCOUVER, BC V6B 4Y3  
 T: 604.264.8862 F: 604.264.8865 www.kdplanning.com

- 1 23/09/19 ISSUED FOR COMMENTS RESPONSE
  - 2 23/05/19 ISSUED FOR DP
  - 3 23/05/08 ISSUED FOR DP
  - 4 23/04/03 ISSUED FOR COORDINATION
  - 5 23/03/20 ISSUED FOR COORDINATION
- NO. DATE (Y/M/D) DESCRIPTION  
 ISSUES & REVISIONS:



PROJECT NAME  
**195 BUSINESS CENTRE**

PROJECT ADDRESS  
**19547 32nd AVENUE,  
 SURREY, BC**

DRAWING TITLE  
**PLANTING PLAN**

SCALE  
**1:200**

DRAWN  
**SR**

CHECKED  
**JT**

PROJECT NO.  
**23010-L**

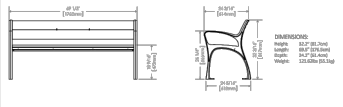
DRAWING NO.  
**L1.2**

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**MLB870-W 870 SERIES**



**MATERIALS:** Bench seats are made from solid cast aluminum. The seat supports are wood slats.  
**FINISH:** All steel components are protected with E Coat anti-rusting.  
**RECYCLATION:** The High-Pressure Polymer provides a durable finish and is 100% recyclable.  
**NOTIFICATION:** The bench is delivered pre-assembled. Models (E37) are provided in each book for accuracy to base.  
**TO SPECIFY:** Select MLB870-W  
 Colour: \*Woodland Grey

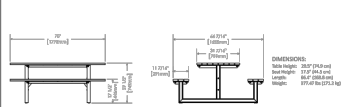


**D1 BENCH** N.T.S.

**MLPT210-S-W 210 SERIES**



**MATERIALS:** Table Frame is made from 2" x 4" x 30" structural beam with solid cast corners. Reinforced support bases are used for superior stability and resistance to tipping. Surface material is 100% recyclable.  
**FINISH:** All steel components are protected with E Coat anti-rusting. The High-Pressure Polymer provides a durable finish on all wood surfaces.  
**NOTIFICATION:** The reinforced frame Center bearing surface must always be delivered pre-assembled.  
**TO SPECIFY:** Select MLPT210-S-W  
 Colour: \*Woodland Grey  
**OPTIONAL:** - Gassing base (E35)  
 - Wash chair assembly (E36)



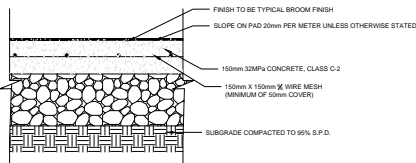
**D2 PICNIC TABLE** N.T.S.

**MANUFACTURER: ULINE**  
**MODEL NUMBER: H-6572**  
**COLOUR: BLUE**  
**QUANTITY: 4**

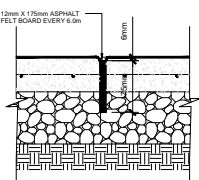


**D3 BIKE RACK** N.T.S.

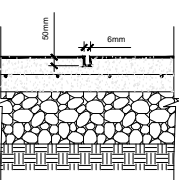
**SAW CUT CONCRETE SPECIFICATIONS**  
 PATTERN: SQUARE-CUT



**EXPANSION JOINT DETAIL SECTION**



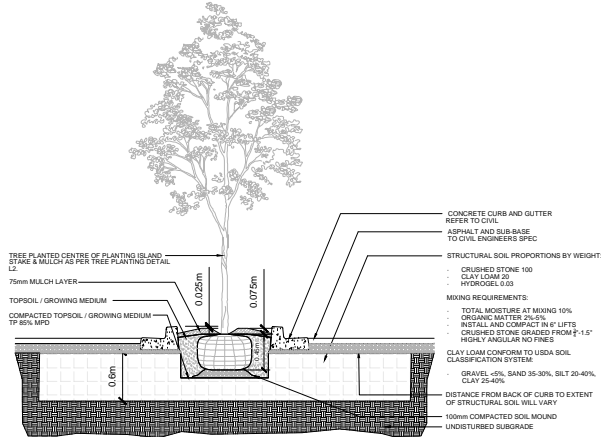
**SAW-CUT JOINT DETAIL SECTION**



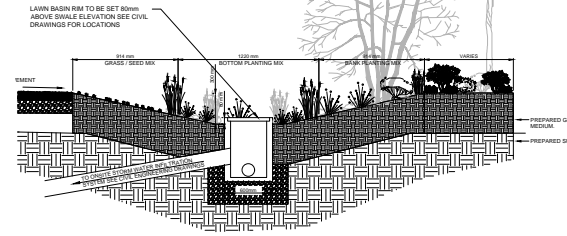
- NOTES:**
- CONCRETE TO BE 32MPa CLASS C-2 AT 28 DAYS WITH 5% AIR ENTRAINMENT.
  - CONCRETE TO HAVE BROOK FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
  - EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ADJUTS OTHER STRUCTURES OR BUILDINGS.
  - SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 6.0m
  - CONCRETE TO BE SPRAVED WITH WHITE PIGMENT CURING COMPOUND.
  - ALL DIMENSIONS ARE IN MILLIMETRES.

**D4 SAW-CUT CONCRETE** 1:10

**D4 STRUCTURAL SOIL** 1:30



- NOTES:**
- BIO-SWALES ARE MINIMUM 4' WIDE AND VARY IN LENGTH DEPENDING ON LOCATION IN SITE.
  - THERE IS ONE 12" WIDE CURB/CUT EVERY 20 FEET TO ALLOW RUNOFF TO ENTER THE SWALES FROM THE ROAD SURFACE.
  - ROCK WEIRS ARE TO BE INSTALLED EVERY 50 FEET TO SLOW FLOW AND ENHANCE INFILTRATION.
  - REFER TO CIVIL DRAWINGS FOR SUBGRADE SPECIFICATIONS.
  - WATER NEWLY PLANTED TREES ONCE A WEEK SOAKING THE CULTIVATED AREA THOROUGHLY.

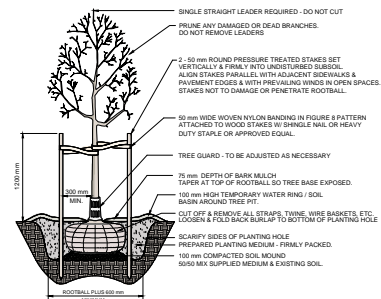


230919	ISSUED FOR COMMENTS RESPONSE
230508	ISSUED FOR DP
230403	ISSUED FOR COORDINATION
230320	ISSUED FOR COORDINATION
NO. DATE (MM/DD)	DESCRIPTION
ISSUES & REVISIONS:	
SCALE:	

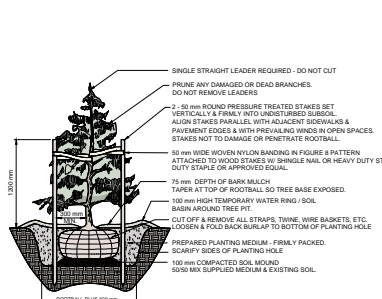
**D4 SAW-CUT CONCRETE** 1:10

**D4 STRUCTURAL SOIL** 1:30

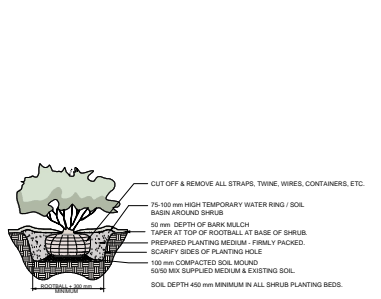
**D5 BIO-SWALE** 1:20



**DECIDUOUS TREE** N.T.S.



**CONIFEROUS TREE** N.T.S.



**SHRUB AND PERENNIAL PLANTING DETAIL** N.T.S.

**PROJECT NAME:**  
**195 BUSINESS CENTRE**

**PROJECT ADDRESS:**  
**19547 32nd AVENUE, SURREY, BC**

**DRAWING TITLE:**  
**DETAILS**

SCALE:	AS NOTED
DRAWN:	SR
CHECKED:	JT
PROJECT NO.:	23010-L
DRAWING NO.:	

**L2**

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# INTER-OFFICE MEMO

---

**TO:** Director, Area Planning & Development  
- South Surrey Division  
Planning and Development Department

**FROM:** Acting Development Support Manager, Engineering Department

**DATE:** September 18, 2023      **PROJECT FILE:** 7823-0166-00

---

**RE:** Engineering Requirements (Commercial/Industrial)  
Location: 19547 32 Ave

## REZONE

### *Property and Right-of-Way Requirements*

- Dedicate 7.2 m towards 32 Avenue.
- Dedicate 10.0 m towards 195 Street.
- Dedicate 6.0 m x 6.0 m corner cut at 195 Street and 32 Avenue.
- Register 0.50 m SRW along all road frontages.
- Register 3.5 m off-site SRW on 19495 92 Avenue along 195 Street.

### *Works and Services*

- Construct multi-use pathway along north side of 32 Avenue.
- Construct the east side of 195 Street.
- Construct storm, sanitary, water mains along 32 Avenue and 195 Street.
- Complete sanitary and storm catchment analysis and resolve downstream constraints.
- Construct storm, sanitary and water service connections to service the development.
- Provide on-site stormwater mitigation and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

## DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.



Daniel Sohn, P.Eng.  
Acting Development Support Manager

BD

## Tree Preservation Summary

**Surrey Project No: 23-0166**

**Address:** 19547, 19561 32<sup>ND</sup> Av, Surrey, BC

**Registered Arborist:** Alexander Groenewold ISA TRAQ

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>8</b> <b>(+10 protected undersize trees)</b>
<b>Protected Trees to be Removed</b>	<b>8</b>
<b>Protected Trees to be Retained</b> (Excluding trees within proposed open space or riparian areas)	<b>9 protected undersize trees</b>
<b>Total Replacement Trees Required:</b> <ul style="list-style-type: none"> <li>• Alder &amp; Cottonwood Trees requiring 1 to 1 Replacement Ratio _____ x 1 =</li> <li>• All other Trees requiring 2 to 1 Replacement Ratio __<b>9</b>__ x 2 =</li> </ul>	<b>18</b>
<b>Replacement Trees Proposed</b>	<b>66</b>
<b>Replacement Trees in Deficit</b>	<b>-</b>
<b>Protected Trees to be Retained in Proposed Open Space / Riparian Areas</b>	

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed:</b>	<b>13</b>
<b>Total Replacement Trees Required:</b> <ul style="list-style-type: none"> <li>• Alder &amp; Cottonwood Trees requiring 1 to 1 Replacement Ratio _____ x 1 =</li> <li>• All other Trees requiring 2 to 1 Replacement Ratio __<b>13</b>__ x 2 =</li> </ul>	<b>26</b>
<b>Replacement Trees Proposed</b>	<b>TBD</b>
<b>Replacement Trees in Deficit</b>	<b>TBD</b>

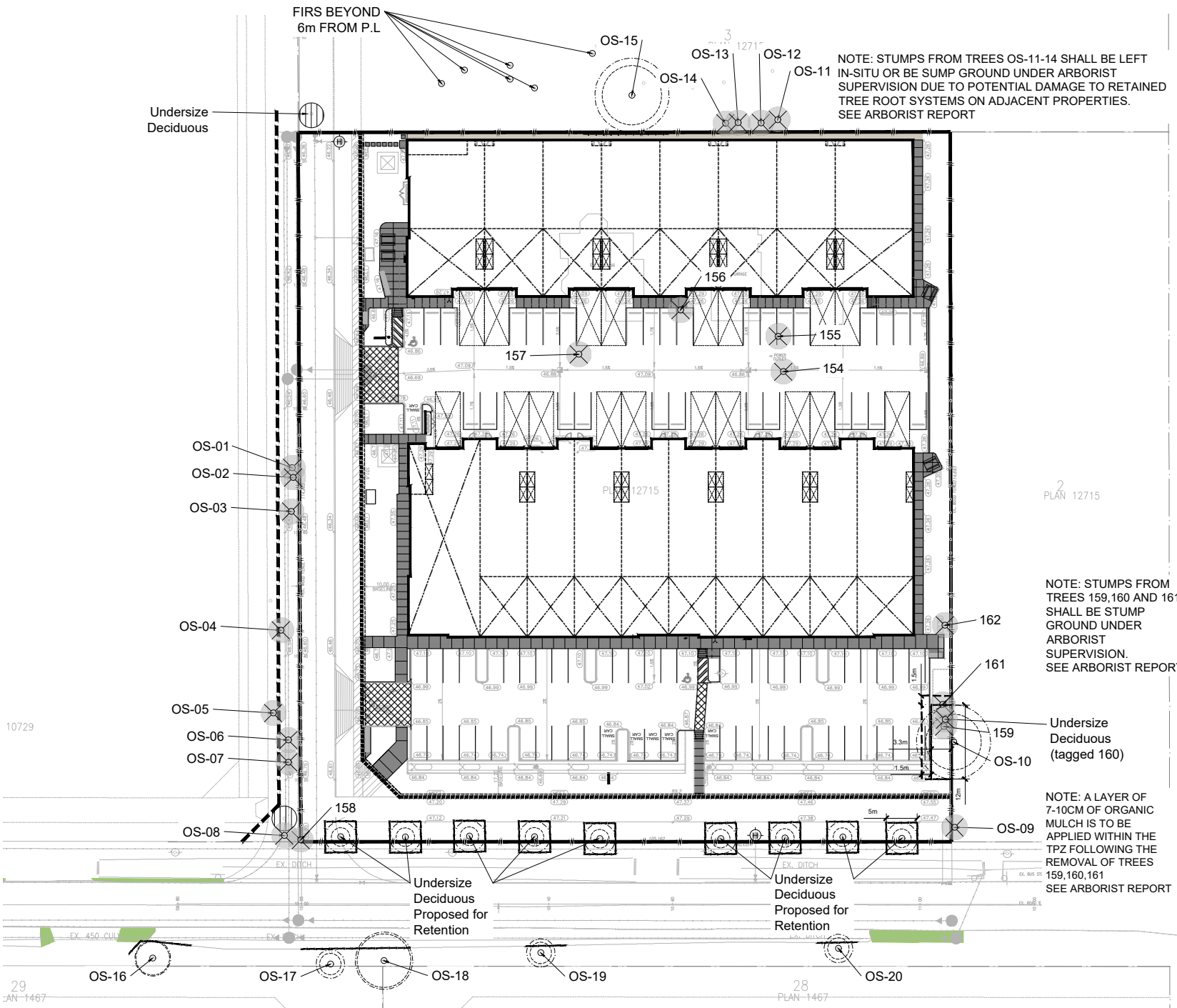
Summary, Report and Plan prepared and submitted by:



\_\_\_\_\_  
(Signature of Arborist)

September 18<sup>th</sup>, 2023

\_\_\_\_\_  
Date:



NOTE: STUMPS FROM TREES OS-11-14 SHALL BE LEFT IN-SITU OR BE SUMP GROUND UNDER ARBORIST SUPERVISION DUE TO POTENTIAL DAMAGE TO RETAINED TREE ROOT SYSTEMS ON ADJACENT PROPERTIES. SEE ARBORIST REPORT

NOTE: STUMPS FROM TREES 159, 160 AND 161 SHALL BE STUMP GROUND UNDER ARBORIST SUPERVISION. SEE ARBORIST REPORT

NOTE: A LAYER OF 7-10CM OF ORGANIC MULCH IS TO BE APPLIED WITHIN THE TPZ FOLLOWING THE REMOVAL OF TREES 159, 160, 161 SEE ARBORIST REPORT

**LEGEND**

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDERSIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- TREE TAGNO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRIFLINE)

Assessment Done March 14, 2023  
By Alexander Greenwald,  
I.S.A. TRAQ



PROJECT NAME:  
**195 BUSINESS CENTRE**

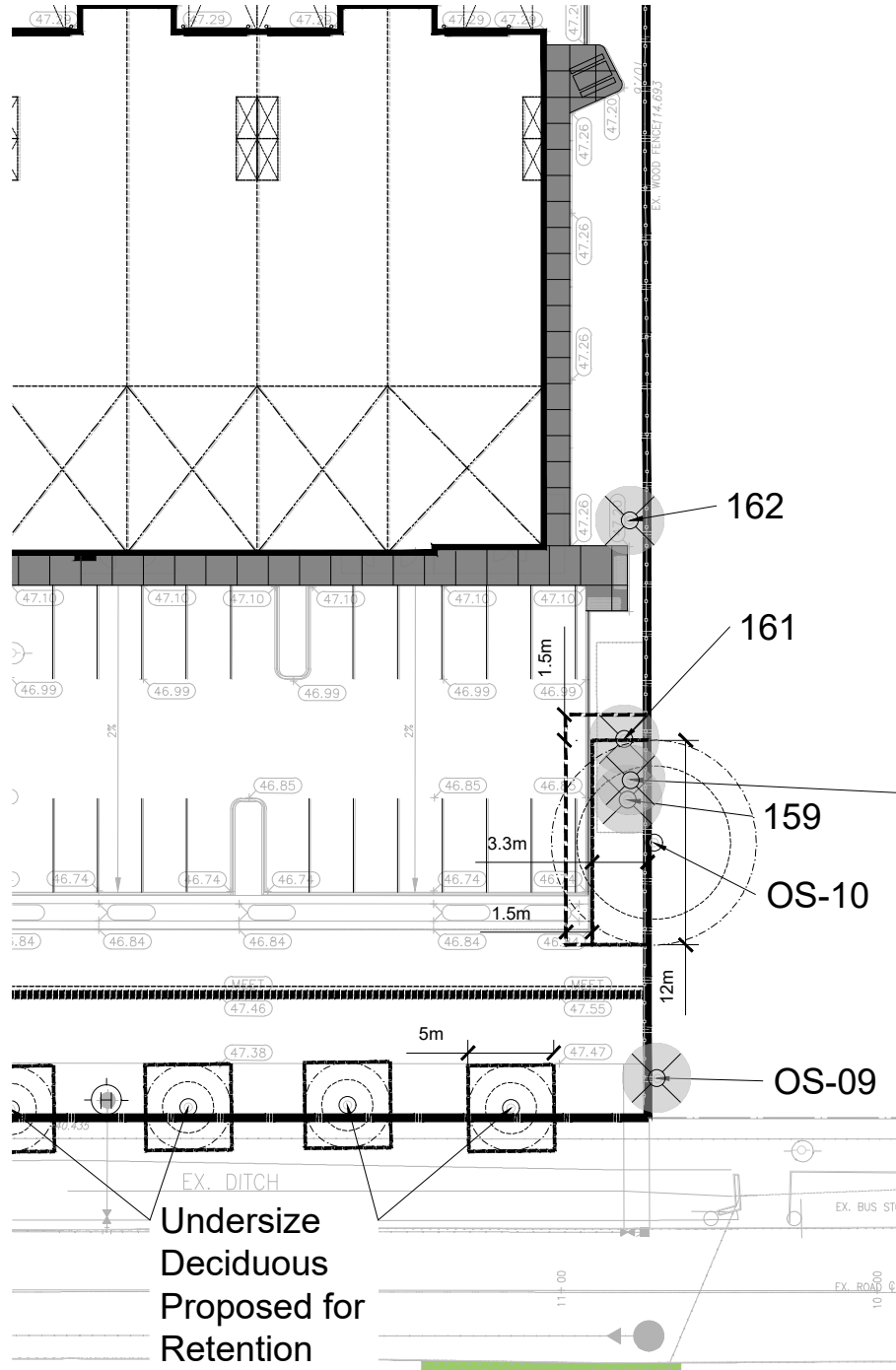
PROJECT ADDRESS:  
19547, 19561 32nd AVENUE  
SURRE, B.C

DRAWING TITLE:  
**TREE MANAGEMENT PLAN**

SCALE: XXXX AT ARCH C SIZE  
DRAWN: AG  
CHECKED: N/A  
PROJECT NO.: 230110-L  
DRAWING NO.:

**T1**

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2  
PLAN 12715

NOTE: STUMPS FROM TREES 159,160 AND 161 SHALL BE STUMP GROUND UNDER ARBORIST SUPERVISION. SEE ARBORIST REPORT

Undersize Deciduous (tagged 160)

NOTE: A LAYER OF 7-10CM OF ORGANIC MULCH IS TO BE APPLIED WITHIN THE TPZ FOLLOWING THE REMOVAL OF TREES 159,160,161 SEE ARBORIST REPORT

- LEGEND**
- EXISTING TREE PROPOSED FOR REMOVAL
  - EXISTING TREE TO BE RETAINED
  - UNDERSIZE TREE
  - TREE PROTECTION FENCING
  - ARBORIST SUPERVISION ZONE
  - TREE TAGNO. 19
  - CRITICAL ROOT ZONE
  - TREE PROTECTION ZONE (LARGER OF CRZ OR DRIPLINE)

Assessment Done March 14, 2023  
By Alexander Groenewold, I.S.A. TRAQ

PROJECT NAME:  
**195 BUSINESS CENTRE**

PROJECT ADDRESS:  
**19547, 19561 32nd AVENUE  
SURRE, B.C**

DRAWING TYPE:  
**TREE MANAGEMENT  
PLAN - ENLARGEMENT**

SCALE:	XXXX AT ARCH C SIZE
DRAWN:	AG
CHECKED:	N/A
PROJECT NO.:	230110-L
DRAWING NO.:	<b>T1.1</b>



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0166-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-735-283  
Lot 1 Section 27 Township 7 New  
Westminster District Plan 12715  
19547 32 Avenue  
19561 32 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:  
  
Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
  - (a) to reduce the minimum rear yard setback of the IB-1 Zone from 7.5 metres to 1.2 metres to the principal building face; and
  - (b) to reduce the minimum number of on-site parking spaces from 92 to 88.

4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF           , 20   .

ISSUED THIS    DAY OF           , 20   .

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Mayor – Brenda Locke

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City Clerk – Jennifer Ficocelli

# Schedule A

**SITE DATA - BUILDING 100 & 200**  
 1591 32ND AVENUE, SURREY, B.C.  
 LEGAL DESCRIPTION: LOT 1 SECTION 21 TOWNSHIP PLAN N191218  
 EXISTING ZONING: A-1  
 PROPOSED ZONING: IB-1  
 GROSS LOT AREA: 10 221 sqm / 121 ha [ 24652 sq.ft. / 2.89 AC. ]  
 NET LOT AREA: 10 221 sqm / 121 ha [ 10222 sq.ft. / 2.89 AC. ]  
 BLDG 100 BUILDING AREA (FOOTPRINT): 2 461 m<sup>2</sup> [ 27145 sq.ft. ]  
 BLDG 200 BUILDING AREA (FOOTPRINT): 2 018 m<sup>2</sup> [ 21643 sq.ft. ]  
 TOTAL BUILDING AREA (FOOTPRINT): 4 479 m<sup>2</sup> [ 48788 sq.ft. ]  
 NET SITE COVERAGE: 80% MAX. 40.889 / 10222 = 4.48%  
 NET PARKING: 10 MAX. 40.889 + 20122 / 10222 = 0.402  
 OVERALL PROJECT PARKING (SEE BELOW FOR INDIVIDUAL BUILDINGS)  
 BUILDING 1000 PARKING REQUIRED: 51 (9.02)  
 BUILDING 2000 PARKING REQUIRED: 41 (4.12)  
 TOTAL PARKING REQUIRED: 92 (9.23)  
 TOTAL PARKING PROVIDED: 86 \*  
 \* = VARIANCE REQUIRED

**SITE DATA - BUILDING 100**

SETBACKS:	MIN.	PROPOSED:
FRONT (SOUTH):	6.0m [ 19.68' ]	28.24m [ 92.65' ]
SIDE (EAST):	5.0m [ 16.40' ]	8.0m [ 26.25' ]
SIDE (WEST):	7.5m [ 24.60' ]	7.5m [ 24.60' ]
REAR (NORTH):	7.5m [ 24.60' ]	7.5m [ 24.60' ]
HEIGHT:	49' [ 14m ] MAX.	56' [ 10.47m ]

PARKING REQUIRED:  
 HARDWARE: 1 STALL PER 1710 S.F.  
 OFFICE: 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 16/094 / 1076 = 14.8  
 1ST FLR. OFFICE: 1/1044 / 291 = 25.1  
 2ND FLR. INDUSTRIAL: 1/1044 / 1076 = 13.8

BUILDING 1000 PARKING REQUIRED: 51 (9.02)  
 BUILDING 1000 PARKING PROVIDED: 56  
 ACCESSIBLE PARKING REQUIRED: 2% OR 1.0  
 ACCESSIBLE PARKING PROVIDED: 1  
 SMALL CAR PARKING ALLOWED: 55% OR 17.8  
 SMALL CAR PARKING PROVIDED: 5  
 BICYCLE PARKING PROVIDED: 2 RACKS

**SITE DATA - BUILDING 200**

SETBACKS:	MIN.	PROPOSED:
FRONT (SOUTH):	6.0m [ 19.68' ]	8.0m [ 26.25' ]
SIDE (EAST):	5.0m [ 16.40' ]	8.0m [ 26.25' ]
SIDE (WEST):	7.5m [ 24.60' ]	7.5m [ 24.60' ]
REAR (NORTH):	7.5m [ 24.60' ]	7.5m [ 24.60' ]
HEIGHT:	49' [ 14m ] MAX.	56' [ 10.47m ]

PARKING REQUIRED:  
 HARDWARE: 1 STALL PER 1710 S.F.  
 OFFICE: 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 21/412 / 1076 = 20.1  
 2ND FLR. OFFICE: 4/100 / 414 = 20.1

BUILDING 2000 PARKING REQUIRED: 41 (4.12)  
 BUILDING 2000 PARKING PROVIDED: 52  
 ACCESSIBLE PARKING REQUIRED: 2% OR 0.85  
 ACCESSIBLE PARKING PROVIDED: 1  
 SMALL CAR PARKING ALLOWED: 55% OR 14.4  
 SMALL CAR PARKING PROVIDED: 1  
 BICYCLE PARKING PROVIDED: 2 RACKS

to reduce the minimum rear yard setback of the IB-1 Zone from 7.5 metres to 1.2 metres to the principal building face;

LANDSCAPING PER DETAIL 314-1.2	LANDSCAPING PER DETAIL 314-1.2
LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS	
PART ON ASPHALT	
4" PART STRIPE TYPICAL	
ASPHALT CROSSING TO MANHOLE SPECS	
8" x 16" TRIPLE CONCRETE PILES WITH STEEL PILING, POLYMER SIDE OF GRADE LEVEL. DOOR TYPICAL AT ALL GRADE DOORS. SEE DETAIL 114-1.2	
FLUSH CONCRETE SIDEWALK, LIGHT BROOM FINISH	
LINE OF CANOPY ABOVE. SEE PLANS AND DETAILS FOR MORE INFORMATION	
BARRIAGE LOCATION INSIDE BUILDING. TYPICAL. SEE DETAIL 314-1.2	
PIVOT TABLE PER LANDSCAPE ARCHITECT	
BICYCLE PARKING (2 UNITS) PER DETAIL 614-1.2	
SAWTOOTH CONCRETE	
BENCH PER LANDSCAPE ARCHITECT	
ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT	
SEE NOTES FOR MECHANICAL DRAWINGS AND INFORMATION AS REQUIRED BY BC HYDRO AND MUNICIPALITY. SEE DETAIL 614-1.2	
ELECTRICAL ROOM. SEE ELECTRICAL DRAWINGS. SEE DETAIL 114-1.2	
FREE STANDING SIGNAGE LOCATED MIN. 2.0M FROM PL. SEE DETAIL 1014-1.2	
TYPICAL ACCESSIBLE ENTRANCE	
FIRE DEPARTMENT CONNECTION. SEE MECHANICAL DRAWINGS	
TRAVEL DISTANCE HYDRANT TO FDC 0.47 [ 14m ] MAX CONFORM ON SITE	
ANNUNCIATOR PANEL. SEE ELECTRICAL DRAWINGS	
SCREEN WALL	
FIRE HYDRANT	
WATER ENTRY CHAMBER 0.3m X 2.3m SEE CIVIL DWG FOR DETAILS	
HAZELOP. SEE DETAIL 514-1.2	
TREE PROTECTION FENCING PER ARBORIST REPORT	

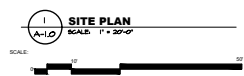
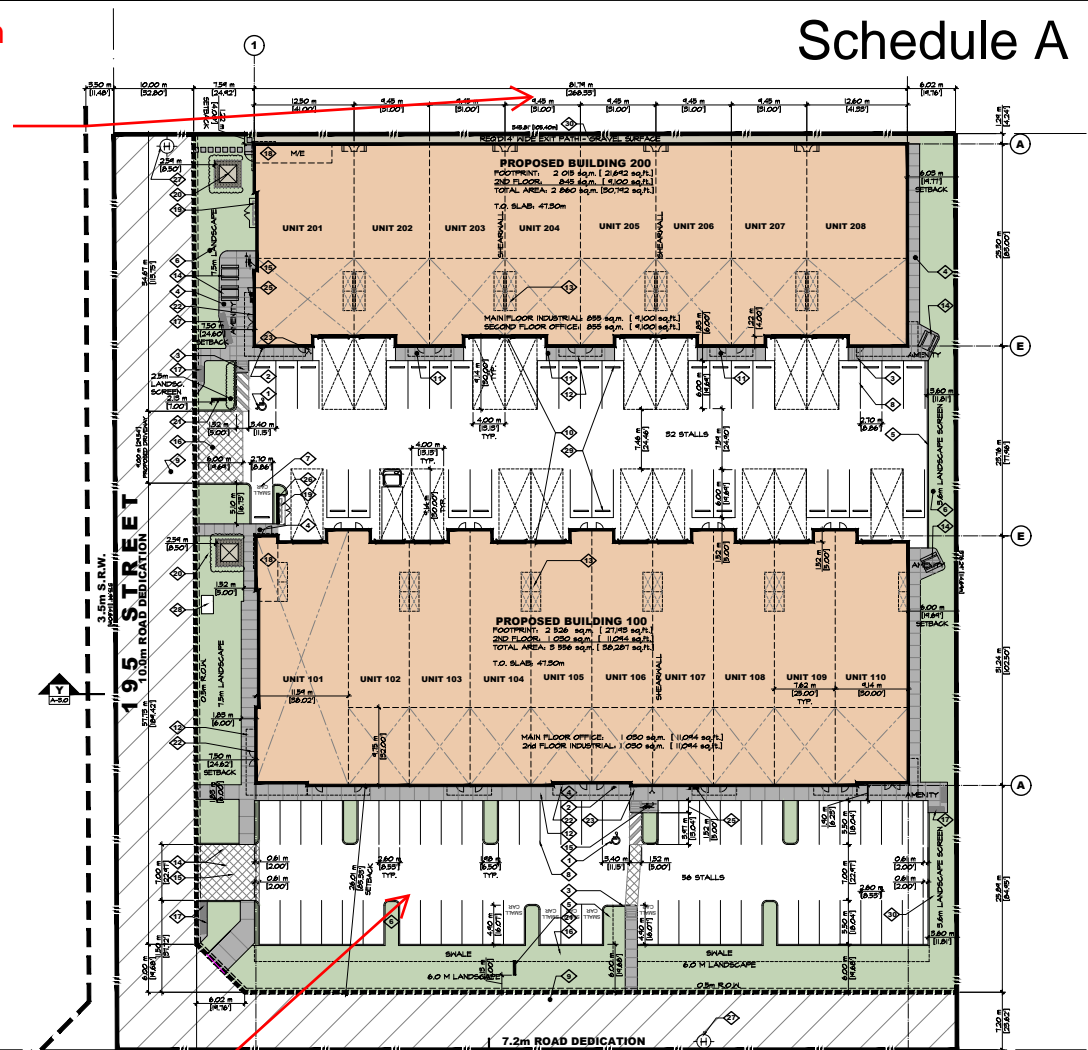
**LEGEND**

EXISTING GRADE

PROPOSED GRADE

SELECT GRADES SHOWN REFER TO CIVIL PLANS AND TOPOGRAPHY PLAN FOR GRADES

to reduce the parking spaces from 92 to 88.



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IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
 1591 32ND AVENUE, SURREY, B.C. V2Y 2G2  
 TEL: (604) 591-1111 FAX: (604) 591-1112  
 WWW.DFORCEDESIGN.COM

**ORION CONSTRUCTION**  
 UNIT 105 18923 85A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-2994

NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	2024-08-15	ISSUE FOR PERMIT	1	2024-08-15	ISSUE FOR PERMIT	1	2024-08-15	ISSUE FOR PERMIT
2	2024-08-22	CLIENT REVISION	2	2024-08-22	CLIENT REVISION	2	2024-08-22	CLIENT REVISION
3	2024-09-05	REVISED FOR COMMENTS FROM CITY	3	2024-09-05	REVISED FOR COMMENTS FROM CITY	3	2024-09-05	REVISED FOR COMMENTS FROM CITY
4	2024-09-12	REVISED FOR PERMIT	4	2024-09-12	REVISED FOR PERMIT	4	2024-09-12	REVISED FOR PERMIT
5	2024-09-19	REVISED ORIGINALLY	5	2024-09-19	REVISED ORIGINALLY	5	2024-09-19	REVISED ORIGINALLY
6	2024-09-26	REVISED DRAWINGS	6	2024-09-26	REVISED DRAWINGS	6	2024-09-26	REVISED DRAWINGS
7	2024-10-03	REVISED FENCING PROVISIONS	7	2024-10-03	REVISED FENCING PROVISIONS	7	2024-10-03	REVISED FENCING PROVISIONS
8	2024-10-10	CLIENT REVISIONS	8	2024-10-10	CLIENT REVISIONS	8	2024-10-10	CLIENT REVISIONS
9	2024-10-17	REVISED DRAWINGS	9	2024-10-17	REVISED DRAWINGS	9	2024-10-17	REVISED DRAWINGS
10	2024-10-24	REVISED DRAWINGS	10	2024-10-24	REVISED DRAWINGS	10	2024-10-24	REVISED DRAWINGS
11	2024-10-31	REVISED DRAWINGS	11	2024-10-31	REVISED DRAWINGS	11	2024-10-31	REVISED DRAWINGS
12	2024-11-07	REVISED DRAWINGS	12	2024-11-07	REVISED DRAWINGS	12	2024-11-07	REVISED DRAWINGS
13	2024-11-14	REVISED DRAWINGS	13	2024-11-14	REVISED DRAWINGS	13	2024-11-14	REVISED DRAWINGS
14	2024-11-21	REVISED DRAWINGS	14	2024-11-21	REVISED DRAWINGS	14	2024-11-21	REVISED DRAWINGS
15	2024-11-28	REVISED DRAWINGS	15	2024-11-28	REVISED DRAWINGS	15	2024-11-28	REVISED DRAWINGS

PROJECT: PROPOSED BUILDING FOR  
**195 BUSINESS CENTRE**  
 ADDRESS: 1591 32nd Avenue, Surrey, B.C.  
 DRAWING NUMBER: **A-1.0**  
 SHEET: 8