
TO: **City Clerk, Legislative Services Division**

FROM: **General Manager, Planning & Development Department**

DATE: **December 18, 2023** FILE: **7923-0265-00**

RE: **Agenda Item B.11, December 18, 2023 Regular Council – (Land Use)
Development Application No. 7923-0265-00
Replacement Pages for the Planning Report**

Development Application No. 7923-0265-00 is on the agenda for consideration by Council at the December 18, 2023 Regular Council – Land Use Meeting under Item B.11.

After finalizing the Planning Report for the December 18, 2023 Regular Council – Land Use Agenda, the following corrections were identified:

1. The OCP Amendment map did not include the portion of City-owned lane proposed to be acquired and consolidated as part of the development application. The OCP Amendment map has been updated to reflect the inclusion of the portion of lane.
2. The map on the first page of the Planning Report did not include the portion of City-owned lane proposed to be included and acquired as part of the development application. The first page has been updated to reflect the inclusion of the portion of lane.
3. An address was incorrectly labelled on the first page of the Planning Report as 10492 King George Boulevard and has been corrected to 10392 King George Boulevard.

Page 1 of the Planning Report and Appendix V (OCP Amendment Map) have been updated to reflect these changes.

The replacement pages are attached to this memorandum.



Ron Gill
Director, Area Planning North
Planning & Development Department

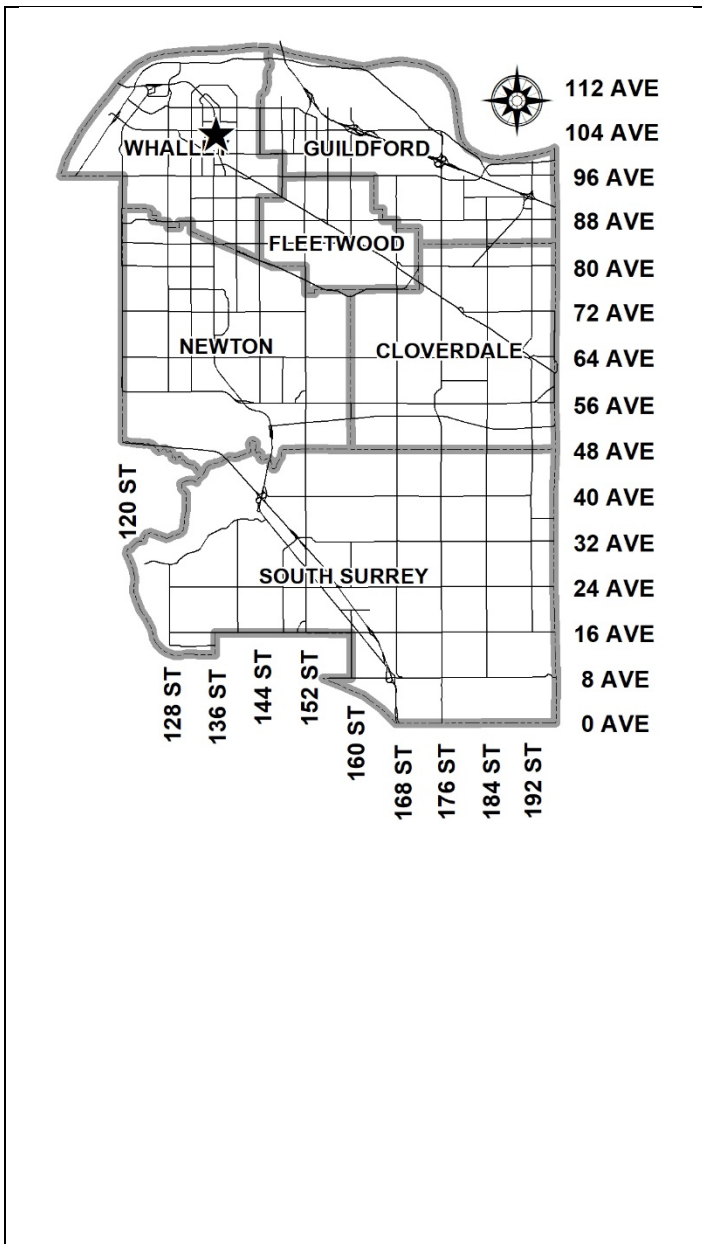
Attachment - 7923-0265-00- Page 1 and Appendix V, Replacement Pages

c.c. - City Manager

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0265-00

Planning Report Date: December 18, 2023



PROPOSAL:

- **OCP Amendment** to Figure 16: Downtown Densities from 3.5 FAR to 7.5 FAR
- **OCP Text Amendment** to allow for a density of 9.7 FAR within the Downtown designation
- **City Centre Plan amendment** from Mid to High Rise Mixed-Use (3.5 FAR) to High Rise Mixed-Use Type II (7.5 FAR) and to eliminate the lane
- **Rezoning** from CHI and C-8 to CD and
- **Development Permit**

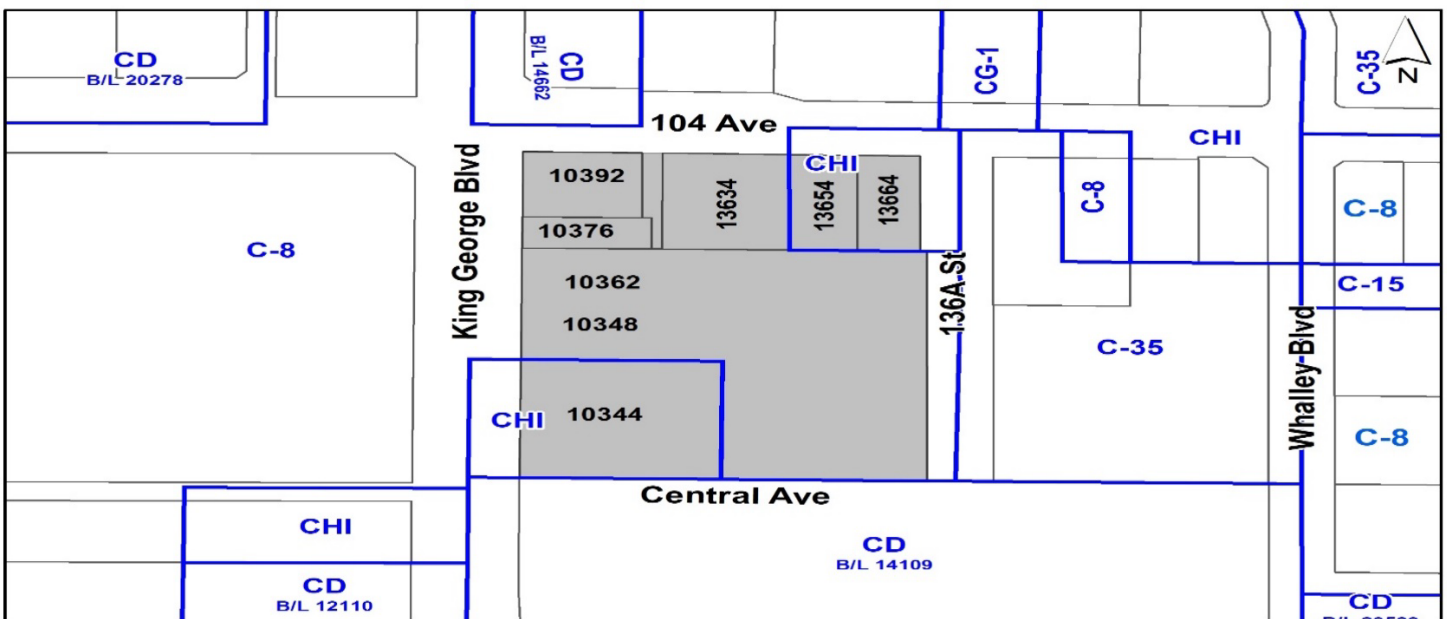
to allow for the phased development of four (4) buildings in City Centre, including 3 mixed-use towers with heights between 56 and 65-stories and 1 mid-rise hotel.

LOCATION: 10376 King George Boulevard,
 13654 - 104 Avenue,
 13634 - 104 Avenue,
 10344/10348(10362)/10392 King George Boulevard, 13664 - 104 Avenue, and
 Portion of lane

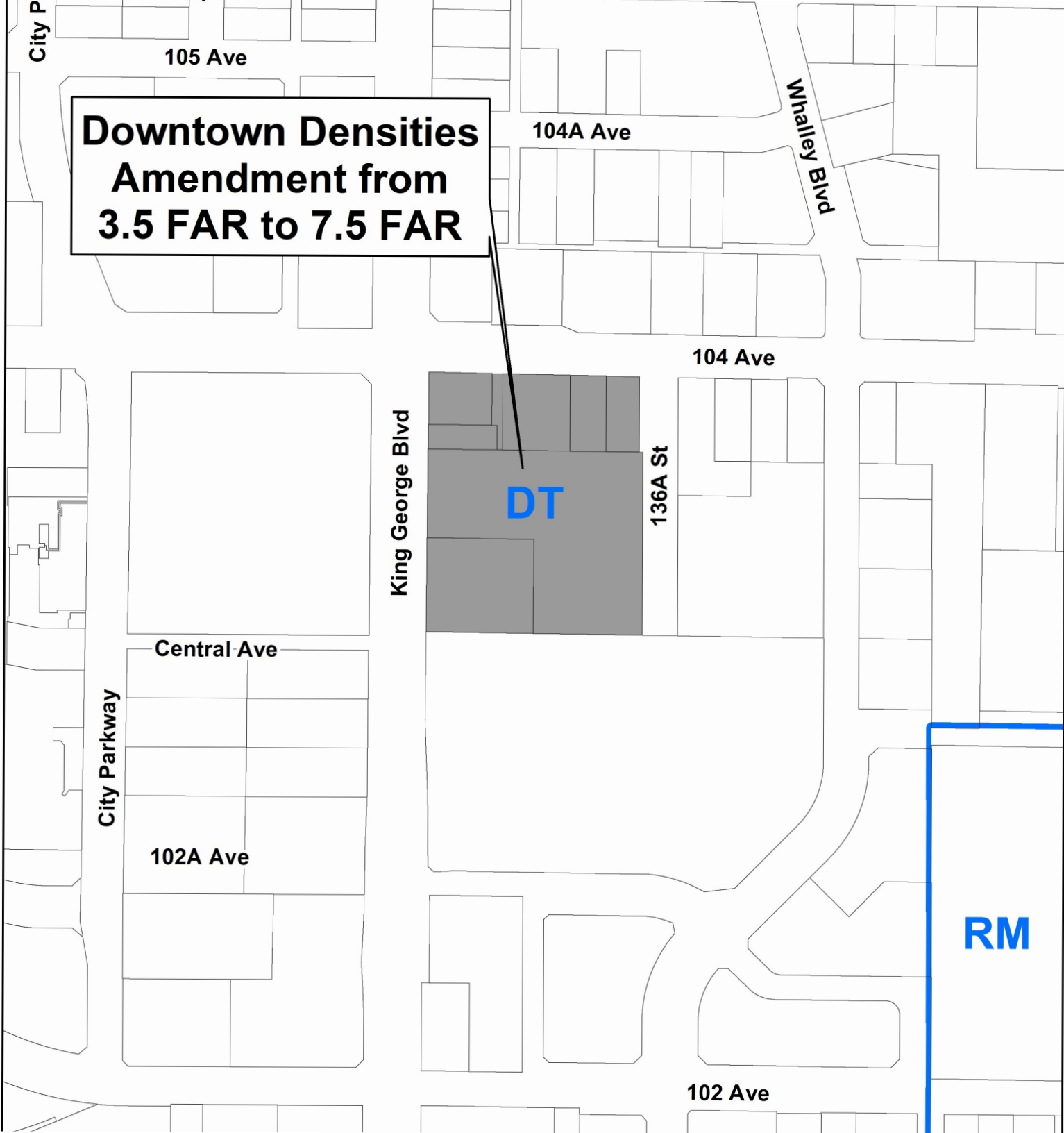
ZONING: CHI and C-8

OCP DESIGNATION: Downtown

CITY CENTRE PLAN DESIGNATION: Mid to High Rise Mixed-Use (3.5 FAR)



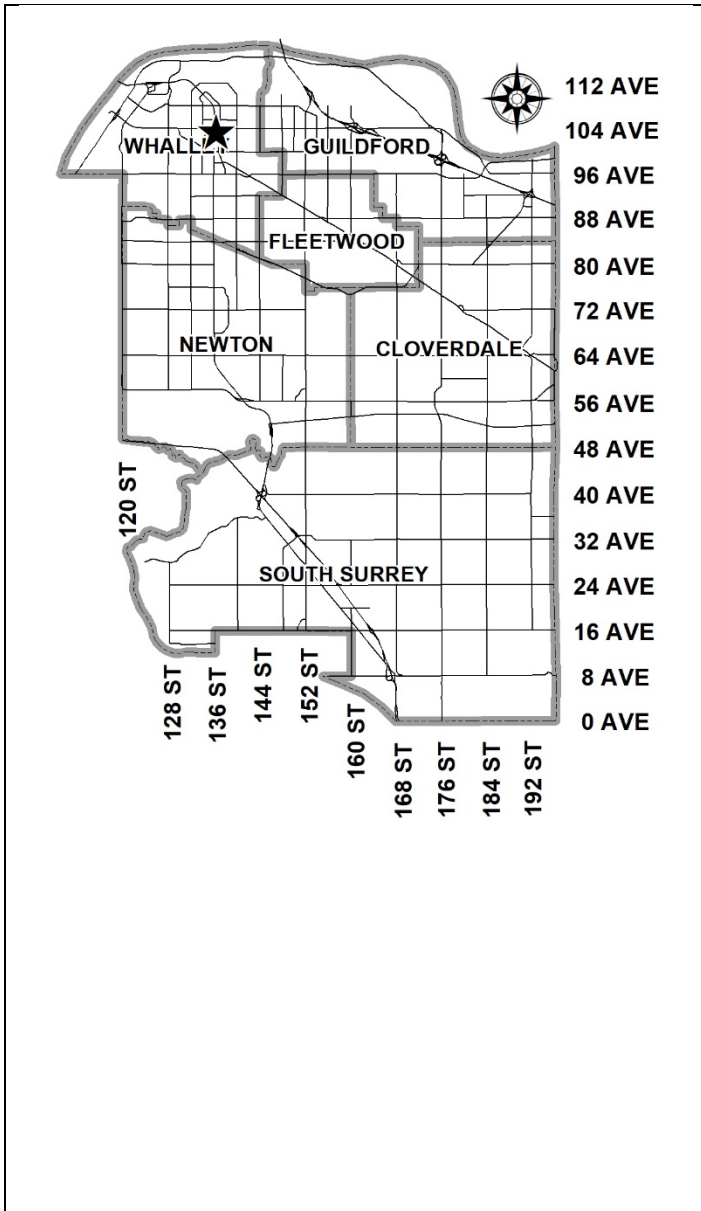
**Downtown Densities
Amendment from
3.5 FAR to 7.5 FAR**



City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0265-00

Planning Report Date: December 18, 2023



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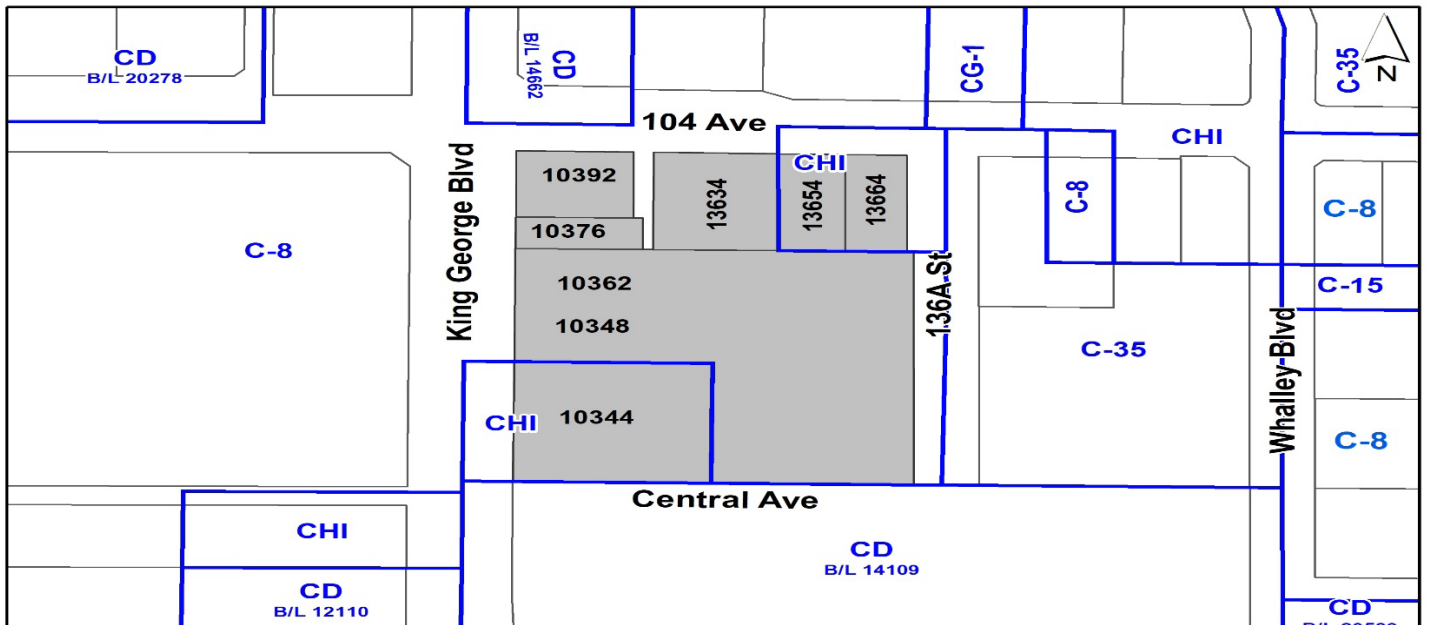
to allow for the phased development of four (4) buildings in City Centre, including 3 mixed-use towers with heights between 56 and 65-storeys and 1 mid-rise hotel.

LOCATION: 10376 King George Boulevard,
 13654 - 104 Avenue,
 13634 - 104 Avenue,
 10344/10348/10492 King George Boulevard, 13664 - 104 Avenue, and Portion of lane

ZONING: CHI and C-8

OCP DESIGNATION: Downtown

CITY CENTRE PLAN DESIGNATION: Mid to High Rise Mixed-Use (3.5 FAR)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the Official Community Plan (OCP) to amend Figure 16: Downtown Densities from "3.5 FAR" to "7.5 FAR" and to OCP, "Table 7A: Land Use Designation Exceptions', to allow for a FAR of 9.7 within the "Downtown Densities".
- Requires an amendment to the City Centre Plan to redesignate the subject site from "Mid to High Rise Mixed-Use 3.5 FAR" to "High Rise Mixed-Use Type II 7.5 FAR".

RATIONALE OF RECOMMENDATION

- The subject site is located directly across King George Boulevard from lands designated Central Business District Area 2 (7.5 FAR) in the City Centre, with significant commercial and office requirements.
- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed multiple mixed-use towers with significant commercial & office podiums and stand-alone hotel will support and complement this area of Surrey City Centre.
- The proposed density and building forms are appropriate for this part of Surrey City Centre, and form part of an emerging high-density mixed-use, office and residential hub around Surrey Central SkyTrain Station, Centre Block and Civic Centre.
- The proposed development is complementary to adjacent proposed tower developments in City Centre and will complement the Central Business District Area 2.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations in City Centre. The Surrey Central Skytrain Station is located within walking distance of less than 250 metres (less than 5 minutes) from the subject site.

-
- The proposal seeks to provide a significant commercial and office component, with approximately 43,144 square metres of office and commercial floor space and 14,489 square metres of hotel floor space proposed. This equates to an overall 3.2 FAR of commercial, office and hotel floorspace. The remaining 6.5 FAR is proposed as residential.
 - The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan, adjacent developments, and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
 - The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased residential density.
 - The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm, with a significant public plaza proposed along the south portion of the site. This plaza space has been designed to serve the site as well as the future Surrey City Centre community.
 - The proposed building achieves an attractive architectural built form, which utilizes high quality materials, contemporary lines, and unique form.

RECOMMENDATION

1. An OCP By-law be introduced to:
 - (a) amend the OCP Figure 16: Downtown Densities for the subject site from 3.5 FAR to 7.5 FAR (Appendix V); and
 - (b) amend the OCP, ‘Table 7A: Land Use Designation Exceptions’, by adding the following site specific notation:

“Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw # xxxxx	Downtown	(a) 10376 King George Blvd (b) 13654 104 Avenue (c) 13634 104 Avenue (d) 10344 King George Blvd (e) 10348 King George Blvd (f) 10392 King George Blvd (g) 13664 104 Avenue Portion of lane	Density permitted up to 9.7 FAR”

and a date be set for Public Hearing.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A Bylaw be introduced to rezone from “Community Commercial Zone (C-8)” and “Highway Commercial Industrial Zone (CHI)” to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Detailed Development Permit No. 7923-0265-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department, including the provision of sufficient soil volumes to allow for tree planting within the public plaza;

- (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of an acoustical report and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (h) registration of a volumetric statutory right-of-way for public rights-of-passage for all plazas on the site;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (j) complete the closure, acquisition and consolidation of the existing City-owned lane allowance, proposed to form part of the development site;
 - (k) final submission and approval of the Transportation Impact Assessment, prepared by Bunt and Associates, transportation demand management plan (TDM) and cash-in-lieu to the satisfaction of staff;
 - (l) registration of a Section 219 Restrictive Covenant to provide notice on title of phasing requirements resulting from the shared access;
 - (m) registration of an access easement to secure for future shared access between the four (4) ultimate developments; and
 - (n) registration of a Section 219 Restrictive Covenant No-Build to secure for the plaza construction and landscaping in advance of Phase 2.
6. Council pass a resolution to amend the Surrey City Centre Plan to redesignate portions of the land from 'High Rise 3.5 FAR' to 'Mixed-Use 7.5 FAR' and to allow for an FAR of 9.7 within the 'Mixed-Use 7.5 FAR' designation and to eliminate the lane, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Multiple single-storey commercial retail units, including large-scale drug store, eating establishments and multi-storey office building.	Mid to High Rise Mixed-Use (3.5 FAR)	CHI and C-8
North (Across 104 Avenue):	A gas station and single-storey commercial buildings	Mid to High Rise Mixed-Use (3.5 FAR)	CD (Bylaw No. 14662), C-8
East (Across 136A Street):	Office building and development application (18-0141) proposing a 36-storey mixed-use building, currently at Third Reading	Mid to High Rise Mixed-Use (3.5 FAR) and Mid to High Rise Residential (3.5 FAR)	C-8 and C-35
South:	Development application (22-0103) proposing a multi-phase mixed-use tower development, currently at initial review.	Mid to High Rise Mixed-Use (3.5 FAR) and Mid to High Rise Residential (3.5 FAR)	CD (Bylaw No. 14109)
West (Across King George Boulevard):	Existing commercial site under development application (22-0321) proposing a 4 phased mixed-use tower development, currently at initial review.	Central Business District - Area 2 (7.5 FAR)	C-8

Context & Background

- The 18,258 square metre subject site consists of 7 properties and a portion of City-owned lane, located in City Centre, south of 104 Avenue, east of King George Boulevard and west of 136A Street.
- The subject site is designated Downtown in the Official Community Plan (OCP), Mid to High Rise Mixed-Use (3.5) in the City Centre Plan and is zoned Community Commercial (C-8) Zone and Highway Commercial Industrial (CHI) Zone.
- The subject application is generally consistent with the Downtown District designation in the Official Community Plan (OCP) and the Mid to High Rise Mixed-Use designation in the CCP, while being significantly higher in density.
- Staff are supportive of the increase in density given the site's location in City Centre and proximity to Civic Centre and the Central Business District Area 2.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - OCP Amendment to Figure 16: Downtown Densities from 3.5 FAR to 7.5 FAR.
 - OCP Text Amendment to permit a density of 9.7 FAR under the Downtown designation.
 - City Centre Amendment from Mid to High Rise Mixed-Use (3.5 FAR) to High Rise Mixed-Use Type II.
 - Rezoning from C-8 and CHI to CD.
 - Development Permit.
 - Subdivision
- to permit a phased development consisting of three mixed-use towers with heights of 56, 60 and 65-storeys, one 15-storey hotel, 1,541 dwelling units and 43,114 square metres of commercial and office floor space and an overall gross FAR of 9.7.
- A publicly accessible urban plaza is proposed at the south portion of the site.
- The project is proposed as a four-phased development and organized as follows:
 - Phase 1 tower is located at the south-east portion of the site (Block A) and consists of a 56-storey mixed use tower and includes 466 residential dwelling units, and 9,100 square metres of commercial and office floor space.
 - Phase 2 tower is located at the north-east portion of the site (Block B) and consists of a 60-storey mixed-use tower and includes 528 residential dwelling units, 13,944 square metres of commercial and office floor space.

- Phase 3 tower is located at the north-west portion of the site (Block C) and consists of a 56-storey mixed-use tower and includes 547 residential dwelling units, and 19,292 square metres of commercial and office floor space.
- Phase 4 building is located at the south-west portion of the site (Block D) and is proposing a 15-storey hotel with a total floor space of 15,296 square metres.

Proposed Overall Development Data	
Lot Area	
Gross Site Area:	18,258 sq. metres
Road Dedication:	2,409 sq. metres
Undevelopable Area:	N/A
Net Site Area:	15,850 sq. metres
Number of Proposed Lots:	4
Building Heights:	65, 60, 56 and 15-storeys
Floor Area Ratio (FAR):	9.7 gross FAR, 11.1 net FAR
Floor Area	
Residential:	118,630 sq. metres
Commercial/Office:	39,026 sq. metres
Hotel:	14,489 sq. metres
Total:	176,263 sq. metres
Residential Units:	
Studio:	144
1-Bedroom:	468
1-Bedroom & Den	205
2-Bedroom:	660
2-Bedroom and Den:	21
3-Bedroom:	43
Total:	1,541

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 55 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

31 Elementary students at Lena Shaw Elementary
15 Secondary students at Guildford Park Secondary

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in Phase 1 of this project are expected to be constructed and ready for occupancy by 2028.

Parks, Recreation & Culture: The closest active park is Holland Park which is 670 metres away, and the closest natural area is 22G – Greenbelt is the closest park with a natural area and is 700 metres away.

Surrey Fire Department: No concerns subject to detailed review in advance of Development Permit and Building Permit issuance.

Advisory Design Panel: The proposal was considered at the ADP meeting on November 23, 2023 and was supported. The applicant has agreed to resolve most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. All additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Road Network and Infrastructure:

- As part of the subject proposal, the applicant will be providing the following road improvements:

- Dedication and construction of the south side of 104 Avenue to the City Centre arterial road standard;
- Dedication and construction of the east side of King George Boulevard to the City Centre arterial road standard;
- Dedication and construction of the west side of Whalley Boulevard to the City Centre arterial road standard; and
- Dedication and construction of the north side of Central Avenue to the City Centre collector road standard.

Traffic Impacts:

- A site-specific transportation impact assessment (“TIA”) was required to be submitted as part of the proposal.
- The proposed development is anticipated to generate approximately fifteen vehicles every minute in the peak hour, according to industry standard rates.
- The applicant is required to construct improvements to the signalized intersections adjacent to the subject site in order to ensure adequate operations, as per the recommendations of the TIA.

Access and Parking:

- The subject site is proposed to be accessed via an internal drive aisle through the subject site, connecting with King George Boulevard and Whalley Boulevard.
- According to the Zoning Bylaw, the applicant is required to provide a total of 2,369 parking spaces on site.
- The applicant is proposing to provide a total of 1,999 parking spaces on site. A portion of the residential visitor parking space requirement will be shared with parking spaces required for the proposed office use, due to alternate hours of use and anticipated differing temporal peak parking demands.
- To further support the proposed parking provisions, the applicant is proposing to provide transportation demand management measures and payment-in-lieu in accordance with the Alternative Transportation Infrastructure Reserve Fund Bylaw. The specific transportation demand management measures will be finalized prior to final approval of the proposed development.
- Based on the above considerations, staff support the proposed parking provisions.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:

- The buildings are designed to maximize natural daylighting and solar efficiency. The design specifies efficient systems such as intelligent lighting systems and LED lighting throughout, designated to Step Code 2 standards and connected District Energy.
- Construction of the development emphasizes the use of materials that are from certified renewable sources and are manufactured or assembled locally to save on transportation energy and emissions. The design also specifies the use of healthy materials, adhesives, sealants, paints and coatings to minimize the emission of harmful chemicals. These reduce impacts on outside ecosystems while helping create the healthiest indoor environment for homeowners and office workers.
- In the office podiums, the vertical and horizontal shading devices on the facade limit solar gain, particularly on the south and west-facing facades. The office envelope will include a high-performance window system to increase energy efficiency and reduce noise levels and glare.
- Generous residential balcony sizes will facilitate outdoor living and provide additional solar shading.
- Roof areas are designed to incorporate living space, landscape and technology to create a positive environmental effect. Where possible, areas will be dedicated to a 'green roof', reducing waste heat generation and creating beneficial urban eco-habitat for birds.
- The stormwater collection system will filter runoff and reduce pressure on the public storm water system. This extensive perimeter stormwater management system will be assisted by the water-retaining capacity of the landscaped open space, roof decks and permeable surfaces.

School Capacity Considerations

- The School District has advised that 8 modular units have been approved at Lena Shaw Elementary School and will be operational in September 2024. Ministry funding has been approved for a 450-capacity addition to Guildford Park Secondary School, targeted to open September 2028.
- These expansions will be in place in advance of the final completion of Phase 1.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed development complies with the RGS.

Official Community Plan

Land Use Designation

- The subject site is designated Downtown in the Official Community Plan, with a permitted maximum density of 3.5 FAR as noted in Figure 16 of the OCP.

- The applicant is proposing to amend Figure 16 for the proposed development from 3.5 FAR to 7.5 FAR.
- The applicant is also proposed an OCP Text Amendment to permit a density up to 9.7 FAR in the Downtown designation.
- The proposed development will be subject to both Tier 1 and Tier 2 Capital Plan Project CACs.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the City Centre, Central Downtown Area.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into Surrey's City Centre at densities sufficient to encourage commercial development and transit services expansion.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Strengthen Surrey's City Centre as a dynamic, attractive and complete Metropolitan Core, by providing a mix of commercial and residential space in a comprehensively-designed development.
 - Transit Corridors: Support Transit Oriented Development along major corridors linking urban centres and employment areas, through the development of a high density development within walking distance to the SkyTrain and other transit infrastructure.
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Implement high architectural and urban design standards to create both socially and environmentally sustainable high-density development, with a unique blend of safe, beautiful, active, and vibrant interconnected and publicly-accessible spaces.

Secondary Plans

Land Use Designation

- The subject site is designated Mid to High Rise Mixed Use in the City Centre Plan (CCP).
- The applicant is proposing to amend the City Centre Plan from Mid to High Rise Mixed Use (3.5 FAR) to High Rise Mixed-Use – Type II (7.5 FAR) to accommodate the proposed development.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the Surrey City Central.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The Surrey Central Station is located within a walking distance of 250 metres from the subject site.
- The proposed development includes limited ground floor commercial and reflects the proposed commercial and office uses currently under application nearby in City Centre, such as Development Application No. 7923-0013-00 and 7921-0006-00.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed residential density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Build Density, through the development of a high-density development close to the SkyTrain stations.
 - Encourage Housing Diversity, with a variety of unit types and sizes.
 - Create Vibrant Urban Space, with high quality architectural aesthetics, individual units oriented towards public streets to animate the street, and amenities such as plazas.
 - Green the Downtown, with appropriate new tree planting and landscaping treatments.
 - Promote Identity and Sense of Place, with a blend of open landscaped spaces and enclosed residential spaces.

CD By-law

- The applicant proposes to rezone the subject site from "Community Commercial Zone (C-8)" and "Highway Commercial Industrial Zone (CHI)" to "Comprehensive Development Zone (CD)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including parking requirements.

	RM-135 and C-8 Zones	Proposed CD By-law
Land Use	<p>The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple residential buildings.</p> <p>The C-8 Zone permits commercial uses including:</p> <ul style="list-style-type: none"> • Retail stores; • Personal service uses; • General service uses; • Beverage container return centres; • Eating establishments; • Neighbourhood pubs; • Liquor stores; • Office uses; • Parking facilities; • Automotive service uses; • Indoor recreational facilities; • Entertainment uses; • Assembly Halls; • Community services; • Child care facilities; and • One dwelling unit. 	<ul style="list-style-type: none"> • Multiple unit residential buildings; • Ground-oriented multiple residential buildings; • Retail stores; • Personal service uses; • General service uses; • Eating establishments; • Tourist accommodation; • Neighbourhood pubs; • Liquor stores; • Office uses; • Indoor recreational facilities; • Entertainment uses; • Cultural uses; • Community services; and • Child care facilities.
FAR (Net Density)	2.5	<p>Overall net site density:</p> <p>11.1 Block A: 11.3 Block B: 13.4 Block C: 16.1 Block D: 3.9</p>
Lot Coverage	33%	66%
Building Setbacks	50% of the height of the building from all lot lines	<p>Blocks A, B, C and D</p> <p>104 Ave.: 4.5 metres Central Ave.: 4.5 metres 136A St.: 4.5 metres KGB: 4.5 metres</p>
Building Height	Not Applicable	<p>Block A: 185 metres Block B: 203 metres Block C: 216 metres Block D: 54 metres</p>

Amenity Space			
Indoor Amenity:		<p>Block A: 837 sq.m</p> <p>Block B: 899 sq. m</p> <p>Block C: 918 sq. m</p> <p>Block D: N/A</p>	<p>Block A: The proposed 1,160 sq.m exceeds the Bylaw requirement.</p> <p>Block B: The proposed 1,641 sq.m exceeds the Bylaw requirement.</p> <p>Block C: The proposed 1,365 sq.m exceeds the Bylaw requirement.</p> <p>Block D: N/A</p>

<p>Outdoor Amenity:</p>		<p>Block A: 1,398 sq.m</p> <p>Block B: 1,584 sq. m</p> <p>Block C: 1,641 sq. m</p> <p>Block D: N/A</p>	<p>Block A: The proposed 2,039 sq.m exceeds the Bylaw requirement*.</p> <p>Block B: The proposed 1,546 does not meet the Bylaw requirement*.</p> <p>Block C: The proposed 1,560 sq.m does not meet the minimum Bylaw requirement*.</p> <p>Block D: The proposed 1,820 sq.m exceeds the Bylaw requirement*.</p> <p>*Overall the amount of outdoor amenity exceeds the Bylaw requirement.</p>
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial/Office:	829	25*_% shared with residential visitor	
Residential:	1,386	1,201	
Residential Visitor:	155	shared	
Total:	2,370	1,999	
Bicycle Spaces			
Residential Secure Parking:	1849	1902	
Residential Visitor:	24	24	
Commercial and Office:	43	654	
Total:	1916	2580	

- The CD Bylaw outlines specific residential and office/commercial densities in order to protect for the commercial, office and hotel floor space.
- The proposed CD By-law will incorporate similar uses as the RM-135 Zone for the residential component and the C-8 Zone for the commercial component.
- The proposed net floor area ratio (FAR) of 11.1 and the lot coverage of 66% will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone.
- While the proposed density exceeds that permitted in the Mid to High Rise Mixed-Use designation (3.5 FAR) calculated on the gross site area, the proposed use and density complies with the intent of the proposed High-Rise Mixed-Use (7.5 FAR) designation in the Surrey City Centre Plan.
- The proposed lot coverage is appropriate for the proposed high-rise development including significant office podiums and is consistent with proposed surrounding developments and with the context of the future Civic Centre to the east.
- The RM-135 Zone requires the setbacks to be 7.5 metres or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks in the CD By-law. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines.
- The proposed commercial and office uses are a reflection of the City's objective to concentrate office space within and around the Central Business District in City Centre and are appropriate for a mixed-use development in the City Centre, providing opportunities for employment, entertainment and service uses.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 on a per unit basis.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the City Centre Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on December 4, 2023, and the Development Proposal Signs were installed on December 4, 2023. Staff received one inquiry from a neighbouring property owner seeking additional information regarding the tower siting and heights.

DEVELOPMENT PERMIT

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant has worked with staff to:
 - Develop an attractive mixed-use project that integrates a diverse range of functions and uses, featuring a spacious park-like plaza facing south towards the future Central Avenue;
 - Enhance the pedestrian and public realm experience with a focus on desired pedestrian pathways, and placemaking;
 - Collaboratively, staff and the applicant successfully arrived at the desired density with a mix of three towers and one mid-rise building. This adjustment allows for generous public spaces to accommodate significant pedestrian realm.
 - Introduce unique tower and podium structures, emphasizing distinctive massing and architectural expression.

- The proposed site includes four mixed-use buildings ranging in height from 15 to 65 storeys, accompanied by podiums with heights between 5 and 10 storeys.
- The angle of Central Avenue is carried across the southern half of the site in a diagonal sightline to create a significant urban plaza and important public space in Surrey City Central that is designed to be easily accessible to the public. This strategic placement aims to highlight the evolving urban character of the City Center, adjacent to the proposed hotel and a 56-storey mixed-use residential, office and retail tower particularly along the new Central Avenue.
- The plaza design envisions a connection to a future park in the eastern part of the site, providing public access to a variety of amenities at ground level. The plaza not only supports future hotel and commercial activities at ground level but also facilitates a connection to the north-south mews throughout the site, and both building's forms and elevations are designed to frame and reinforce the character of this plaza.
- The project will also include a range of smaller plazas along all road frontages, adding diversity and creating unique outdoor spaces for public interaction.
- The subject site is divided into four quadrants in a cruciform pattern that provides a clear pedestrian mews in a north-south and ultimately connecting Central Avenue to 104th Avenue. This pedestrian mews is fronted on both sides by retail and café spaces that animate the walkway and provide a visual heart to the scheme.
- A newly created private east-west drive aisle forms the other arm of the cruciform and dividing line between the four quadrants. All accesses for underground parking and service/loading areas, drop-off and temporary parking are accessible from this drive aisle, as is the hotel porte cochere.
- The three mixed-use towers have been positioned to maximize both the tower separations within the site, as well as future nearby towers as per City Centre plan guidelines. Positioning of the towers on the site also allows for maximum view corridors, and privacy from each tower.
- The podium forms below each residential tower all have landscaped amenity roofscapes above the office level thereby providing valuable green space and social gathering areas of occupants of the residential units above.
- Although the towers are tall at 65, 60 and 56 storeys, they have simple, and elegant expressions with clearly articulated podiums and detailing that creates a complementary grouping, while maintaining distinctive characters that differentiate them.
- The podiums exhibit simplicity through a combination of horizontal spandrel glass elements and a diverse array of vertical fin expressions, arranged either in linear or rhythmic offset patterns. Additional visual interest is introduced through a punched window façade that connects the podiums of Towers C and D along 104th Avenue, creating a seamless and continuous urban streetscape.

- The design incorporates passive solar features, including vertical and horizontal fins, punched windows, and shade devices, contributing to well-articulated forms and enhancing the buildings' overall energy performance.
- The hotel boasts a distinctive weave pattern of copper, white, and light grey metal panel banding in both horizontal and vertical formats, adding a unique and visually striking element to the development.
- The applicant has agreed to continue to work with staff to address the following items:
 - clarify the phasing, interim conditions and associated requirements;
 - refinement of the public realm, detailing of urban plaza concept and grading, north-south mews, design of the east-west drive aisle and all landscape features; and
 - refinement of massing and elevations, and study for above grade pedestrian connections between podiums.

Landscaping

Ground level:

- Different paving material and texture, including coloured concrete, unit pavers, wood decking, to provide visual interest and identify destinations and nodes for pedestrians and vehicles.
- The publicly accessible urban plaza is designed for everyone to enjoy including on-site residents, office and hotel uses and the neighborhood overall.
- A focal water feature is proposed within the plaza and includes a specimen tree for a shaded gathering space as well as a flush accessible interface around the corner of King George Blvd and Central Avenue.
Programming includes an amphitheater and plaza and seating, lawn and play areas, and tree grove.
- The urban plaza connects to the north-south pedestrian mews internal to the site with wide space and seating opportunities to connect the commercial areas from the south of the site to 104 Avenue.

Upper levels:

- Main outdoor amenity spaces provide active play and resting areas within each residential tower. Typical designs include seating, lounge, turf, play, and outdoor kitchen and eating areas.
- Smaller outdoor spaces can be found on various levels as extensions from the indoor amenity areas.
- The hotel is proposing an extensive green roof, that will help to offset stormwater impacts, and provide ecological value.
- Additional details regarding indoor and outdoor amenity areas are included in sections below.

Indoor Amenity

- Per the Indoor Amenity Space requirements of the Zoning By-law No. 12000, high-rise towers that are 25 storeys or higher must provide 3 square metres of indoor amenity space per unit up to 557 square metres per tower, which equates to 186 units, plus 1 square metre per unit above 557 square metres, plus 4 square metre per micro unit and 1 square metre per lock-off unit for each building.
- Based upon the City's Zoning Bylaw requirement, the proposed development must provide a total of 2,654 square metres of indoor amenity space for the proposed 1,541 residential units, (there are no micro or lock-off units proposed). Of that 2,654 square metres of indoor amenity space, a total of 1,116 square metres must be provided on site (372 square metres per building), and the remainder can be provided through a cash-in-lieu contribution.
- The applicant is proposing 4,138 square metres of indoor amenity space located throughout the development, which exceeds the minimum requirement as outlined in the Bylaw.
- Indoor amenity areas are provided in each of the mixed-use residential towers on podium and rooftops levels and are connected to the outdoor amenity areas.
- Phase 1 (south-east tower site) is proposing indoor amenity areas in the podium on level 6 and on level 56 for a total of 1,160 square metres.
- Phase 2 (north-east tower site) is proposing indoor amenity areas in the podium on level 7 and in the levels 59 and 60 for a total of 1,613 square metres.
- Phase 3 (north-west tower site) is proposing indoor amenity areas in the podium on level 9 and in the levels 63 and 64 for a total of 1,365 square metres.
- Phase 4 (south-west hotel site), although not required under the Bylaw, proposes amenity area on two floors of the building.
- The indoor spaces vary in scale and are designed to provide for a wide range of activities and programming.
- The spaces will include games areas, fitness centres, gym and yoga spaces, children's activity areas, working and meeting rooms, and multi-purpose spaces and event areas.
- Indoor spaces are connected to outdoor amenity spaces with their complimentary programs and functions.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit of outdoor amenity space, a total of 4,623 square metres of outdoor amenity space is required for the proposed development.
- The applicant is proposing 6,965 square metres of outdoor amenity space across the site, which exceeds the total outdoor amenity space required under the Zone.
- The outdoor amenity spaces on this site are unique. A large scale publicly accessible urban plaza is proposed at the south portion of the site that provides for a wide range of programmable space, including an amphitheater, water feature, seating, tree grove and turf area. This plaza includes a mix of hard surface areas and trees and greenery.
- A north-south pedestrian mews is provided internal to the site and provides active and passive interaction with the commercial edges along the site, with well-designed hardscaping and seating opportunities.
- Large areas of intensive green roof are proposed on the hotel and will provide valuable habitat and food sources for nesting birds. In addition to habitat, the soft landscape areas will provide storm water benefits.
- Outdoor amenity spaces are proposed on podium and rooftop levels of all three residential towers, adjoining the indoor amenity areas. The spaces include a wide range include an entertaining area off the amenity room, outdoor living rooms, BBQ area, outdoor fireplace, sun deck, central lawn and an urban agriculture garden.

Outstanding Items

- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- D.Glyn Romaine, ISA Certified Arborist of Van der Zalm & Associates, prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	None		
Cottonwood	None		
Deciduous Trees (excluding Alder and Cottonwood Trees)			
European Hornbeam	4		
Flowering Cherry	1		
Horse Chestnut	1		
London Plane	3		
Norway Maple	14		
Persian Ironwood	4		
Pin Oak	5		
Red Oak	5		
Total (excluding Alder and Cottonwood Trees)	37		
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		157	
Total Retained and Replacement Trees Proposed		176	
Estimated Contribution to the Green City Program		Not applicable	

- The Arborist Assessment states that there are a total of 37 mature trees on the site, excluding Alder and Cottonwood trees and including City trees. There are no Alder and Cottonwood trees. The applicant proposes to retain 19 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 36 replacement trees on the site. The applicant is proposing 157 replacement trees, exceeding City requirements.

- In addition to the replacement trees, boulevard street trees will be planted on all road frontages. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Japanese Maple, European Beech, Serbian Spruce, and Japanese Dwarf.
- In summary, a total of 176 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VII for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. OCP Redesignation Map
- Appendix VI. ADP Comments and Response
- Appendix VII. District Energy Map

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

IM/ar

PROPOSED MIXED-USE DEVELOPMENT

KING GEORGE BLVD & 104 AVE, SURREY, BC

File no. 23-0265

SUBMISSION TO A.D.P.
November 23, 2023

OWNER:
OVIEDO PROPERTIES LTD.
101-8510 310 STREET
SURREY, BC, V3W 8J9
TEL: (604) 355-6789
CONTACT: KANWAR DHAMRAIT
EMAIL: KANWAR@OVIEDOPROPERTIES.COM

ARCHITECT:
CHRIS DIKEAKOS ARCHITECTS INC.
1635 W BROADWAY
VANCOUVER BC, V6J 1W9
TEL: (604) 291-2660
FAX: (604) 291-2667
CONTACT: RICHARD BERNSTEIN
EMAIL: RICHARD.B@DIKEAKOS.COM

LANDSCAPE ARCHITECT:
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CIVIL:
HY ENGINEERING
#200, 9128 152 STREET
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GEO PACIFIC
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STRUCTURAL:
GLOTMAN SIMPSON
1661 W 5th AVE,
VANCOUVER BC, V6J 1N5,
TEL: 604-630-3487
CONTACT: LEVI STOELTING
EMAIL: LSTOELTING@GLOTMANSIMPSON.COM



King George Blvd & 104th Ave Surrey BC OKG 20-017												2023-12-11			
Project Summary															
A. Project:															
B. Legal Description: PROPOSED SUBDIVISION PLAN OF LOT 110 PLAN 54649 PARCEL 1 PLAN EPP _____ LOT 49 EXCEPT: PART ON BY-LAW PLAN A24465; PLAN 27405 PARCEL A (BYLAW PLAN A24465) OF LOT 49 PLAN 27405 THAT PORTION OF LOT 6 PLAN 9638 SHOWN RED ON PLAN WITH BYLAW FILED A24465 LOT 6 EXCEPT: PART RED ON PLAN WITH BYLAW FILED A24465; PLAN 9638 LOT 1 PLAN LMP48019 LOT 1 EXCEPT: PART SUBDIVIDED BY PLAN 27246; PLAN 9638 PART LOT 1 PLAN 9638 AS SHOWN ON HIGHWAY PLAN 27246 LOTS 86 AND 87 PLAN 48809 ALL OF SECTION 26 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT															
Civic Address		10344/ 48/ 63/ 76/ 92 King George Blvd & 13634/ 54 - 104th Avenue, Surrey													
C. Zoning:															
Current Zoning:		C-8 (Community Commercial Zone) & CHI (Highway Commercial Industrial Zone)													
Proposed Zoning:		RMC-150 (Multiple Residential Commercial 150 Zone)													
D. Proposed Setbacks:															
		Dedication from Street Center Line	Setback From Dedication Line	SRW From Dedication Line											
D1	King George Boulevard	20.0m	4.5m	0.5m											
D2	104 Avenue	20.0m	4.5m	0.5m											
D3	138A Street	12.0m	4.5m	0.5m											
D4	Central Avenue	12.0m	4.5m	0.5m											
E. Building Height:															
E1	Max. Allowable Building Height			N / A	Building Height										
E2	Proposed Building Height	LOT A	Tower A (SE)	56 Storeys	183.5 M										
		LOT D	Tower B (SW)	15 Storeys	53.0 M										
		LOT B	Tower D (NE)	60 Storeys	201.8 M										
		LOT C	Tower C (NW)	65 Storeys	214.6 M										
		Podium		5-10 Storeys											
F. Total Site Coverage Calculations:															
Gross Site Area		196,528 sq ft		18258.1 sq m											
Road Dedication		25,931 sq ft		2409.1 sq m											
Net Site Area		170,597 sq ft		15849.0 sq m											
Lot Coverage (Included Bldgs: Urban Plaza excluded)		82,059 sq ft		7623.5 sq m											
Percentage of Lot Coverage		Net Site		48.1%											
Proposed FAR		9.65													
Proposed NET FAR		11.12													
TOTAL FAR Area		1,897,278 sq ft		176262.8 sq m											
G. Total Floor Area Ratio (F.A.R.) Calculation:															
		Stories	Commercial CRU Area	Commercial CRU FAR	Commercial Office	Hotel Area	Hotel FAR	Commercial Office FAR	Residential Area	Residential FAR	Ultimate Lot Size per phase	Total FAR Area	Total FAR	Total NET FAR per phase	
LOT A	Tower A (SE)	56	1036.0 sq m 11,151 sq ft	0.06	8064.2 sq m 86,802 sq ft	0.0 sq m 0 sq ft	0.00	0.44	38438.9 sq m 413,753 sq ft	2.11	4192.0 sq m	47539.0 sq m 511,706 sq ft	2.60	11.34	
LOT D	Tower B (SW)	15	806.7 sq m 8,683 sq ft	0.04	14489.4 sq m 155,963 sq ft	0.0 sq m 0 sq ft	0.79	0.00	0.0 sq m 0 sq ft	0.00	3950.0 sq m	15296.1 sq m 164,646 sq ft	0.84	3.87	
LOT C	Tower C (NW)	65	1108.9 sq m 11,936 sq ft	0.06	18183.3 sq m 195,724 sq ft	0.0 sq m 0 sq ft	0.00	1.00	40878.4 sq m 440,012 sq ft	2.24	3745.0 sq m	60170.7 sq m 647,672 sq ft	3.30	16.07	
LOT B	Tower D (NE)	60	1166.3 sq m 12,554 sq ft	0.06	12778.3 sq m 137,545 sq ft	0.0 sq m 0 sq ft	0.00	0.70	39312.4 sq m 423,155 sq ft	2.15	3962.0 sq m	53257.0 sq m 573,254 sq ft	2.92	13.44	
TOTAL			4117.9 sq m 44,324 sq ft	0.23	39025.9 sq m 420,071 sq ft	14489.4 sq m 155,963 sq ft	0.79	2.14	118629.7 sq m 1,276,920 sq ft	6.50	15849.0 sq m	176262.8 sq m 1,897,278 sq ft	9.65	11.12	
(Permitted is 50% of Base)															



H1 Tower A (SE) Commercial (CRU, Restaurant, Food Fair, Etc.)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower A (SE) - CRU (Common Areas include, Parkade Exits)	L1	1	818.6 sq m 8,811 sq ft	818.6 sq m 8,811 sq ft	217.4 sq m 2,340 sq ft	217.4 sq m 2,340 sq ft	0.0 sq m 0.0 sq ft	1036.0 sq m 11,151 sq ft	1036.0 sq m 11,151 sq ft	1036.0 sq m 11,151 sq ft
TOTAL	1		818.6 sq m 8,811 sq ft	818.6 sq m 8,811 sq ft	217.4 sq m 2,340 sq ft	217.4 sq m 2,340 sq ft	0.0 sq m 0.0 sq ft	1036.0 sq m 11,151 sq ft	1036.0 sq m 11,151 sq ft	1036.0 sq m 11,151 sq ft
Tower A (SE) Commercial (Office)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower A (SE) - OFFICE	L1 (Office Lobby Only)	1	162.8 sq m 1,752 sq ft	162.8 sq m 1,752 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	162.8 sq m 1,752 sq ft	162.8 sq m 1,752 sq ft	162.8 sq m 1,752 sq ft
	L2 - L3	2	1671.9 sq m 17,996 sq ft	3343.8 sq m 35,992 sq ft	303.4 sq m 3,292 sq ft	606.8 sq m 6,584 sq ft	0.0 sq m 0.0 sq ft	1975.3 sq m 21,292 sq ft	1975.3 sq m 21,292 sq ft	3950.6 sq m 42,584 sq ft
	L4 - L5	2	1671.9 sq m 17,996 sq ft	3343.8 sq m 35,992 sq ft	303.5 sq m 3,297 sq ft	607.0 sq m 6,534 sq ft	0.0 sq m 0.0 sq ft	1975.4 sq m 21,263 sq ft	1975.4 sq m 21,263 sq ft	3950.8 sq m 42,526 sq ft
		0	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft
		0	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft
TOTAL	5		6890.3 sq m 73,736 sq ft	6890.3 sq m 73,736 sq ft	1213.9 sq m 13,066 sq ft	1213.9 sq m 13,066 sq ft	0.0 sq m 0.0 sq ft	8064.2 sq m 86,802 sq ft	8064.2 sq m 86,802 sq ft	8064.2 sq m 86,802 sq ft
H2 Tower B (SW) Commercial (Restaurant)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor (Including BOH)	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower B (SW) - CRU	PIA	1	496.7 sq m 5,346 sq ft	496.7 sq m 5,346 sq ft	310.0 sq m 3,337 sq ft	310.0 sq m 3,337 sq ft	0.0 sq m 0.0 sq ft	806.7 sq m 8,683 sq ft	806.7 sq m 8,683 sq ft	806.7 sq m 8,683 sq ft
TOTAL	1		496.7 sq m 5,346 sq ft	496.7 sq m 5,346 sq ft	310.0 sq m 3,337 sq ft	310.0 sq m 3,337 sq ft	0.0 sq m 0.0 sq ft	806.7 sq m 8,683 sq ft	806.7 sq m 8,683 sq ft	806.7 sq m 8,683 sq ft
Tower B (SW) Commercial (Hotel + CRU)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower B (SW) - HOTEL	L1	1	638.9 sq m 6,877 sq ft	638.9 sq m 6,877 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	638.9 sq m 6,877 sq ft	638.9 sq m 6,877 sq ft	638.9 sq m 6,877 sq ft
	L2 - L13	12	1002.5 sq m 10,791 sq ft	12030.2 sq m 129,492 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	1002.5 sq m 10,791 sq ft	12030.2 sq m 129,492 sq ft	12030.2 sq m 129,492 sq ft
	L14 (Amenity)	1	818.1 sq m 8,806 sq ft	818.1 sq m 8,806 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	818.1 sq m 8,806 sq ft	818.1 sq m 8,806 sq ft	818.1 sq m 8,806 sq ft
	L15 (Amenity)	1	1002.2 sq m 10,798 sq ft	1002.2 sq m 10,798 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	1002.2 sq m 10,798 sq ft	1002.2 sq m 10,798 sq ft	1002.2 sq m 10,798 sq ft
TOTAL	15		14489.4 sq m 155,963 sq ft	14489.4 sq m 155,963 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	14489.4 sq m 155,963 sq ft	14489.4 sq m 155,963 sq ft	14489.4 sq m 155,963 sq ft
H3 Tower C (NW) Commercial (CRU, Restaurant, Food Fair, Etc.)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower C (NW) - CRU (Common Areas include, Parkade Exits)	L1	1	824.8 sq m 8,878 sq ft	824.8 sq m 8,878 sq ft	284.1 sq m 3,058 sq ft	284.1 sq m 3,058 sq ft	0.0 sq m 0.0 sq ft	1108.9 sq m 11,936 sq ft	1108.9 sq m 11,936 sq ft	1108.9 sq m 11,936 sq ft
TOTAL	1		824.8 sq m 8,878 sq ft	824.8 sq m 8,878 sq ft	284.1 sq m 3,058 sq ft	284.1 sq m 3,058 sq ft	0.0 sq m 0.0 sq ft	1108.9 sq m 11,936 sq ft	1108.9 sq m 11,936 sq ft	1108.9 sq m 11,936 sq ft
Tower C (NW) Commercial (Office)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower C (NW) - OFFICE	L1 (Office Lobby Only)	1	301.3 sq m 3,243 sq ft	301.3 sq m 3,243 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	301.3 sq m 3,243 sq ft	301.3 sq m 3,243 sq ft	301.3 sq m 3,243 sq ft
	L1A	1	1806.4 sq m 19,433 sq ft	1806.4 sq m 19,433 sq ft	342.3 sq m 3,686 sq ft	342.3 sq m 3,686 sq ft	0.0 sq m 0.0 sq ft	2147.7 sq m 23,118 sq ft	2147.7 sq m 23,118 sq ft	2147.7 sq m 23,118 sq ft
	L2	1	1809.5 sq m 19,477 sq ft	1809.5 sq m 19,477 sq ft	326.9 sq m 3,516 sq ft	326.9 sq m 3,516 sq ft	0.0 sq m 0.0 sq ft	2136.1 sq m 22,993 sq ft	2136.1 sq m 22,993 sq ft	2136.1 sq m 22,993 sq ft
	L3 - L4	2	1761.1 sq m 18,949 sq ft	3522.2 sq m 37,898 sq ft	653.3 sq m 7,023 sq ft	653.3 sq m 7,023 sq ft	0.0 sq m 0.0 sq ft	2077.8 sq m 22,365 sq ft	4155.6 sq m 44,730 sq ft	4155.6 sq m 44,730 sq ft
	L5 - L6	2	2139.4 sq m 22,828 sq ft	4278.7 sq m 45,656 sq ft	326.9 sq m 3,516 sq ft	653.3 sq m 7,023 sq ft	0.0 sq m 0.0 sq ft	2466.0 sq m 26,544 sq ft	4932.0 sq m 53,088 sq ft	4932.0 sq m 53,088 sq ft
	L7 - L8	2	1928.7 sq m 20,760 sq ft	3857.3 sq m 41,520 sq ft	326.9 sq m 3,516 sq ft	653.3 sq m 7,023 sq ft	0.0 sq m 0.0 sq ft	2255.3 sq m 24,276 sq ft	4510.6 sq m 48,552 sq ft	4510.6 sq m 48,552 sq ft
TOTAL	9		16554.5 sq m 177,659 sq ft	16554.5 sq m 177,659 sq ft	2628.9 sq m 28,297 sq ft	2628.9 sq m 28,297 sq ft	0.0 sq m 0.0 sq ft	18183.3 sq m 195,724 sq ft	18183.3 sq m 195,724 sq ft	18183.3 sq m 195,724 sq ft
H4 Tower D (NE) Commercial (CRU, Restaurant, Food Fair, Etc.)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower D (NE) - CRU (Common Areas include, Parkade Exits)	L1	1	474.7 sq m 5,119 sq ft	474.7 sq m 5,119 sq ft	243.9 sq m 2,625 sq ft	243.9 sq m 2,625 sq ft	0.0 sq m 0.0 sq ft	718.6 sq m 7,735 sq ft	718.6 sq m 7,735 sq ft	718.6 sq m 7,735 sq ft
	L1A	1	351.2 sq m 3,796 sq ft	351.2 sq m 3,796 sq ft	96.5 sq m 1,039 sq ft	96.5 sq m 1,039 sq ft	0.0 sq m 0.0 sq ft	447.7 sq m 4,819 sq ft	447.7 sq m 4,819 sq ft	447.7 sq m 4,819 sq ft
TOTAL	2		825.9 sq m 8,905 sq ft	825.9 sq m 8,905 sq ft	340.4 sq m 3,664 sq ft	340.4 sq m 3,664 sq ft	0.0 sq m 0.0 sq ft	1166.3 sq m 12,554 sq ft	1166.3 sq m 12,554 sq ft	1166.3 sq m 12,554 sq ft
Tower D (NE) Commercial (Office)										
Level	Number of Floors	Leasable Area per Floor	Total Leasable Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)
Tower D (NE) - OFFICE	L1 (Office Lobby Only)	1	160.3 sq m 1,725 sq ft	160.3 sq m 1,725 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	160.3 sq m 1,725 sq ft	160.3 sq m 1,725 sq ft	160.3 sq m 1,725 sq ft
	L1A	1	300.1 sq m 3,226 sq ft	300.1 sq m 3,226 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	300.1 sq m 3,226 sq ft	300.1 sq m 3,226 sq ft	300.1 sq m 3,226 sq ft
	L2	1	386.1 sq m 4,145 sq ft	386.1 sq m 4,145 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	386.1 sq m 4,145 sq ft	386.1 sq m 4,145 sq ft	386.1 sq m 4,145 sq ft
	L2 - L5	4	2097.5 sq m 22,577 sq ft	8390.9 sq m 90,200 sq ft	366.1 sq m 3,941 sq ft	1464.5 sq m 15,764 sq ft	0.0 sq m 0.0 sq ft	2463.6 sq m 26,518 sq ft	9854.4 sq m 106,072 sq ft	9854.4 sq m 106,072 sq ft
	L6	1	2097.5 sq m 22,577 sq ft	2097.5 sq m 22,577 sq ft	366.1 sq m 3,941 sq ft	1464.5 sq m 15,764 sq ft	0.0 sq m 0.0 sq ft	2463.6 sq m 26,518 sq ft	2463.6 sq m 26,518 sq ft	2463.6 sq m 26,518 sq ft
		0	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft
TOTAL	7		10647.7 sq m 114,640 sq ft	10647.7 sq m 114,640 sq ft	1830.7 sq m 19,726 sq ft	1830.7 sq m 19,726 sq ft	0.0 sq m 0.0 sq ft	12778.3 sq m 137,545 sq ft	12778.3 sq m 137,545 sq ft	12778.3 sq m 137,545 sq ft



J1	Tower A (SE) Residential Floor Area		48														
	Level		Number of Floors	Res. Area per Floor	Total Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)					
Tower A (SE) - RESIDENTIAL	L1	Residential Lobby	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	315.6 sq m 3,397 sq ft	315.6 sq m 3,397 sq ft	0.0 sq m 0.0 sq ft	315.6 sq m 3,397 sq ft	315.6 sq m 3,397 sq ft	315.6 sq m 3,397 sq ft	315.6 sq m 3,397 sq ft					
	L2 - L5	Office	4	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
	L6	Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	28.3 sq m 305 sq ft	28.3 sq m 305 sq ft	424.9 sq m 4,574 sq ft	463.3 sq m 4,879 sq ft	28.3 sq m 305 sq ft	463.3 sq m 4,879 sq ft	28.3 sq m 305 sq ft					
	L7- L32	Residential	26	636.9 sq m 6,855 sq ft	16558.1 sq m 178,230 sq ft	144.5 sq m 1,555 sq ft	3756.1 sq m 40,430 sq ft	0.0 sq m 0.0 sq ft	781.3 sq m 8,410 sq ft	781.3 sq m 8,410 sq ft	20314.2 sq m 218,660 sq ft	20314.2 sq m 218,660 sq ft					
	L33	Residential	1	584.5 sq m 6,291 sq ft	584.5 sq m 6,291 sq ft	143.6 sq m 1,546 sq ft	143.6 sq m 1,546 sq ft	0.0 sq m 0.0 sq ft	728.1 sq m 7,837 sq ft	728.1 sq m 7,837 sq ft	728.1 sq m 7,837 sq ft	728.1 sq m 7,837 sq ft					
	L34 - L54	Residential	21	642.1 sq m 6,911 sq ft	13463.1 sq m 145,131 sq ft	139.9 sq m 1,506 sq ft	2938.2 sq m 31,626 sq ft	0.0 sq m 0.0 sq ft	782.0 sq m 8,417 sq ft	782.0 sq m 8,417 sq ft	16421.3 sq m 176,757 sq ft	16421.3 sq m 176,757 sq ft					
	L55	Penthouse	1	490.2 sq m 5,277 sq ft	490.2 sq m 5,277 sq ft	115.9 sq m 1,247 sq ft	115.9 sq m 1,247 sq ft	0.0 sq m 0.0 sq ft	606.1 sq m 6,524 sq ft	606.1 sq m 6,524 sq ft	606.1 sq m 6,524 sq ft	606.1 sq m 6,524 sq ft					
	L56	Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	25.4 sq m 273 sq ft	25.4 sq m 273 sq ft	735.0 sq m 7,912 sq ft	760.4 sq m 8,185 sq ft	25.4 sq m 273 sq ft	760.4 sq m 8,185 sq ft	25.4 sq m 273 sq ft					
	L57	Roof	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
	TOTAL			56		31115.9 sq m 334,929 sq ft		7323.0 sq m 78,824 sq ft	1160.0 sq m 12,486 sq ft			39598.9 sq m 426,239 sq ft	38438.9 sq m 413,753 sq ft				
	J2	Tower C (NW) Residential Floor Area		53													
		Level		Number of Floors	Res. Area per Floor	Total Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)				
	Tower C (NW) - RESIDENTIAL	L1	Residential Lobby	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	241.5 sq m 2,600 sq ft	241.5 sq m 2,600 sq ft	0.0 sq m 0.0 sq ft	241.5 sq m 2,600 sq ft	241.5 sq m 2,600 sq ft	241.5 sq m 2,600 sq ft	241.5 sq m 2,600 sq ft				
L1A - L8		Office	8	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
L9		Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	29.8 sq m 321 sq ft	29.8 sq m 321 sq ft	489.6 sq m 5,270 sq ft	519.4 sq m 5,591 sq ft	29.8 sq m 321 sq ft	519.4 sq m 5,591 sq ft	29.8 sq m 321 sq ft					
L10 - L30		Residential	21	623.5 sq m 6,711 sq ft	13092.9 sq m 140,931 sq ft	138.4 sq m 1,490 sq ft	2906.9 sq m 31,290 sq ft	0.0 sq m 0.0 sq ft	761.9 sq m 8,201 sq ft	761.9 sq m 8,201 sq ft	15999.8 sq m 172,221 sq ft	15999.8 sq m 172,221 sq ft					
L31		Residential	1	575.5 sq m 6,195 sq ft	575.5 sq m 6,195 sq ft	138.4 sq m 1,490 sq ft	138.4 sq m 1,490 sq ft	0.0 sq m 0.0 sq ft	714.0 sq m 7,685 sq ft	714.0 sq m 7,685 sq ft	714.0 sq m 7,685 sq ft	714.0 sq m 7,685 sq ft					
L32 - L61		Residential	30	629.0 sq m 6,770 sq ft	19868.6 sq m 203,100 sq ft	132.6 sq m 1,427 sq ft	3977.8 sq m 42,810 sq ft	0.0 sq m 0.0 sq ft	761.5 sq m 8,197 sq ft	761.5 sq m 8,197 sq ft	22845.8 sq m 245,910 sq ft	22845.8 sq m 245,910 sq ft					
L62		Penthouse	1	635.2 sq m 6,837 sq ft	635.2 sq m 6,837 sq ft	127.6 sq m 1,374 sq ft	127.6 sq m 1,374 sq ft	0.0 sq m 0.0 sq ft	762.8 sq m 8,211 sq ft	762.8 sq m 8,211 sq ft	762.8 sq m 8,211 sq ft	762.8 sq m 8,211 sq ft					
L63		Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	141.4 sq m 1,522 sq ft	141.4 sq m 1,522 sq ft	515.1 sq m 5,545 sq ft	666.5 sq m 7,067 sq ft	141.4 sq m 1,522 sq ft	666.5 sq m 7,067 sq ft	141.4 sq m 1,522 sq ft					
L64		Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	143.3 sq m 1,542 sq ft	143.3 sq m 1,542 sq ft	360.2 sq m 3,877 sq ft	503.4 sq m 5,419 sq ft	143.3 sq m 1,542 sq ft	503.4 sq m 5,419 sq ft	143.3 sq m 1,542 sq ft					
L65		Roof	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
TOTAL				65		33172.2 sq m 356,163 sq ft		7706.2 sq m 82,949 sq ft	1364.9 sq m 14,692 sq ft			42243.4 sq m 454,704 sq ft	40878.4 sq m 440,012 sq ft				
J3		Tower D (NE) Residential Floor Area		50													
		Level		Number of Floors	Res. Area per Floor	Total Area	Common Area per Floor	Total Common Area	Indoor Amenity Area (Exempted from FAR)	Gross Area per Floor	FAR Area per Floor	Total Gross Area (all Floors)	Total FAR Area (all Floors)				
Tower D (NE) - RESIDENTIAL	L1A	Residential Lobby	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	458.8 sq m 4,939 sq ft	458.8 sq m 4,939 sq ft	0.0 sq m 0.0 sq ft	458.8 sq m 4,939 sq ft	458.8 sq m 4,939 sq ft	458.8 sq m 4,939 sq ft	458.8 sq m 4,939 sq ft					
	L2 - L6	Office	5	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
	L7	Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	29.0 sq m 312 sq ft	29.0 sq m 312 sq ft	505.9 sq m 5,445 sq ft	534.8 sq m 5,757 sq ft	29.0 sq m 312 sq ft	534.8 sq m 5,757 sq ft	29.0 sq m 312 sq ft					
	L8- L29	Residential	22	623.5 sq m 6,711 sq ft	13716.4 sq m 147,642 sq ft	138.4 sq m 1,490 sq ft	3045.4 sq m 32,780 sq ft	0.0 sq m 0.0 sq ft	761.9 sq m 8,201 sq ft	761.9 sq m 8,201 sq ft	16761.7 sq m 180,422 sq ft	16761.7 sq m 180,422 sq ft					
	L30	Residential	1	575.3 sq m 6,192 sq ft	575.3 sq m 6,192 sq ft	138.4 sq m 1,490 sq ft	138.4 sq m 1,490 sq ft	0.0 sq m 0.0 sq ft	713.7 sq m 7,682 sq ft	713.7 sq m 7,682 sq ft	713.7 sq m 7,682 sq ft	713.7 sq m 7,682 sq ft					
	L31- L57	Residential	27	629.0 sq m 6,770 sq ft	16981.7 sq m 182,790 sq ft	132.6 sq m 1,427 sq ft	3579.8 sq m 38,529 sq ft	0.0 sq m 0.0 sq ft	761.5 sq m 8,197 sq ft	761.5 sq m 8,197 sq ft	20561.2 sq m 221,319 sq ft	20561.2 sq m 221,319 sq ft					
	L58	Penthouse	1	607.2 sq m 6,536 sq ft	607.2 sq m 6,536 sq ft	127.1 sq m 1,368 sq ft	127.1 sq m 1,368 sq ft	0.0 sq m 0.0 sq ft	734.3 sq m 7,904 sq ft	734.3 sq m 7,904 sq ft	734.3 sq m 7,904 sq ft	734.3 sq m 7,904 sq ft					
	L59	Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	27.0 sq m 291 sq ft	27.0 sq m 291 sq ft	629.0 sq m 6,771 sq ft	666.1 sq m 7,062 sq ft	27.0 sq m 291 sq ft	666.1 sq m 7,062 sq ft	27.0 sq m 291 sq ft					
	L60	Amenity	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	26.6 sq m 286 sq ft	26.6 sq m 286 sq ft	478.3 sq m 5,148 sq ft	504.8 sq m 5,434 sq ft	26.6 sq m 286 sq ft	504.8 sq m 5,434 sq ft	26.6 sq m 286 sq ft					
	L61	Roof	1	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft	0.0 sq m 0.0 sq ft					
	TOTAL			60		31880.6 sq m 343,160 sq ft		7431.8 sq m 79,736 sq ft	1613.2 sq m 17,364 sq ft			40925.5 sq m 440,519 sq ft	39312.4 sq m 423,155 sq ft				



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STATISTICS - RESIDENTIAL FLOOR AREA

ISSUED FOR
REZONING/DP
December 2023



A003

L. Residential Statistics - Unit Counts												
L1. Tower A (SE)												
Tower A (SE)	L1	CRU	Number of floors	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed & 3 Bed + Den	Units per Floor	Total	
	L2 - L5	Office	4								0	
	L7	Amenity	1								0	
	L7- L32	Residential - Plan 1	26	2	3		4		1	10	260	
	L33	Residential - Mech	1	2	2		4		1	9	9	
	L34-L40	Residential - Plan 2	7		4		4		1	9	63	
	L41-L54	Residential - Plan 2	14		4		4	1		9	126	
	L55	Penthouse	1			1		3	3	1	8	8
	L56	Amenity	1								0	
	Total			56	54	164	1	195	17	35		466
Distribution				12%	35%	0%	42%	4%	8%		100%	
L2. Tower B (SW)												
Tower B (SW)	P1A		Number of floors	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	Units per Floor	Total	
	L1		1								0	
	L2 - L13		12								0	
	L13- L14		2								0	
	Total			15	0	0	0	0	0	0		0
Distribution											0%	
L3. Tower C (NW)												
Tower C (NW)	L1	CRU	Number of floors	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	Units per Floor	Total	
	L1A - L8	Office	8								0	
	L9	Amenity	1								0	
	L10 - L30	Residential - Plan 1	21	2	3	2	4			11	231	
	L31	Residential - Mech	1	2	2	2	4			10	10	
	L32 - L61	Residential - Plan 2	30		3	2	5			10	300	
	L62	Sub-Penthouse	1					2		4	6	
	L63 - L64	Amenity	2								0	
	Total			64	44	155	104	238	2	4		547
	Distribution				8%	28%	19%	44%	0%	0.7%		100%
L4. Tower D (NE)												
Tower D (NE)	L1A	CRU	Number of floors	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	Units per Floor	Total	
	L2 - L6	Office	5								0	
	L7	Amenity	1								0	
	L8- L29	Residential - Plan 1	22	2	3	2	4			11	242	
	L30	Residential - Mech	1	2	2	2	4			10	10	
	L31- L57	Residential - Plan 2	27		3	2	5			10	270	
	L58	Penthouse	1		0			2		4	6	
	L59 - L60	Amenity	2								0	
	Total			60	46	149	100	227	2	4		528
	Distribution				9%	28%	19%	43%	0%	0.8%		100%
Total Project Distribution				144	468	205	660	21	43		1541	
Percentage				9.3%	30.4%	13.3%	42.8%	1.4%	2.8%		100%	
										Total Residential Units	1,541	
M. Commercial Statistics - Unit Counts												
M1. Tower B (SW)												
Tower B (SW) - HOTEL			Number of floors	Sleeping Units / floor	Total							
	L1		1	0	0							
	L2 - L13		12	17	204							
Total					204							



N. Parking Statistics

Commercial: Category 1: < 372 square metres [4,000 sq.ft.] gross floor area - 2.75 parking spaces for every 100 square metres [1,075 sq.ft.] of gross floor area; Category 2: 373 sq.m. - 4,645 sq.m. [4,001 sq.ft. - 50,000 sq.ft.] gross floor area - 3 parking spaces for every 100 square metres [1,075 sq.ft.] of gross floor area; Category 3: >4,645 sq.m. [50,000 sq.ft.] gross floor area - 2.5 parking spaces for every 100 square metres [1,075 sq.ft.] of gross floor area; Offices Uses in Commercial Areas : 1.4 parking space for every 100 square metres [1,075 sq.ft.] of gross floor area of all floors within Surrey City Centre

Residential: Non-Ground-Oriented Multiple Unit Residential Buildings (Apartments): i. 1.3 parking spaces for every 1 or less bedroom dwelling unit; ii. 1.5 parking spaces for every 2 or more bedrooms dwelling unit; and iii. 0.2 parking space for every dwelling unit for visitors; and iv. Requested Parking Ratio Reduced to 0.9 per Dwelling Unit and 0.1 for Visitor Parking; 20% reduction has been applied to the commercial parking total as per, surrey by-law Part 5.C.1.C.

N1 Tower A (SE) Parking Statistics

	Ratio	Required / Allowable			Required after TDM Reduction**	Total Provided			SITE Rate	TDM Rate
		Gross	H/C	Small		Gross	H/C	Small		
		Commercial	2.4 stalls / 100 m2	25			9	21		
Office	1.4 stalls / 100 m2	113	3	40	94	17	78			
Commercial Subtotal		138	3	48	114	114	17	87		
Residential	0.90 stall / unit	419	8	147	335	364	27	201	0.78	0.72
Visitor*	0.1 stall / unit	47	0	16	30	30	0	17	0.064	0.064
Residential Subtotal		466	8	163	365	394	27	218		
Total Parking Stalls		604	11	211	480	509	44	305		

* Visitor Shared: 2/3 of Parking spaces shared with office parking due to alternate hours of use.

** TDM Reduction: Maximum 20% is allowed in city center

N2 Tower B (SW) Parking Statistics

	Ratio	Required / Allowable			Required after TDM Reduction**	Total Provided			Rate	TDM Rate
		Gross	H/C	Small		Gross	H/C	Small		
		Comm. (Restaurant)	8 stalls / 100 m2	40		1	14	35		
Hotel	0.8 stall / Sleeping Unit	163	3	57	136	136	5	45	0.67/Sleeping Unit	0.67/Sleeping Unit
Commercial Subtotal		203	4	71	171	171	5	46		
Residential	0.90 stall / unit	0	0	0	0	0	0	0		
Visitor*	0.1 stall / unit	0	0	0	0	0	0	0		
Residential Subtotal		0	0	0	0	0	0	0		
Total Parking Stalls		203	4	71	171	171	5	46		
Total Parking Stalls (Towers A & B)		807	15	282	651	680	49	351		

* Visitor Shared: 2/3 of Parking spaces shared with office parking due to alternate hours of use

** TDM Reduction: Maximum 20% is allowed in city center

N3 Tower C (NW) Parking Statistics

	Ratio	Required / Allowable			Required after TDM Reduction**	Total Provided			Rate	TDM Rate
		Gross	H/C	Small		Gross	H/C	Small		
		Commercial	2.4 stalls / 100 m2	27			9	22		
Office	1.4 stalls / 100 m2	255	6	89	212	212	44	0	1.16 stalls/100 m2	1.16 stalls/100 m2
Commercial Subtotal		281	6	98	234	234	44	0		
Residential	0.90 stall / unit	492	10	172	394	430	28	0	0.79	0.72
Visitor*	0.1 stall / unit	55	1	19	35	35	1	0	0.064	0.064
Residential Subtotal		547	11	191	429	465	29	0		
Total Parking Stalls		828	17	290	663	699	73	0		

* Visitor Shared: Parking spaces shared with Commercial parking due to alternate hours of use.

** TDM Reduction: Maximum 20% is allowed in city center

N4 Tower D (NE) Parking Statistics

	Ratio	Required / Allowable			Required after TDM Reduction**	Total Provided			Rate	TDM Rate
		Gross	H/C	Small		Gross	H/C	Small		
		Commercial	2.4 stalls / 100 m2	28			10	23		
Office*	1.4 stalls / 100 m2	179	0	63	149	149	33	0	1.16 stalls/100 m2	1.16 stalls/100 m2
Commercial Subtotal		207	4	72	172	172	33	0		
Residential	0.90 stall / unit	475	10	166	380	415	19	0	0.79	0.72
Visitor*	0.1 stall / unit	53	1	18	33	33	1	0	0.064	0.064
Residential Subtotal		528	11	185	413	448	20	0		
Total Parking Stalls		735	15	257	586	620	53	0		
Total Parking Stalls (Towers C & D)		1563	31	547	1248	1319	126	0		

* Visitor Shared: Parking spaces shared with Commercial parking due to alternate hours of use.

** TDM Reduction: Maximum 20% is allowed in city center

N5 Provided Parking Stalls by Level

	P1A/L1	P1	P2	P3	P4	P5	P6	P7	P8	Total Provided	Total Required	Provided vs. Required
Tower A & B (South)	0	152	180	180	180	170				862	651	211
Total South Parkade		152	180	180	180	170	0	0	0	862	651	211
Tower C (North)	21	74	74	74	74	74	74	67		606	663	-57
Tower D (North)	10	66	66	66	66	66	66	59		531	586	-55
Total North Parkade	31	140	140	140	140	140	140	126		1,137	1,248	-111
Total Provided	31	292	320	320	320	310	140	140	126	1,999	1899	100

1899 1999



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STATISTICS - TDM & PARKING REDUCTION

ISSUED FOR REZONING/DP
December 2023



A005

N6 Parking Stalls Distribution															
		Required after TDM Reduction**													
		Required Towers A & B (South)				Provided Towers A & B (South)									
Levels	Hotel	CRU	Office	Resi. Visitors	Residential	Hotel	CRU	Office	Resi. Visitors	Residential	Allocation / Floor	Capacity / Floor	Provided vs. Required		
P1A											0	0	0		
P1						78	35	23	16		152	152	0		
P2						89		91		8	180	180	0		
P3								172		180	180	180	0		
P4										170	170	170	0		
P5										0	0	0	0		
Sub-Total	163	65	113	16	344	167	35	286	16	358		862	162		
					TOTAL (South Parkade)						TOTAL (South Parkade)			862	162
		Required Tower C (North)				Provided Towers C (North)									
Levels		CRU	Office	Resi. Visitors	Residential		CRU	Office	Resi. Visitors	Residential	Allocation / Floor	Capacity / Floor	Provided vs. Required		
P1A							21				21	21	0		
P1							8	66			74	74	0		
P2								74			74	74	0		
P3								6	14	54	74	74	0		
P4										74	74	74	0		
P5										74	74	74	0		
P6										74	74	74	0		
P7										74	74	74	0		
P8										67	67	67	0		
Sub-Total		27	255	18	404		29	146	14	417	606	606	-97		
					Total						Total			606	-97
		Required Tower D (North)				Provided Towers D (North)									
Levels		CRU	Office	Resi. Visitors	Residential		CRU	Office	Resi. Visitors	Residential	Allocation / Floor	Capacity / Floor	Provided vs. Required		
P1A							10				10	10	0		
P1							21	45			66	66	0		
P2								66			66	66	0		
P3									22	44	66	66	0		
P4										66	66	66	0		
P5										66	66	66	0		
P6										66	66	66	0		
P7										66	66	66	0		
P8										59	59	59	0		
Sub-Total		28	179	18	390		31	111	22	367	531	531	-83		
					Total						Total			531	-83
					TOTAL (North Parkade)						TOTAL (North Parkade)			1137	-180
					TOTAL (North Parkade)						TOTAL (North Parkade)			1999	-18
PROJECT TOTAL															
TOTAL BY CATEGORY		163	119	546	51	1137	167	95	543	52	1142				
		Hotel	CRU	Office	Resi. Visitors	Residential	Hotel	CRU	Office	Resi. Visitors	Residential				

O Bike Statistics													
		Required					Provided						
		Commercial	Office	Residential	Resi. Visitor	Hotel Visitor	Required Total Bicycle Storage	Commercial	Office	Residential	Resi. Visitor	Hotel	Provided Total Bicycle Storage
		0.1 / 100 m2	0.1 / 100 m2	1.2 / unit	6 per building	1 per 30 rooms							
Tower B (SW)		1	0	0	6	6.8	14				6	0	6
Tower A (SE)		1	8	559	6	0	574	21	33	495	6	0	555
Total A & B (South)							588						561
Tower D (NE)		1	13	634	6	0	654	0	300	707	6		1013
Tower C (NW)		1	18	656	6	0	682	0	300	700	6		1006
Total C & D (North)							1335						2019
PROJECT TOTAL							1923						2580



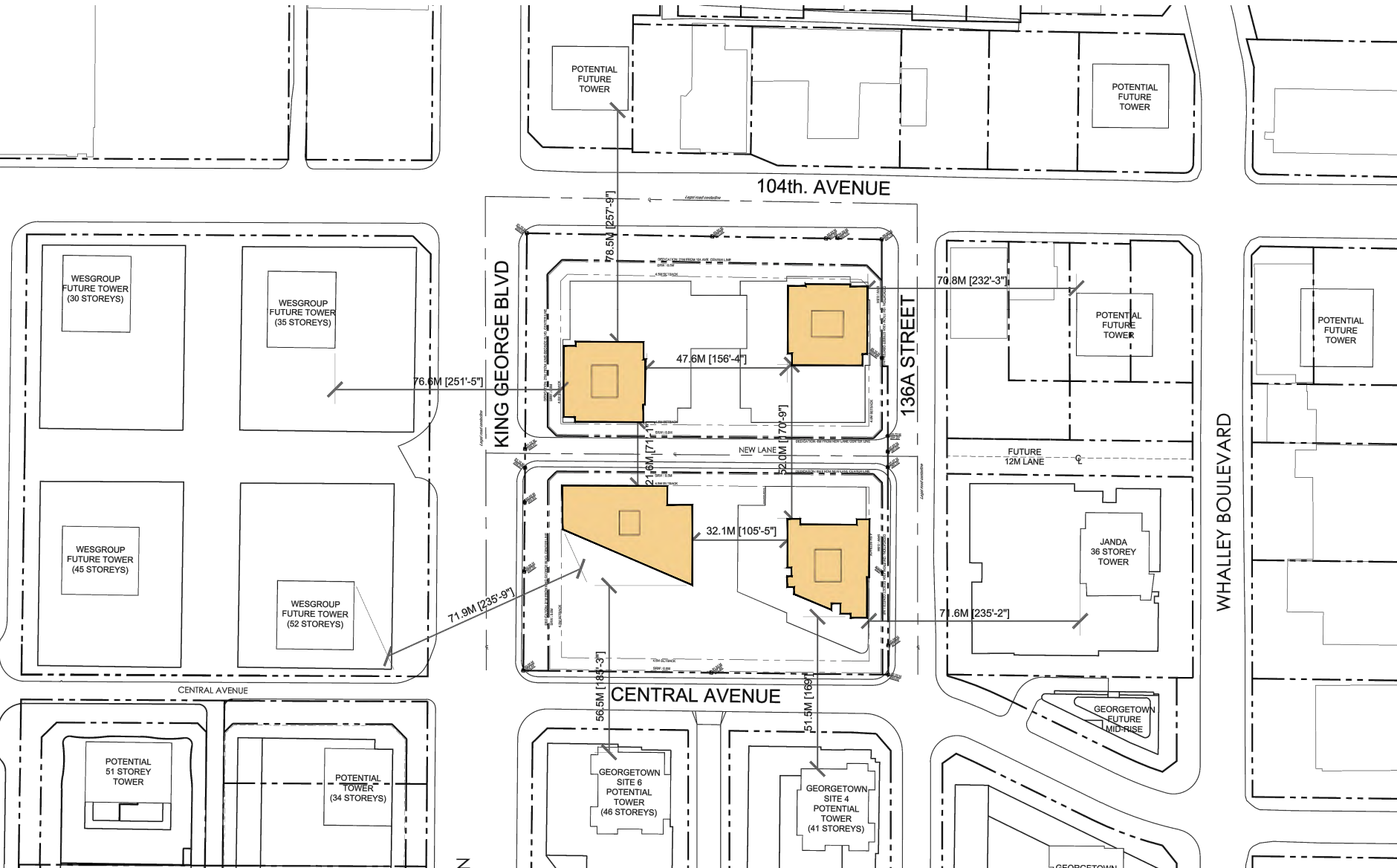
MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

STATISTICS - TDM & PARKING REDUCTION

ISSUED FOR REZONING/DP
 December 2023



A006



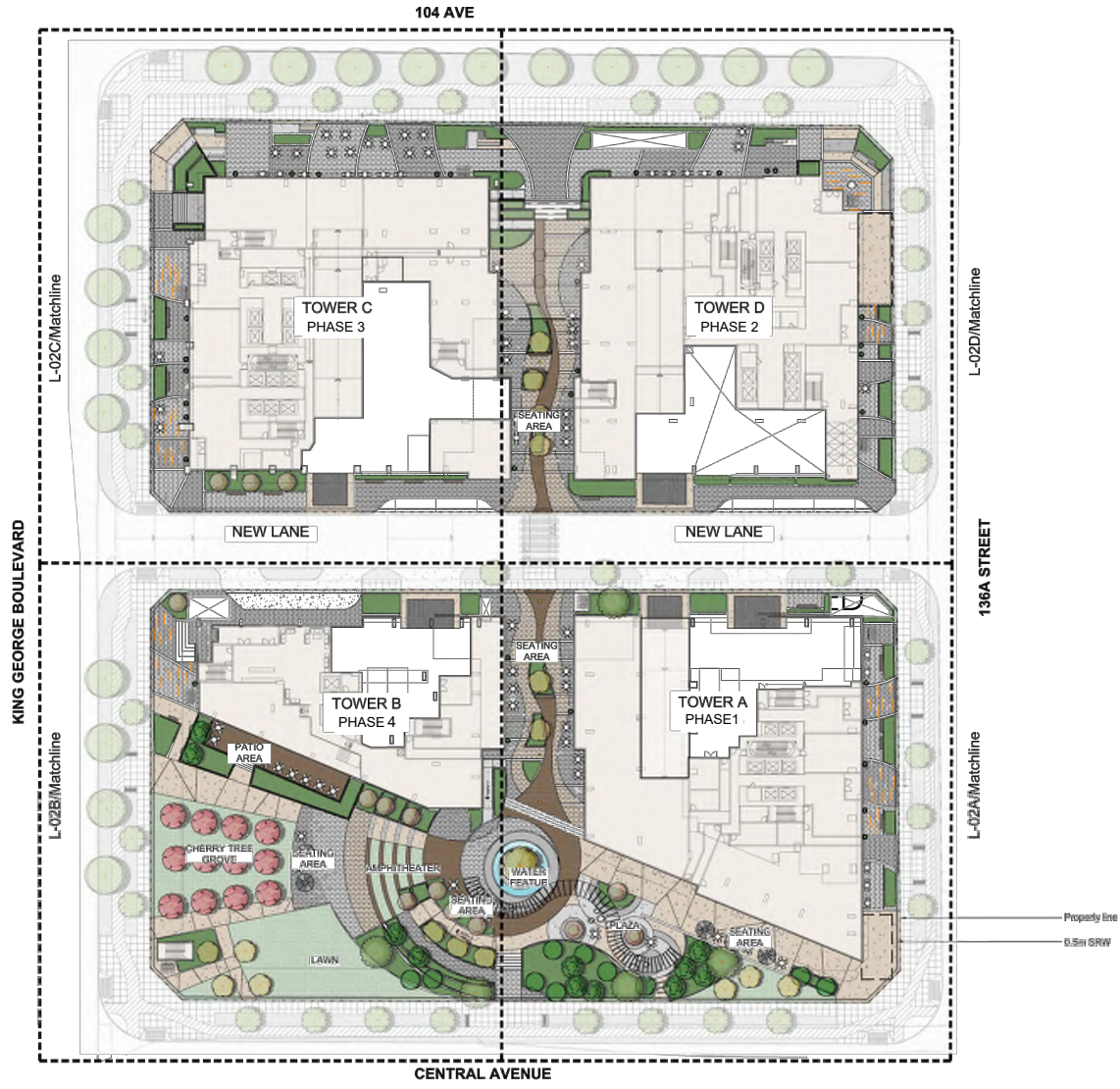
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 10344/48/63/76/92 King George Blvd.
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SITE & TOWER CONTEXT PLAN

SUBMISSION TO A.D.P.

November 23, 2023





HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2,5 LD-02	CONCRETE SLAB Brown Finish
	1,6 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Palms - Burning Road Silver - Channel - Quiet Street, Natural Manufacturers - Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3,4 LD-01	PROPOSED TREE Refer to tree schedule
	1,2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	6 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER

PROJECT SUMMARY

KING GEORGE BLVD & 104 AVE, SURREY, BC



18,257m²

(196,517 sq.ft.)

GROSS SITE AREA

118,630m²

(1,276,920 sq.ft.)

RESIDENTIAL

GROSS (FAR - 6.5)

38,439m²

(413,753 sq.ft.)

TOWER BREAKDOWN

TOWER A (FAR - 2.11)

40,878m²

(440,012 sq.ft.)

TOWER C (FAR - 2.24)

39,312m²

(423,155 sq.ft.)

TOWER D (FAR - 2.15)

4,118m²

(44,324 sq.ft.)

CRU/RESTAURANT

GROSS (FAR - 0.23)

39,026m²

(420,071 sq. ft.)

OFFICE

GROSS (FAR - 2.14)

14,489m²

(155,963 sq. ft.)

HOTEL

TOWER B (FAR - 0.79)

176,263m²

(1,897,278 sq.ft.)

TOTAL FAR

GROSS AREA

9.65

FAR RATIO

1,540

RESIDENTIAL UNITS

TOTAL UNITS

204

HOTEL SUITES

TOTAL SUITES

760~780m²

(8,200~8,400 sq. ft.)

RESIDENTIAL TOWER TYPICAL FLOOR PLATE

1,999

PARKING PROVIDED

TOTAL STALLS



MIXED-USE DEVELOPMENT

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

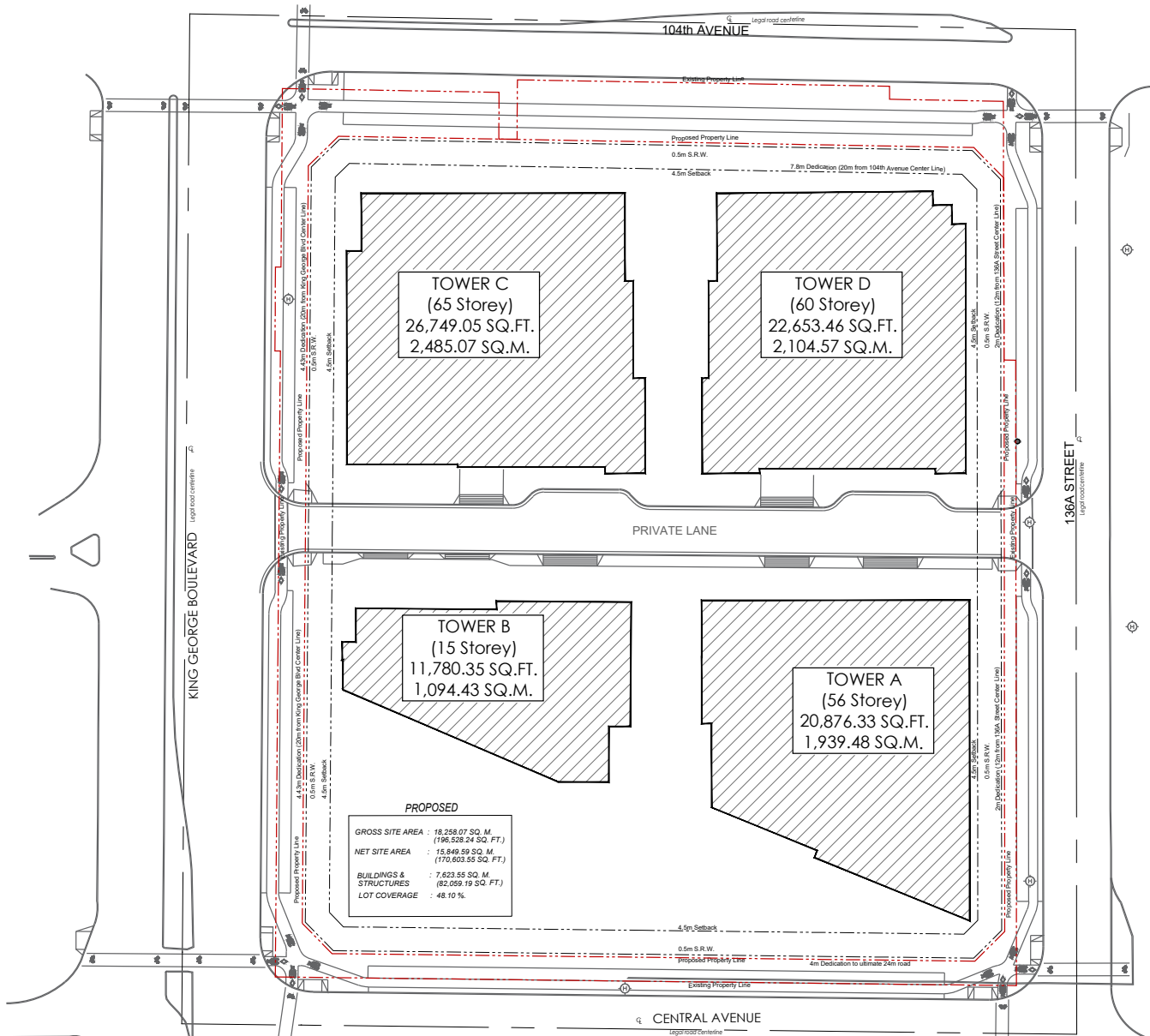
DESIGN RATIONALE

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November 23, 2023



A100



PROPOSED

GROSS SITE AREA	: 18,258.07 SQ. M.
	(196,528.24 SQ. FT.)
NET SITE AREA	: 15,849.59 SQ. M.
	(170,603.55 SQ. FT.)
BUILDINGS & STRUCTURES	: 7,823.55 SQ. M.
	(82,059.19 SQ. FT.)
LOT COVERAGE	: 48.10 %



MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

BASE PLAN

1:700

**ISSUED FOR
 REZONING/DP**
 December 2023

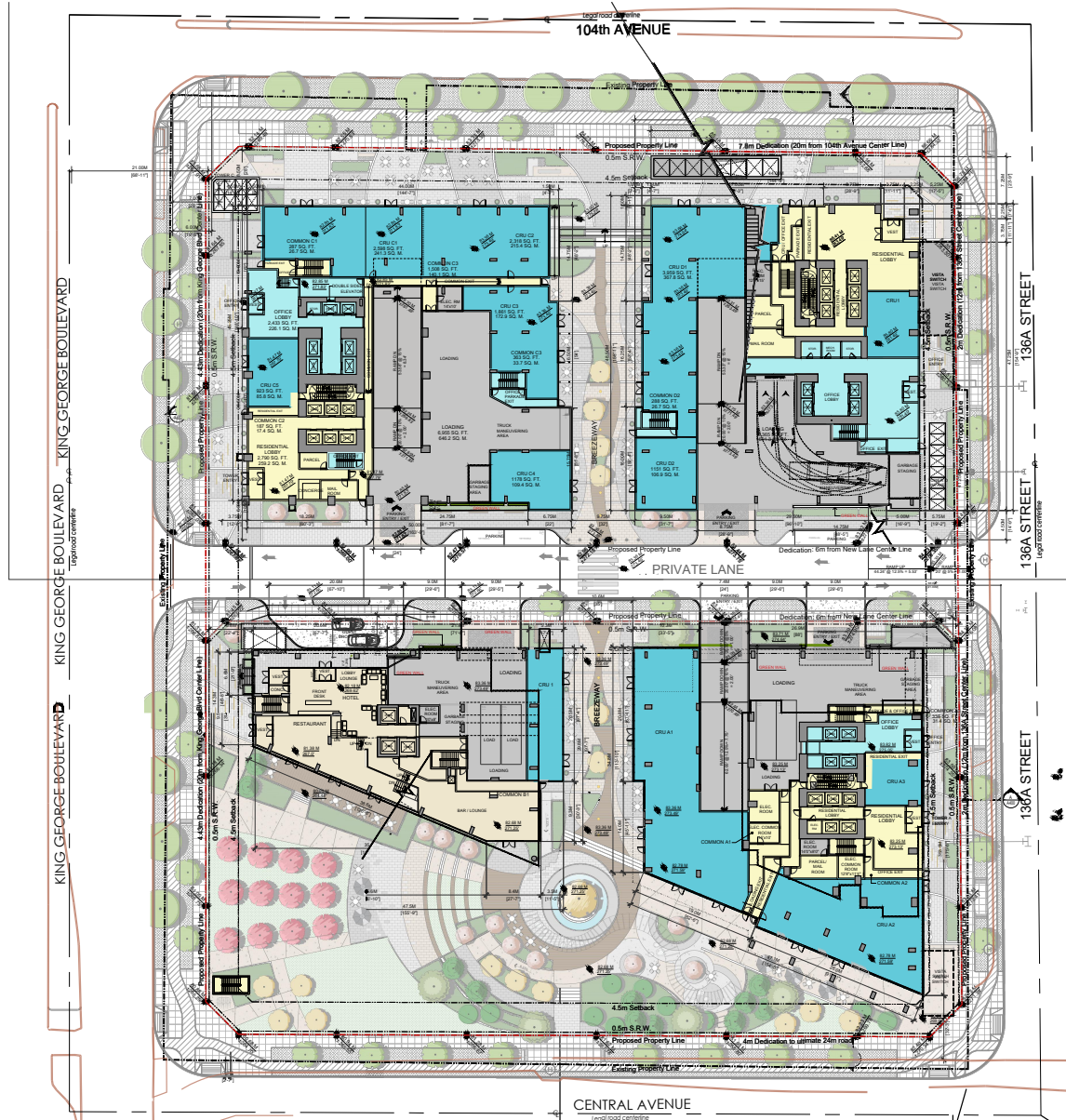


TOWER C
65 STOREYS

TOWER D
60 STOREYS

TOWER B
15 STOREYS

TOWER A
56 STOREYS



- LEGEND**
- TOWERS A, C & D
 - CRU
 - OFFICE
 - RESIDENTIAL
 - COMMON
 - SERVICES
 - TOWER B (HOTEL)
 - HOTEL



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
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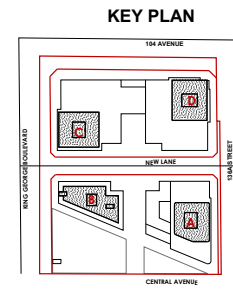
FLOOR PLAN - L1 / SITE PLAN

1:700

**ISSUED FOR
REZONING/DP**
December 2023



A200



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 10344/48/63/76/92 King George Blvd.
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OVERALL ROOF PLAN

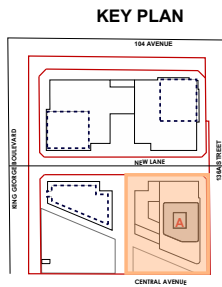
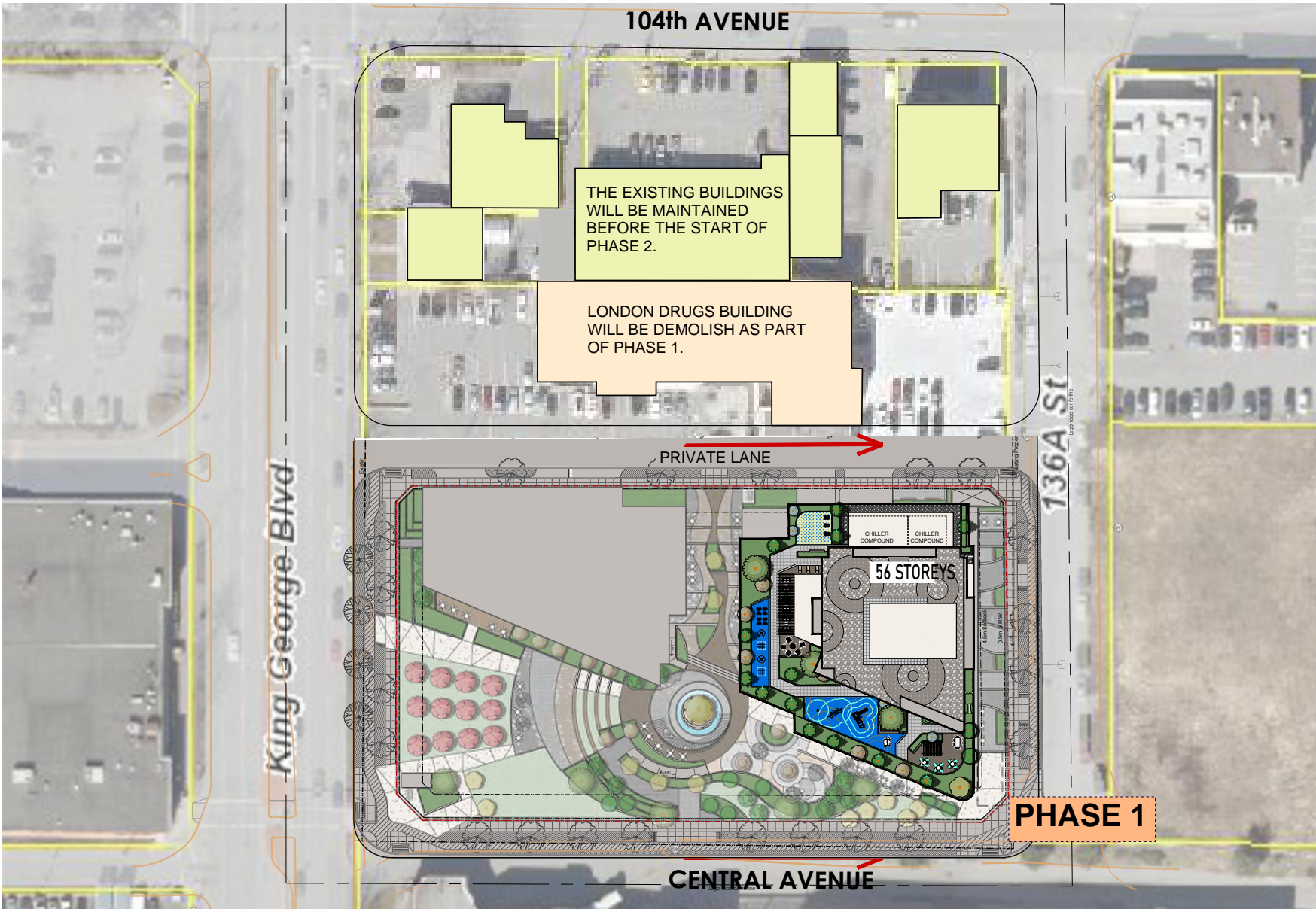
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November 23, 2023



A201



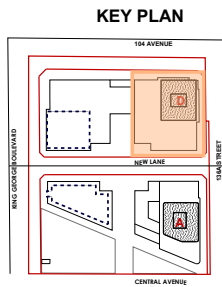
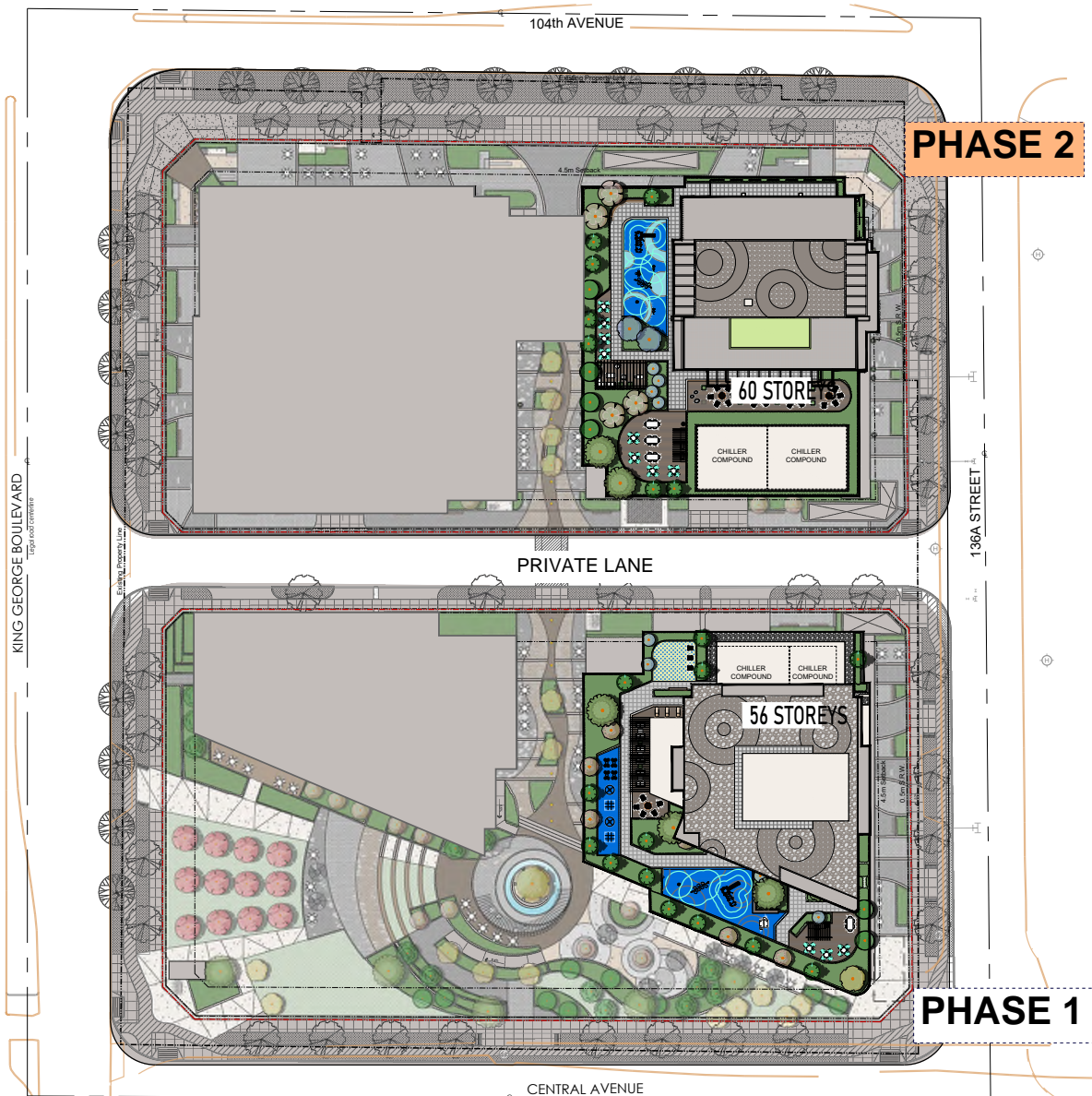
MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

CONTEXT & PHASING PLAN - PHASE 1

1:700

**ISSUED FOR
 REZONING/DP**
 November 2023





MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

OVERALL ROOF PLAN
 1:700

SUBMISSION TO A.D.P.
 November 23, 2023

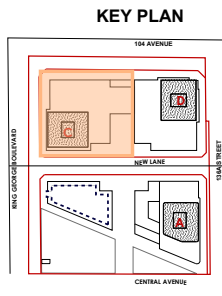
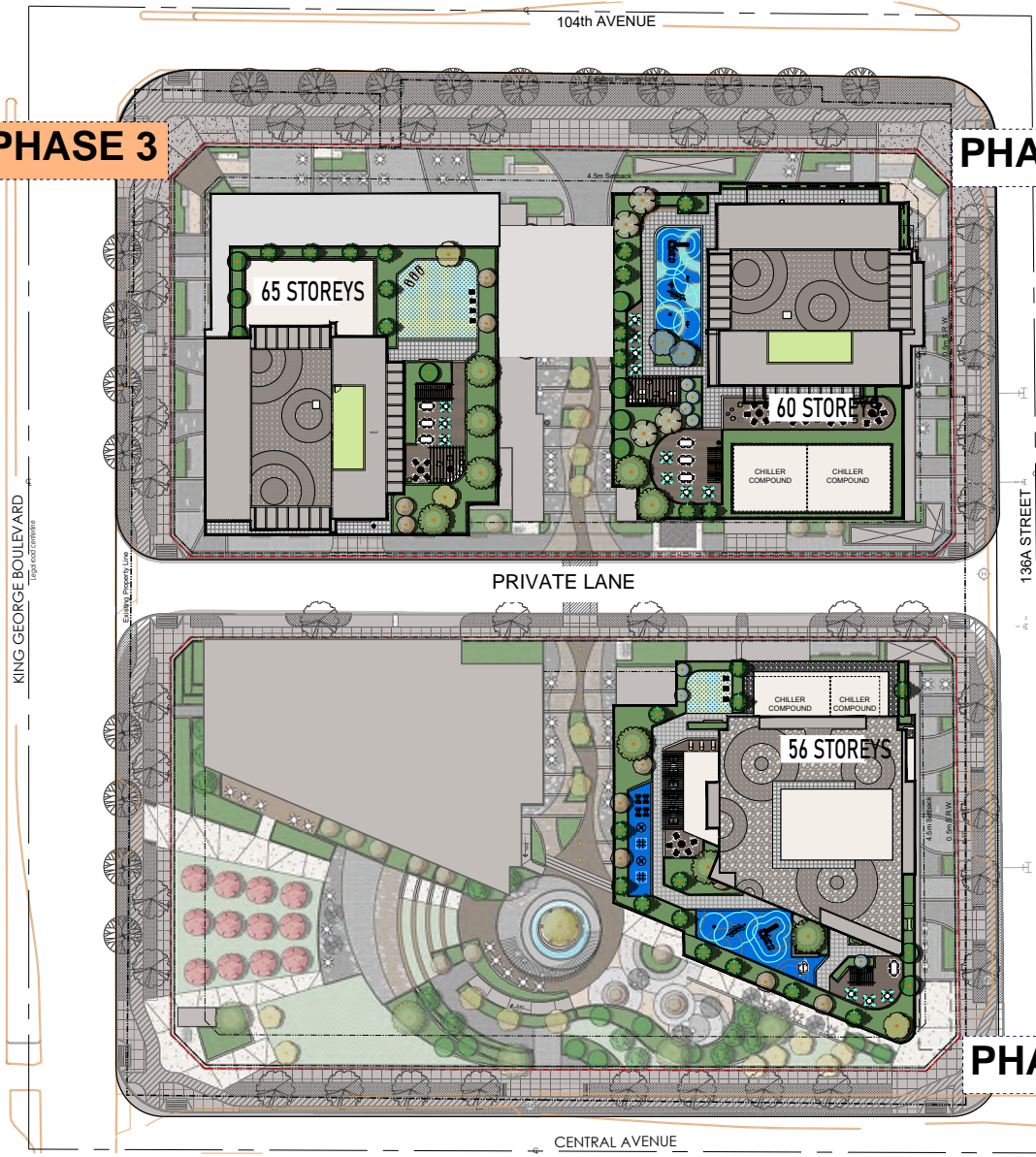


A201

PHASE 3

PHASE 2

PHASE 1



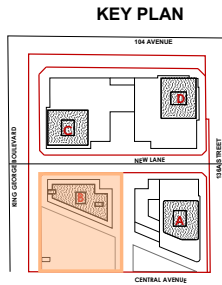
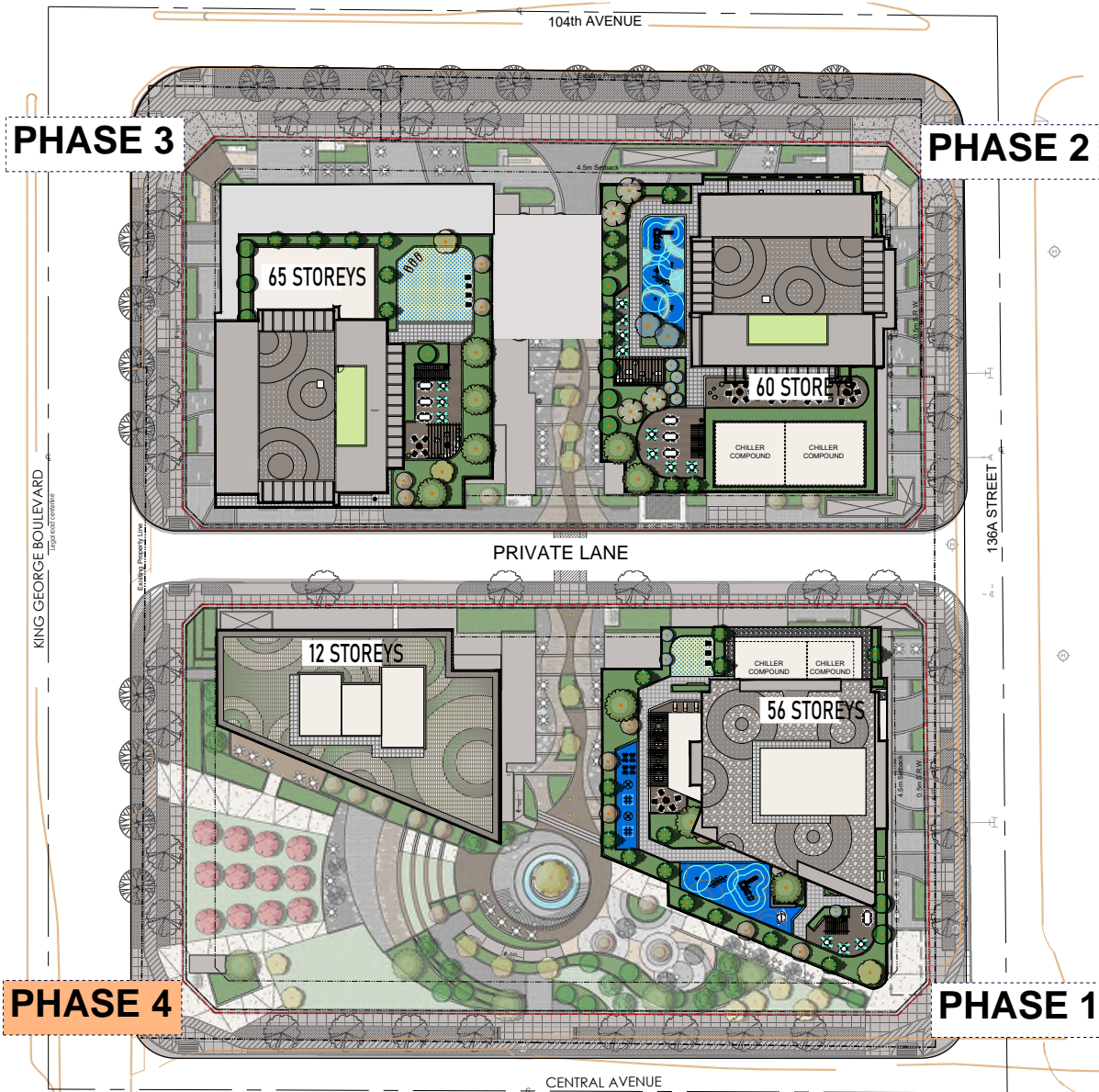
MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

OVERALL ROOF PLAN
 1:700

SUBMISSION TO A.D.P.
 November 23, 2023



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 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

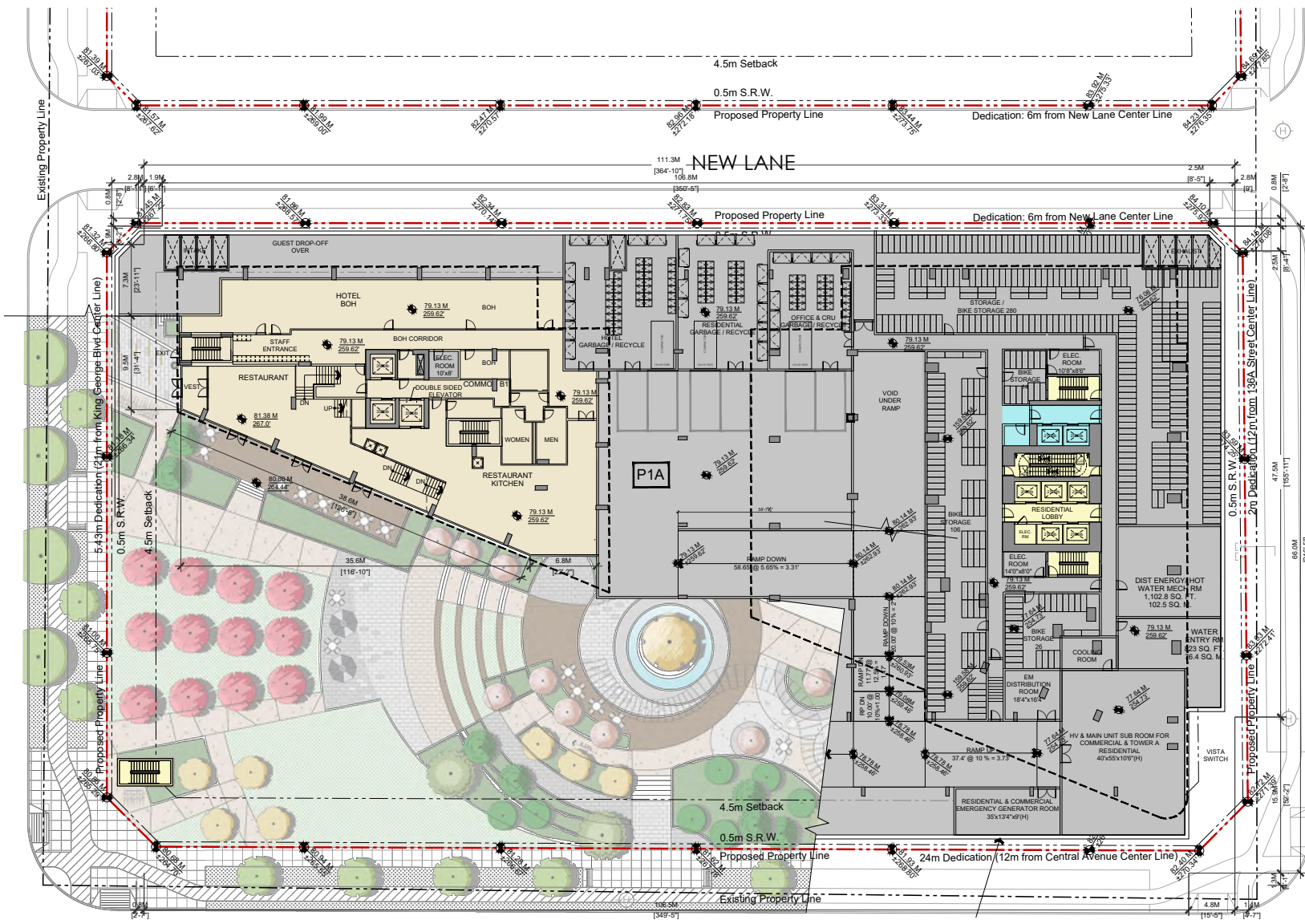
OVERALL ROOF PLAN
 1:700

SUBMISSION TO A.D.P.
 November 23, 2023



A201

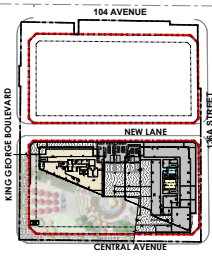
KING GEORGE BOULEVARD



136A STREET

CENTRAL AVENUE

KEY PLAN



LEGEND

- OFFICE
- SERVICES
- COMMON
- HOTEL



MIXED-USE DEVELOPMENT

10344/48/63/76/92 King George Blvd. & 13634/54 - 104th Ave, SURREY, BC

TOWERS A&B - FLOOR PLANS - P1A

1:400

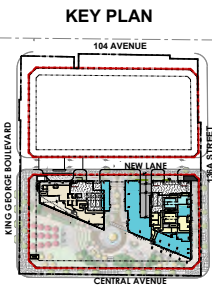
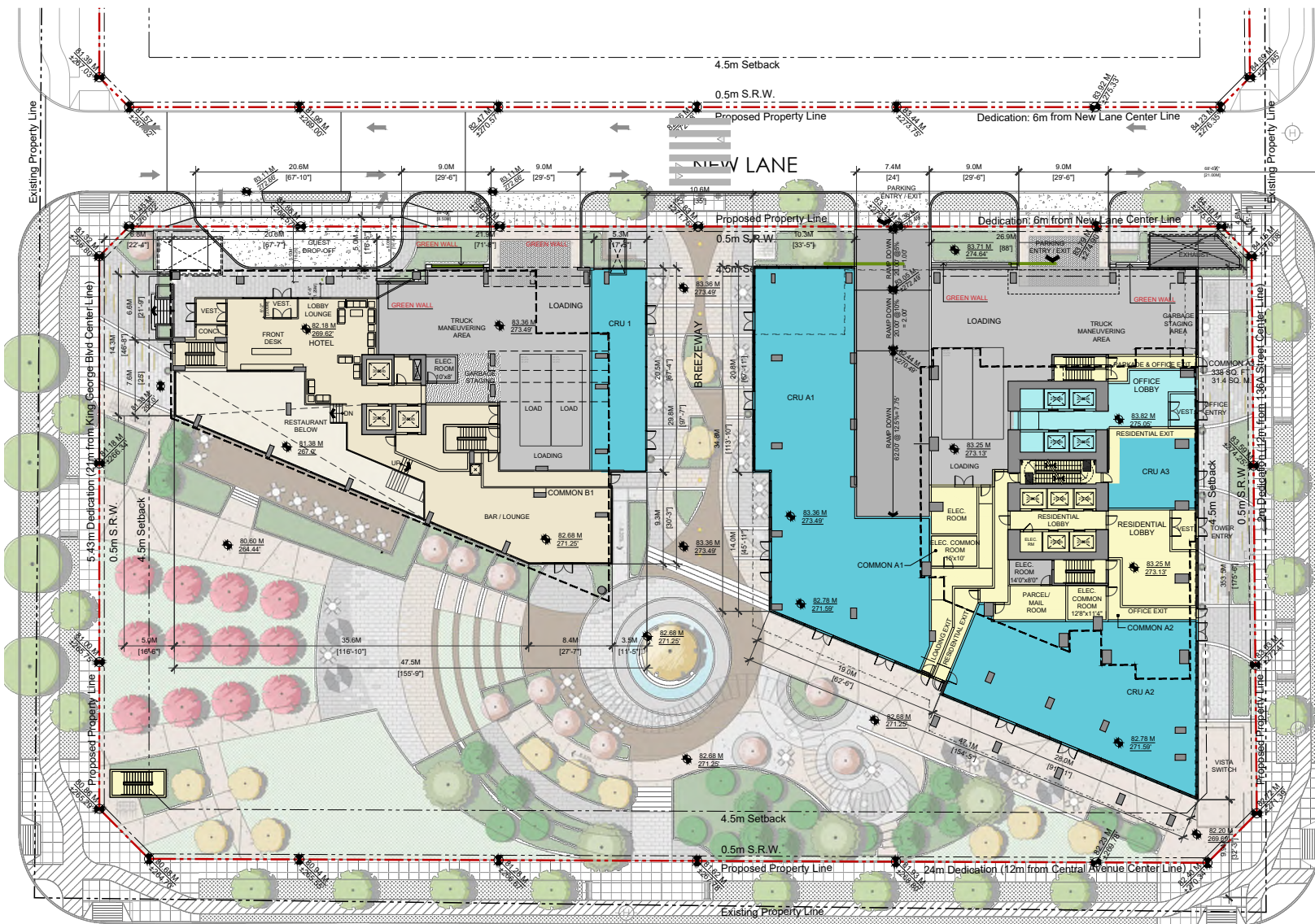
SUBMISSION TO A.D.P.

November 23, 2023



A225

KING GEORGE BOULEVARD



LEGEND

- CRU
- OFFICE
- RESIDENTIAL
- HOTEL
- CRU (RESTAURANT)
- SERVICES
- COMMON

136A STREET

TOWER B

CENTRAL AVENUE

TOWER A



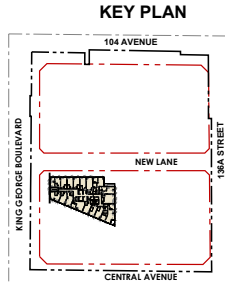
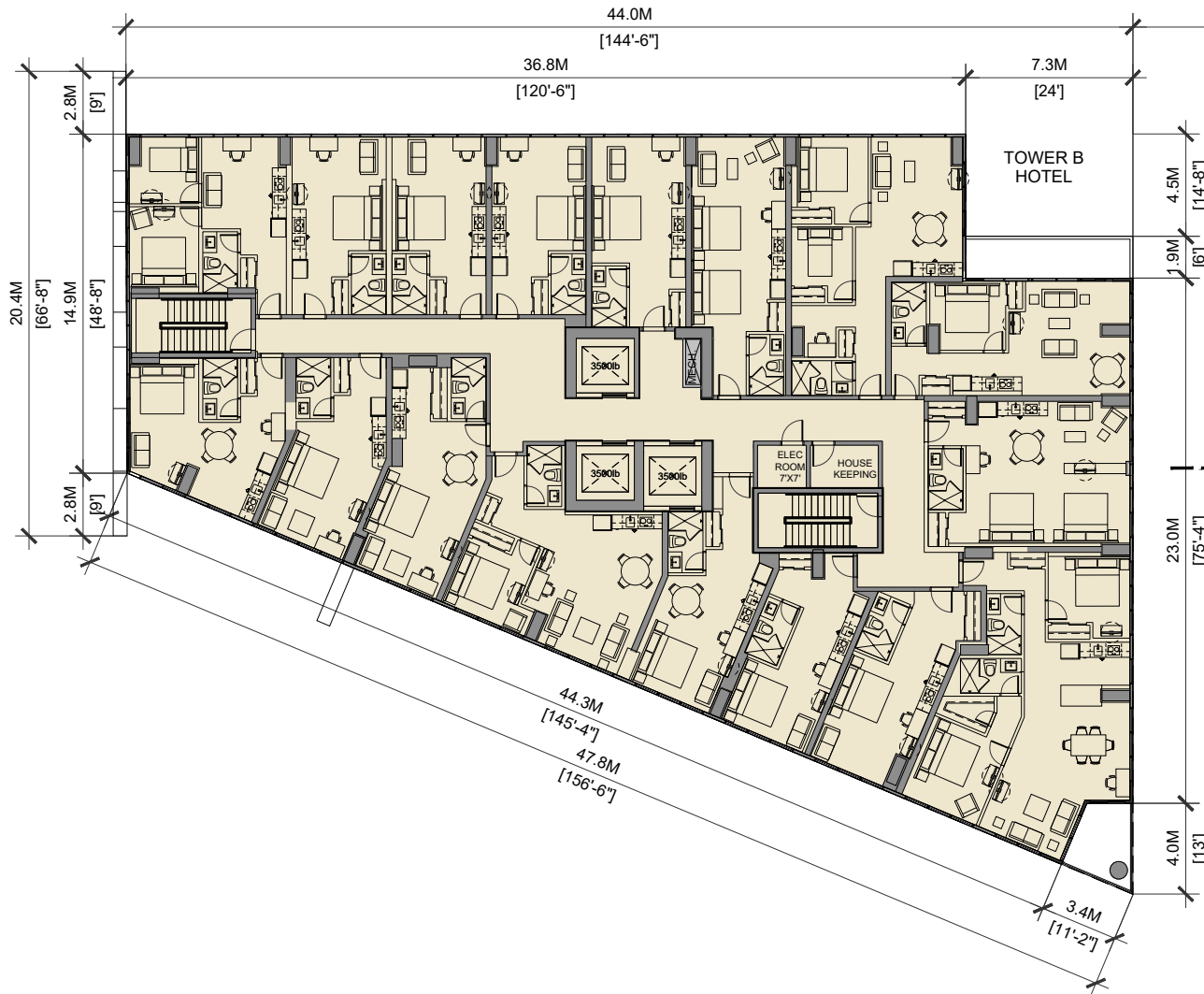
MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

TOWERS A&B - FLOOR PLANS - L1
 1:400

SUBMISSION TO A.D.P.
 November 23, 2023



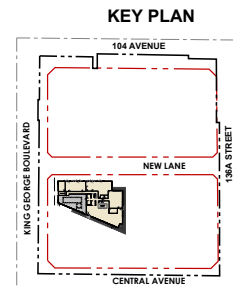
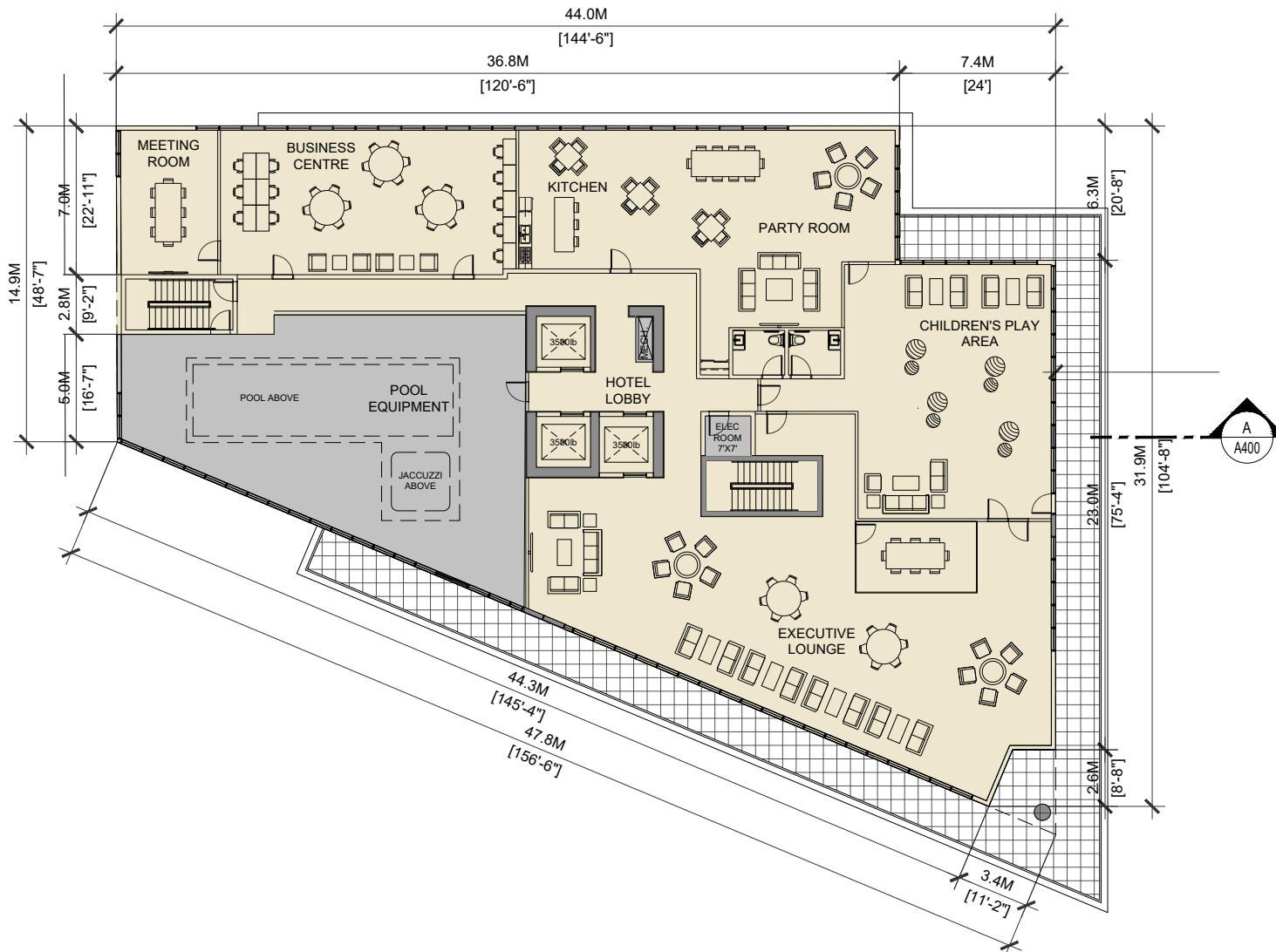
A226



LEGEND

- HOTEL
- SERVICES





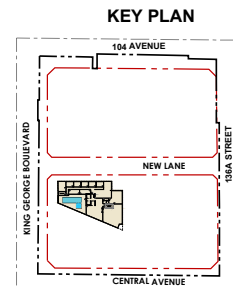
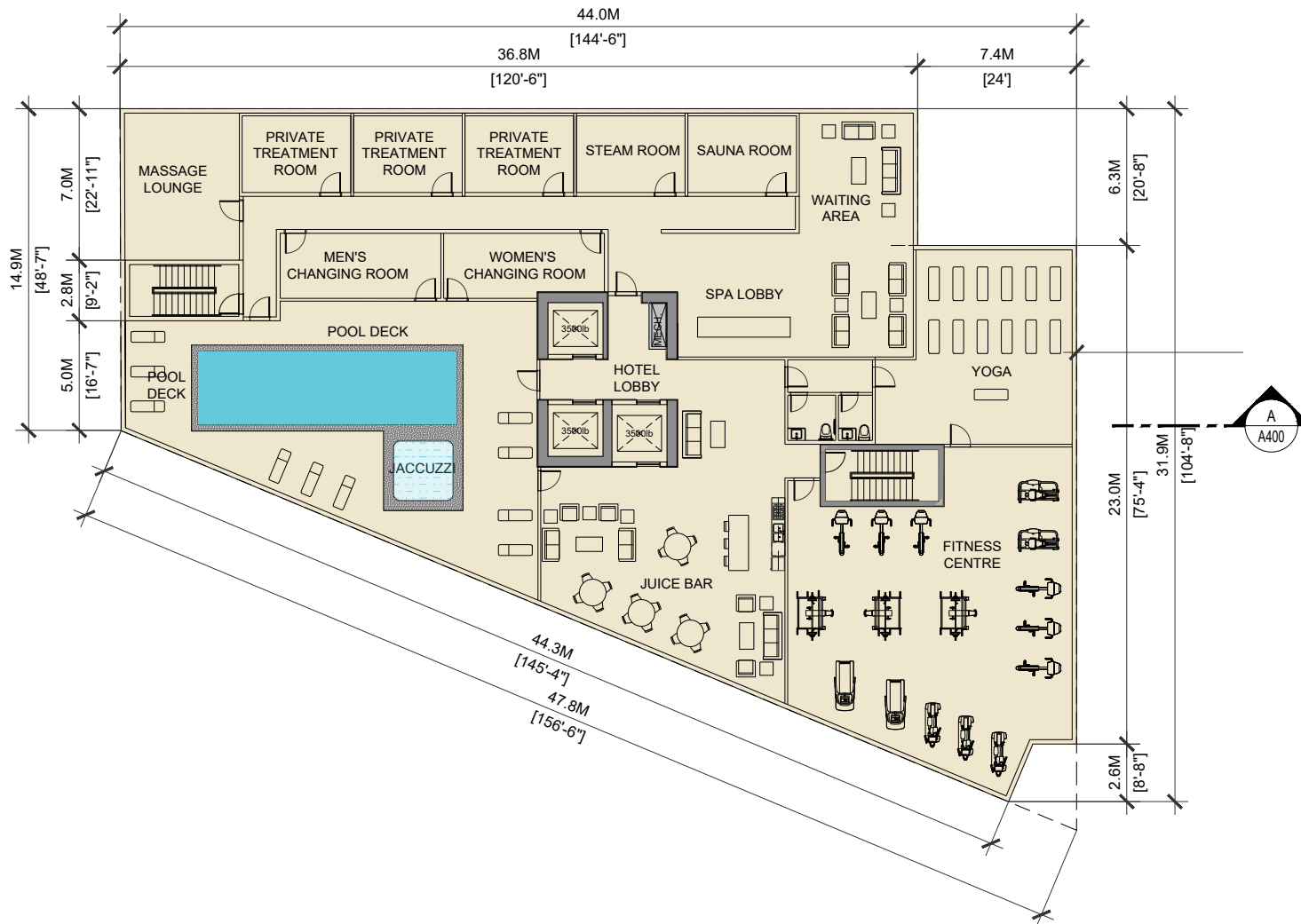
MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

TOWER B - FLOOR PLANS - L14 (Amenity)
 1:200

SUBMISSION TO A.D.P.
 November 23, 2023



A251



LEGEND

- SERVICES
- HOTEL



MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
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TOWER B - FLOOR PLANS - L15 (Amenity)

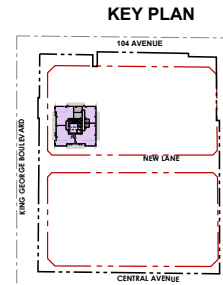
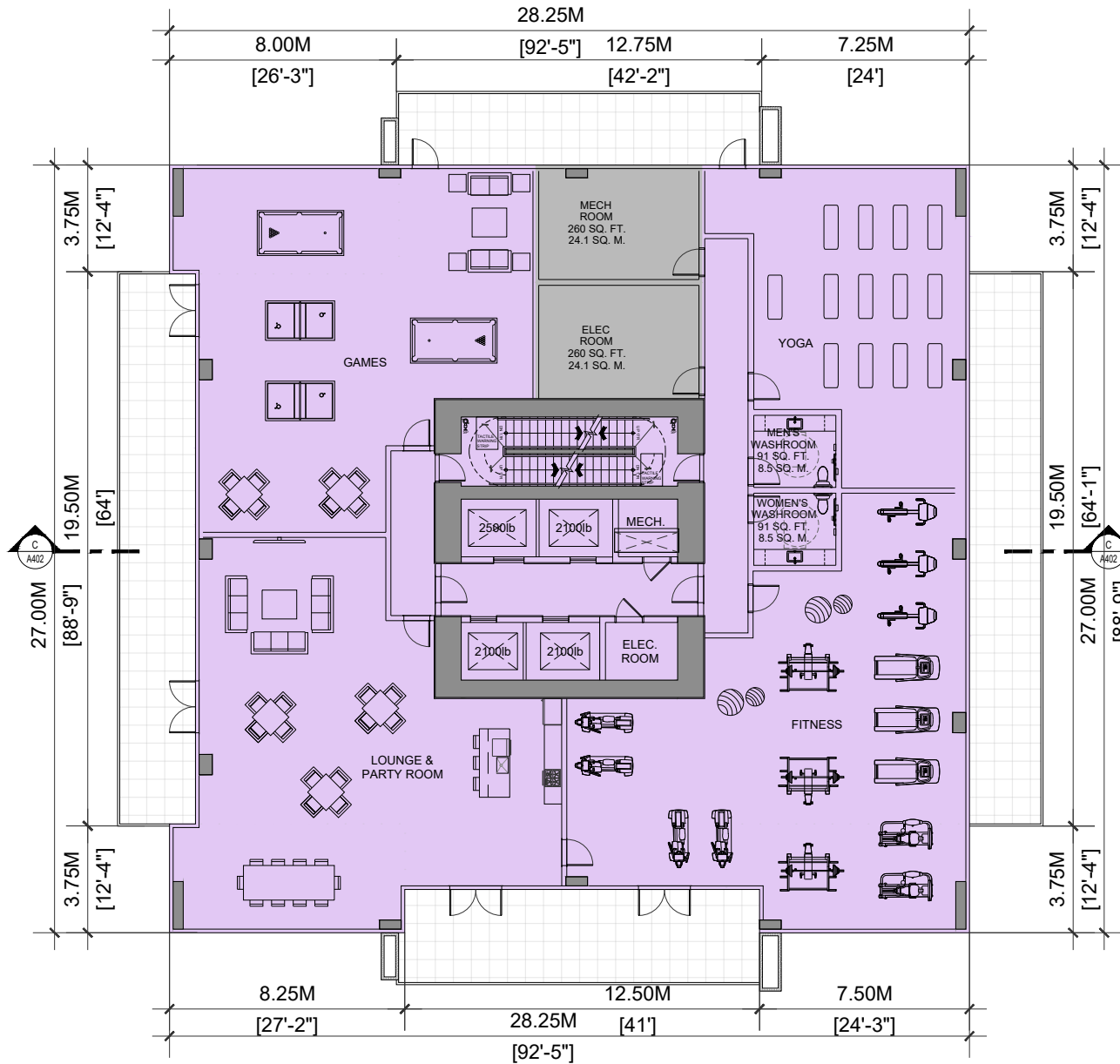
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SUBMISSION TO A.D.P.

November 23, 2023

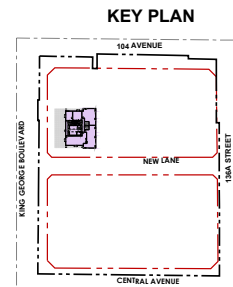
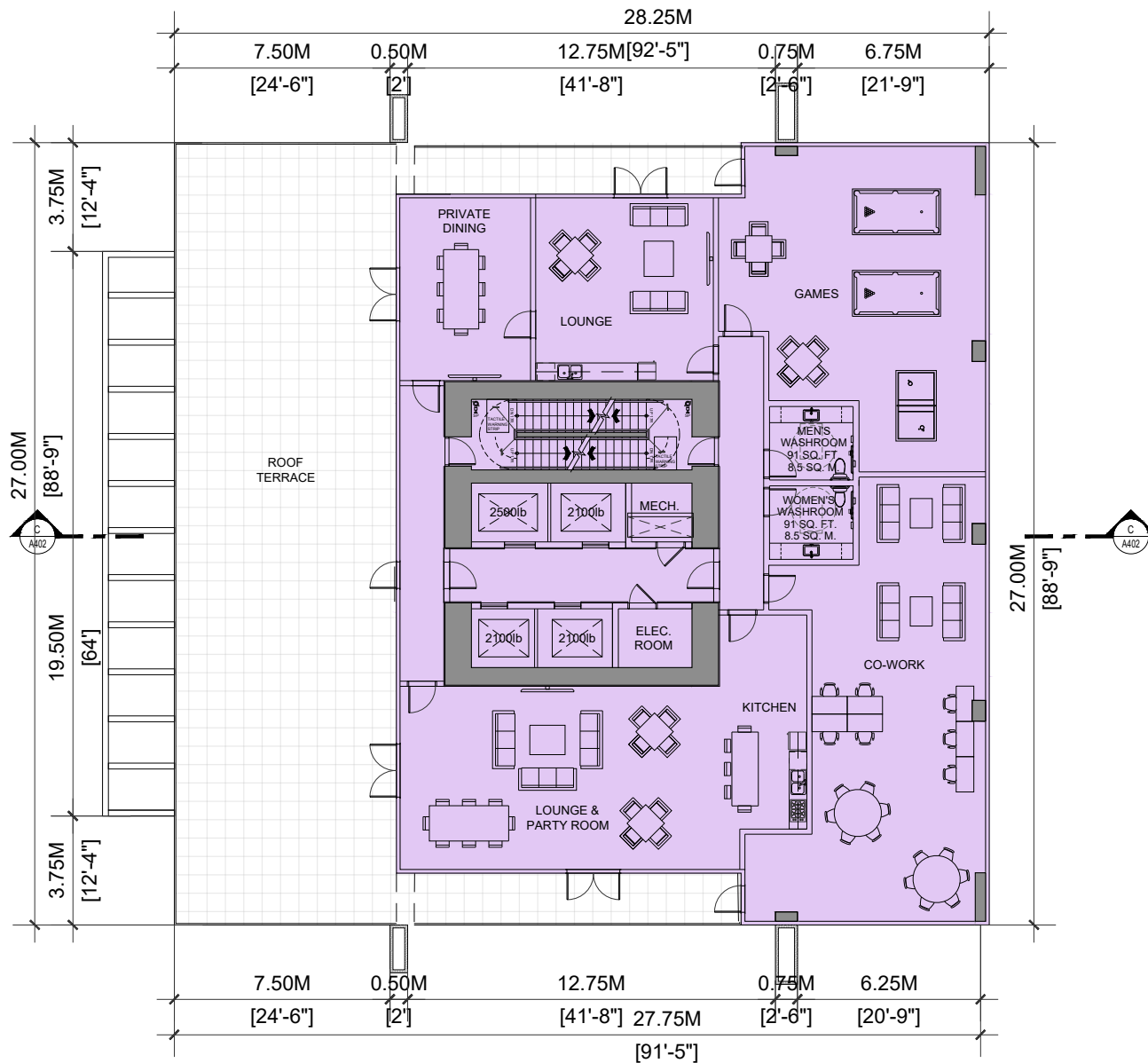


A252



LEGEND

- AMENITY
- SERVICES



LEGEND

- AMENITY
- SERVICES



MIXED-USE DEVELOPMENT | TOWER C - FLOOR PLANS - L64 (Amenity)

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

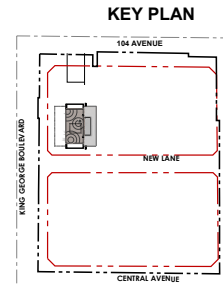
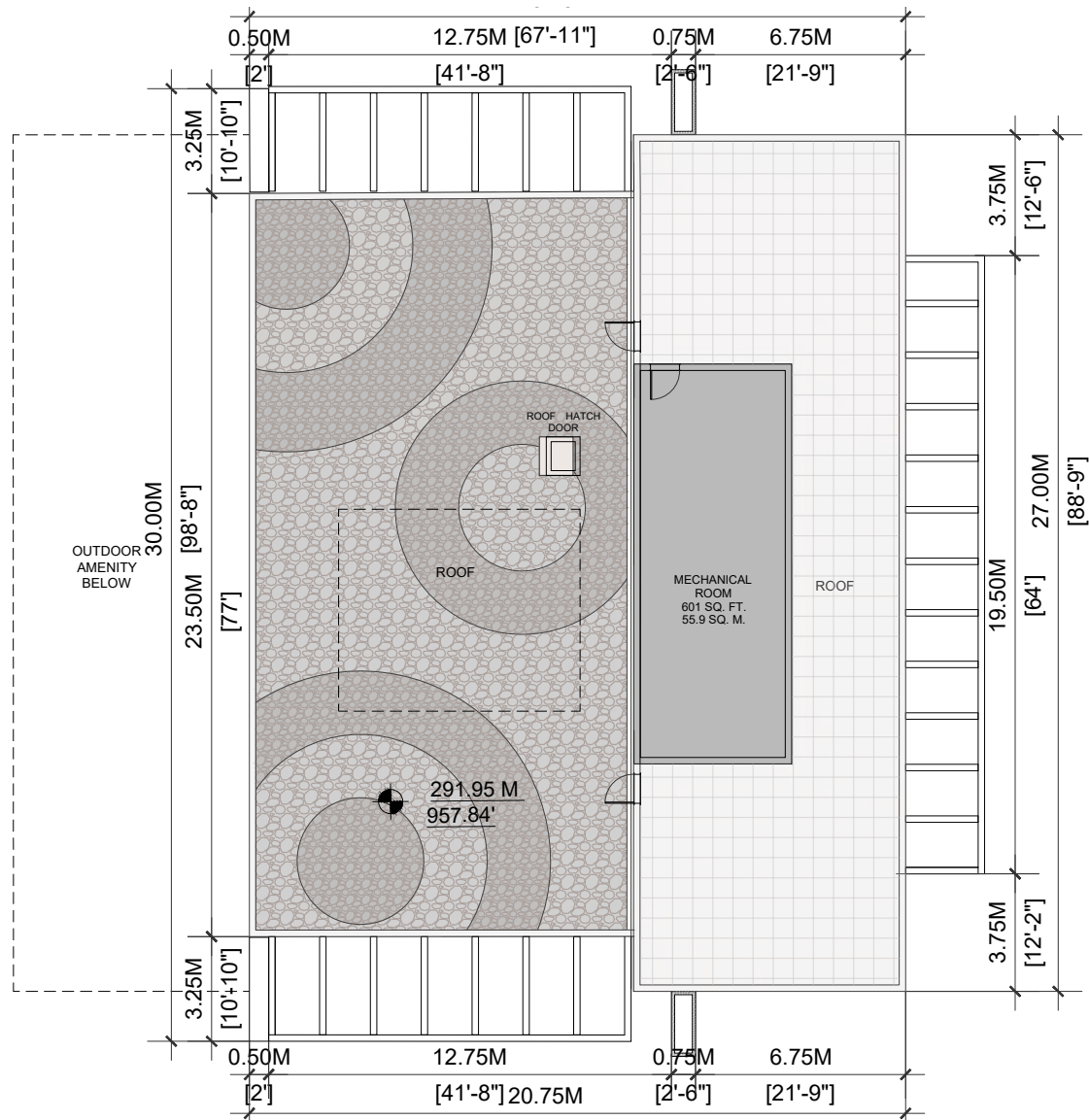
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SUBMISSION TO A.D.P.

November 23, 2023



A285



LEGEND

■ SERVICES



MIXED-USE DEVELOPMENT
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TOWER C - FLOOR PLANS - L65 (Roof)

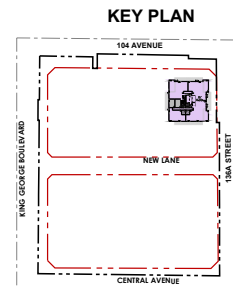
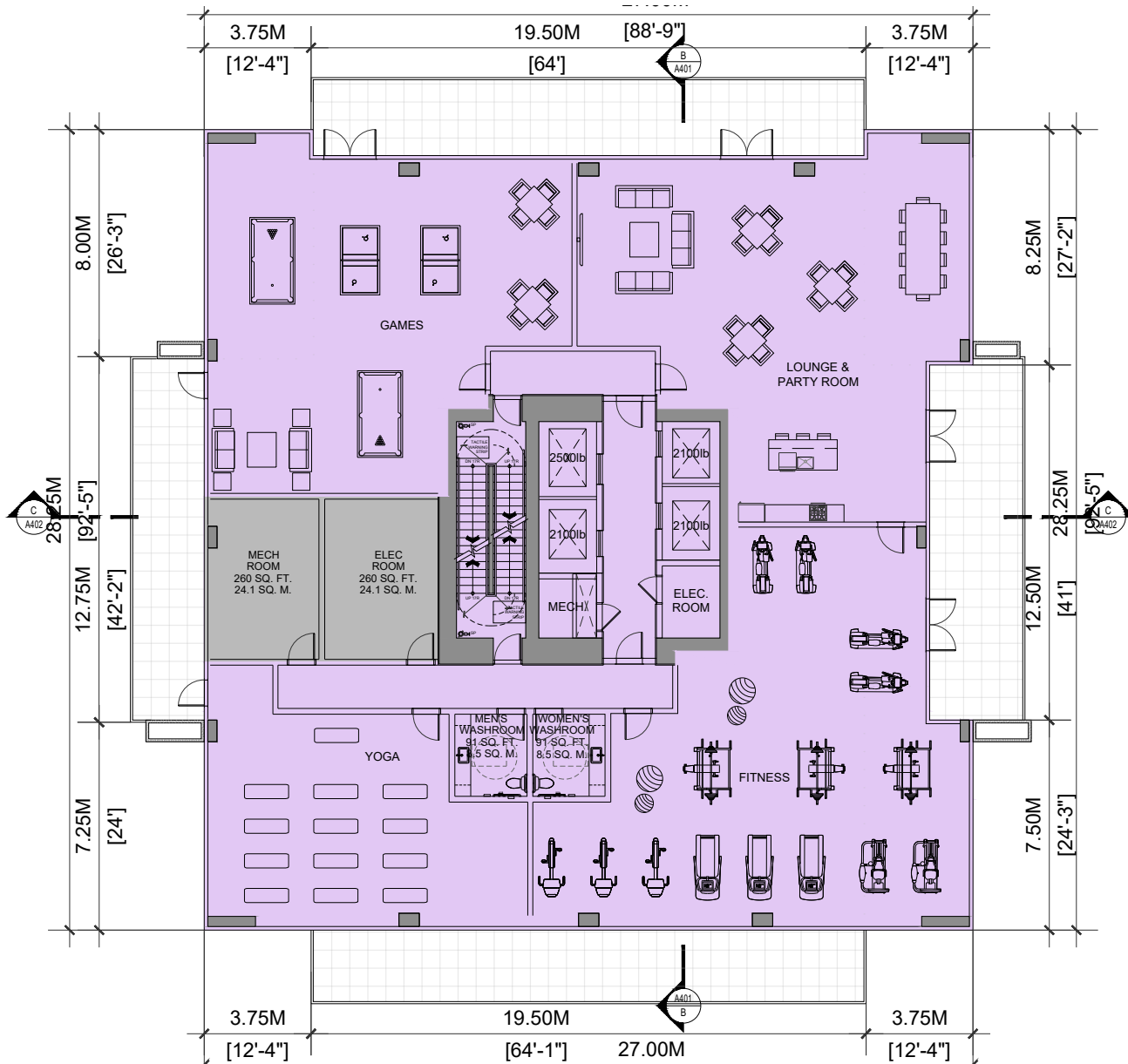
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SUBMISSION TO A.D.P.

November 23, 2023



A286



LEGEND

- AMENITY
- SERVICES



MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

TOWER D - FLOOR PLANS - L59 (Amenity)

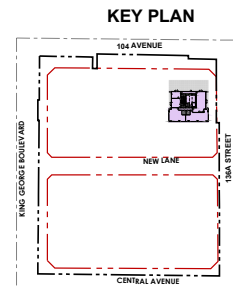
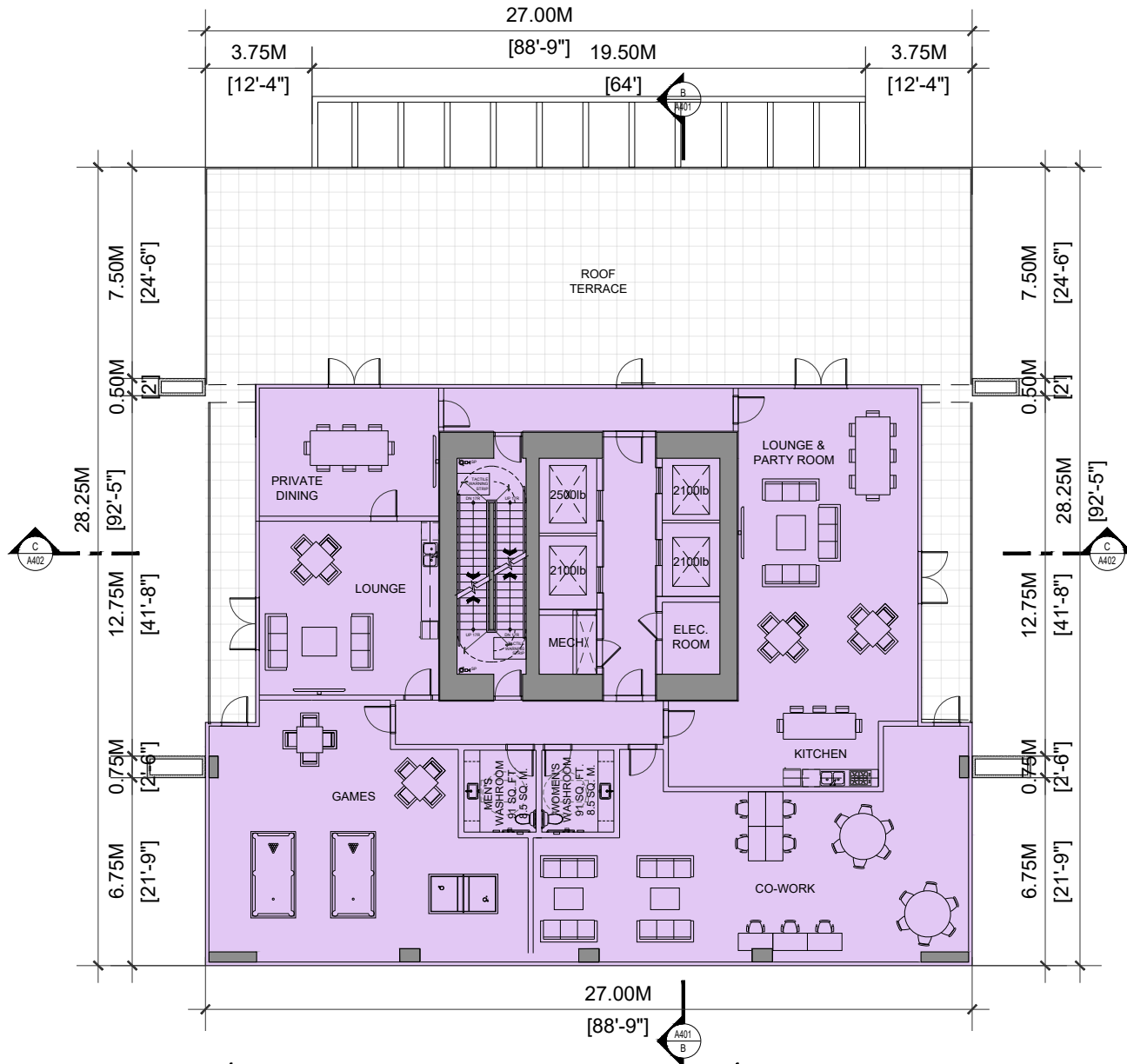
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SUBMISSION TO A.D.P.

November 23, 2023



A294



LEGEND

- AMENITY
- SERVICES



MIXED-USE DEVELOPMENT | TOWER D - FLOOR PLANS - L60 (Amenity)

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

TOWER D - FLOOR PLANS - L60 (Amenity)

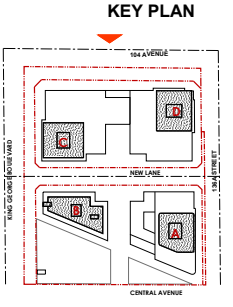
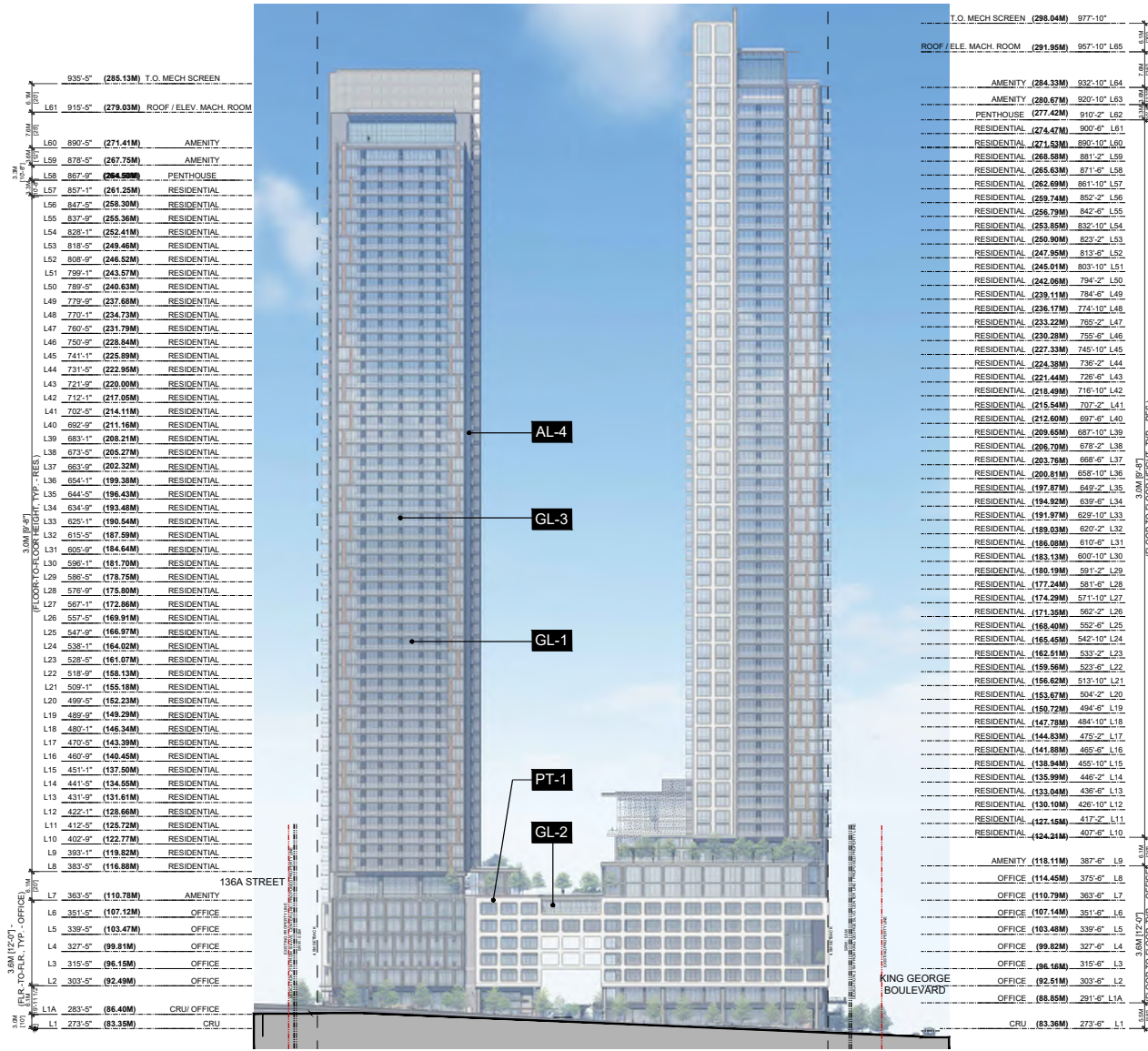
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SUBMISSION TO A.D.P.

November 23, 2023



A295



- ### MATERIAL LEGEND
- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-2. ALUMINUM CURTAIN WALL FRAME:
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-3. ALUMINUM WINDOW FINIS:
Powder Coated to AAMA 2605, Interpon "Standard White"
 - AL-4. ALUMINUM VERTICAL PANEL:
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-5. ALUMINUM VERTICAL PANEL:
Simulated Wood Soffit - Dark Cherry
 - AL-6. CANOPY SUPPORTS:
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
 - GL-1. TOWER VISION GLASS - TINED SEALED UNIT:
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
 - GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
 - GL-3. SPANDREL GLASS:
Opac-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
 - PT-1. ARCHITECTURAL FINISH PAINT:
Color to Match Benjamin Moore 2121-60 White Diamond
 - PT-2. ARCHITECTURAL FINISH PAINT:
Color to Match Benjamin Moore 2127-30 Gravel Gray
 - PT-3. ARCHITECTURAL FINISH PAINT:
Color to Match Benjamin Moore 2121-20 Steel Wool
 - MP-1. ALUMINUM SOFFIT:
Mayne Coatings - Dark Fir - 150102-733
 - MP-2. COMPOSITE ALUMINUM PANEL:
Color to Match Benjamin Moore 2121-60 White Diamond
 - MP-3. COMPOSITE ALUMINUM PANEL:
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
 - MP-4. ALUMINUM PANEL:
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

NORTH ELEVATION
1" = 80'

SUBMISSION TO A.D.P.
November 23, 2023



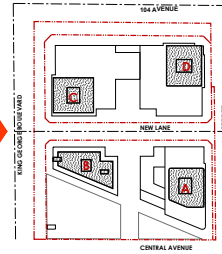
A300



977'-10"	(298.04M)	T.O. MESH SCREEN
1.65	957'-10"	(291.95M) ROOF / ELEV. MACH. ROOM
1.64	932'-10"	(284.33M) AMENITY
1.63	920'-10"	(280.67M) AMENITY
1.62	910'-2"	(277.42M) PENTHOUSE
1.61	900'-6"	(274.47M) RESIDENTIAL
1.60	890'-10"	(271.53M) RESIDENTIAL
1.59	881'-2"	(268.68M) RESIDENTIAL
1.58	871'-6"	(265.63M) RESIDENTIAL
1.57	861'-10"	(262.69M) RESIDENTIAL
1.56	852'-2"	(259.74M) RESIDENTIAL
1.55	842'-6"	(256.79M) RESIDENTIAL
1.54	832'-10"	(253.85M) RESIDENTIAL
1.53	823'-2"	(250.90M) RESIDENTIAL
1.52	813'-6"	(247.95M) RESIDENTIAL
1.51	803'-10"	(245.01M) RESIDENTIAL
1.50	794'-2"	(242.06M) RESIDENTIAL
1.49	784'-6"	(239.11M) RESIDENTIAL
1.48	774'-10"	(236.17M) RESIDENTIAL
1.47	765'-2"	(233.22M) RESIDENTIAL
1.46	755'-6"	(230.28M) RESIDENTIAL
1.45	745'-10"	(227.33M) RESIDENTIAL
1.44	736'-2"	(224.38M) RESIDENTIAL
1.43	726'-6"	(221.44M) RESIDENTIAL
1.42	716'-10"	(218.49M) RESIDENTIAL
1.41	707'-2"	(215.54M) RESIDENTIAL
1.40	697'-6"	(212.60M) RESIDENTIAL
1.39	687'-10"	(209.65M) RESIDENTIAL
1.38	678'-2"	(206.70M) RESIDENTIAL
1.37	668'-6"	(203.76M) RESIDENTIAL
1.36	658'-10"	(200.81M) RESIDENTIAL
1.35	649'-2"	(197.87M) RESIDENTIAL
1.34	639'-6"	(194.92M) RESIDENTIAL
1.33	629'-10"	(191.97M) RESIDENTIAL
1.32	620'-2"	(189.03M) RESIDENTIAL
1.31	610'-6"	(186.08M) RESIDENTIAL
1.30	600'-10"	(183.13M) RESIDENTIAL
1.29	591'-2"	(180.19M) RESIDENTIAL
1.28	581'-6"	(177.24M) RESIDENTIAL
1.27	571'-10"	(174.29M) RESIDENTIAL
1.26	562'-2"	(171.35M) RESIDENTIAL
1.25	552'-6"	(168.40M) RESIDENTIAL
1.24	542'-10"	(165.45M) RESIDENTIAL
1.23	533'-2"	(162.51M) RESIDENTIAL
1.22	523'-6"	(159.56M) RESIDENTIAL
1.21	513'-10"	(156.62M) RESIDENTIAL
1.20	504'-2"	(153.67M) RESIDENTIAL
1.19	494'-6"	(150.72M) RESIDENTIAL
1.18	484'-10"	(147.78M) RESIDENTIAL
1.17	475'-2"	(144.83M) RESIDENTIAL
1.16	465'-6"	(141.88M) RESIDENTIAL
1.15	455'-10"	(138.94M) RESIDENTIAL
1.14	446'-2"	(135.99M) RESIDENTIAL
1.13	436'-6"	(133.04M) RESIDENTIAL
1.12	426'-10"	(130.10M) RESIDENTIAL
1.11	417'-2"	(127.15M) RESIDENTIAL
1.10	407'-6"	(124.21M) RESIDENTIAL
1.9	387'-6"	(118.11M) AMENITY
1.8	378'-6"	(114.45M) OFFICE
1.7	363'-6"	(110.79M) OFFICE
1.6	351'-6"	(107.14M) OFFICE
1.5	339'-6"	(103.48M) OFFICE
1.4	327'-6"	(99.82M) OFFICE
1.3	315'-6"	(96.16M) OFFICE
1.2	303'-6"	(92.51M) OFFICE
1.1A	291'-6"	(88.85M) OFFICE
1.1	273'-6"	(83.36M) CRU

ELEV. MACH. ROOM	(136.41M)	447'-6"	L16
ROOF	(133.36M)	439'-6"	L16
AMENITY (POOL)	(128.48M)	421'-6"	L15
AMENITY (GYM, CHANGING)	(124.83M)	409'-6"	L14
HOTEL	(121.88M)	399'-10"	L13
HOTEL	(118.93M)	390'-2"	L12
HOTEL	(115.98M)	380'-6"	L11
HOTEL	(113.04M)	370'-10"	L10
HOTEL	(110.09M)	361'-2"	L9
HOTEL	(107.15M)	351'-6"	L8
HOTEL	(104.20M)	341'-10"	L7
HOTEL	(101.26M)	332'-2"	L6
HOTEL	(98.31M)	322'-6"	L5
HOTEL	(95.36M)	312'-10"	L4
HOTEL	(92.42M)	303'-2"	L3
HOTEL	(89.47M)	293'-6"	L2
CRU	(83.37M)	273'-6"	L1
RESTAURANT/LOCH	(80.62M)	264'-6"	P1A

KEY PLAN



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 150102-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoramax Copper. Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

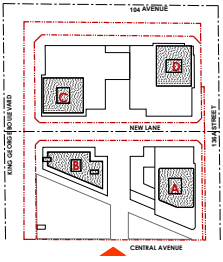
WEST ELEVATION
1" = 80'

SUBMISSION TO A.D.P.
November 23, 2023



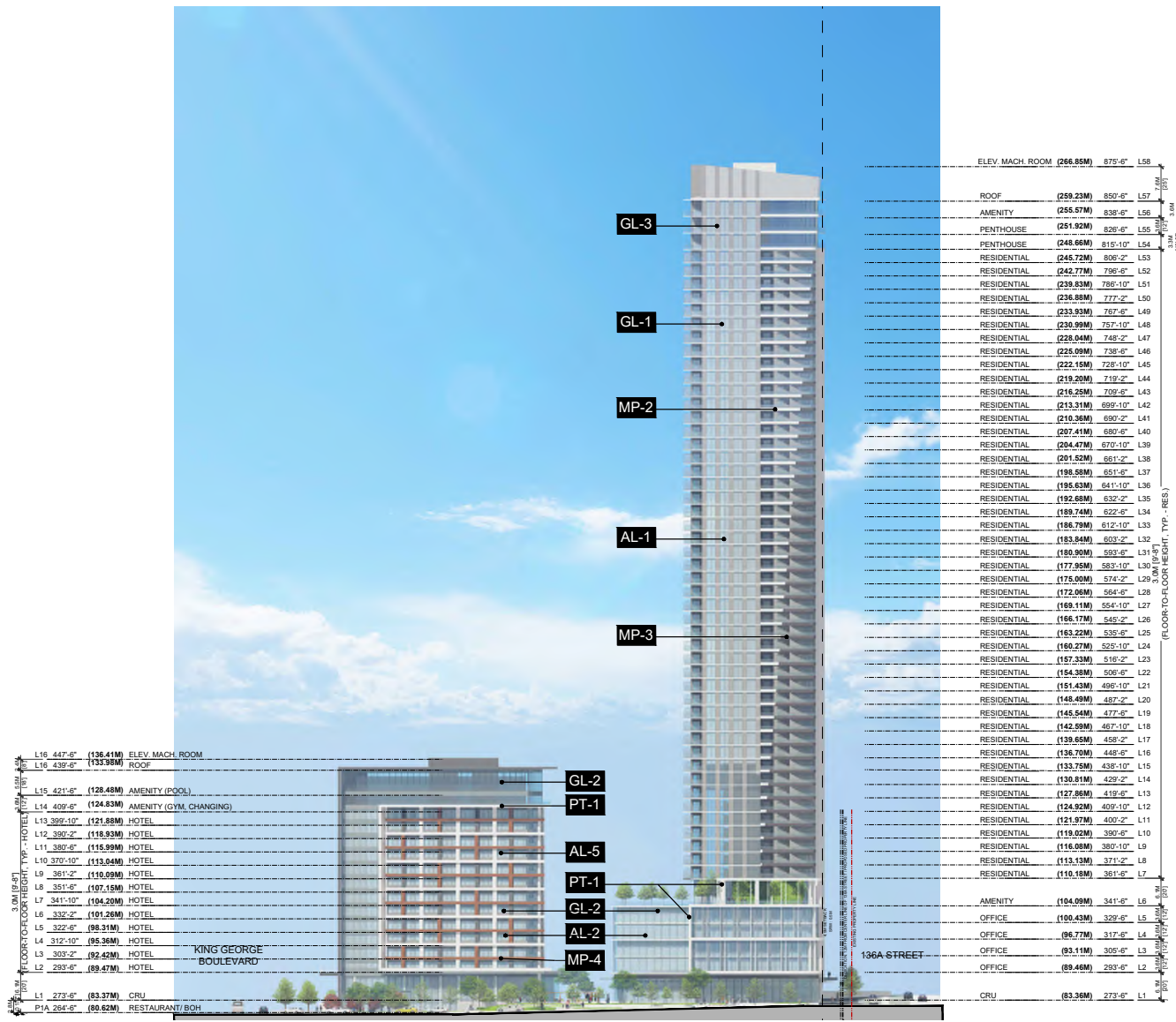
A301

KEY PLAN



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opac-Coat-300 #3-2653 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoramax Copper. Code:8W21Q



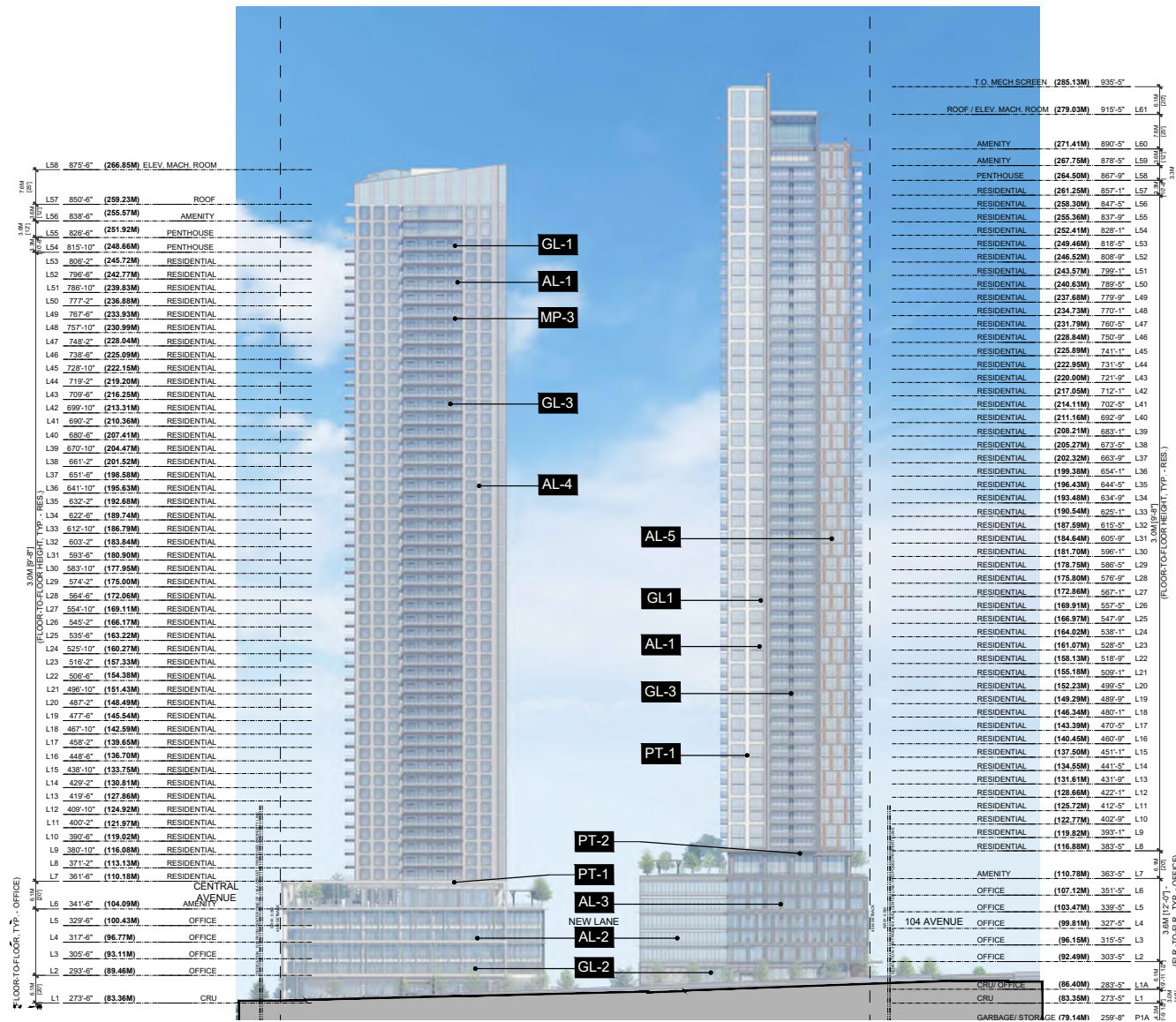
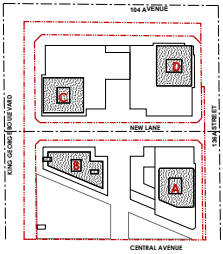
MIXED-USE DEVELOPMENT | SOUTH ELEVATION
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC
 1" = 80'

SUBMISSION TO A.D.P.
 November 23, 2023



A302

KEY PLAN



L58	875'-6"	(266.85M)	ELEV. MACH. ROOM
L57	850'-6"	(259.23M)	ROOF
L56	836'-6"	(255.57M)	AMENITY
L55	826'-6"	(251.92M)	PENTHOUSE
L54	815'-10"	(248.66M)	PENTHOUSE
L53	806'-2"	(245.72M)	RESIDENTIAL
L52	796'-6"	(242.77M)	RESIDENTIAL
L51	786'-10"	(239.83M)	RESIDENTIAL
L50	777'-2"	(236.89M)	RESIDENTIAL
L49	767'-6"	(233.93M)	RESIDENTIAL
L48	757'-10"	(230.99M)	RESIDENTIAL
L47	748'-2"	(228.04M)	RESIDENTIAL
L46	738'-6"	(225.09M)	RESIDENTIAL
L45	728'-10"	(222.15M)	RESIDENTIAL
L44	719'-2"	(219.20M)	RESIDENTIAL
L43	709'-6"	(216.25M)	RESIDENTIAL
L42	699'-10"	(213.31M)	RESIDENTIAL
L41	690'-2"	(210.36M)	RESIDENTIAL
L40	680'-6"	(207.41M)	RESIDENTIAL
L39	670'-10"	(204.47M)	RESIDENTIAL
L38	661'-2"	(201.52M)	RESIDENTIAL
L37	651'-6"	(198.58M)	RESIDENTIAL
L36	641'-10"	(195.63M)	RESIDENTIAL
L35	632'-2"	(192.68M)	RESIDENTIAL
L34	622'-6"	(189.74M)	RESIDENTIAL
L33	612'-10"	(186.79M)	RESIDENTIAL
L32	603'-2"	(183.84M)	RESIDENTIAL
L31	593'-6"	(180.89M)	RESIDENTIAL
L30	583'-10"	(177.95M)	RESIDENTIAL
L29	574'-2"	(175.00M)	RESIDENTIAL
L28	564'-6"	(172.06M)	RESIDENTIAL
L27	554'-10"	(169.11M)	RESIDENTIAL
L26	545'-2"	(166.17M)	RESIDENTIAL
L25	535'-6"	(163.22M)	RESIDENTIAL
L24	525'-10"	(160.27M)	RESIDENTIAL
L23	516'-2"	(157.33M)	RESIDENTIAL
L22	506'-6"	(154.38M)	RESIDENTIAL
L21	496'-10"	(151.43M)	RESIDENTIAL
L20	487'-2"	(148.49M)	RESIDENTIAL
L19	477'-6"	(145.54M)	RESIDENTIAL
L18	467'-10"	(142.59M)	RESIDENTIAL
L17	458'-2"	(139.65M)	RESIDENTIAL
L16	448'-6"	(136.70M)	RESIDENTIAL
L15	438'-10"	(133.75M)	RESIDENTIAL
L14	429'-2"	(130.81M)	RESIDENTIAL
L13	419'-6"	(127.86M)	RESIDENTIAL
L12	409'-10"	(124.92M)	RESIDENTIAL
L11	400'-2"	(121.97M)	RESIDENTIAL
L10	390'-6"	(119.02M)	RESIDENTIAL
L9	380'-10"	(116.08M)	RESIDENTIAL
L8	371'-2"	(113.13M)	RESIDENTIAL
L7	361'-6"	(110.18M)	RESIDENTIAL
L6	341'-6"	(104.09M)	AMENITY
L5	329'-6"	(100.43M)	OFFICE
L4	317'-6"	(96.77M)	OFFICE
L3	305'-6"	(93.11M)	OFFICE
L2	293'-6"	(89.46M)	OFFICE
L1	273'-6"	(83.36M)	CRU

T.O. MECH SCREEN	(285.13M)	935'-5"
ROOF / ELEV. MACH. ROOM	(279.03M)	915'-5"
AMENITY	(271.41M)	890'-5"
AMENITY	(267.79M)	878'-5"
PENTHOUSE	(264.50M)	867'-9"
RESIDENTIAL	(261.29M)	857'-1"
RESIDENTIAL	(258.30M)	847'-5"
RESIDENTIAL	(255.36M)	837'-9"
RESIDENTIAL	(252.41M)	828'-1"
RESIDENTIAL	(249.46M)	818'-5"
RESIDENTIAL	(246.52M)	808'-9"
RESIDENTIAL	(243.57M)	799'-1"
RESIDENTIAL	(240.63M)	789'-5"
RESIDENTIAL	(237.68M)	779'-9"
RESIDENTIAL	(234.73M)	770'-1"
RESIDENTIAL	(231.78M)	760'-5"
RESIDENTIAL	(228.84M)	750'-9"
RESIDENTIAL	(225.89M)	741'-1"
RESIDENTIAL	(222.95M)	731'-5"
RESIDENTIAL	(220.00M)	721'-9"
RESIDENTIAL	(217.05M)	712'-1"
RESIDENTIAL	(214.11M)	702'-5"
RESIDENTIAL	(211.16M)	692'-9"
RESIDENTIAL	(208.21M)	683'-1"
RESIDENTIAL	(205.27M)	673'-5"
RESIDENTIAL	(202.32M)	663'-9"
RESIDENTIAL	(199.38M)	654'-1"
RESIDENTIAL	(196.43M)	644'-5"
RESIDENTIAL	(193.48M)	634'-9"
RESIDENTIAL	(190.54M)	625'-1"
RESIDENTIAL	(187.59M)	615'-5"
RESIDENTIAL	(184.64M)	605'-9"
RESIDENTIAL	(181.70M)	596'-1"
RESIDENTIAL	(178.75M)	586'-5"
RESIDENTIAL	(175.80M)	576'-9"
RESIDENTIAL	(172.86M)	567'-1"
RESIDENTIAL	(169.91M)	557'-5"
RESIDENTIAL	(166.97M)	547'-9"
RESIDENTIAL	(164.02M)	538'-1"
RESIDENTIAL	(161.07M)	528'-5"
RESIDENTIAL	(158.13M)	518'-9"
RESIDENTIAL	(155.18M)	509'-1"
RESIDENTIAL	(152.23M)	499'-5"
RESIDENTIAL	(149.29M)	489'-9"
RESIDENTIAL	(146.34M)	480'-1"
RESIDENTIAL	(143.39M)	470'-5"
RESIDENTIAL	(140.45M)	460'-9"
RESIDENTIAL	(137.50M)	451'-1"
RESIDENTIAL	(134.55M)	441'-5"
RESIDENTIAL	(131.61M)	431'-9"
RESIDENTIAL	(128.66M)	422'-1"
RESIDENTIAL	(125.72M)	412'-5"
RESIDENTIAL	(122.77M)	402'-9"
RESIDENTIAL	(119.82M)	393'-1"
RESIDENTIAL	(116.88M)	383'-5"
AMENITY	(110.78M)	363'-5"
OFFICE	(107.12M)	351'-5"
OFFICE	(103.47M)	339'-5"
OFFICE	(99.81M)	327'-5"
OFFICE	(96.15M)	315'-5"
OFFICE	(92.49M)	303'-5"
CRU/OFFICE	(86.40M)	283'-5"
CRU	(83.35M)	273'-5"
GARAGE/STORAGE	(79.14M)	259'-8"

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opac-Coat-900 R3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 150102-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper, Code:8W201Q



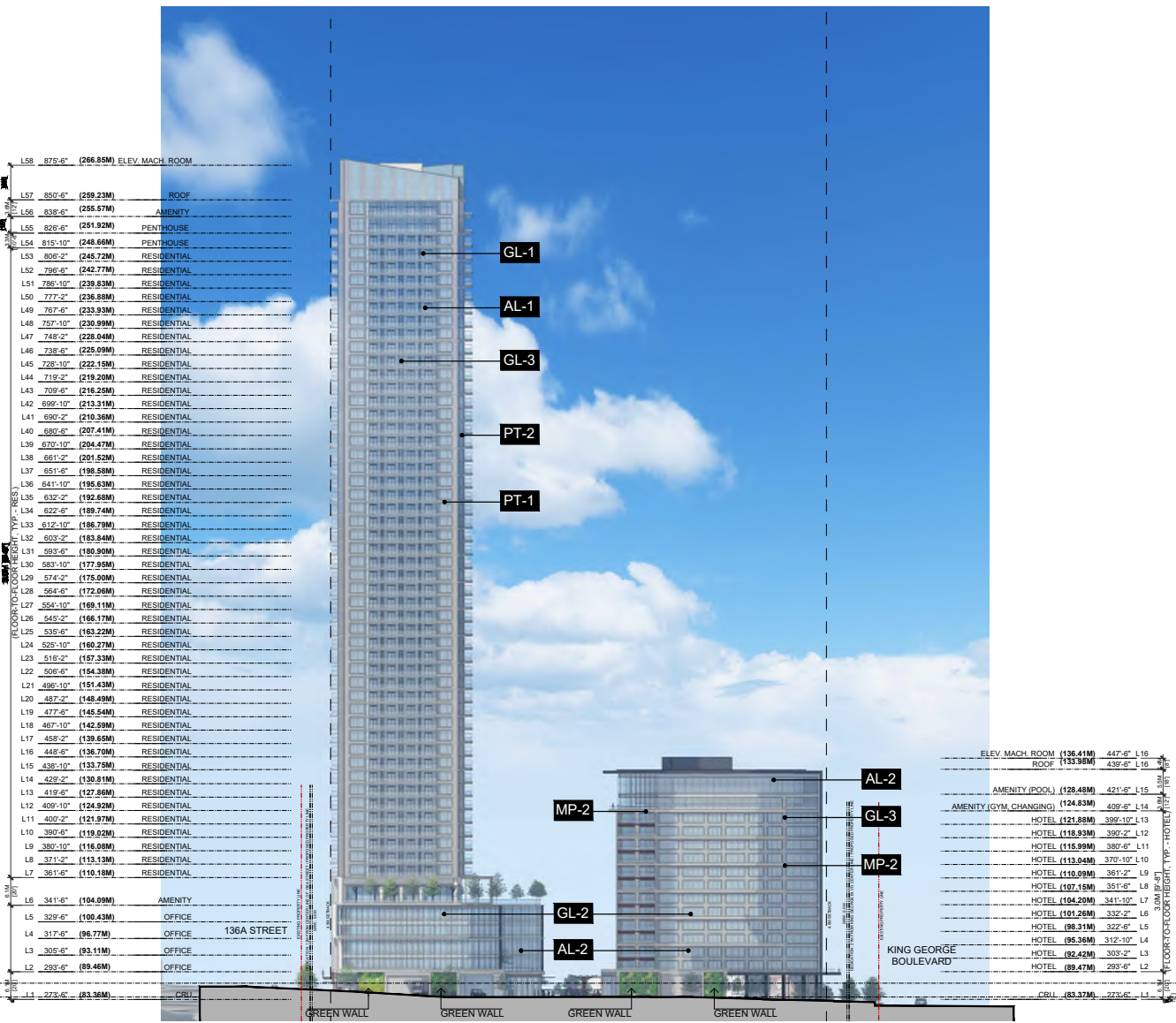
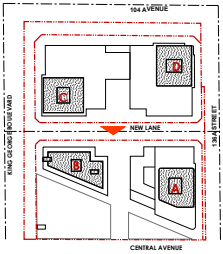
MIXED-USE DEVELOPMENT | EAST ELEVATION
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC
 1" = 80'

SUBMISSION TO A.D.P.
 November 23, 2023



A303

KEY PLAN



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-900 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 150102-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoramax Copper, Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

NEW LANE NORTH ELEVATION

1" = 80'

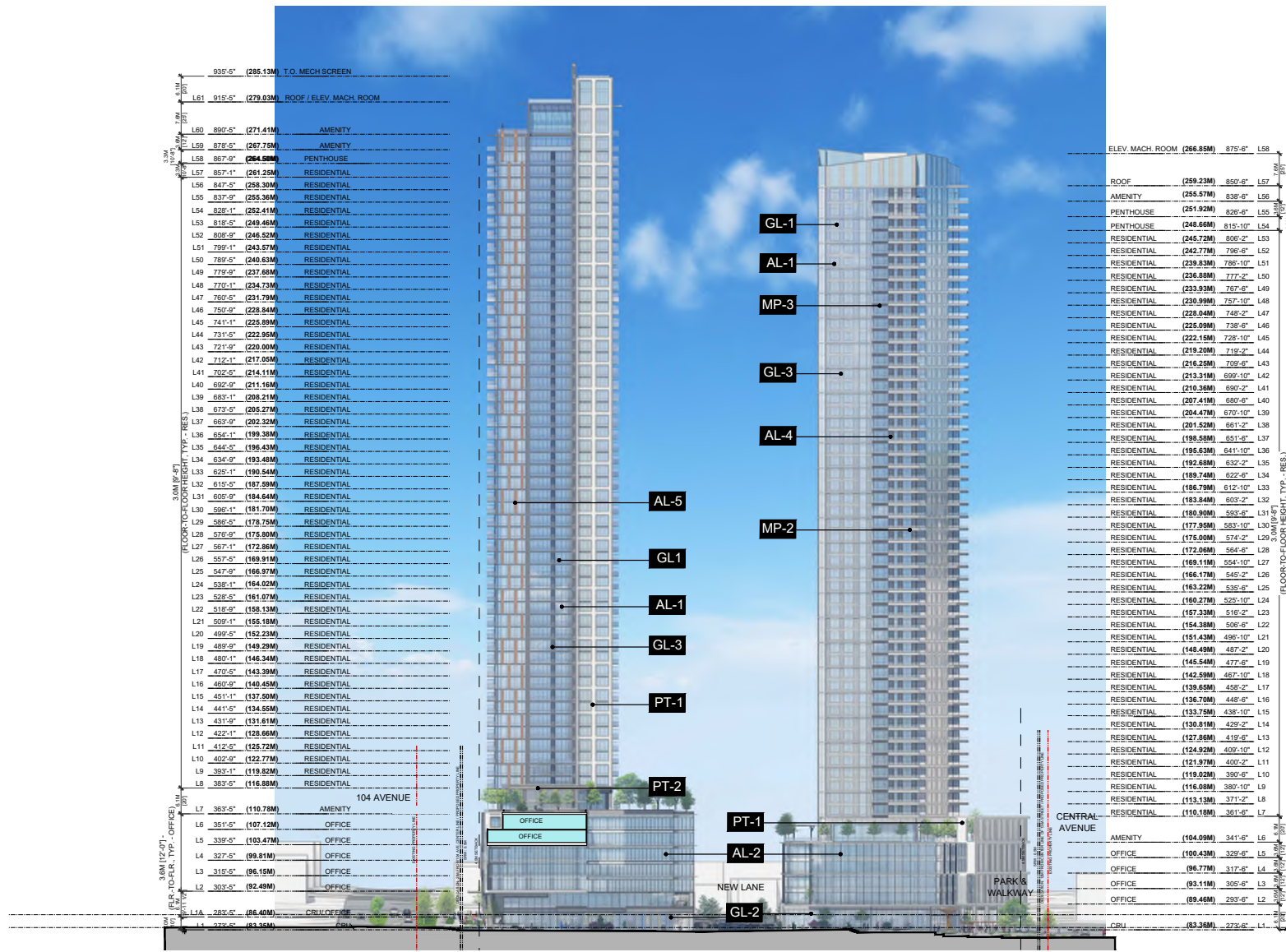
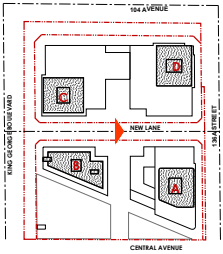
SUBMISSION TO A.D.P.

November 23, 2023



A304

KEY PLAN



ELEV. MACH. ROOM (266.85M)	875'-0"	L58
ROOF	(259.23M)	850'-0"
AMENITY	(255.57M)	838'-0"
PENTHOUSE	(251.92M)	826'-0"
PENTHOUSE	(248.66M)	815'-10"
RESIDENTIAL	(245.72M)	806'-2"
RESIDENTIAL	(242.77M)	796'-0"
RESIDENTIAL	(239.83M)	786'-10"
RESIDENTIAL	(236.88M)	777'-2"
RESIDENTIAL	(233.93M)	767'-6"
RESIDENTIAL	(230.98M)	757'-10"
RESIDENTIAL	(228.04M)	748'-2"
RESIDENTIAL	(225.09M)	738'-6"
RESIDENTIAL	(222.15M)	728'-10"
RESIDENTIAL	(219.20M)	719'-2"
RESIDENTIAL	(216.25M)	709'-6"
RESIDENTIAL	(213.31M)	699'-10"
RESIDENTIAL	(210.36M)	690'-2"
RESIDENTIAL	(207.41M)	680'-6"
RESIDENTIAL	(204.47M)	670'-10"
RESIDENTIAL	(201.52M)	661'-2"
RESIDENTIAL	(198.58M)	651'-6"
RESIDENTIAL	(195.63M)	641'-10"
RESIDENTIAL	(192.68M)	632'-2"
RESIDENTIAL	(189.74M)	622'-6"
RESIDENTIAL	(186.79M)	612'-10"
RESIDENTIAL	(183.84M)	603'-2"
RESIDENTIAL	(180.89M)	593'-6"
RESIDENTIAL	(177.95M)	583'-10"
RESIDENTIAL	(175.00M)	574'-2"
RESIDENTIAL	(172.06M)	564'-6"
RESIDENTIAL	(169.11M)	554'-10"
RESIDENTIAL	(166.17M)	545'-2"
RESIDENTIAL	(163.22M)	535'-6"
RESIDENTIAL	(160.27M)	525'-10"
RESIDENTIAL	(157.33M)	516'-2"
RESIDENTIAL	(154.38M)	506'-6"
RESIDENTIAL	(151.43M)	496'-10"
RESIDENTIAL	(148.49M)	487'-2"
RESIDENTIAL	(145.54M)	477'-6"
RESIDENTIAL	(142.59M)	467'-10"
RESIDENTIAL	(139.65M)	458'-2"
RESIDENTIAL	(136.70M)	448'-6"
RESIDENTIAL	(133.75M)	438'-10"
RESIDENTIAL	(130.81M)	429'-2"
RESIDENTIAL	(127.86M)	419'-6"
RESIDENTIAL	(124.92M)	409'-10"
RESIDENTIAL	(121.97M)	400'-2"
RESIDENTIAL	(119.02M)	390'-6"
RESIDENTIAL	(116.08M)	380'-10"
RESIDENTIAL	(113.13M)	371'-2"
RESIDENTIAL	(110.18M)	361'-6"
AMENITY	(104.08M)	341'-6"
OFFICE	(100.43M)	329'-6"
OFFICE	(96.77M)	317'-6"
OFFICE	(93.11M)	305'-6"
OFFICE	(89.46M)	293'-6"
GRU.	(83.26M)	273'-6"

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Supernatural 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 R3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PANEL:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PANEL:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 150102-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoramax Copper. Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

INTERNAL WEST ELEVATION

1" = 80'

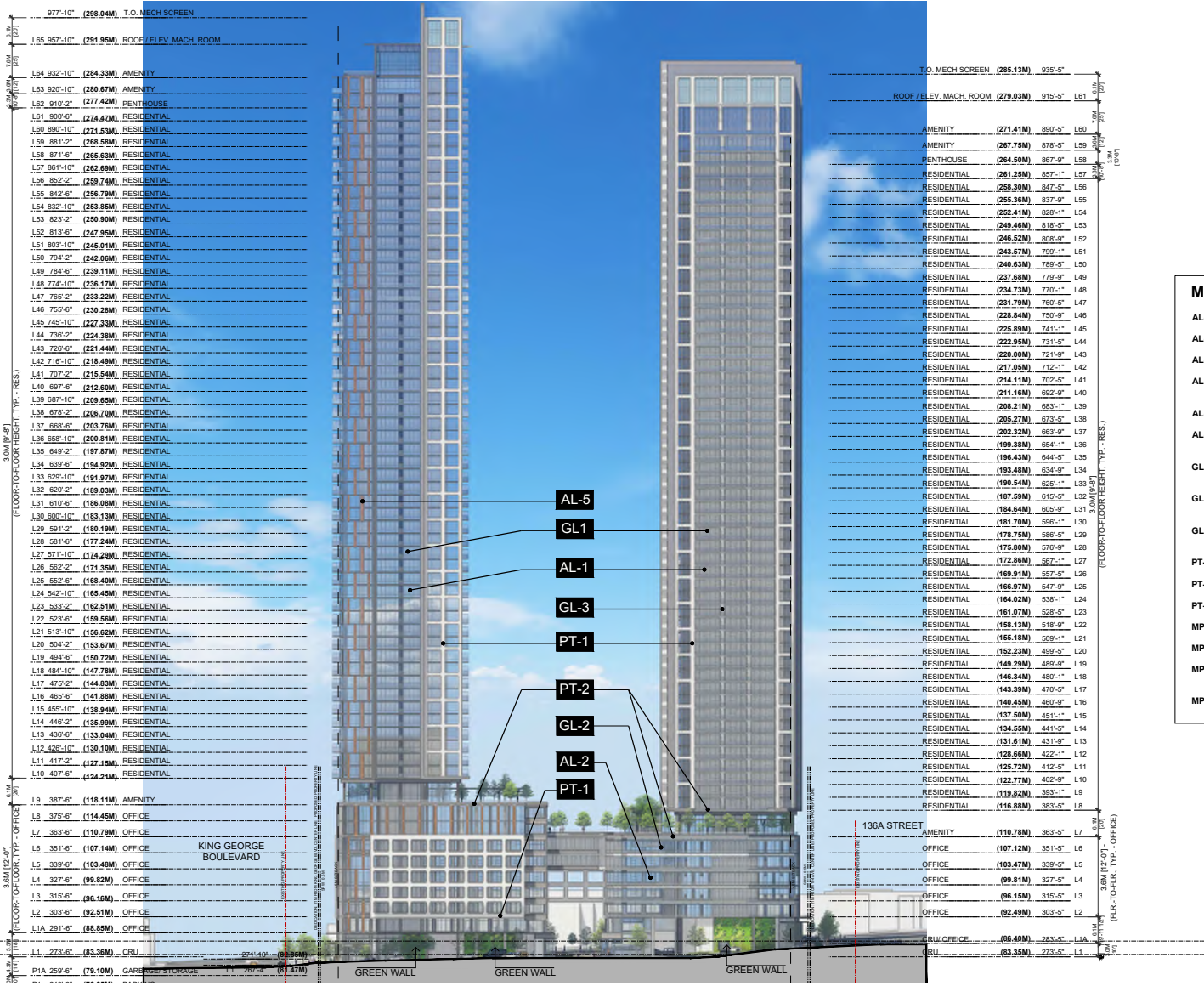
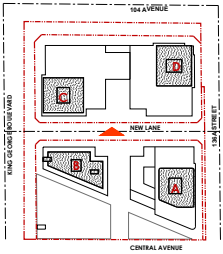
SUBMISSION TO A.D.P.

November 23, 2023



A305

KEY PLAN



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Supernatural 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2653 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 150102-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper, Code:8W201Q



MIXED-USE DEVELOPMENT
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NEW LANE SOUTH ELEVATION

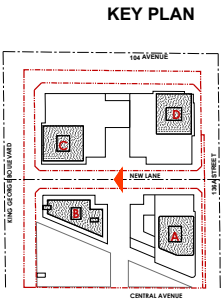
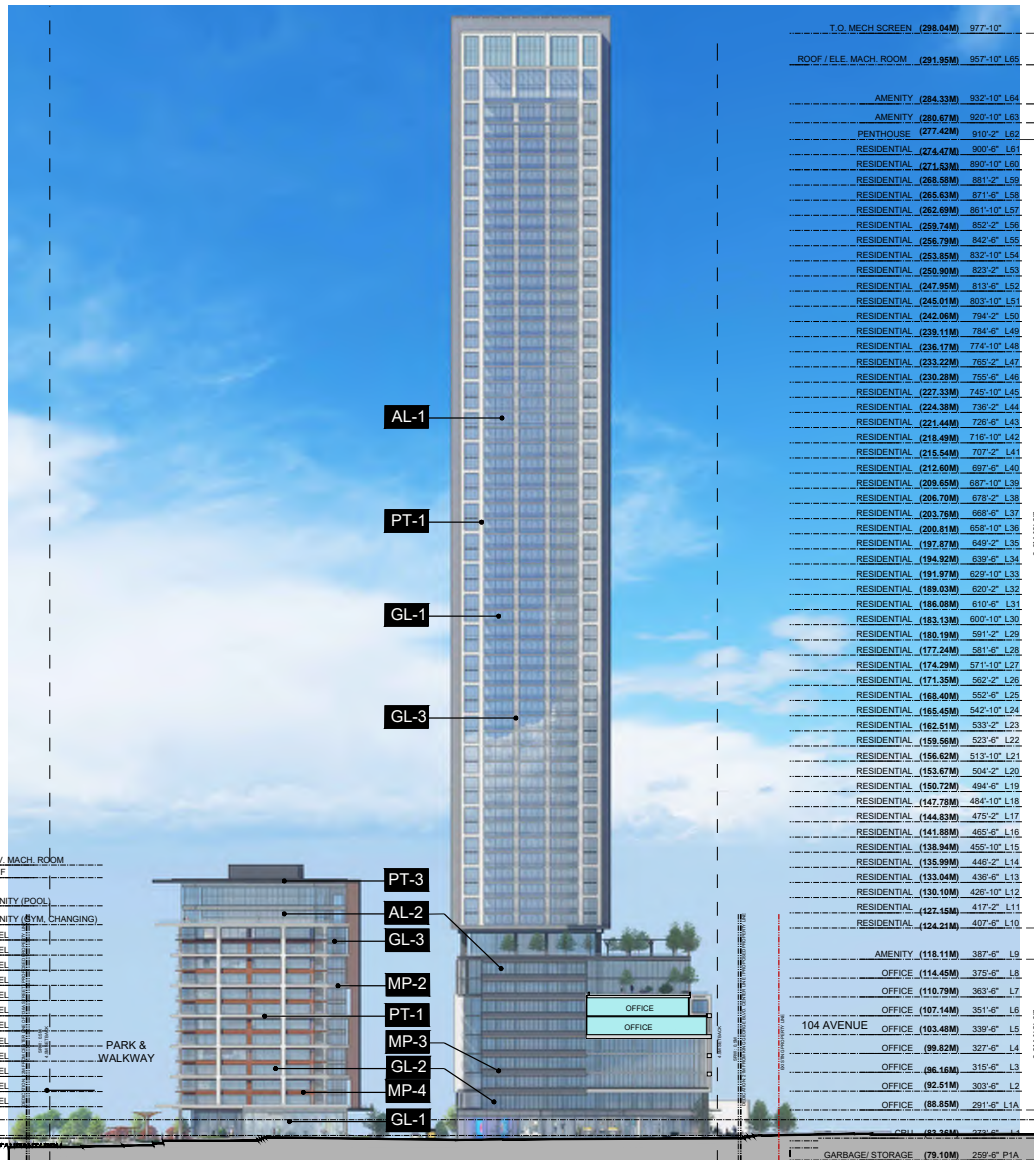
1" = 80'

SUBMISSION TO A.D.P.

November 23, 2023



A306



- ### MATERIAL LEGEND
- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
 - AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
 - AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
 - GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
 - GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
 - GL-3. SPANDREL GLASS:**
Opac-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
 - PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
 - PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
 - PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
 - MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
 - MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
 - MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
 - MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoramax Copper. Code:8W210Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
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INTERNAL EAST ELEVATION

1" = 80'

SUBMISSION TO A.D.P.

November 23, 2023

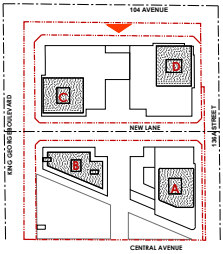


A307

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper, Code:8W201Q

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

ENLARGED PODIUM ELEV. - NORTH VIEW
1:350

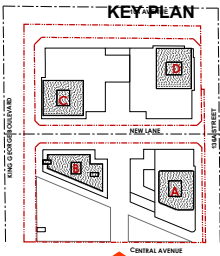
SUBMISSION TO A.D.P.
November 23, 2023



A308

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 66 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opachi-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



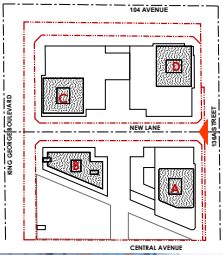
MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

ENLARGED PODIUM ELEV. - SOUTH VIEW
1:350

SUBMISSION TO A.D.P.
November 23, 2023



A309



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



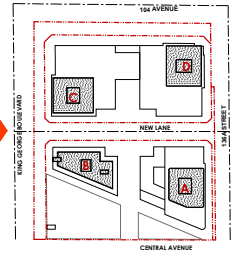
MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

ENLARGED PODIUM ELEV. - EAST VIEW
1:350

SUBMISSION TO A.D.P.
November 23, 2023



KEY PLAN



MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINTED SEALED UNIT:**
Superneutral 65 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

PODIUM ELEVATION - WEST VIEW

1" = 29.167'

SUBMISSION TO A.D.P.

November 23, 2023

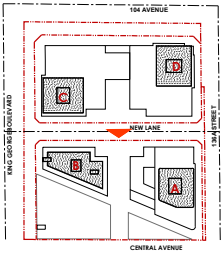


A311

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper, Code:8W201Q

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

INTERNAL PODIUM ELEV. - NORTH VIEW

1:350

SUBMISSION TO A.D.P.

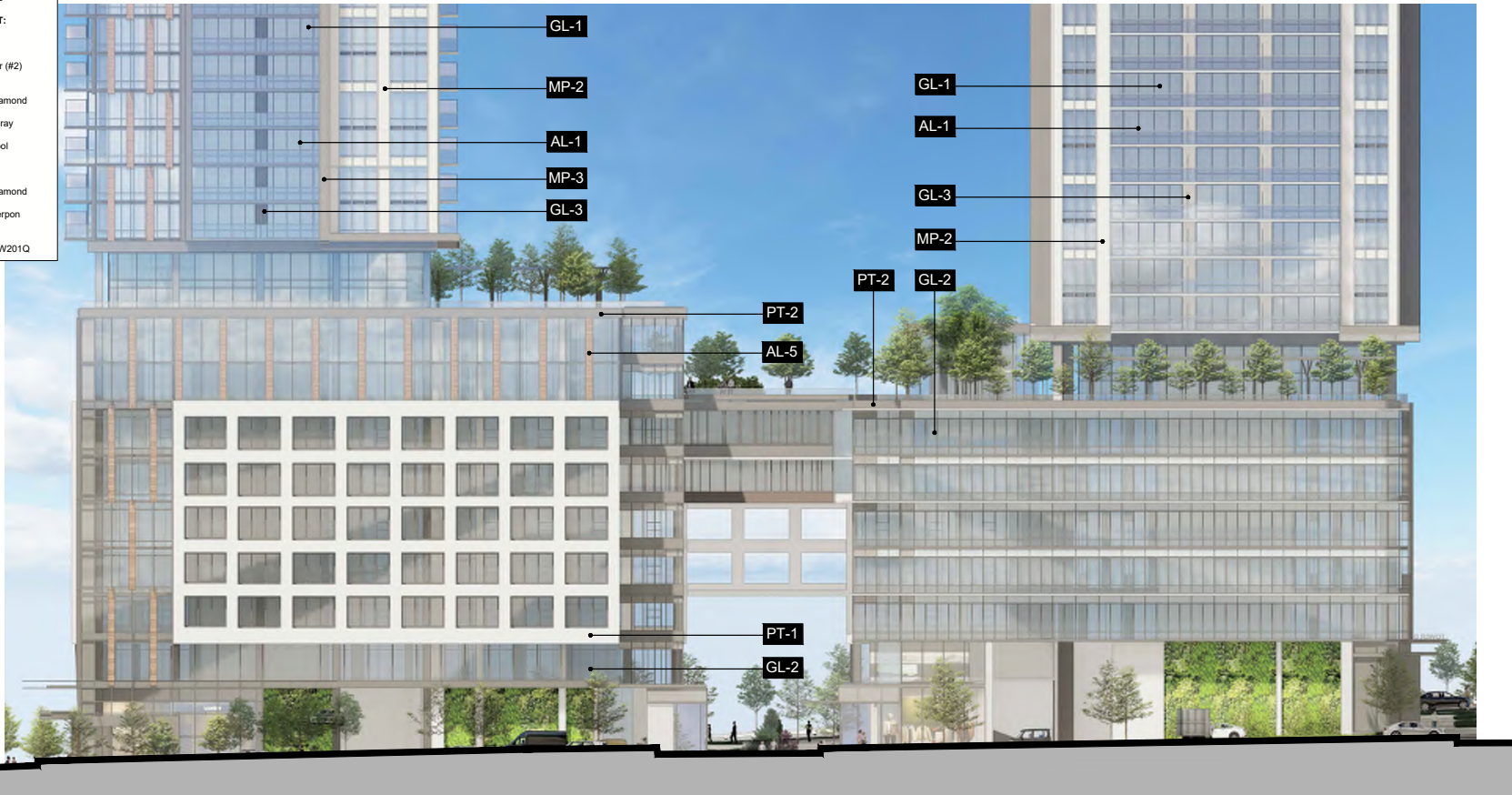
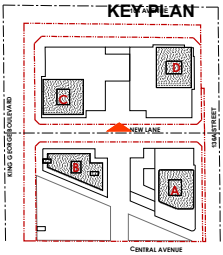
November 23, 2023



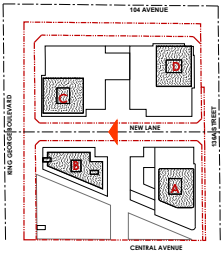
A312

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINTED SEALED UNIT:**
Superneutral 66 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



KEY PLAN



- MATERIAL LEGEND**
- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
 - AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
 - AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
 - AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
 - GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
 - GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
 - GL-3. SPANDREL GLASS:**
Opac-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
 - PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
 - PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
 - PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
 - MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
 - MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
 - MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
 - MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

INTERNAL PODIUM ELEV. - EAST VIEW
1:350

SUBMISSION TO A.D.P.
November 23, 2023

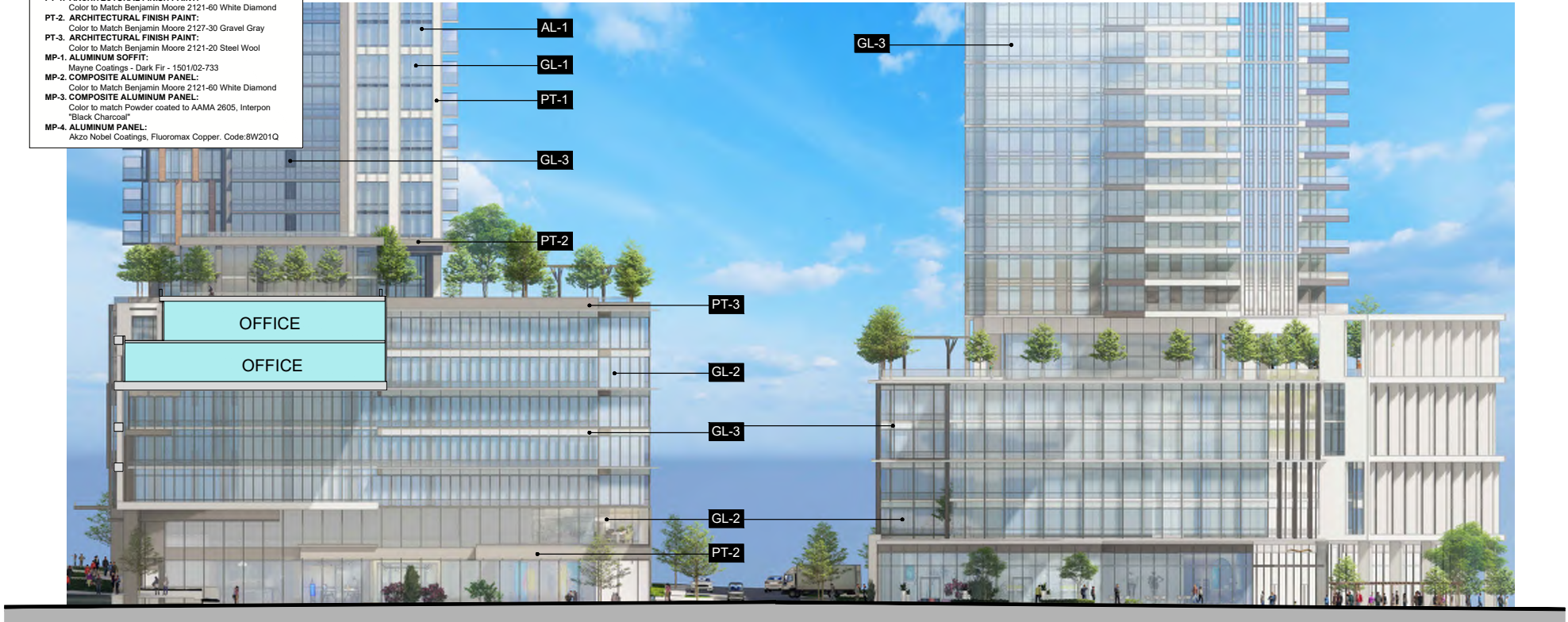
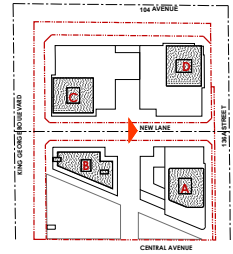


A314

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:BW201Q

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

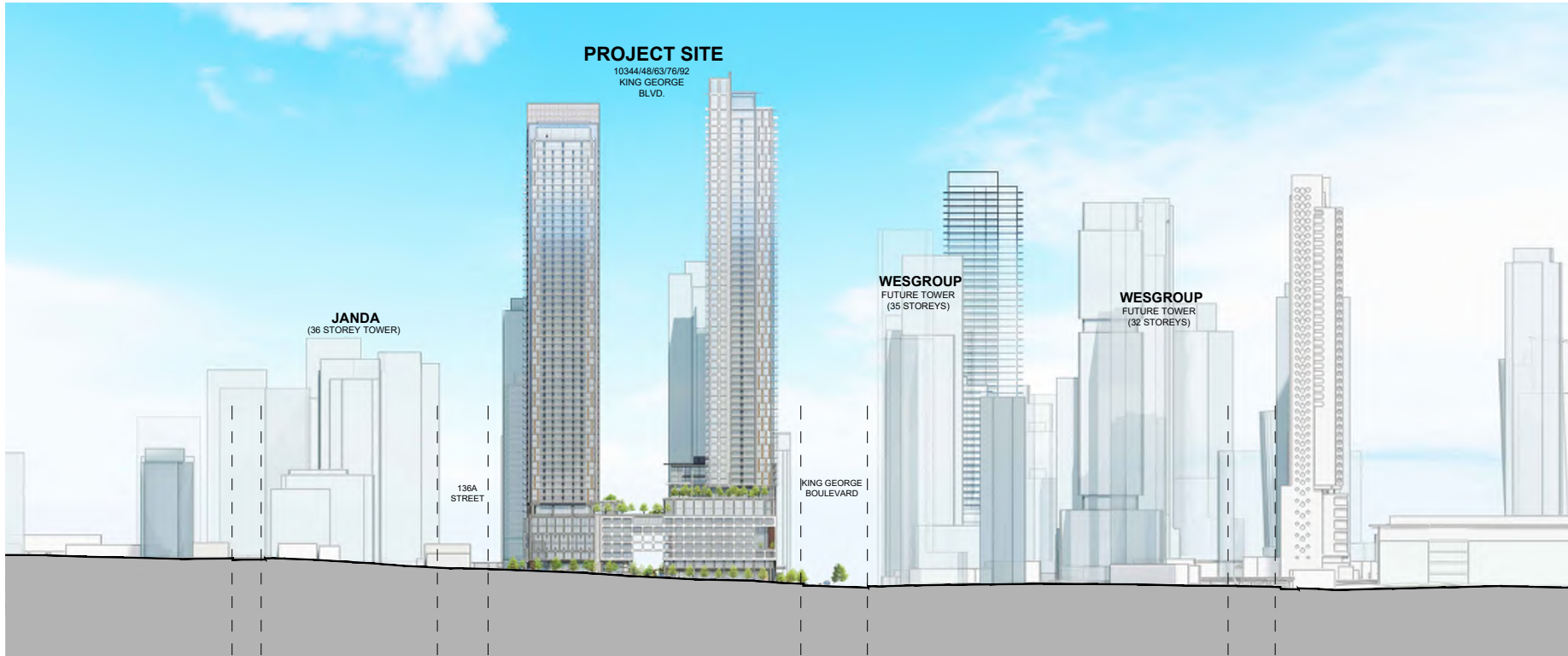
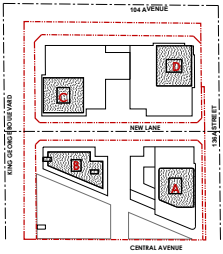
INTERNAL PODIUM ELEV. - WEST VIEW
1" = 29.167"

SUBMISSION TO A.D.P.
November 23, 2023



A315

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STREETSCAPE ELEVATION - NORTH

1" = 150'

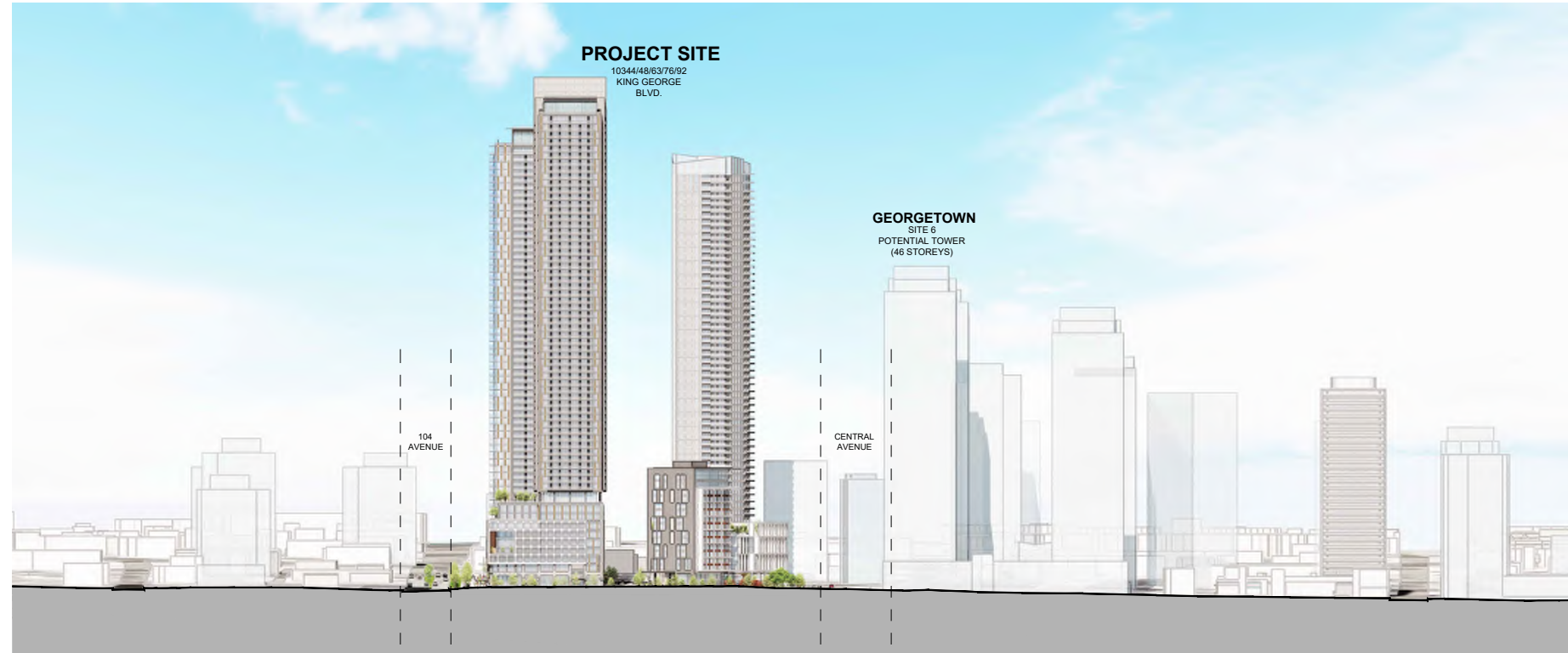
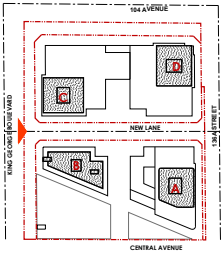
SUBMISSION TO A.D.P.

November 23, 2023



A316

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STREETSCAPE ELEVATION - WEST

1" = 150'

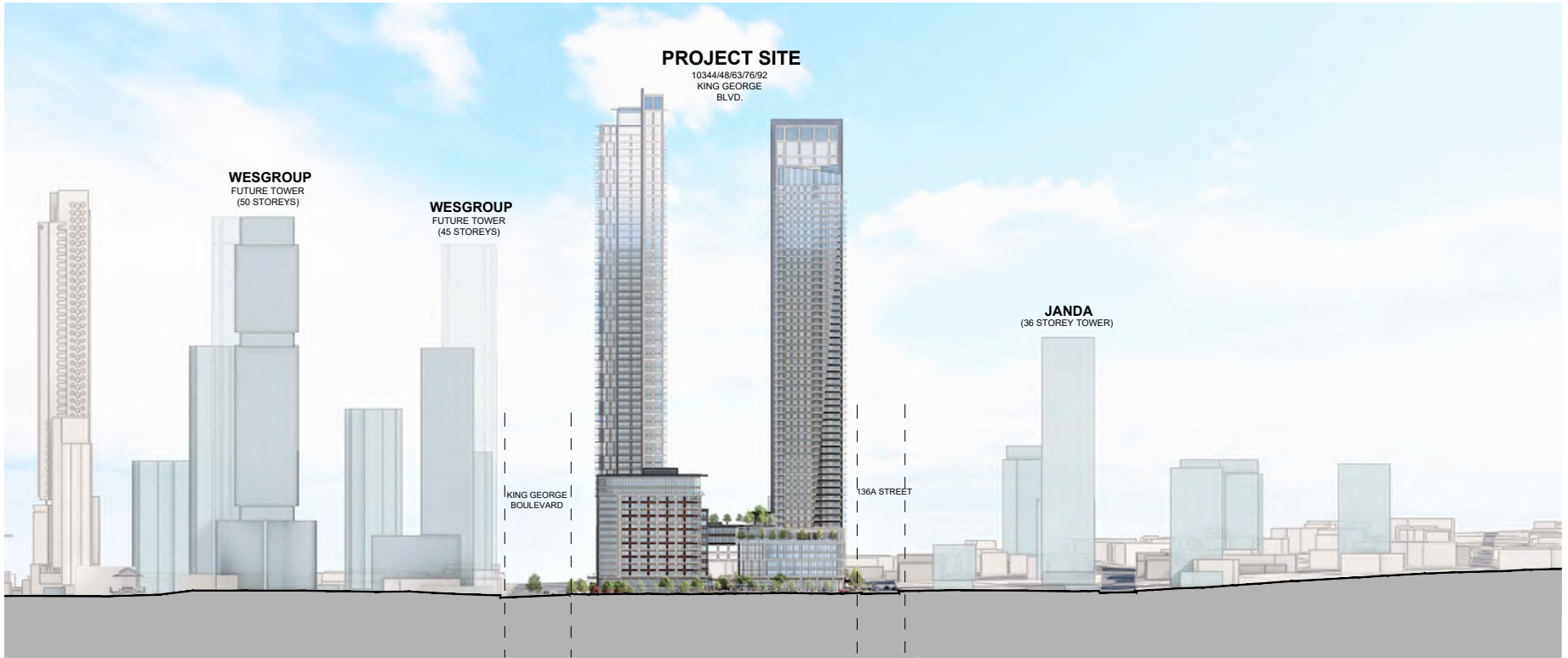
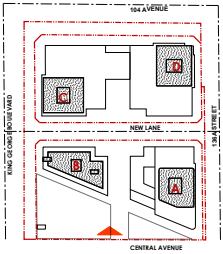
SUBMISSION TO A.D.P.

November 23, 2023



A317

KEY PLAN



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STREETSCAPE ELEVATION - SOUTH

1" = 150'

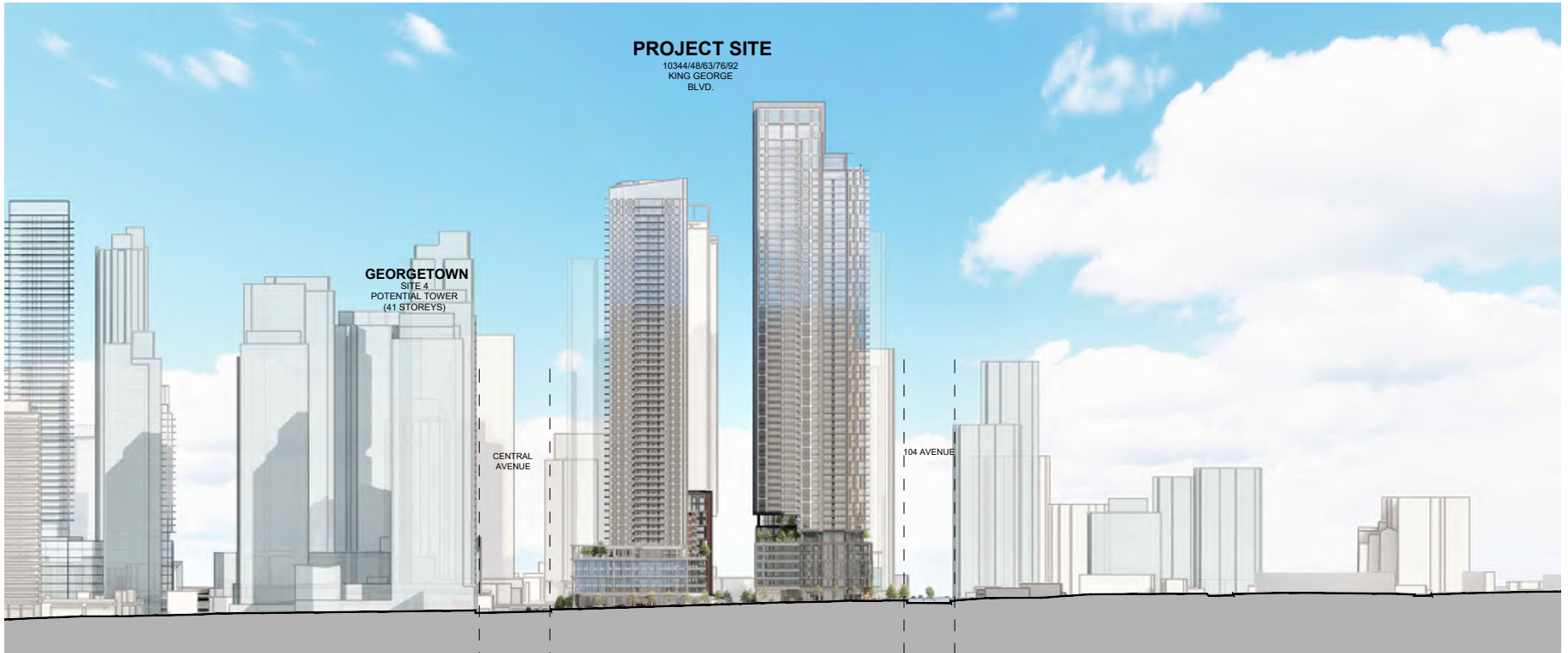
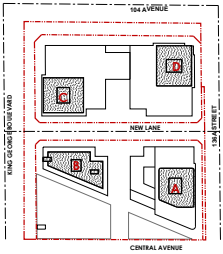
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November 23, 2023



A318

KEY PLAN



PROJECT SITE
10344/48/63/76/92
KING GEORGE
BLVD.

**GEORGETOWN
SITE 4
POTENTIAL TOWER
(41 STOREYS)**

CENTRAL
AVENUE

104 AVENUE



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

STREETSCAPE ELEVATION - EAST

1" = 150'

SUBMISSION TO A.D.P.

November 23, 2023

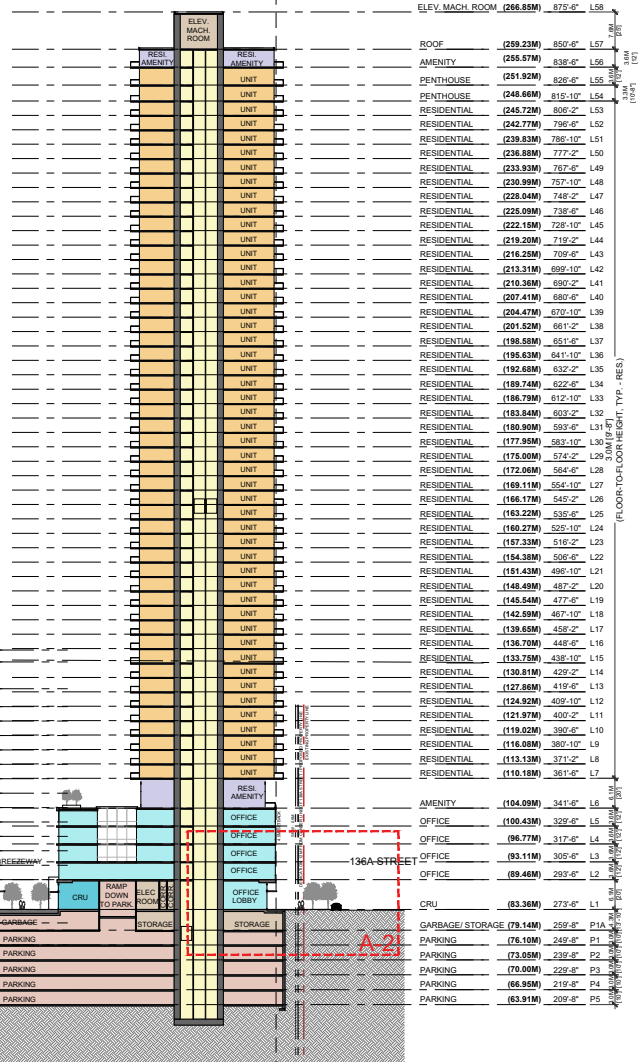


A319

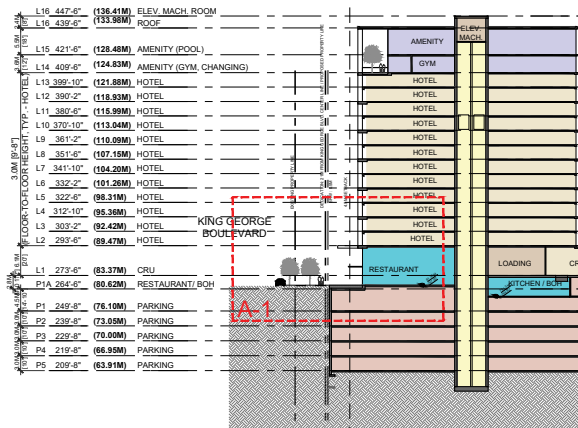
LEGEND

- TOWERS A, C & D
- CRU
- OFFICE
- RESIDENTIAL
- COMMON
- AMENITY
- SERVICES
- PARKADE
- TOWER B HOTEL
- HOTEL

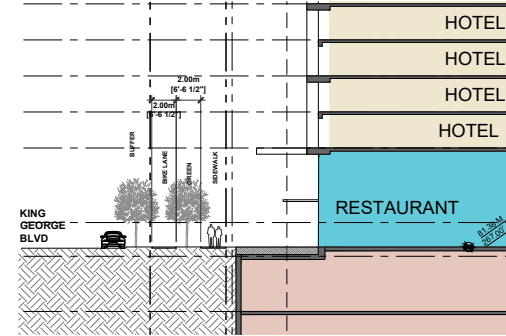
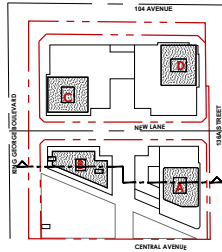
TOWER A



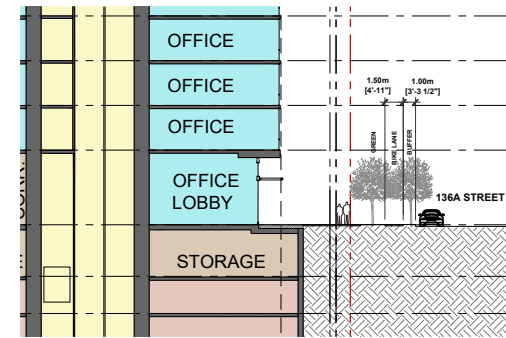
TOWER B



KEY PLAN



STREET LEVEL ENLARGEMENT A-1



STREET LEVEL ENLARGEMENT A-2



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

BUILDING SECTION A-A
1:1000

SUBMISSION TO A.D.P.
November 23, 2023

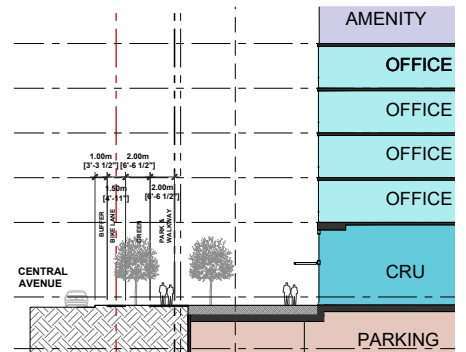
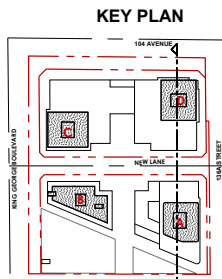
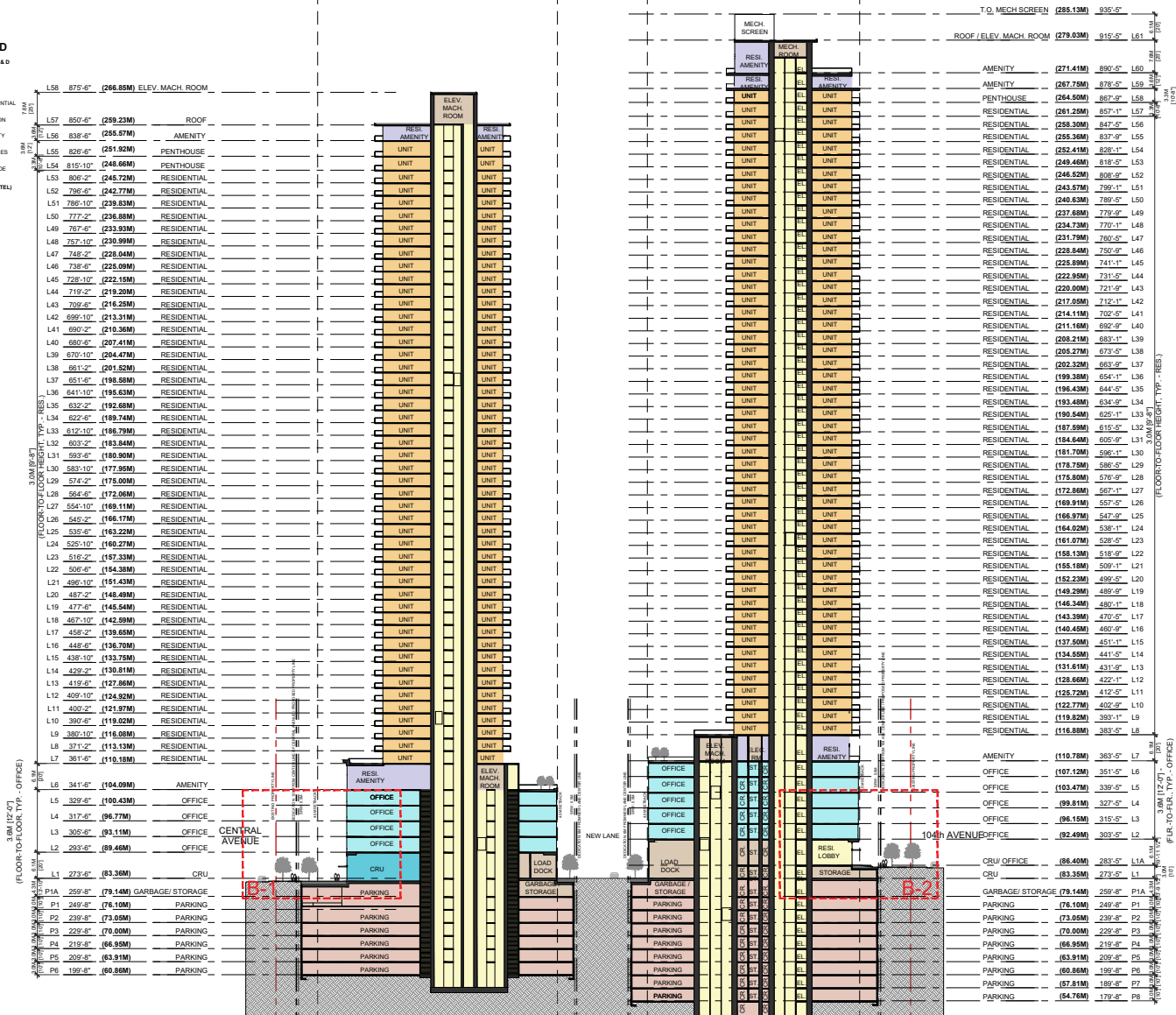


A400

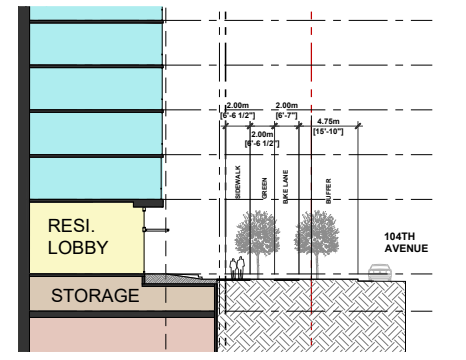
TOWER A

TOWER D

- LEGEND**
- TOWERS A,C & D
 - CRU
 - OFFICE
 - RESIDENTIAL
 - COMMON
 - AMENITY
 - SERVICES
 - PARKADE
 - TOWER B HOTEL
 - HOTEL

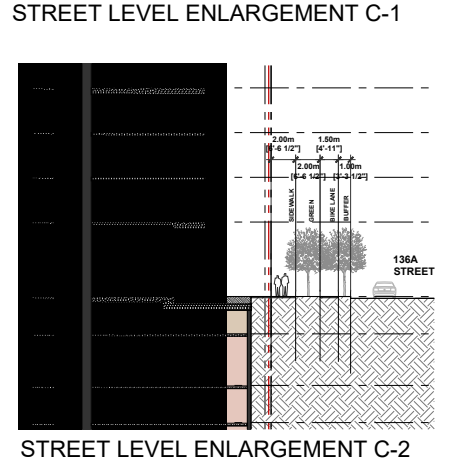
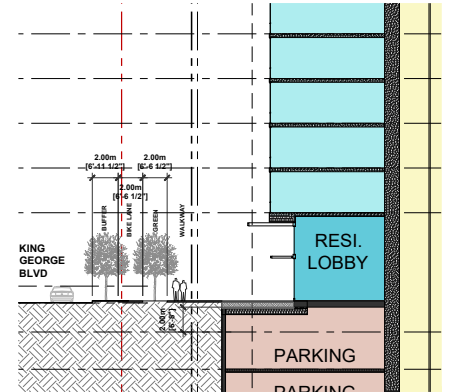
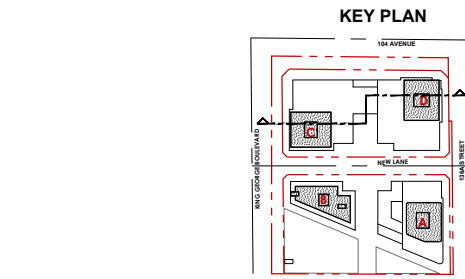
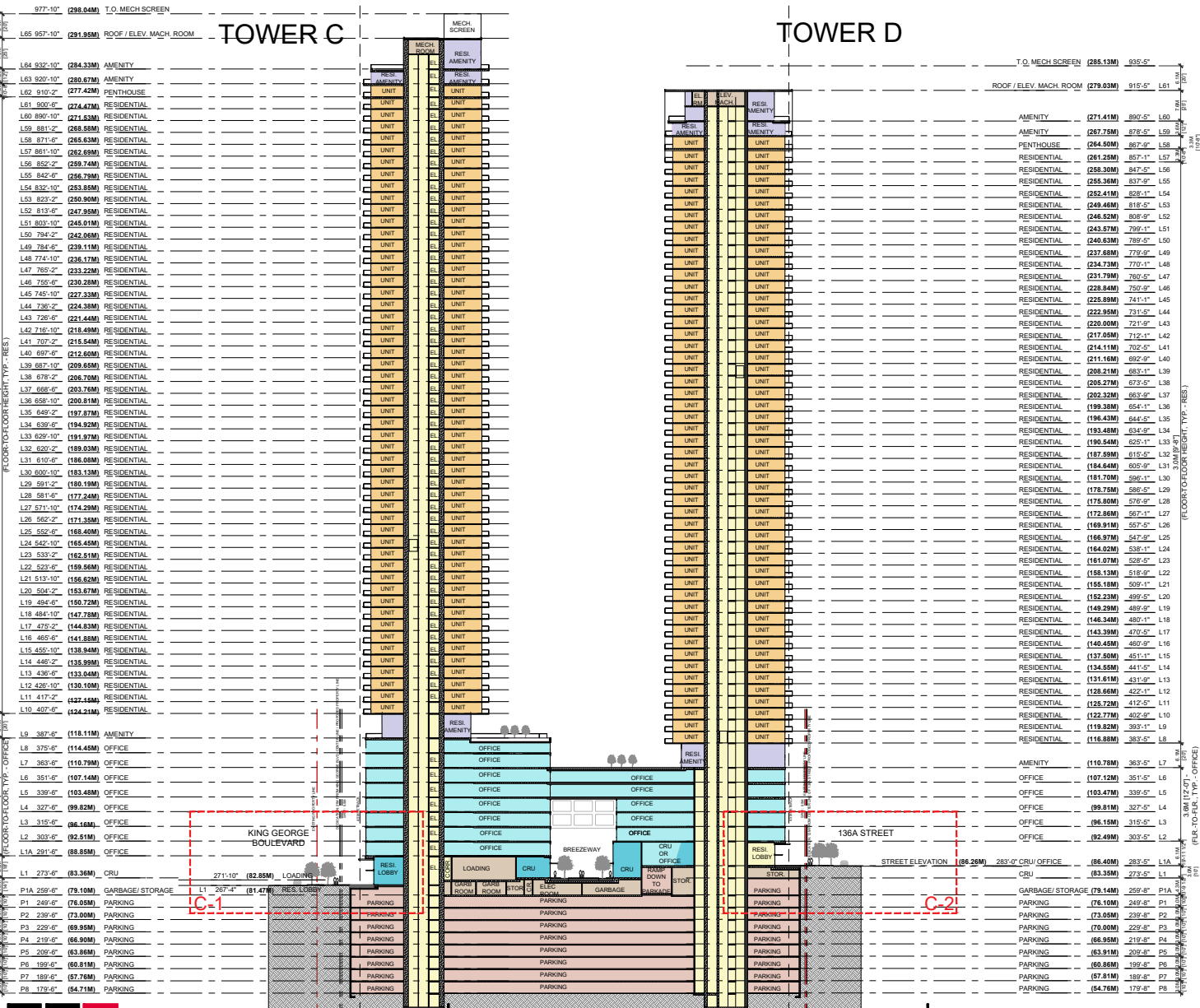


STREET LEVEL ENLARGEMENT B-1



STREET LEVEL ENLARGEMENT B-2

- LEGEND**
- TOWERS A & B
 - TOWER C
 - OFFICE
 - RESIDENTIAL
 - COMMON
 - AMENITY
 - SERVICES
 - PARKADE
 - TOWER B (HOTEL)
 - HOTEL



CDM
 CHRIS DIKEAKOS ARCHITECTS INC.
 MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

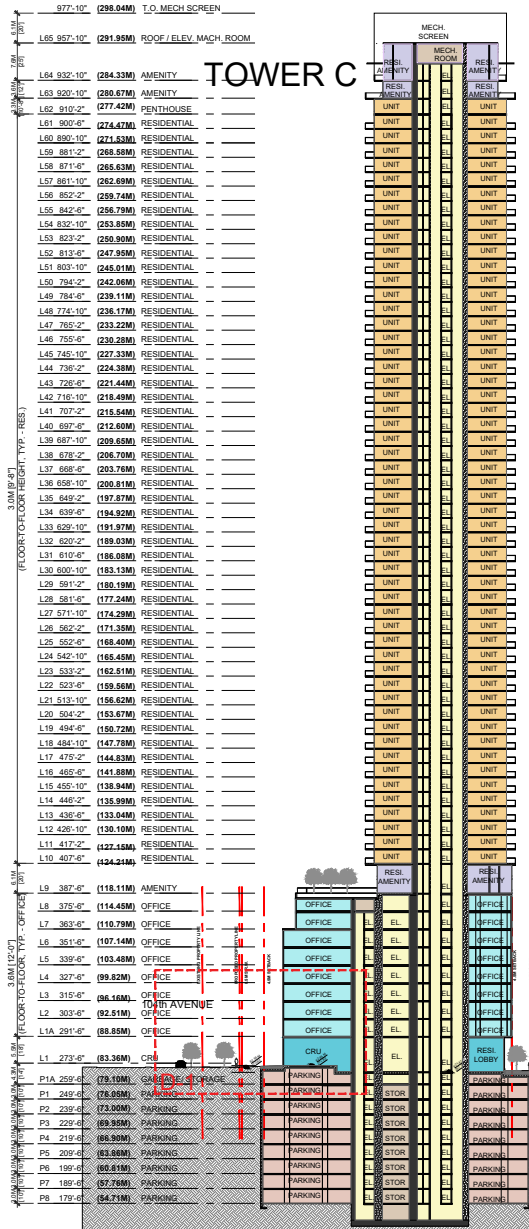
BUILDING SECTION C-C
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SUBMISSION TO A.D.P.
 November 23, 2023

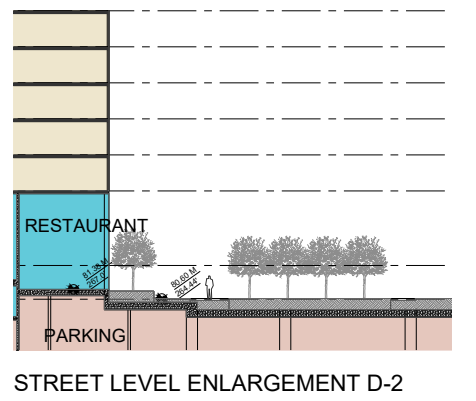
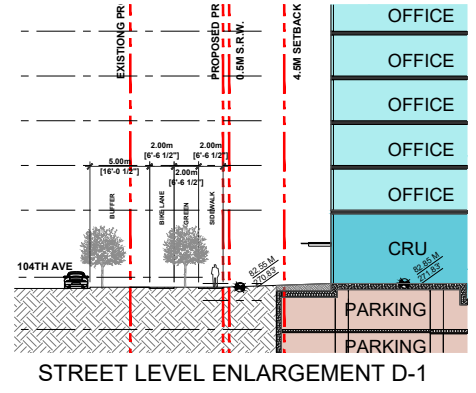
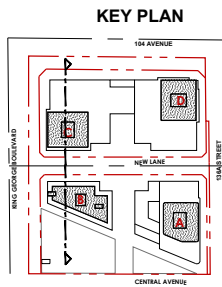
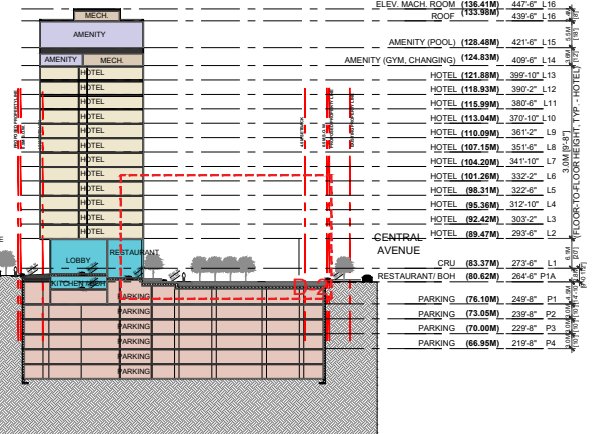


A402

- LEGEND**
- TOWERS A, C & D
 - CRU
 - OFFICE
 - RESIDENTIAL
 - COMMON
 - AMENITY
 - SERVICES
 - PARKADE
 - TOWER B (HOTEL)
 - HOTEL



TOWER B



MIXED-USE DEVELOPMENT
 10344/48/63/76/92 King George Blvd.
 & 13634/54 - 104th Ave, SURREY, BC

BUILDING SECTION D-D
 1:1000

SUBMISSION TO A.D.P.
 November 23, 2023



A403



AERIAL VIEW LOOKING NORTH-EAST



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.
November 23, 2023



A900



AERIAL VIEW LOOKING NORTH



MIXED-USE DEVELOPMENT

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.

November 23, 2023



A901



AERIAL VIEW LOOKING WEST



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.
November 23, 2023



A902



AERIAL VIEW LOOKING SOUTH-WEST



MIXED-USE DEVELOPMENT

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.

November 23, 2023



A903



AERIAL VIEW LOOKING SOUTH-EAST



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.
November 23, 2023



A904



AERIAL VIEW LOOKING NORTH-EAST



MIXED-USE DEVELOPMENT

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.

November 23, 2023



A905



AERIAL VIEW LOOKING TOWARDS THE SOUTH PLAZA



MIXED-USE DEVELOPMENT
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

3D VIEWS

SUBMISSION TO A.D.P.

November 23, 2023



A906



STREET VIEW FROM KING GEORGE BOULEVARD LOOKING NORTH-EAST



MIXED-USE DEVELOPMENT | 3D VIEWS
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

SUBMISSION TO A.D.P.
November 23, 2023



A907



STREET VIEW LOOKING SOUTH-WEST AT THE CORNER OF 104 AVENUE AND 136A STREET



MIXED-USE DEVELOPMENT | 3D VIEWS
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

SUBMISSION TO A.D.P.
November 23, 2023



A908



STREET VIEW FROM CORNER OF KING GEORGE BOULEVARD AND 104TH AVENUE LOOKING SOUTH-EAST



MIXED-USE DEVELOPMENT | 3D VIEWS

10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

SUBMISSION TO A.D.P.

November 23, 2023



A909



STREET LEVEL VIEW AT THE CORNER OF KING GEORGE BOULEVARD AND CENTRAL AVENUE



MIXED-USE DEVELOPMENT | 3D VIEWS
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

SUBMISSION TO A.D.P.
November 23, 2023



A910



VIEW LOOKING NORTH THROUGH THE CENTRAL RETAIL MEW



MIXED-USE DEVELOPMENT | 3D VIEWS
10344/48/63/76/92 King George Blvd.
& 13634/54 - 104th Ave, SURREY, BC

SUBMISSION TO A.D.P.
November 23, 2023



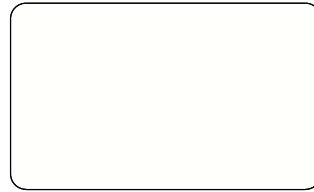
A911

MATERIAL LEGEND

- AL-1. ALUMINUM WINDOW WALL FRAME, GUARDRAIL:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-2. ALUMINUM CURTAIN WALL FRAME:**
Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-3. ALUMINUM WINDOW FINIS:**
Powder Coated to AAMA 2605, Interpon "Standard White"
- AL-4. ALUMINUM VERTICAL PANEL:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey"
- AL-5. ALUMINUM VERTICAL PANEL:**
Simulated Wood Soffit - Dark Cherry
- AL-6. CANOPY SUPPORTS:**
Color to Match Powder Coated to AAMA 2605, Interpon "Iron Mountain Grey" Tempered Glass
- GL-1. TOWER VISION GLASS - TINTED SEALED UNIT:**
Superneutral 68 on Clear Glass-Argon-Clear Glass with Guardian (#2)
- GL-2. TOWER VISION GLASS - TINTED SEALED UNIT:**
AG 50 on Crystal Gray Glass-Argon-Clear Glass with AG50 Guardian (#2)
- GL-3. SPANDREL GLASS:**
Opaci-Coat-300 #3-2853 Anchor Gray - Vitro Clear (#2) 6mm
- PT-1. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-60 White Diamond
- PT-2. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2127-30 Gravel Gray
- PT-3. ARCHITECTURAL FINISH PAINT:**
Color to Match Benjamin Moore 2121-20 Steel Wool
- MP-1. ALUMINUM SOFFIT:**
Mayne Coatings - Dark Fir - 1501/02-733
- MP-2. COMPOSITE ALUMINUM PANEL:**
Color to Match Benjamin Moore 2121-60 White Diamond
- MP-3. COMPOSITE ALUMINUM PANEL:**
Color to match Powder coated to AAMA 2605, Interpon "Black Charcoal"
- MP-4. ALUMINUM PANEL:**
Akzo Nobel Coatings, Fluoromax Copper. Code:8W201Q



AL-1 AL-2 AL-4 AL-6



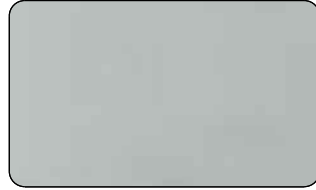
AL-3



AL-5



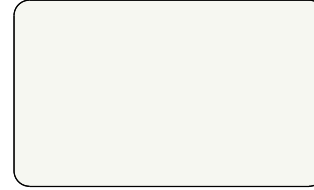
PT-2



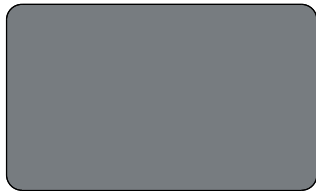
GL-1



GL-2



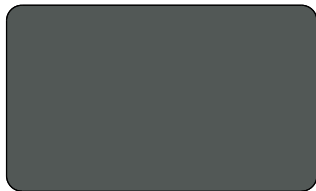
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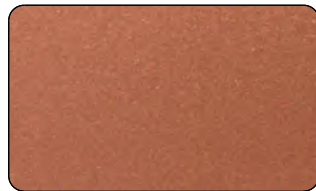
PT-3



MP-1



MP-3



MP-4



OVIEDO KING GEORGE

Issued for ADP (City of Surrey File Number: 23-0265)

Contact Information

VDZ+A

Project Landscape Architecture

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102 - 9181 Church Street
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio
102-355 Kingsway
Vancouver, British Columbia, V5T 3J7

Primary project contact:
Nicole Wu
nicole@vdz.ca
o. 604.546.0926

Alternate contacts (incase away):
Mark van der Zalm
Principal Landscape Architect
mark@vdz.ca
o. 604 546 0920

Key Project Contacts

Chris Dikeakos Architects
Architect

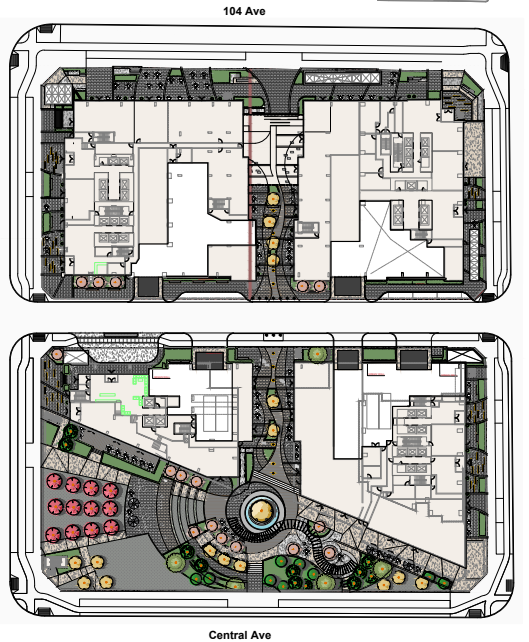
1635 W Broadway
Vancouver, B.C.
V6J 1W9

o. 604.291.2660
e. info@dikeakos.com

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-02A	SITE PLAN - TOWER A
L-02B	SITE PLAN - TOWER B
L-02C	SITE PLAN - TOWER C
L-02D	SITE PLAN - TOWER D
L-03	TOWER A - L2 & L6 AMENITY SITE PLAN
L-04	TOWER B - L14 & L16 AMENITY SITE PLAN
L-05	TOWER C - L8 & L9 AMENITY SITE PLAN
L-06	TOWER C - L63 & L64 AMENITY SITE PLAN
L-07	TOWER C - L65 AMENITY SITE PLAN
L-08	TOWER D - L7 & L59 AMENITY SITE PLAN
L-09	TOWER D - L60 & L61 AMENITY SITE PLAN
L-10	PLATING PALETTE
L-11	OVERALL LIGHTING PLAN
L-12	TOWER A - L2 & L6 LIGHTING PLAN

L-13	TOWER C - L8 & L9 LIGHTING PLAN
L-14	TOWER C - L63 & L64 LIGHTING PLAN
L-15	TOWER D - L7& L59 LIGHTING PLAN
L-16	TOWER D - L60 LIGHTING PLAN
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LS-04	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS



1 SITE PLAN OVERVIEW
Scale: 1:600



2 LOCATION MAP
N.T.S



City of Surrey File Number: 23-0265

No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning/DP	2023-08-09
1	MW	Issued for Reasoning/DP	2022-11-24

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
-----	----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
Oviedo King George

Location:
King George and Central Ave,
Surrey, B.C.

Drawn: DZ	Stamp:
Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
1:600

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER CONSTRUCTION.

Drawing Title:
COVER PAGE

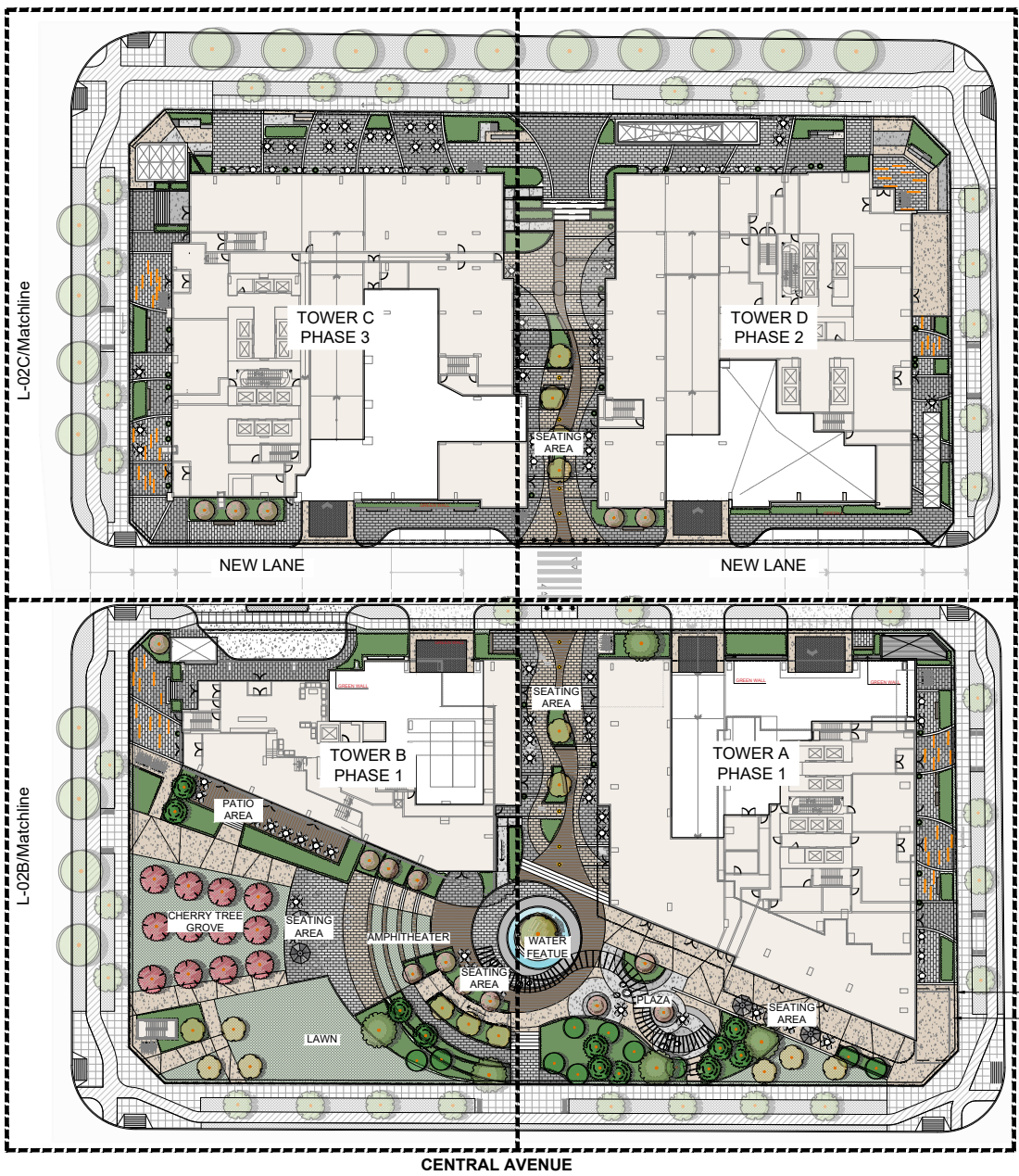
Project ID:
DP2022-36

Drawing #:
L-01

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Z:\PROJECTS\LANDSCAPE\02023-36-OVIEDO\KING GEORGE\LANDSCAPE\02 OVERALL SITE PLAN.DWG

KING GEORGE BOULEVARD



L-02D/Matchline

136A STREET

L-02A/Matchline

Property line
0.5m SRW

HARDSCAPE MATERIALS

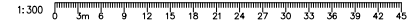
KEY	REF.	DESCRIPTION
	1, 2, 5 LD-02	CONCRETE SLAB Broom finished
	1, 5 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Pattern: Herring Bone Colour: Charming Desert Sand, Natural Manufacturer: Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3, 4 LD-01	PROPOSED TREE Refer to tree schedule
	1, 2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	8 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER
		TRAFFIC BOLLARD



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No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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Project: Oviedo King George
 Location: King George and Central Ave, Surrey, B.C.

Drawn: DZ
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Scale: 1:300
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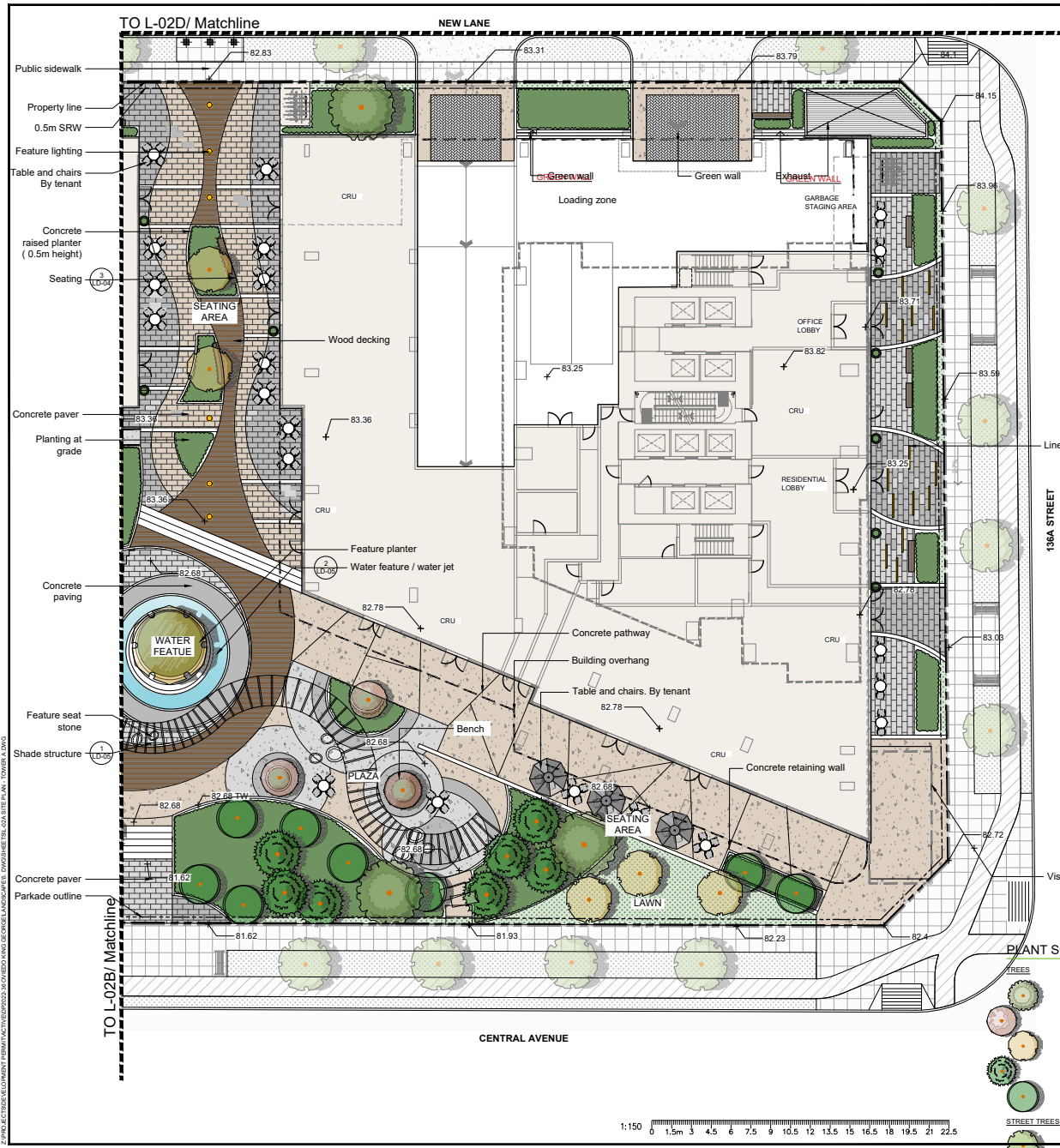
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Drawing Title: OVERALL SITE PLAN



VDZ Project #: DP2022-36

Drawing #: L-02



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1.2 LD-02	CONCRETE SLAB Broom finished
	1.5 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Charcoal, Desert Sand, Natural Manufacturer: Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3.4 LD-01	PROPOSED TREE Refer to tree schedule
	1.2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	8 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER
		TRAFFIC BOLLARD

PLANT SCHEDULE TOWER A

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	6cm cal	2.5m ht	3
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B	6cm cal	2.5m ht	3
	Fagus sylvatica 'Dawson Gold' / European Beech	B&B	6cm cal	2.5m ht	5
	Picea obovata / Serbian Spruce	B&B		3.0m ht	7
	Shyrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B	6cm cal	2.5m ht	8
STREET TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
		B&B	6cm cal		10



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City of Surrey File Number: 23-0265

Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
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1	MW	Issued for Reasoning/DP	2022-11-24
No.	By	Description	Date

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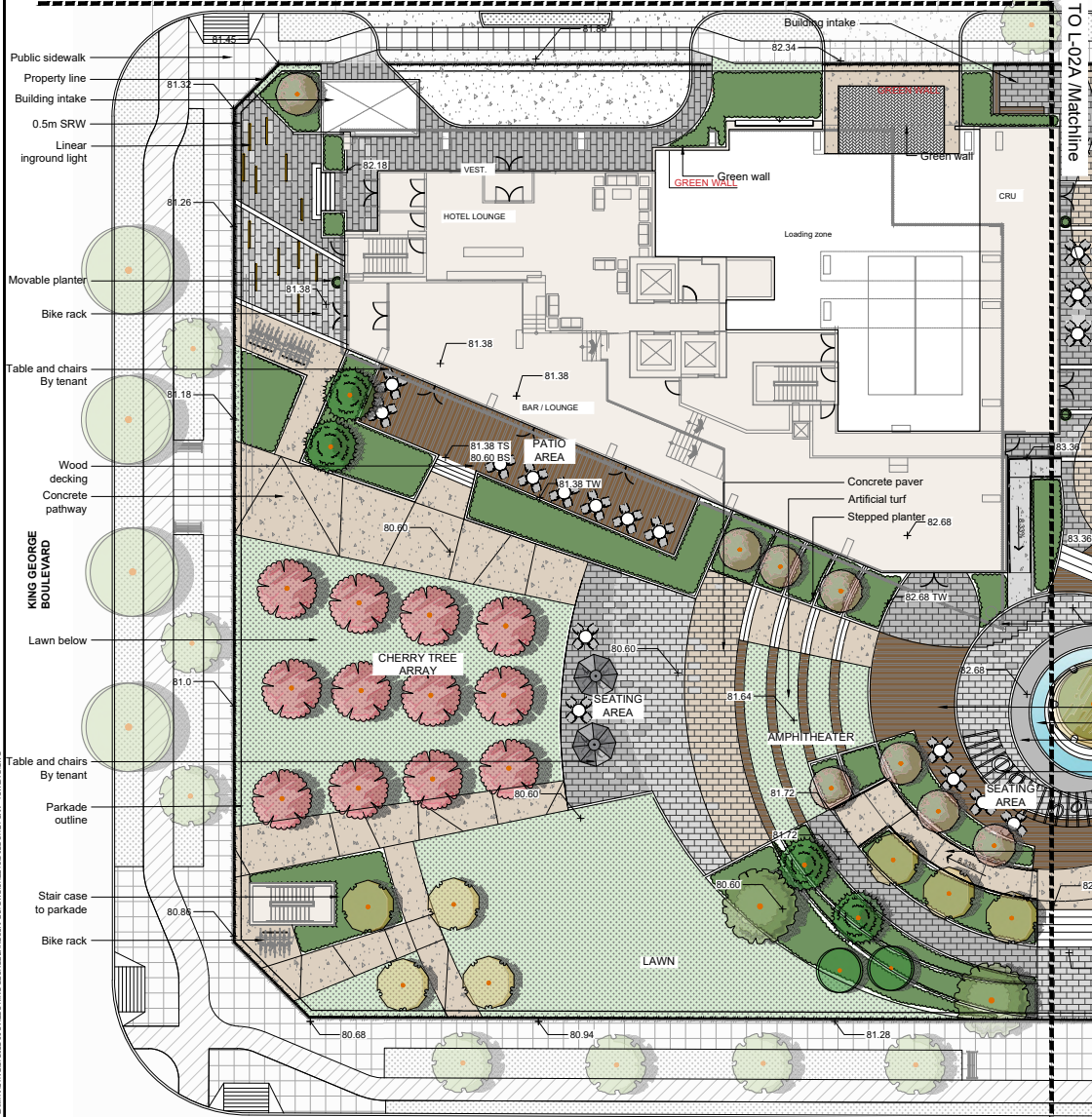
Drawing Title: **SITE PLAN - TOWER A**
 Drawing #: **L-02A**
 Project #: **DP2022-36**

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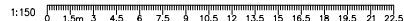
TO L-02C /Matchline

NEW LANE

TO L-02A /Matchline



CENTRAL AVENUE



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2,5 LD-02	CONCRETE SLAB Broom finished
	1,5 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Charcoal, Chisel Sand, Natural Manufacturer: Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3,4 LD-01	PROPOSED TREE Refer to tree schedule
	1,2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	8 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER

PLANT SCHEDULE TOWER B

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY.
	Acer griseum / Paperbark Maple	B&B	6cm cal	2.5m ht	2
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B	6cm cal	2.5m ht	8
	Fagus sylvatica 'Dawcyk Gold' / European Beech	B&B	6cm cal	2.5m ht	7
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B&B	6cm cal	3.0m ht	1
	Picea obovata / Serbian Spruce	B&B		3.0m ht	4
	Prunus x yedoensis 'Akebono' / Akebono Yoshino Cherry	B&B	6cm cal	2.5m ht	12
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B	6cm cal	2.5m ht	2
STREET TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY.
	Street Tree 1	B&B		6cm cal	4
	Street Tree 2	B&B		6cm cal	8

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Key Map (NTS)



No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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No.	By:	Description	Date

Project: Ovedo King George

Location: King George and Central Ave, Surrey, B.C.

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Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"

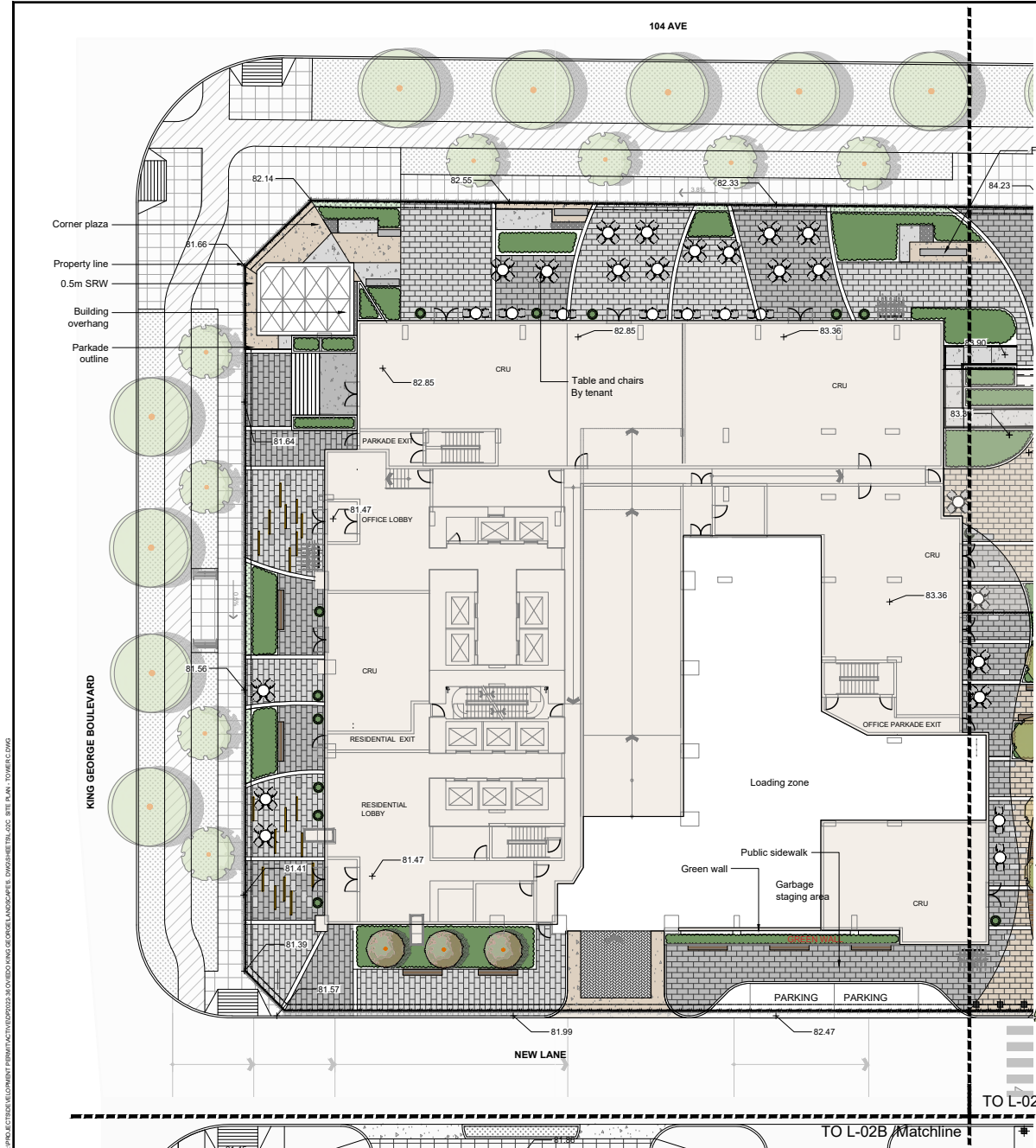
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Drawing Title: SITE PLAN - TOWER B



VDZ Project #: DP2022-36

Drawing #: L-02B



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1.2.5 LD-02	CONCRETE SLAB Bloom finished
	1.5 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Pattern: Running Bond Colour: Charcoal, Desert Sand, Natural Manufacturer: Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3.4 LD-01	PROPOSED TREE Refer to tree schedule
	1.2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

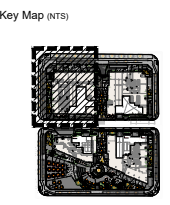
KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	8 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER
		TRAFFIC BOLLARD

PLANT SCHEDULE TOWER C

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B	6cm cal	2.5m ht	3
STREET TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	Street Tree 1	B&B	6cm cal		9
	Street Tree 2	B&B	6cm cal		8

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REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project: Oviedo King George
 Location: King George and Central Ave, Surrey, B.C.

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 Checked: MW
 Approved: MVDZ
 Stamp:

Scale: 1:150
 Original Sheet Size: 24"x36"

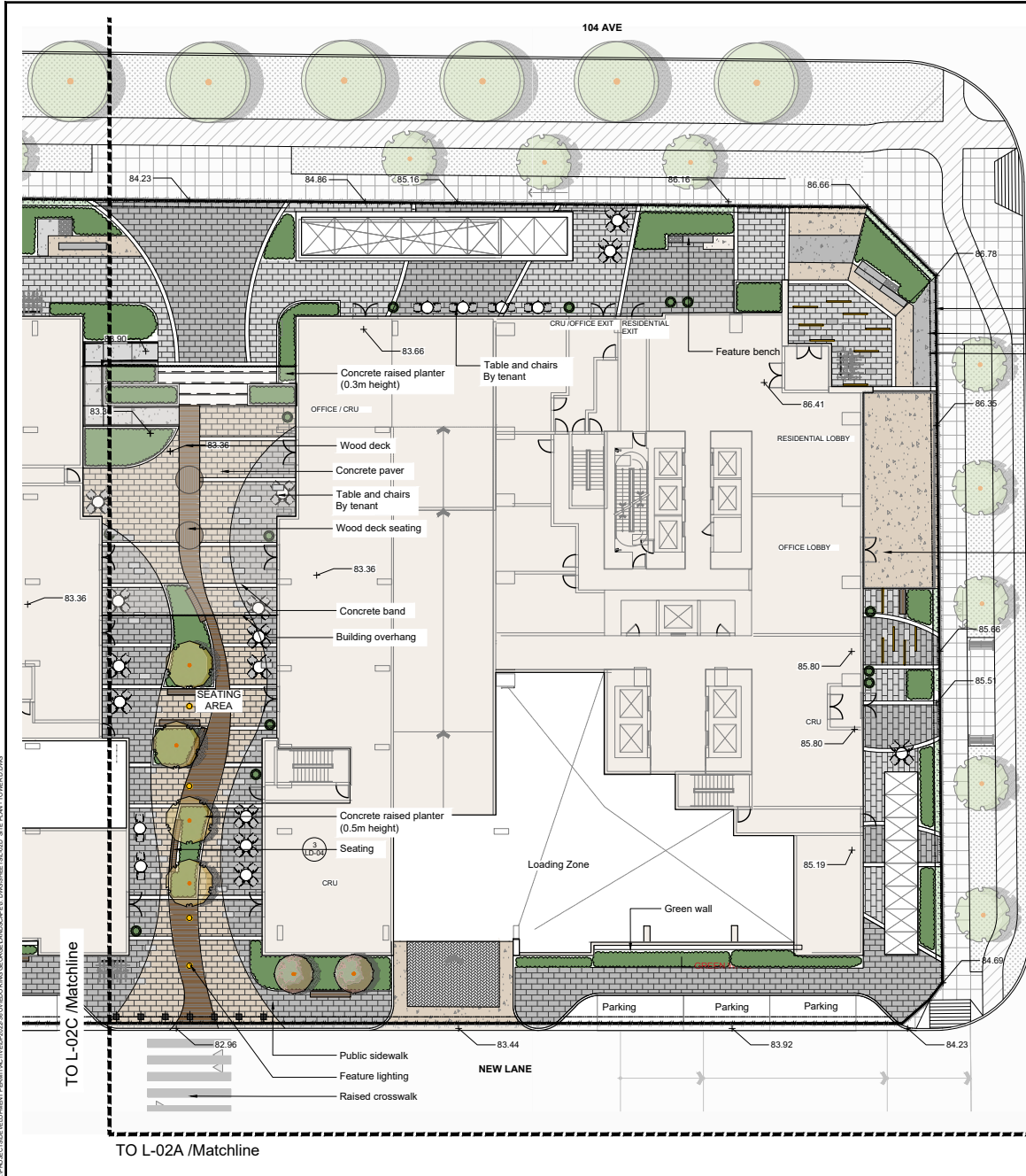
VDZ Project #:
 DP2022-36
 Drawing Title: SITE PLAN - TOWER C



Project: Oviedo King George
 Location: King George and Central Ave, Surrey, B.C.

VDZ Project #:
 DP2022-36
 Drawing #:
 L-02C

Z:\PROJECTS\LANDSCAPE\2023\OVIEDO KING GEORGE\LANDSCAPE\DWG\SITE\TEL.DWG SITE PLAN - TOWER C.DWG



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1.2, 5 LD-02	CONCRETE SLAB Broom finished
	1.5 LD-02	COLOR CONCRETE
	4 LD-02	CONCRETE PAVERS Pattern: Running Bond Color: Charcoal, Coated Sand, Natural Manufacturer: Belgard
	6 LD-01	WOOD DECK
		VEHICULAR PAVER

SOFTSCAPE MATERIALS

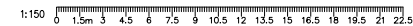
KEY	REF.	DESCRIPTION
	3, 4 LD-01	PROPOSED TREE Refer to tree schedule
	1, 2 LD-01	SHRUB PLANTING
		LAWN

SITE FURNITURE

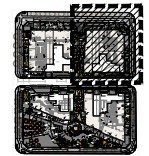
KEY	REF.	DESCRIPTION
	2 LD-03	TABLE AND CHAIRS
		UMBRELLA
	5 LD-04	FEATURE SEAT STONE
	8 LD-04	FEATURE LIGHTING
	6 LD-04	WOOD DECK SEATING
		LINEAR INGROUND LIGHT
	6 LD-03	MOVABLE PLANTER
		TRAFFIC BOLLARD

PLANT SCHEDULE TOWER D

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B	6cm cal	2.5m ht	2
	Fagus sylvatica 'Dawycok Gold' / European Beech	B&B	6cm cal	2.5m ht	4
STREET TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Street Tree 1	B&B	6cm cal		5
	Street Tree 2	B&B	6cm cal		8



Key Map (NTS)



No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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TO L-02C /Matchline

TO L-02A /Matchline


VDZ Project #: DP2022-36
 Drawing Title: SITE PLAN - TOWER D






VDZ Project #: DP2022-36

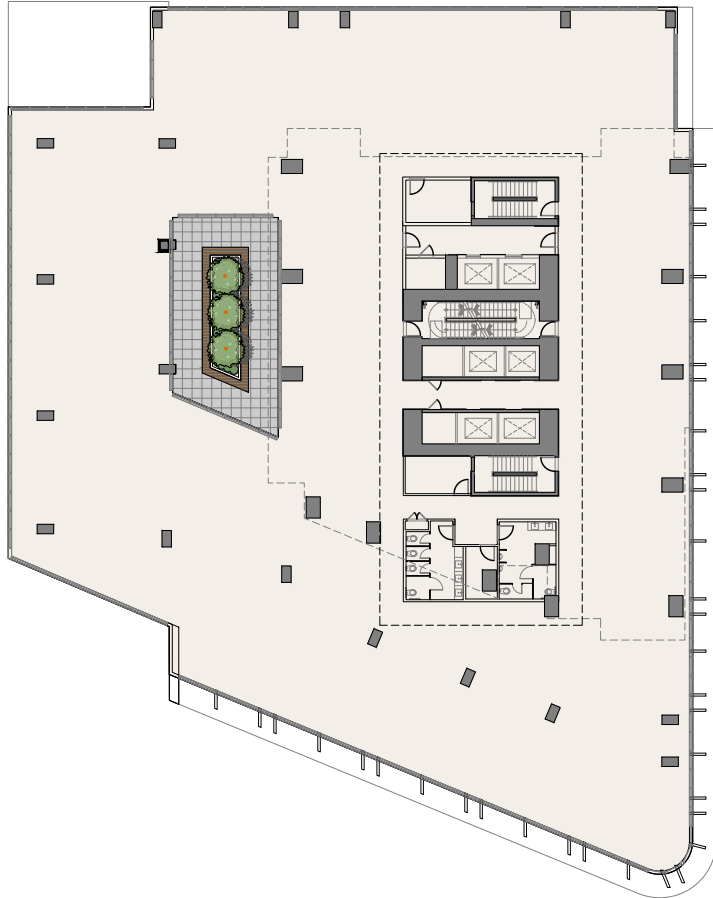
Drawing #: L-02D

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Borinda angustissima</i> / Narrow Leaf Clumping Bamboo	#3	3

LANDSCAPE LEGEND










KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Groul Colour: Granite
	3 LD-04	SEAT WALL
	1.2 LD-01	SHRUB PLANTING



1 TOWER A - LEVEL 2
Scale 1:150



LANDSCAPE LEGEND - L6

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Groul Colour: Granite
	6 LD-02	RUBBER SURFACE
	6 LD-01	WOOD DECKING
		GRAVEL
	1.2 LD-01	SHRUB PLANTING
	3 LD-04	SEAT WALL
	3 LD-03	DINING TABLE
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Cabane Series Colour: Silver (matte finish)
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Silver (matte finish)

2 TOWER A - LEVEL 6
Scale 1:150

PLANT SCHEDULE - L6

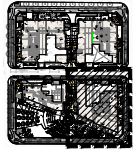
TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	<i>Acer griseum</i> / Paperbark Maple	B&B, 60m cal	2.5m ht	4
	<i>Acer palmatum</i> 'Seiryu' / Seiryu Japanese Maple	B&B, 60m cal	2.5m ht	6
	<i>Cercis canadensis</i> 'Hearts of Gold' / Hearts of Gold Eastern Redbud	B&B, 60m cal	2.5m ht	1
	<i>Pinus contorta</i> 'Contorta' / Shore Pine	B&B	3.0m ht	13
	<i>Styrax japonicus</i> 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B, 60m cal	2.5m ht	2
	<i>Syringa vulgaris</i> / Common Lilac	1.5 m container grown		4

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

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Key Map (N7S)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
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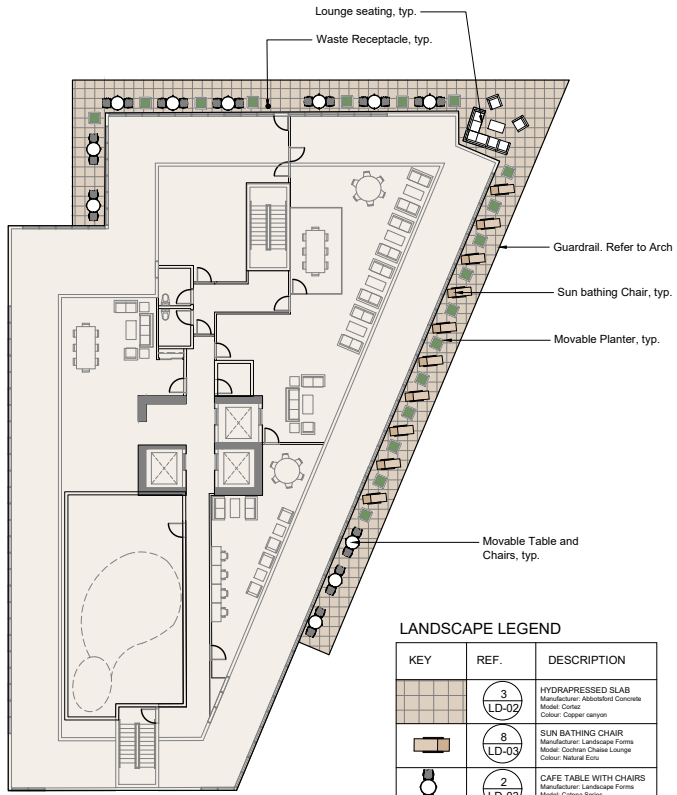
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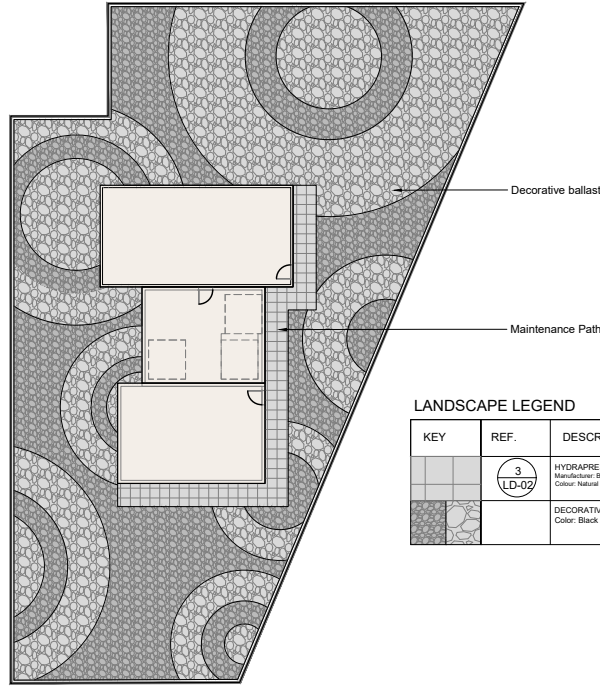
Z:\PROJECTS\CONTRACT DOCUMENTS\2022\23-0265\OVIEDO KING GEORGE LANDSCAPE LAYOUT\TOWER B - L14 & L16 AMENITY SITE PLAN.DWG



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Abbotsford Concrete Model: Cobble Colour: Copper canyon
	8 LD-03	SUN BATHING CHAIR Manufacturer: Landscape Forms Model: Cochran Chaise Lounge Colour: Natural Elm
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Cabana Series Colour: Silver (matte finish)
	6 LD-03	MOVEABLE PLANTER
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Silver (matte finish)

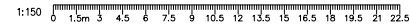
1 TOWER B - LEVEL 14
Scale 1:150



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Colour: Natural
		DECORATIVE BALLAST Colour: Black / White

2 TOWER B - LEVEL 16
Scale 1:150



City of Surrey File Number: 23-0265

Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: Oviedo King George

Location: King George and Central Ave, Surrey, B.C.

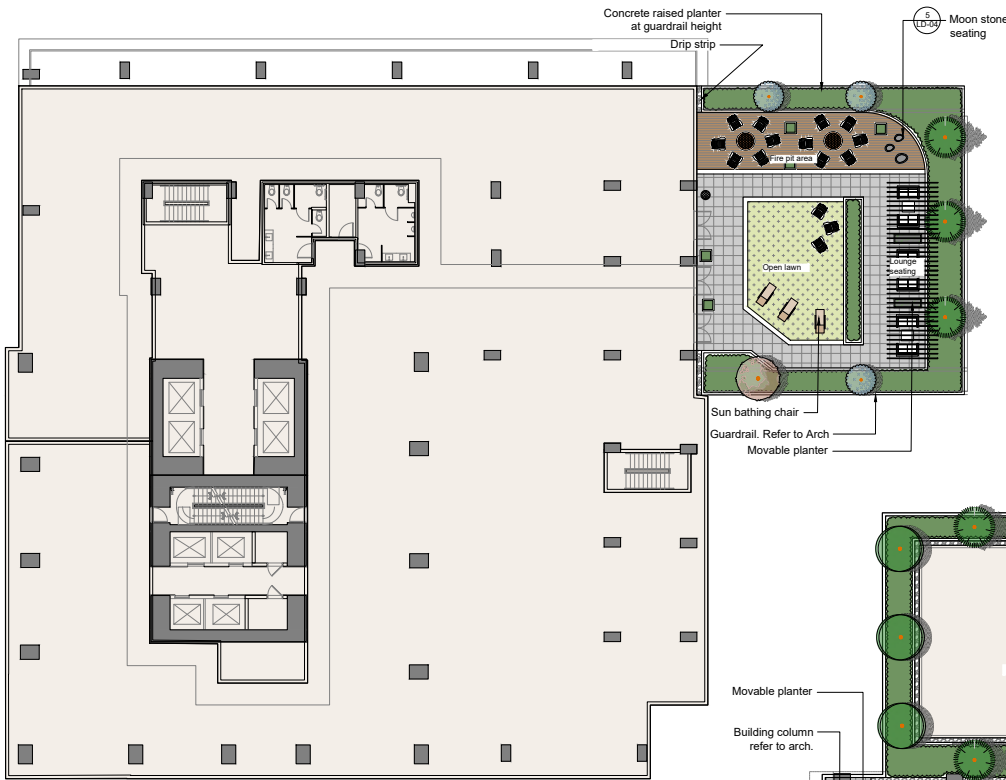
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Approved: MVDZ	Original Sheet Size: 24"x36"

Scale: 1:150

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1 Tower C - Level 8
Scale 1:150

LANDSCAPE LEGEND - L8

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Global Colour: Granite
	6 LD-01	ARTIFICIAL TURF
	6 LD-01	WOOD DECKING
	6 LD-01	GRAVEL
	1,2 LD-01	SHRUB PLANTING
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Steel (matte finish)
		ARTIFICIAL TURF

LANDSCAPE LEGEND - L9

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Global Colour: Granite
	6 LD-01	ARTIFICIAL TURF
	6 LD-01	WOOD DECKING
	6 LD-01	GRAVEL
	1,2 LD-01	SHRUB PLANTING
	3 LD-04	SEAT WALL
	3 LD-03	DINING TABLE
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Central Series Colour: Steel (matte finish)
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Steel (matte finish)



2 Tower C - Level 9
Scale 1:150

PLANT SCHEDULE TOWER C- L8

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B, 6cm cal	2.5m ht	1
	Pinus contorta 'Contorta' / Shore Pine	B&B	3.0m ht	3
	Syringa vulgaris / Common Lilac	1.5 m container grown		3

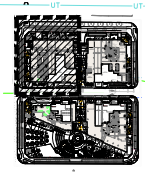
PLANT SCHEDULE - L9

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B, 6cm cal	2.5m ht	4
	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B, 6cm cal	2.5m ht	4
	Cercis canadensis 'Hearts of Gold' / Hearts of Gold Eastern Redbud	B&B, 6cm cal	2.5m ht	2
	Pinus contorta 'Contorta' / Shore Pine	B&B	3.0m ht	7
	Syrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B, 6cm cal	2.5m ht	4

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 www.vdz.ca | 604-882-0024

City of Surrey File Number: 23-0265

Key Map (N.T.S.)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning/DP	2023-08-09
1	MW	Issued for Reasoning/DP	2022-11-24
		By: Description	Date

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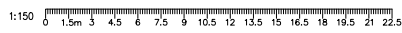
No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Ovedo King George

Location:
King George and Central Ave,
Surrey, B.C.

Drawn: AH/DZ
 Checked: MW
 Approved: MVDZ
 Stamp: Original Sheet Size: 24"x36"







Z:\PROJECTS\2022\2022-36 OVIEDO KING GEORGE LANDSCAPE LAYOUTS\TOWER C - L63 & L64 AMENITY SITE PLAN.DWG







PLANT SCHEDULE TOWER C - L64

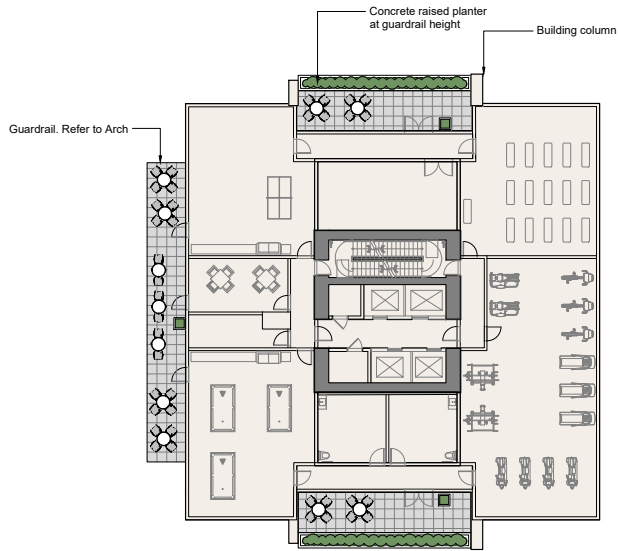
TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Pinus contorta 'Contorta' / Shore Pine	B&B	3.0m ht	1
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B, 6cm cal	2.5m ht	1

LANDSCAPE LEGEND

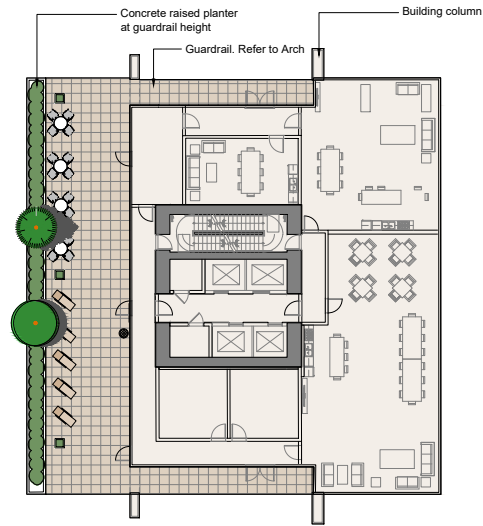
KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Circol Colour: Granite
	1.2 LD-01	SHRUB PLANTING
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catena Series Colour: Silver (metal finish)
	6 LD-03	MOVEABLE PLANTER

LANDSCAPE LEGEND

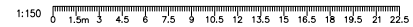
KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Circol Colour: Copper canyon
	8 LD-03	SUN BATHING CHAIR Manufacturer: Landscape Forms Model: Cochran Chaise Lounge Colour: Natural Ete
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catena Series Colour: Silver (metal finish)
	6 LD-03	MOVEABLE PLANTER
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Silver (metal finish)
	1.2 LD-01	SHRUB PLANTING



1 TOWER C - LEVEL 63
Scale 1:1000



2 TOWER C - LEVEL 64
Scale 1:100



Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning DP	2023-08-09
1	MW	Issued for Reasoning DP	2022-11-24

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REVISIONS TABLE FOR SHEET			

Project:
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Location:
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Drawn: AH, DZ
 Checked: MW
 Approved: MVDZ

Stamp: [Stamp area]


Original Sheet Size: 24"x36"
 Scale: 1:150

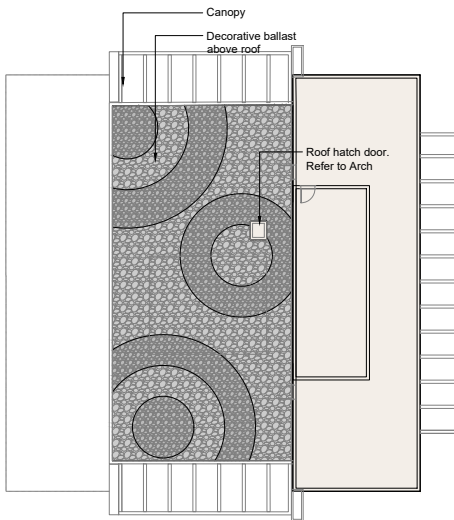
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE CHECKED FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER CONSTRUCTION.



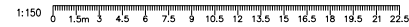
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LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		DECORATIVE BALLAST Color: Black / White



1 TOWER C - LEVEL 65
Scale 1:150



City of Surrey File Number: 23-0265

Key Map (NTS)



No.	By:	Description	Date

No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
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LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Citadel Colour: Ideal
	6 LD-02	RUBBER SURFACE
	6 LD-01	WOOD DECKING
	1,2 LD-01	SHRUB PLANTING
	3 LD-04	SEAT WALL
	7 LD-03	OUTDOOR SOFA Manufacturer: Sunbrella Fun Model: Nexus Woven Lounge Seating Colour: Rosewood Wine

	3 LD-03	DINING TABLE
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catalina Series Colour: Silver (metal finish)
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Austin Colour: Silver (metal finish)
	4 LD-05	LOUNGE CHAIR Manufacturer: Landscape Forms Model: Americana Lounge Chair Colour: Red Orange/ Green

PLANT SCHEDULE TOWER D - L7

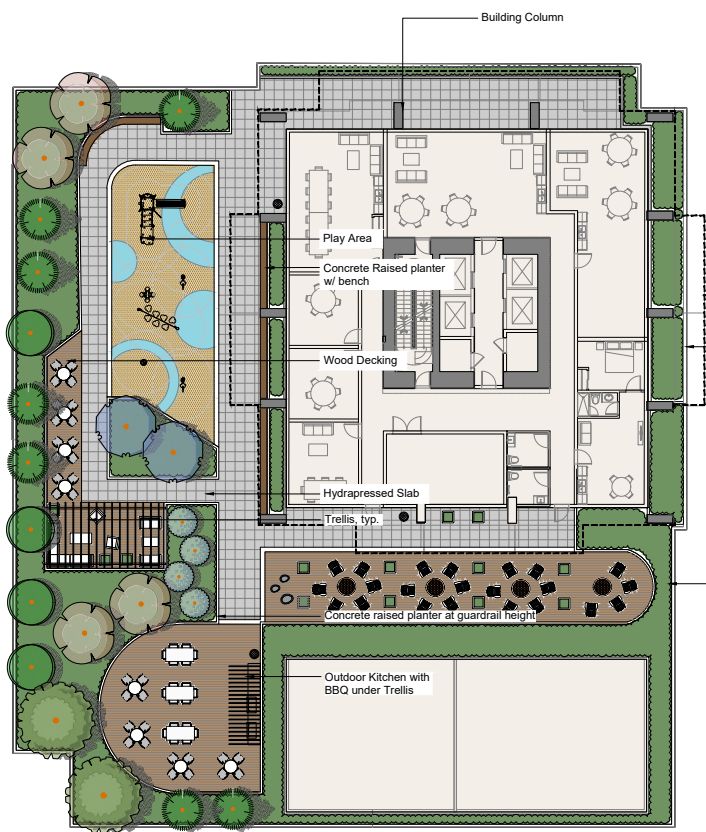
TREES	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B, 6cm cal	2.5m ht	2
	Ametanchier canadensis / Canadian Serviceberry	B&B, 6cm cal	2.5m ht	4
	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	B&B, 6cm cal	2.5m ht	2
	Pinus contorta 'Contorta' / Shore Pine	B&B	3.0m ht	7
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B, 6cm cal	2.5m ht	4
	Syringa vulgaris / Common Lilac	1.5 m container grown		4

LANDSCAPE LEGEND

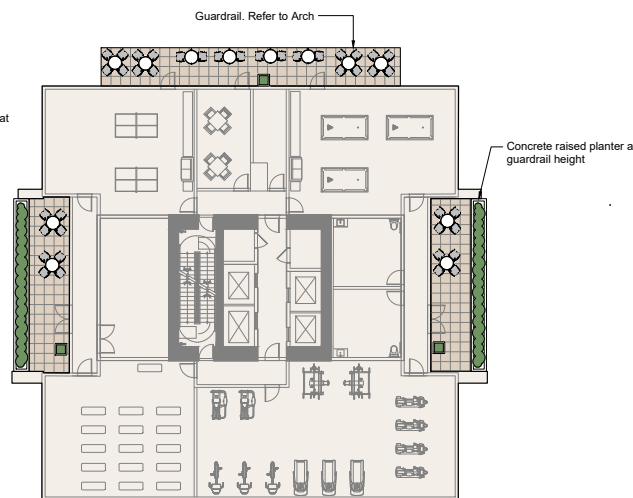
KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Citadel Colour: Copper canyon
	1,2 LD-01	SHRUB PLANTING
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catalina Series Colour: Silver (metal finish)
	6 LD-03	MOVEABLE PLANTER



City of Surrey File Number: 23-0265



1 Tower D - Level 7
Scale: 1:150



2 Tower D - Level 59
Scale: 1:150

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

Key Map (NTS)



No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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Checked:
MW

Approved:
MVDZ

Stamp:

Original Sheet Size:
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Scale:
1:150

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Drawing Title: TOWER D - L7 & L59 AMENITY SITE PLAN
 Drawing #: DP2022-36
 Drawing #: L-08

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Z:\PROJECTS\CONTRACT DOCUMENTS\2022\23\OVEDO\KING GEORGE\LANDSCAPE\DWG\23\SITE PLAN\DWG TOWER D - L60 & L61 AMENITY SITE PLAN.DWG

LANDSCAPE LEGEND

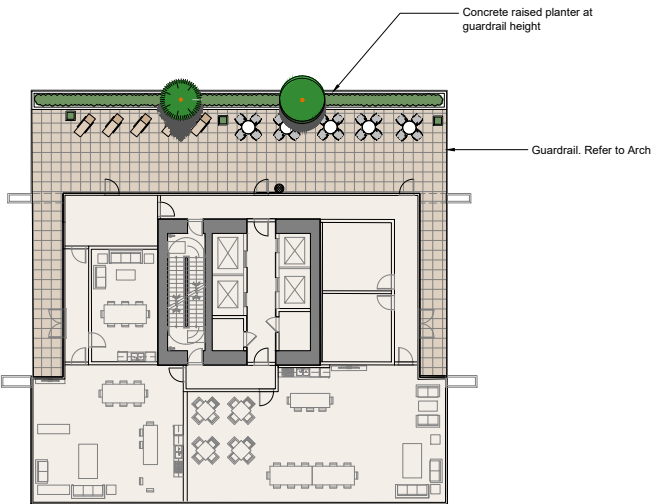
KEY	REF.	DESCRIPTION
	3 LD-02	HYDRAPRESSED SLAB Manufacturer: Belgard Model: Classic Colour: Isat
	8 LD-03	SUN BATHING CHAIR Manufacturer: Landscape Forms Model: Cochran Chaise Lounge Colour: Natural Elm
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Colera Series Colour: Silver (metal finish)
	6 LD-03	MOVEABLE PLANTER
	1 LD-04	WASTE RECEPTACLE Manufacturer: Landscape Forms Model: Astria Colour: Silver (metal finish)
	1.2 LD-01	SHRUB PLANTING

PLANT SCHEDULE TOWER D - L60

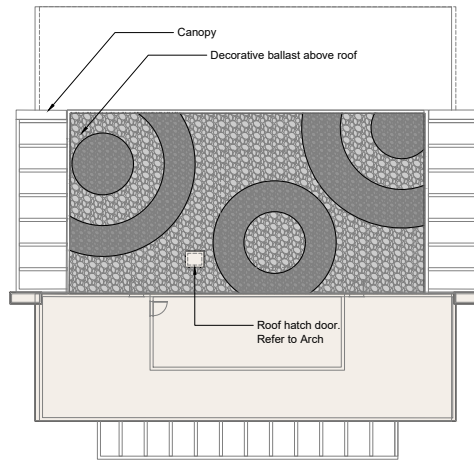
TREES	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Pinus contorta 'Contorta' / Shore Pine	B&B	3.0m ht	1
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B, 6m cal	2.5m ht	1

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		DECORATIVE BALLAST Color: Black / White



1 TOWER D - LEVEL 60
Scale: 1:150



2 TOWER D - LEVEL 61
Scale: 1:150



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City of Surrey File Number: 23-0265

Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
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No.	By	Description	Date

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Location:
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Surrey, B.C.

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 Checked: MW
 Approved: MVDZ
 Stamp: [Stamp area]
 Original Sheet Size: 24"x36"

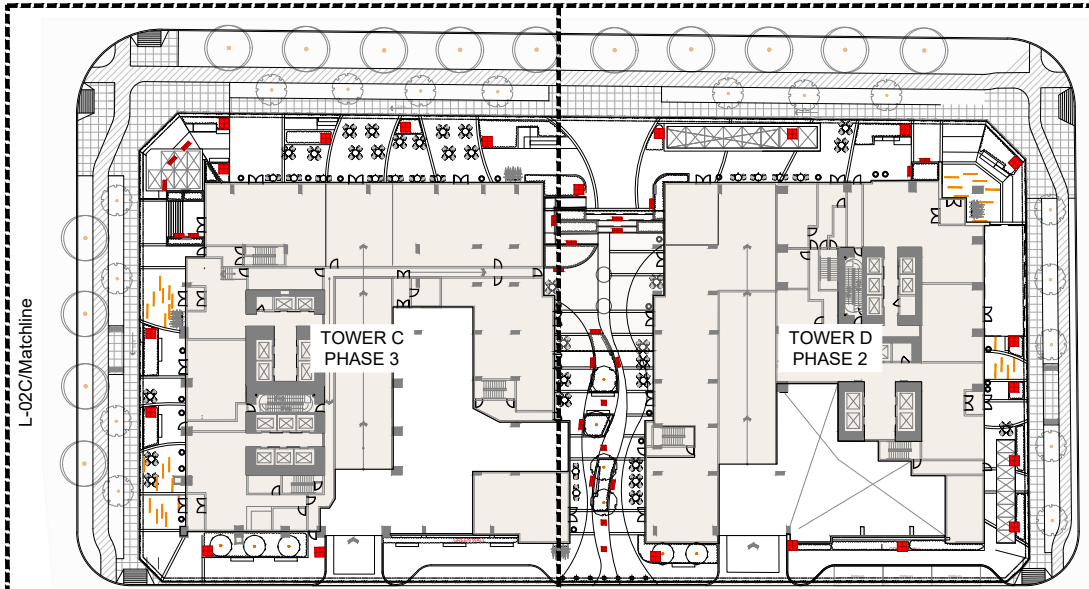
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Drawing Title: TOWER D - L60 & L61 AMENITY SITE PLAN
 Drawing #: L-09
 Project #: DP2022-36
 NORTH

Z:\PROJECTS\LANDSCAPE\2022\36 OVIEDO KING GEORGE LANDSCAPE\02 OVERALL LIGHTING\LA ANDVIS

KING GEORGE BOULEVARD

104 AVE

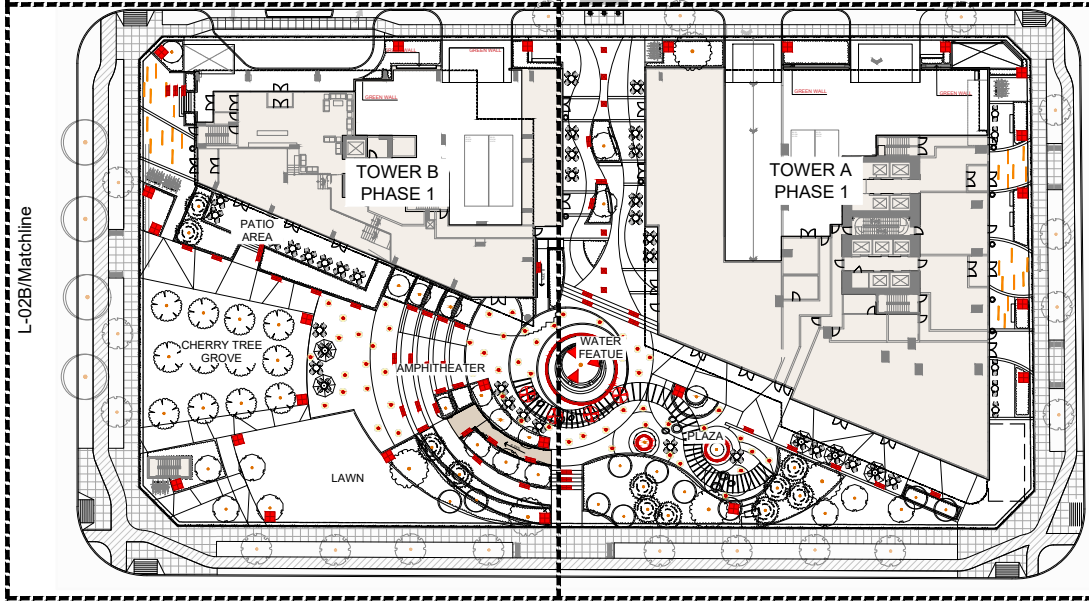


L-02C/Matchline

L-02D/Matchline

NEW LANE

NEW LANE



L-02B/Matchline

L-02A/Matchline

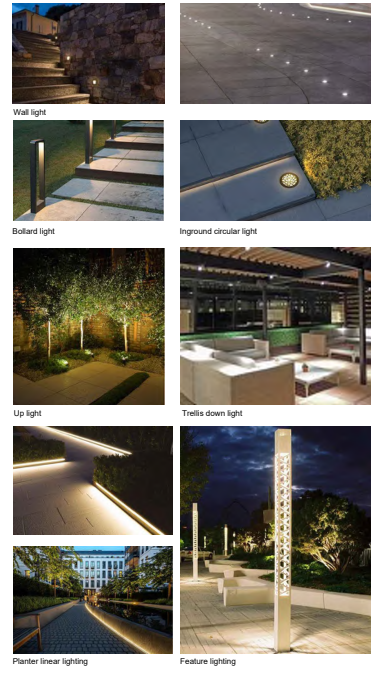
CENTRAL AVENUE

LIGHTING

KEY	REF.	DESCRIPTION
		BOLLARD LIGHT
		WALL LIGHTS
		UPLIGHTS
		TRELLIS DOWN LIGHT
		FEATURE LIGHTING
		INGROUND CIRCULAR LIGHTING
		PLANTER LINEAR LIGHT
		INGROUND LINEAR LIGHT

Note:
Lighting Fixture selection to be coordinated with Electrical.

Precedent Images



VDZ+A
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City of Surrey File Number: 23-0265

No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning/DP	2023-08-09
1	MW	Issued for Reasoning/DP	2022-11-24
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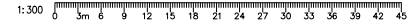
Project:
Oviedo King George

Location:
King George and Central Ave,
Surrey, B.C.

Drawn: DZ AH	Stamp:
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Approved: MVDZ	Original Sheet Size: 24"x36"

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Drawing Title:
OVERALL LIGHTING PLAN

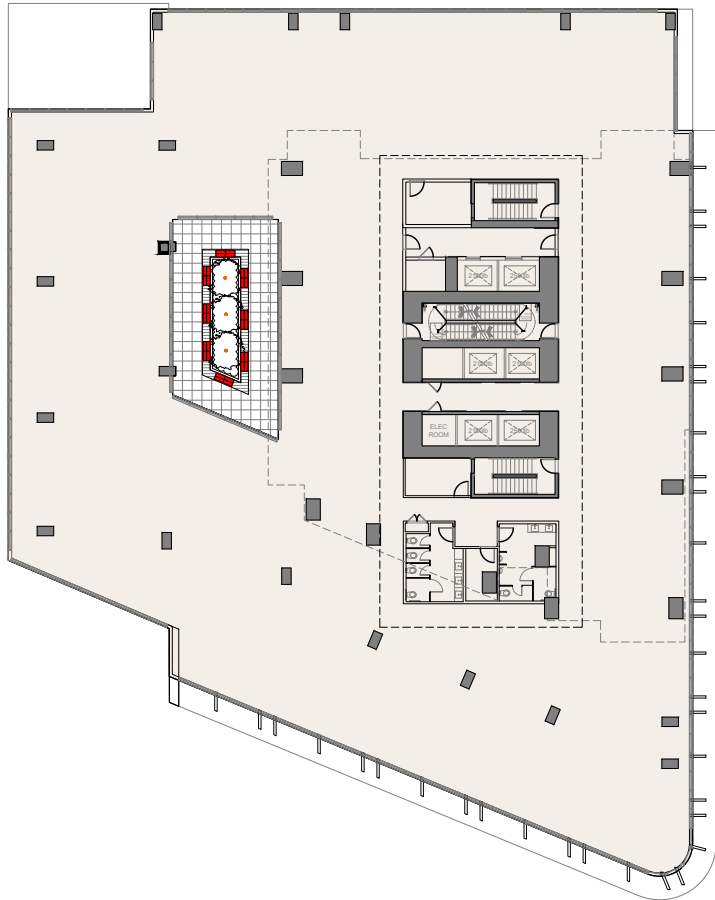


VDZ Project #:
DP2022-36

Drawing #:
L-11

LIGHTING



KEY	REF.	DESCRIPTION
		WALL LIGHTS



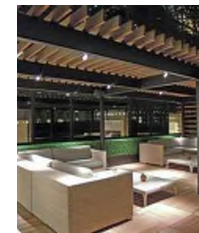
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Scale 1:150



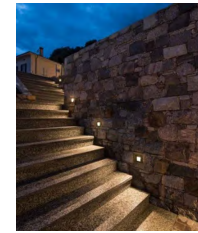
LIGHTING

KEY	REF.	DESCRIPTION
		WALL LIGHTS
		TRELLIS DOWN LIGHT

2 TOWER A - LEVEL 6
Scale 1:150



Trellis down light



Wall light



Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
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1	MW	Issued for Reasoning/DP	2022-11-24

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 Checked: MW
 Approved: MVDZ

Stamp:
 Original Sheet Size:
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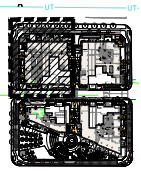
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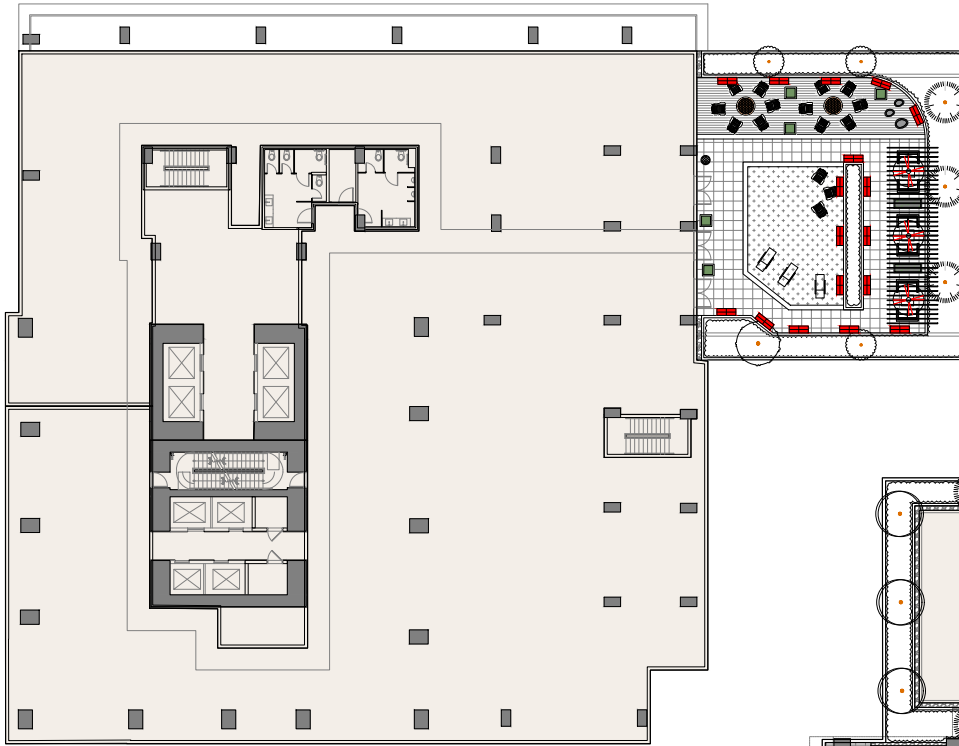
Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning DP	2023-08-09
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No.	By	Description	Date

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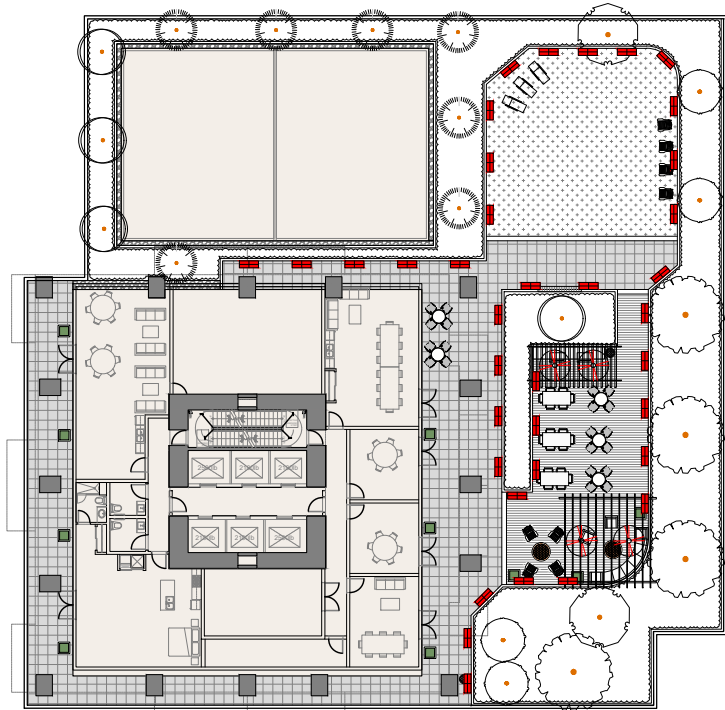
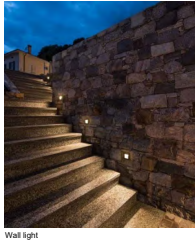
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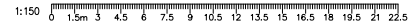
1 Tower C - Level 8
 Scale 1:150

LIGHTING

KEY	REF.	DESCRIPTION
		WALL LIGHTS
		TRELLIS DOWN LIGHT



2 Tower C - Level 9
 Scale 1:150



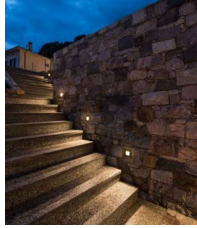
Drawn: AH DZ	Stamp:
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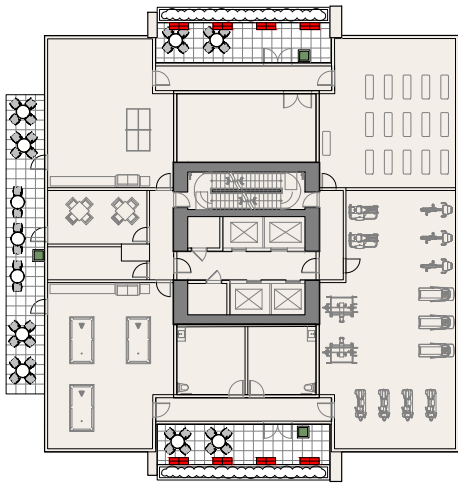
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LIGHTING

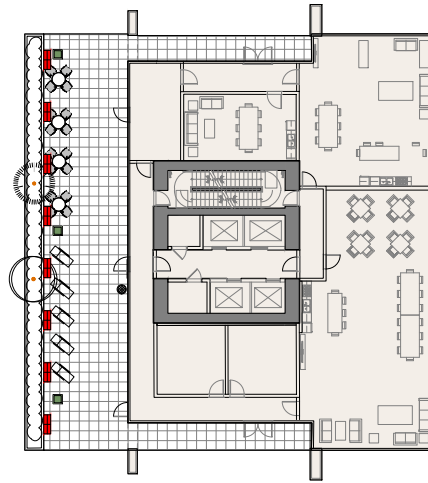
KEY	REF.	DESCRIPTION
■		WALL LIGHTS



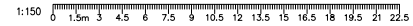
Wall light



① TOWER C - LEVEL 63
Scale 1:1000



② TOWER C - LEVEL 64
Scale 1:150



Key Map (NTS)



No.	By:	Description	Date
3	MW	Issued for ADP	2023-11-23
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Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
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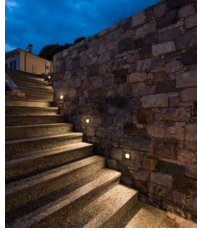
LIGHTING

KEY	REF.	DESCRIPTION
		WALL LIGHTS
		TRELLIS DOWN LIGHT

Note:
Lighting Fixture selection to be coordinated with Electrical.




Trellis down light

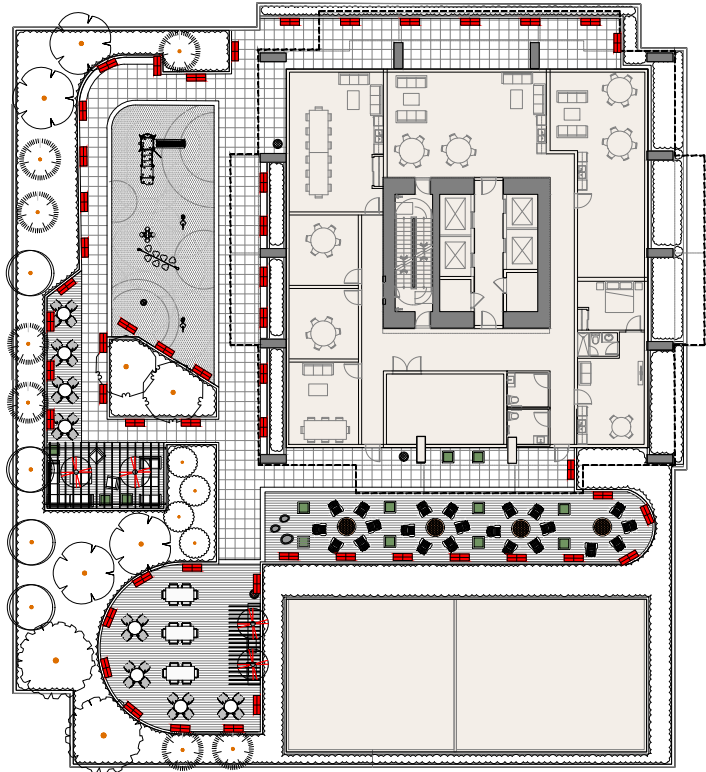


Wall light

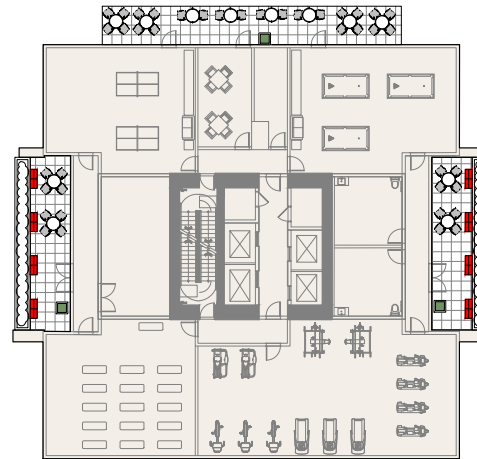
LIGHTING

KEY	REF.	DESCRIPTION
		WALL LIGHTS

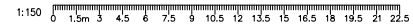
Note:
Lighting Fixture selection to be coordinated with Electrical.



1 Tower D - Level 7
Scale 1:150



2 Tower D - Level 59
Scale 1:150



Key Map (NTS)



No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning/DP	2023-08-09
1	MW	Issued for Reasoning/DP	2022-11-24
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Oviedo King George

Location:
King George and Central Ave,
Surrey, B.C.

Drawn: AH, DZ
 Checked: MW
 Approved: MVDZ
 Scale: 1:150

Stamp:
 Original Sheet Size: 24"x36"

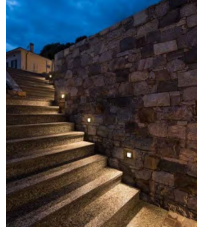
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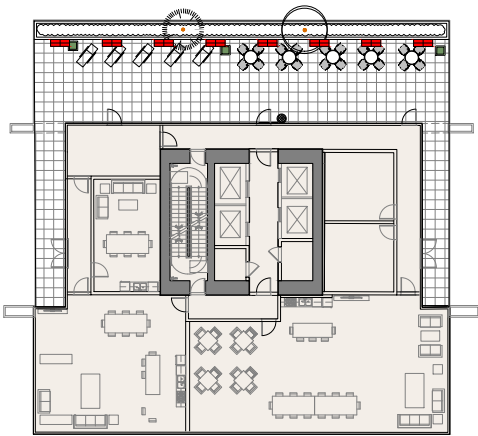
LIGHTING

KEY	REF.	DESCRIPTION
■		WALL LIGHTS

Note:
Lighting Fixture selection to be coordinated with
Electrical.



Wall light



1 TOWER D - LEVEL 60
Scale 1:150

Key Map (NTS)



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3	MW	Issued for ADP	2023-11-23
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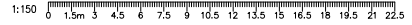
Project:
Oviedo King George

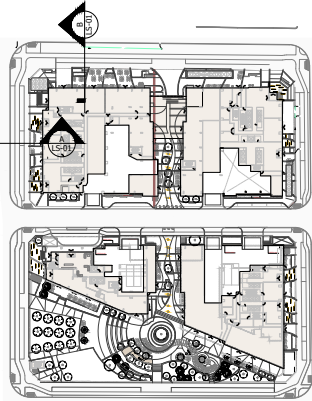
Location:
King George and Central Ave,
Surrey, B.C.

Drawn: DZ AH	Stamp:
Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"

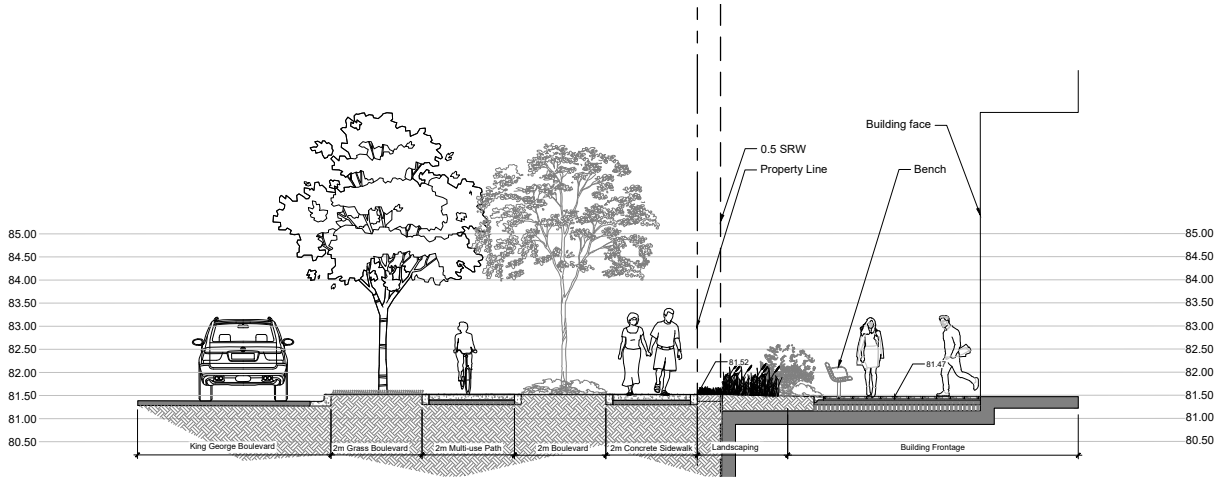
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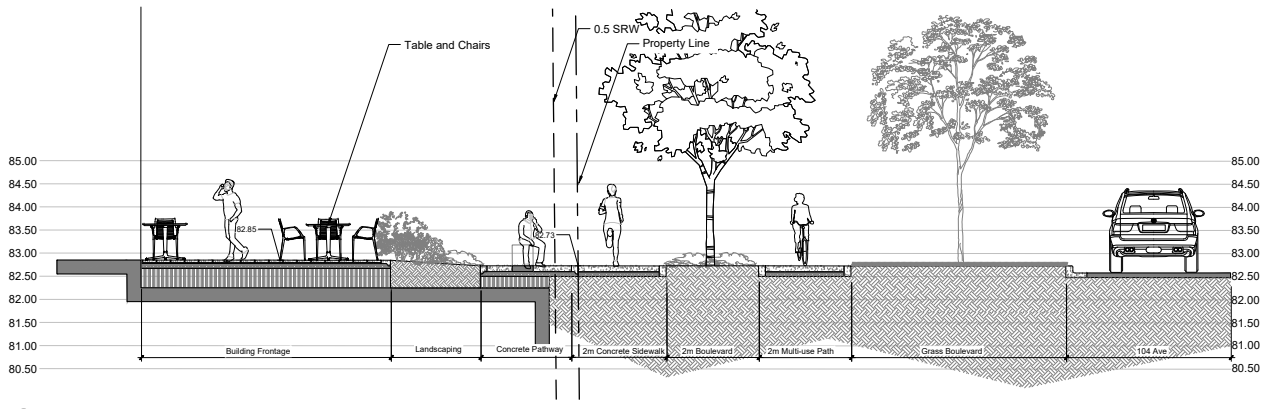




1 OVERVIEW PLAN
Scale 1:1000



2 SECTION A
Scale 1:50



3 SECTION B
Scale 1:50

VDZ+A

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
102-9181 Church St | 102-355 Kingsway
Fort Langley, BC | Mount Pleasant, BC
V1M 2R6 | V1T 3J7
www.vdz.ca 604-882-0024

City of Surrey File Number: 23-0265

No.	By	Description	Date
3	MW	Issued for ADP	2023-11-23
2	MW	Issued for Reasoning/DP	2023-08-09
1	MW	Issued for Reasoning/DP	2022-11-24

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Oviedo King George

Location:
King George and Central Ave,
Surrey, B.C.

Drawn: AH	Stamp:
Checked: MW	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RESPONSIBILITIES FOR DIMENSIONS MUST BE CHECKED FOR CONSTRUCTION (UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION).

Drawing Title:
SECTIONS



Project #:
DP2022-36

Drawing #:
LS-01

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**TO: Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: December 12, 2023 PROJECT FILE: **7823-0265-00**

**RE: Engineering Requirements
Location: 10376, 10344, 10348, and 10392 King George Blvd, and
13654 & 13634 104 Avenue**

OCP AMENDMENT/CCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/CCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate varying widths along 104 Avenue;
- Dedicate 4.437 m along King George Boulevard;
- Dedicate 12.0 m along Central Avenue;
- Dedicate 1.942 m along 136A Street;
- Dedicate a 5 m x 5 m corner cuts at road intersections: of 104 Avenue and King George Boulevard; at the intersection of 104 Avenue and 136A Street, and at the intersection of Central Avenue and 136A Street.
- Register a 0.5 m statutory right-of-way (SRW) along all road frontages for maintenance;
- Dedicate as road (without compensation) a By-law road along 104 Avenue.

Works and Services

- Construct the south side of 104 Avenue;
- Construct the east side of King George Boulevard;
- Construct the north side of Central Avenue;
- Construct the west side of 136A Street;
- Implement intersection improvements at 104 Avenue and King George Boulevard, and at 104 Avenue and Whalley Boulevard as per TIS recommendations;
- Install signal at Central Avenue and King George Boulevard;
- Construct adequately-sized service connections (water, storm, and sanitary), complete with inspection chambers/water meter, to each lot. Upgrade or relocate fronting mains as required to service the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Services Manager
M51



Department: **Planning and Demographics**
 Date: **December 6, 2023**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0265 00**

The proposed development of **1540** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	55
---	----

Projected Number of Students From This Development In:	
Elementary School =	31
Secondary School =	15
Total Students =	46

Current Enrolment and Capacities:	
Lena Shaw Elementary	
Enrolment	664
Operating Capacity	569
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

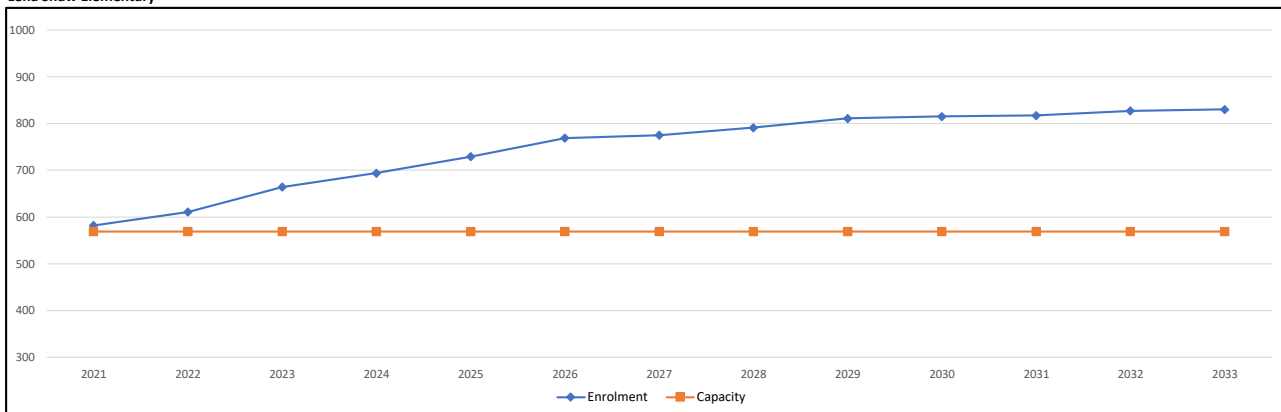
Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 830 students. In anticipation of further growth associated with the proposed transit oriented housing mentioned above, the Ministry approved in November 2023 the installation of 8 modulars to open in September 2024 tentatively.

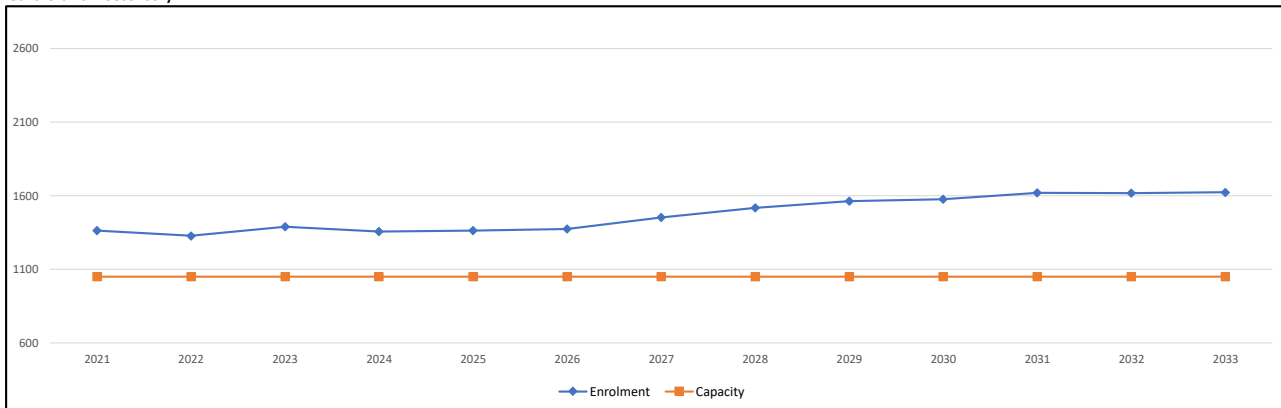
Guildford Park Secondary is currently operating at 132% and is projected to minimally grow. This school will be impacted by development along the Guildford 104th Ave Corridor when that NCP has been adopted. The impact of this plan will not be included in this projection until the plan has been approved. In May 2023, the District received capital funding approval from the Ministry to build a 450-capacity addition, targeted to open in the spring of 2028.

Lena Shaw Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

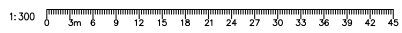
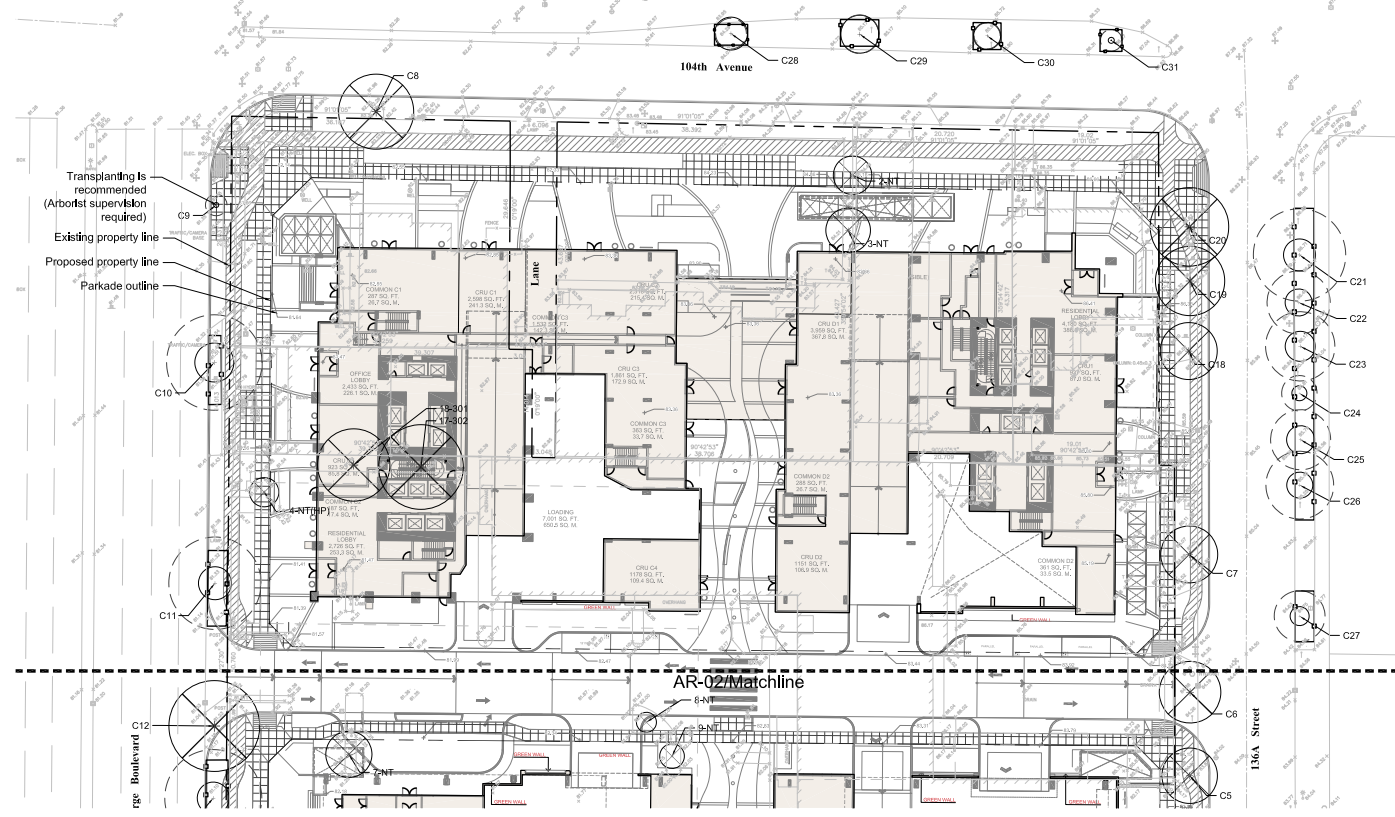
Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Table 3 : Tree Preservation Summary

Surrey Project No: TBD
Address: 10344-10392 King George Blvd & 13634-13664 104th Ave, Surrey, BC.
Registered Arborist: D. Glyn Romaine - ISA Certified Arborist PN-7929A

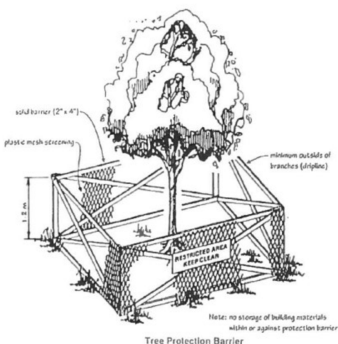
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	37
Protected Trees to be Removed	18
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	29
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $18 \times \text{two (2)} = 36$	36
Replacement Trees Proposed	157
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	4
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $4 \times \text{two (2)} = 8$	8
Replacement Trees Proposed	0
Replacement Trees in Deficit	8



LEGEND

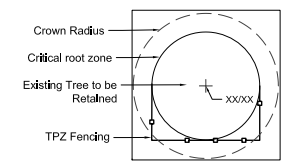
Existing Tree to be Retained	Existing Tree to be Removed	Undersize Tree	Existing Tree to be Relocated	Tree Protection Fencing

Tree Tag Legend
 XX - Tag number
 C-XX - Municipal tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NT - No Tag #
 HP - Handplotted



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
80	5.4
100	6.0



Note:
 1. Contact VDZ+A Project Arborist for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
 If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 *Locating TPZ Fencing
 *Locating Work Zone and Machine access corridors where required
 *Reviewing the Report with the project foreman or site supervisor.

REVISIONS TABLE FOR DRAWINGS

No.	By:	Description	Date
2	YY	Issued for Arborist Report	2023-11-29
1	YY	Issued for Arborist Report	2023-11-24

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
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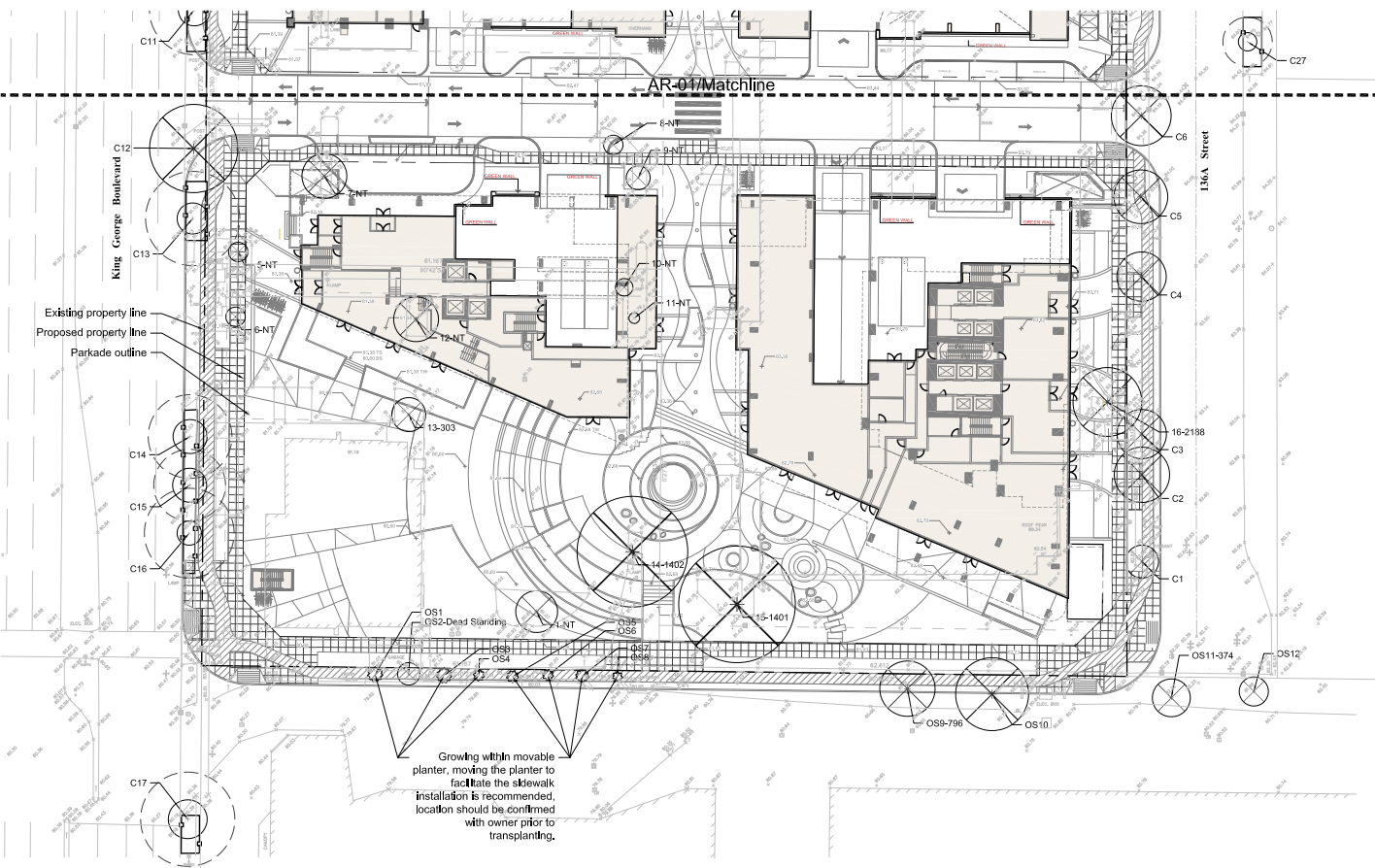
Project:
 Oviedo King George

Location:
 10344/48/63/76/92 King George Blvd & 13634/54 104th Avenue, Surrey, B.C.

Drawn: YY	Stamp:
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Approved: MW	Original Sheet Size: 24"x36"
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY AND CORRECTIONS WITH THE POSSIBLE EXCEPTION OF THE OWNER AND/OR USER. RETURNED AT THE COMPLETION OF THE WORK. ALL NECESSARY WORK SHALL BE COMPLETED AND LABELLED FOR CONSTRUCTION AND LABELLED FOR CONSTRUCTION.

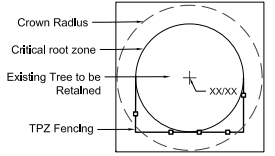
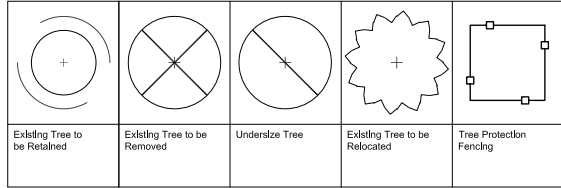
Z:\PROJECTS\CLIENT PROJECTS\OVIEDO KING GEORGE\AR2020-01\TREE MANAGEMENT PLAN.DWG



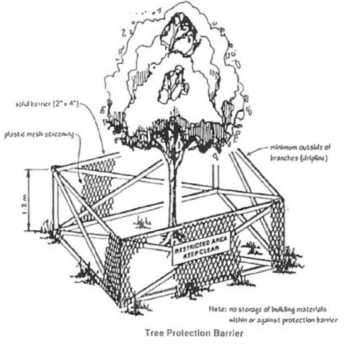
Existing property line
 Proposed property line
 Parkade outline

Growing within movable planter, moving the planter to facilitate the skidwalk installation is recommended, location should be confirmed with owner prior to transplanting.

LEGEND



Tree Tag Legend
 XX - Tag number
 C-XX - Municipal tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NT - No Tag #
 HP - Hand-plotted



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
80	5.4
100	6.0

Tree Protection Barrier Detail

Note:
 1. Contact VDZ+A Project Arborist for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
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 "Locating Work Zone and Machine access corridors where required
 "Reviewing the Report with the project foreman or site supervisor.



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No.	By:	Description	Date
2	YY	Issued for Arborist Report	2023-11-29
1	YY	Issued for Arborist Report	2023-11-24

REVISIONS TABLE FOR DRAWINGS
 * If any drawing is revised, it is the user's responsibility to ensure that the original drawing is updated and that the original drawing is not used for other projects without consultation.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 Ovedo King George
 Location:
 10344/48/63/76/92 King George Blvd & 13634/54 104th Avenue, Surrey, B.C.

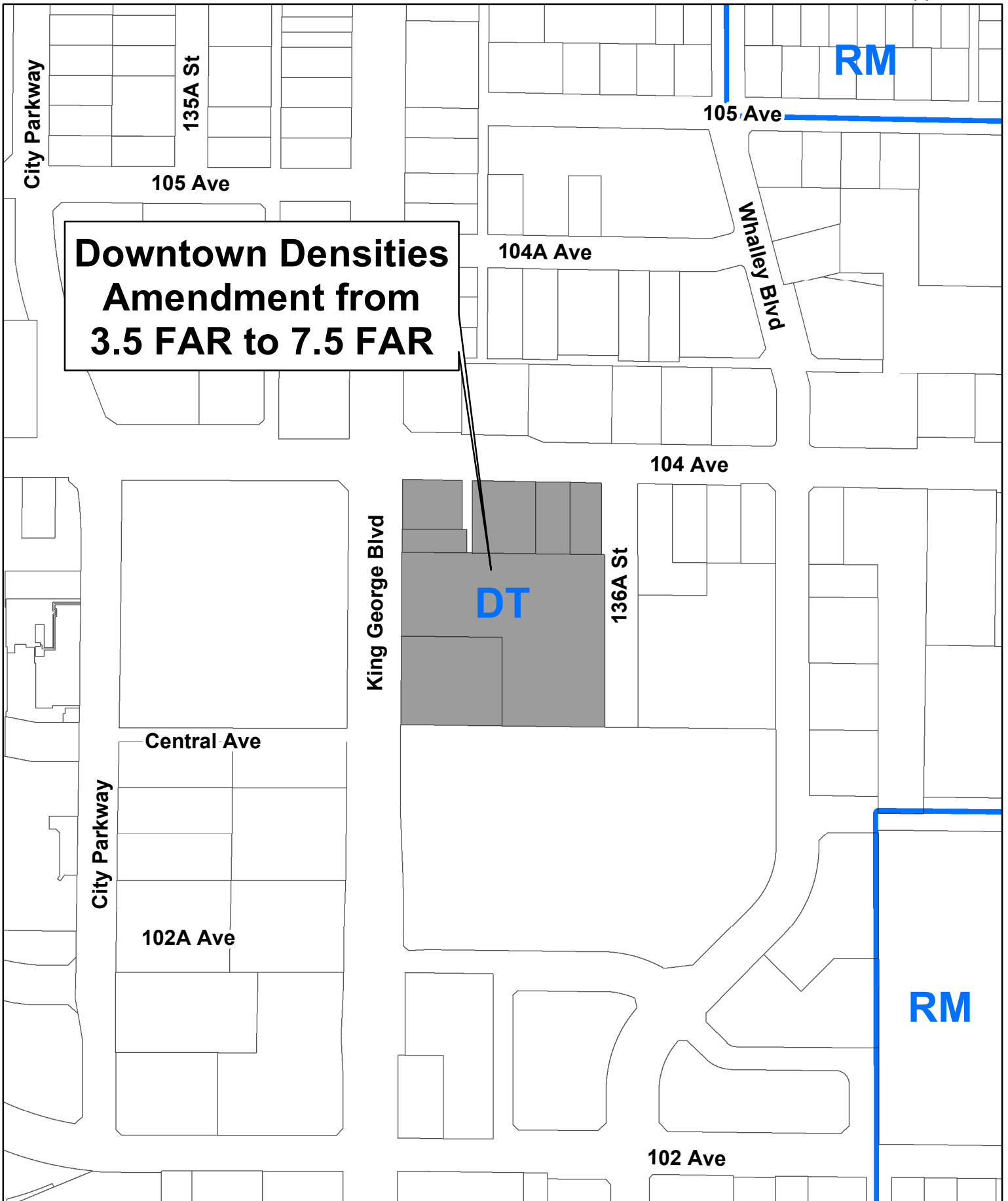
Drawn: YY Stamp:
 Checked: DGR

Approved: MW Original Sheet Size: 24"x36" 1:300
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Drawing Title: TREE MANAGEMENT PLAN

VDZ Project #: AR2020-01

Drawing #: AR-02





CHRIS DIKEAKOS
ARCHITECTS INC.

November 29, 2023

City of Surrey
13450 104 Ave,
Surrey, BC V3T 1V8

ATTENTION: Ingrid Matthews
SUBJECT: 10054-88 Whalley Blvd. and 10055-89 137A St.

Hi Ingrid,
Please see the responses to ADP recommendation.

Key Points

- Great landmark project. **Thank you.**
- Recommend conducting a wind study for the development to highlight the potential issue of wind tunnels. **We will conduct the wind study with the specialist consultant and provide any mitigation measure that may be required based on their report and results.**
- Consider ways to harmonize the design and elevation of tower A podium and midrise B facing the open plaza. **CDA will look at ways to increase the harmonization between the hotel and the Tower A Office/Retail podium.**
- Consider selection and layout of mechanical equipment early so as not to limit your choices. **We will coordinate the mechanical equipment requirements with our mechanical engineer for the project to allow for a variety of suitable responses.**
- Consider high quality bike amenities including good wayfinding for bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bike charging. **These amenity and wayfinding items will be provided for the bike user in this project and will be further developed in our detailed design phases of the project.**

Site

- Consider opportunities for public pedestrian indoor connections between the buildings in the public use areas. **This is being considered particularly for a possible elevated indoor bridge connection between the hotel building and the second level of the Tower A office podium.**
- Consider locating all the underground parkade ventilation shafts along the lane instead of along the main streets. **We will review this possibility with our mechanical engineering consultant.**
- Consider refining the pedestrian crossing at the lane to better connect the north-to-south pedestrian mews. **We will look at this possibility with possibly a raised pathway, pedestrian activated crossing lights and clear path markings.**

Form and Character

- Consider the structure of all the elements in the project, ensuring there is proper support with columns or walls, while not negatively impacting the design. **This will be provided in conjunction with our structural engineer.**
- Consider conducting a wind tunnel study, given tall form and massing of the towers. Will be conducted as previously mentioned above. **A wind tunnel study will be conducted as previously mentioned above.**
- Consider providing outdoor amenity spaces for the office component to allow for fresh air, quiet space, and views for people working in an office environment. **Will be considered for the office component adjacent to the bridge connecting Towers C & D podiums.**
- Consider moving the north facing roof outdoor amenity space of tower D to the south. **Will consider.**
- Reconsider providing direct outdoor amenity access through the indoor amenity space in tower A. **Will consider direct access to outdoor amenity areas.**
- Consider incorporating more diverse, supportive functions on-site, especially for a project of this size. Consider incorporating daycare facility to this project, given its increasing demand. **A daycare facility will definitely be considered for this project.**
- Consider continuous weather protection along commercial frontages, especially along the mews. **Will be provided at detail design stage.**
- Consider reviewing the exit stair location on the southwest corner of the plaza. **Looking at this possibility in conjunction with our code consultant and landscape architect.**
- Consider contribution to affordable unit reserve since no affordable units are provided in the project. **Will consider.**

Landscape

- Consider providing a covered or all-weather space on the amenity roof areas. **Will provide in conjunction with our landscape architect.**
- Consider a green roof on Level 16 of the hotel given its high level of visibility. **Will consider this in conjunction with our landscape architect.**

CPTED

- Consider ways to mitigate disruptive activities, such as late-night parties, on the landscaped plaza. **Will review with a security consultant to determine best practices and approaches to this.**

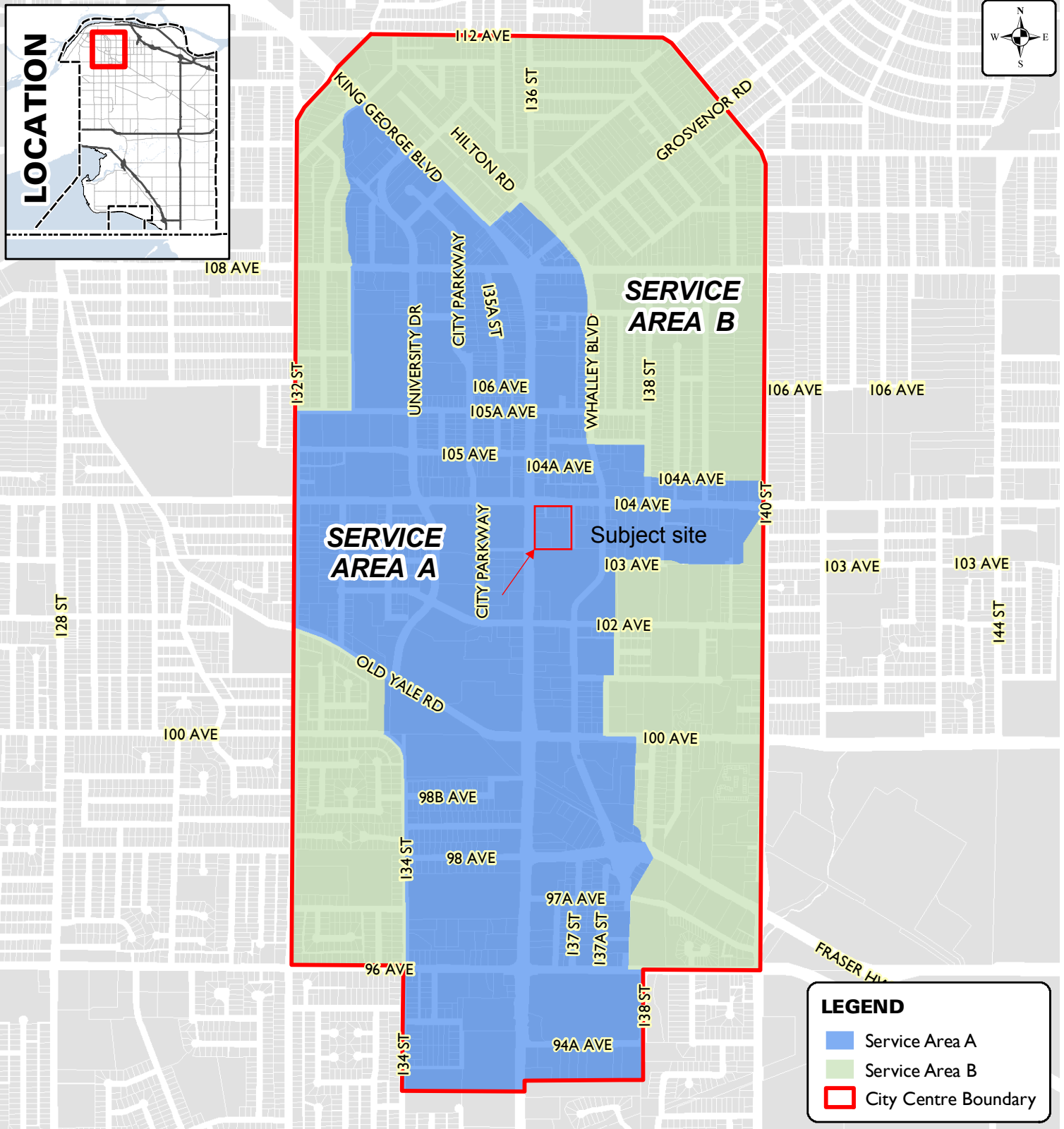
Sustainability

- Consider opportunities for sharing heat between the different uses within the project. **Will do so in conjunction with our mechanical consultant.**
 - Consider using future climate files for thermal comfort modelling to test resiliency and ensure livability in future. **Will do so in conjunction with our mechanical consultant.**
- Consider incorporating a bike maintenance area that can also serve as a casual space for interaction. **Will do.**
- Consider analyzing how bicyclists interact with pedestrians and drivers both on the ground plane and within buildings when further developing this project. **This will be carefully considered.**
- Consider how best to encourage waste management with three stream systems in suites. **Will consider with strata.**
- Ensure central recycling rooms are well lit and include sorting tables with pictograms to address language barriers. **Will provide.**
- Consider alternatives to burning fossil gas outdoors. **Will consider.**

Accessibility

- Recommend indicating the percentage of adaptable units in the development. **Will provide.**
- Review the accessibility issues in the plaza and the mews. **Will review in conjunction with our landscape architect.**

FIGURE 1



Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.